

SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 67.872±; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS DAY OF _____, A.D., _____.



JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472

GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A RECOMBINATION PLAT.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: R & PUD
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL #3720176800K DATED JULY 19, 2022.
7. REFERENCES: AS SHOWN.
8. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.



McAdams

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CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC
5711 SIX FORKS ROAD, SUITE 300
RALEIGH, NC 27609
PHONE: 919.232.3695
CONTACT: BOB MISHLER

THE POINT
LOTS 157-162 & LOTS 145-150
RECOMBINATION PLAT
2884, 2886, 2888, 2892, 2896 QUARRY RD;
301, 305, 309, 313, 317, 321 MARVEL DRIVE
WAKE FOREST TOWNSHIP, WAKE COUNTY, NORTH CAROLINA

REVISIONS

NO.	DATE	
1	09.23.2024	TOWN COMMENTS
2	10.14.2024	TOWN COMMENTS

PLAN INFORMATION

PROJECT NO.	AWH20000
FILENAME	AWH20000-F10
CHECKED BY	JBT
DRAWN BY	KMM
SCALE	NTS
DATE	05.07.2025

SHEET

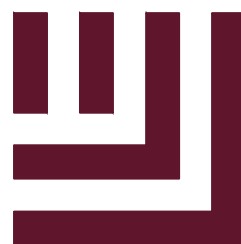
FINAL PLAT

1-3

X:\Projects\AWH\AWH-20000\02_Geomatics\Survey\Plats\AWH20000-F10 Recombination.dwg, 5/28/2025 1:38:10 PM, Katie Martin

GENERAL NOTES

1. FOR GENERAL NOTES, SEE SHEET 1.



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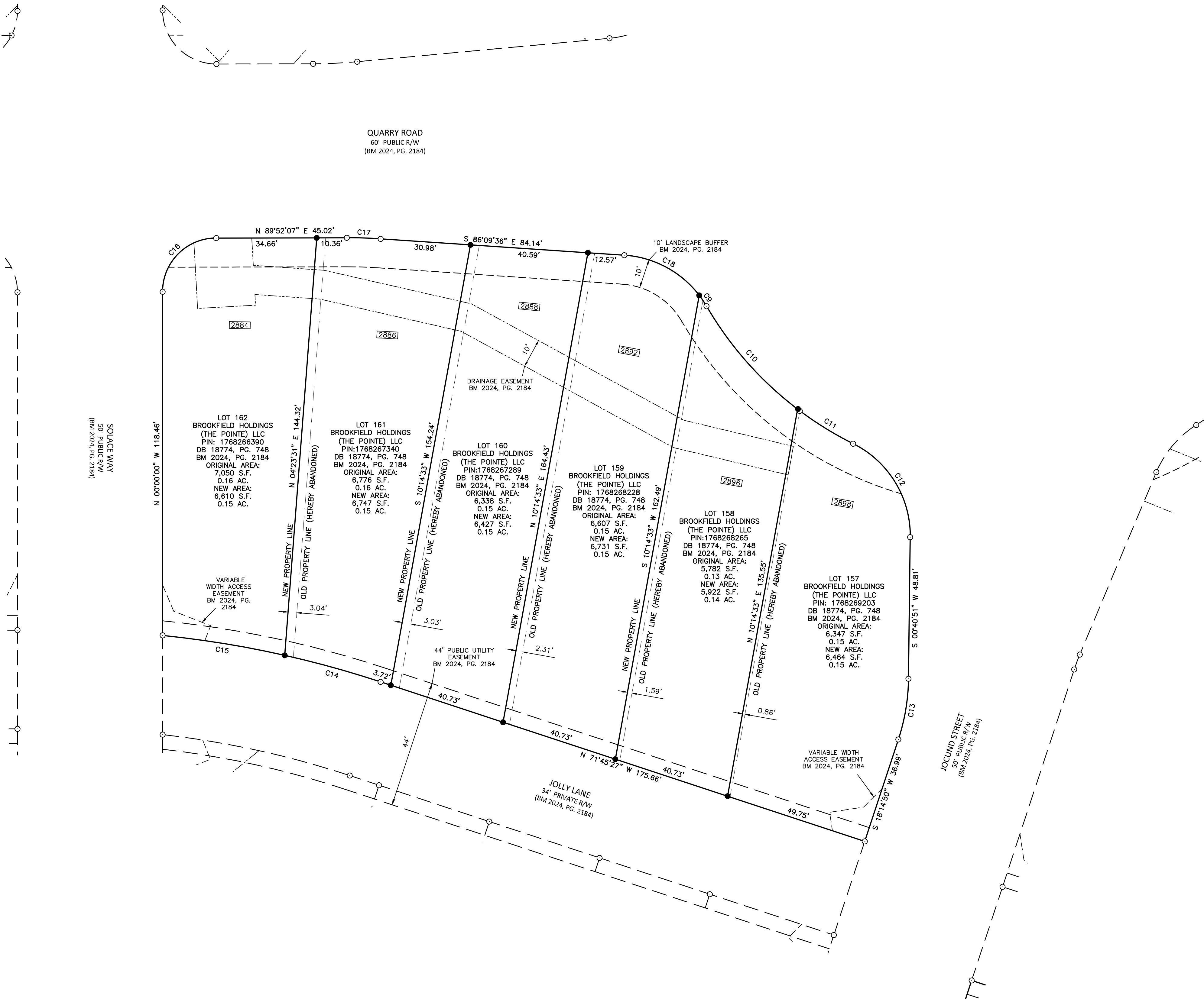
PLAN INFORMATION

PROJECT NO. AWH20000
FILENAME AWH20000-F10
CHECKED BY JBT
DRAWN BY KMM
SCALE 1"=300'
DATE 05.07.2025

SHEET

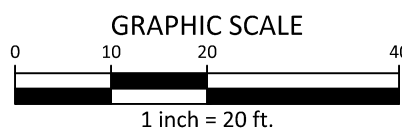
FINAL PLAT

2-3



LEGEND

- EXISTING IRON PIPE
- EXISTING CONCRETE MONUMENT
- ▲ EXISTING NAIL
- IRON PIPE SET
- CONCRETE MONUMENT SET
- ▲ CALCULATED POINT
- XXXX ADDRESS



FSP-

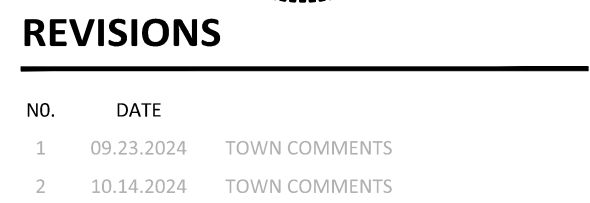
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SCALE	1"=300'
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FINAL PLAT

3-3

