

April 1, 2024

Town of Rolesville  
Planning Department  
502 Southtown Circle  
Rolesville, North Carolina 27571

**RE: Pearce Farm**  
**Case Number: PSP-23-04**  
**Response to 1<sup>st</sup> PSP Review Comments**  
**AGN-23001**

The following are the response comments for the above-mentioned project. Our response comments are in **bold**.

## **ENGINEERING**

**Brian Laux**

**Jacque Thompson**

1. See two (2) PDF's – (1.) Written MEMO comments dated 12-29-2023, and (2.) Mark-up comments (There look to be 293 entries/comments) on the Plat Set.).

**McAdams Response: Noted.**

### MEMO – Cover Sheet

1. Verify the transportation improvements match the traffic study and storage depths match the TIA associated with this project (TIA is for Tom's Creek verse Pearce Farm layouts, corridors and street connections).

**McAdams Response: The transportation improvements match the requirements from the traffic study and the frontage widening matches the typical sections required by Rolesville and agreed to by the Town Engineer, Brian Laux.**

### MEMO – Sheet C0.01 Project Notes and Typical Sections

2. Collector street section, 15' minimum travel lanes are required by the town of Rolesville. Revise plans to reflect minimum roadway sections. Provide a typical section with parking Planning and Engineering need to approval as Town does not have a typical section to with parking.

**McAdams Response: The "Residential Collector" typical section includes 15' travel lanes on the revised plans with this submittal. Please see the "Main Street with Parking" typical section on the revised plans. The typical sections were reviewed and accepted prior to this re-submittal.**

3. Town of Rolesville requires a 5' utility strip from the back of curb update plans and typical sections accordingly.

**McAdams Response: All sections include a minimum 5' utility strip except for the "Main Street with Parking" section. The typical sections were reviewed and accepted prior to this re-submittal.**

4. Mountable curbs on residential streets, recommend (recently approved design manual). Standard curbs are required at CB and parking areas. Revise plans accordingly to reflect this.

**McAdams Response: Thank you. Given this is a single-family community, the developer prefers to stick with standard curb and gutter unless it's not allowed. Also, most of the lots on the 47' B-B streets are rear loaded.**

5. Revise proposed typical sections for minimum R/W and B-B's set forth by the Town of Rolesville minimum standards. R/W greater than min are allowed to handle proposed sections with wanted parking.

**McAdams Response: The typical sections were reviewed and accepted prior to this re-submittal.**

6. Alleys should