

SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 67,872+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION
WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS
DAY OF ______, A.D., _____.



JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472

	DATE	
OWNER	DATE	
STATE OF		
I,AFORESAID, DO HEREBY (A NOTARY PUBLIC OF T	HE COUNT AND
		AND

HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA AND THAT THIS PLAT HAS BEEN APPROVED BY THE SUBDIVISION ADMINISTRATOR OF THE TOWN OF ROLESVILLE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY. SUBDIVISION ADMINISTRATOR, TOWN OF ROLESVILLE DATE STATE OF NORTH CAROLINA COUNTY OF WAKE	IHEREBY CER' REQUIRED IMPROVEMENTS HAVE B AND ACCORDING TO TOWN SPECIFI SUBDIVISION OR THAT GUARANTEE IMPROVEMENTS IN AN AMOUNT AF ROLESVILLE HAS BEEN RECEIVED AN THE AMOUNT OF	EEN INSTALLED IN AN AC CATIONS AND STANDARI S OF THE INSTALLATION ND MANNER SATISFACTO ID THAT THE FILING FEES	CEPTABLE MANNER DS IN THE OF THE REQUIRED DRY TO THE TOWN OF
STATE OF NORTH CAROLINA	SUBDIVISION ADMINISTRATION	DATE	
STATE OF NORTH CAROLINA	FOUND TO COMPLY WITH THE SUB ROLESVILLE, NORTH CAROLINA AND SUBDIVISION ADMINISTRATOR OF	DIVISION REGULATIONS () THAT THIS PLAT HAS BE THE TOWN OF ROLESVILL	OF THE TOWN OF EN APPROVED BY THE
	SUBDIVISION ADMINISTRATOR, TO	WN OF ROLESVILLE	DATE
I, REVIEW OFFICER FOR THE TOWN OF ROLESVILLE, NC CERTIFY THAT THE PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.	COUNTY OF WAKE I, REVIEW OFFICE THAT THE PLAT TO WHICH THIS CE	ERTIFICATION IS AFFIXED	

GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A RECOMBINATION PLAT.
- 2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
 3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- 4. ZONING: R & PUD
- 5. AREA BY COORDINATE GEOMETRY.
 6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A
- F.I.R.M COMMUNITY PANEL #3720176800K DATED JULY 19, 2022.

 7. REFERENCES: AS SHOWN.

 8. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH. TITLE SEARCH.



The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713

phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC 5711 SIX FORKS ROAD, SUITE 300 RALEIGH, NC 27609 PHONE: 919.232.3695 CONTACT: BOB MISHLER

REVISIONS

- 1 09.23.2024 TOWN COMMENTS 2 10.14.2024 TOWN COMMENTS
- PLAN INFORMATION

PROJECT NO. AWH20000 FILENAME AWH20000-F10 CHECKED BY JBT DRAWN BY SCALE DATE

SHEET

FINAL PLAT

05.07.2025

1. FOR GENERAL NOTES, SEE SHEET 1.





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E POINT 52 & LOTS 145-150

SELL SURVEY

REVISIONS

 NO.
 DATE

 1
 09.23.2024
 TOWN COMMENTS

 2
 10.14.2024
 TOWN COMMENTS

PLAN INFORMATION

PROJECT NO. AWH20000

FILENAME AWH20000-F10

CHECKED BY JBT

DRAWN BY KMM

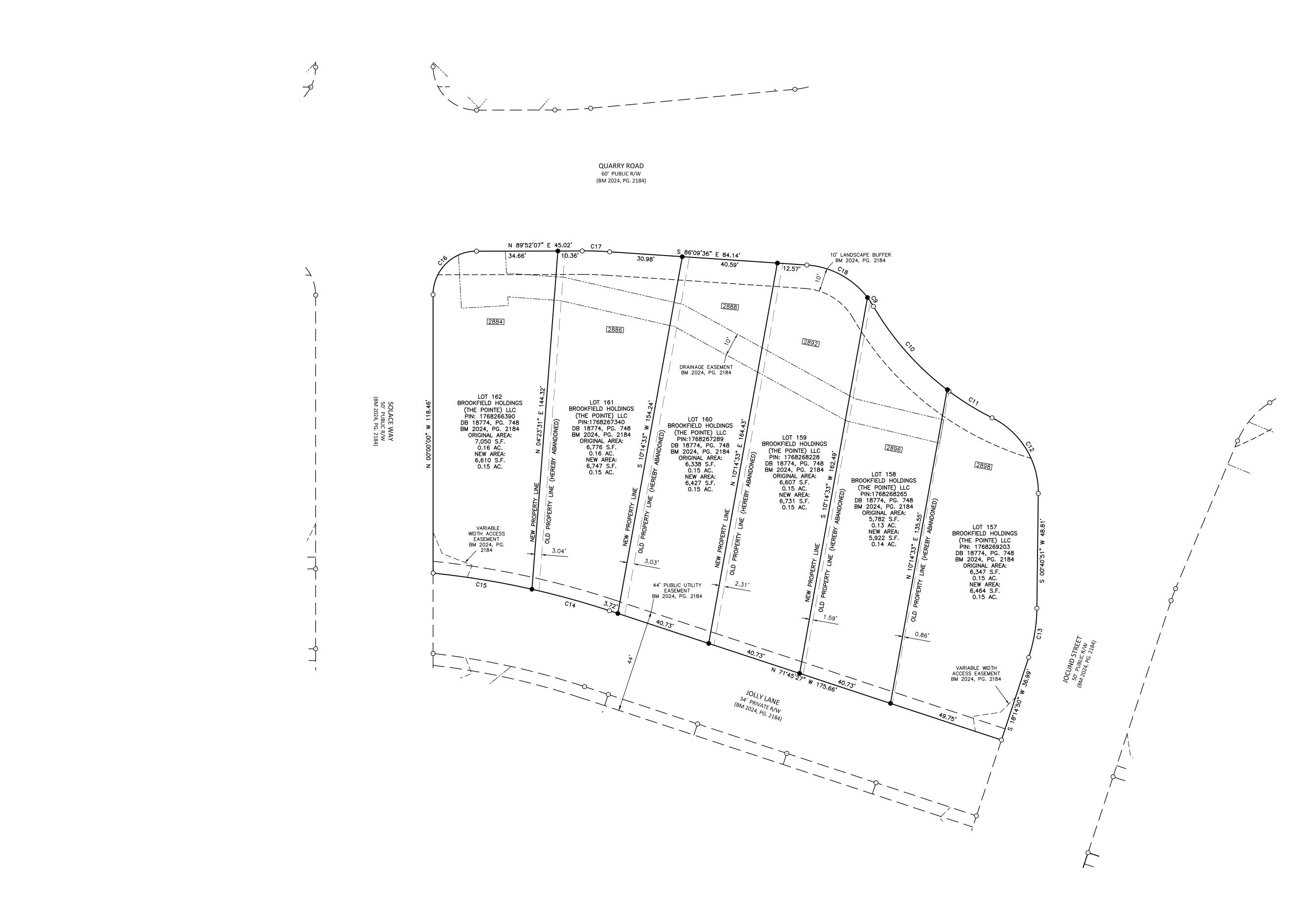
SCALE 1"=300'

DATE 05.07.2025

SHEET

FINAL PLAT

2-3



LEGEND

XXXX ADDRESS

EXISTING IRON PIPEEXISTING CONCRETE MONUMENT△ EXISTING NAIL

IRON PIPE SET
CONCRETE MONUMENT SET
CALCULATED POINT





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TIN | DITS 145-150

FS 157-162 & LOTS 145-150 RECOMBINATION PLAT



REVISIONS

NO. DATE
 1 09.23.2024 TOWN COMMENTS
 2 10.14.2024 TOWN COMMENTS

PLAN INFORMATION

PROJECT NO. AWH20000

FILENAME AWH20000-F10

CHECKED BY JBT

DRAWN BY KMM

SCALE 1"=300'

SHEET

DATE

FINAL PLAT

05.07.2025

3-3

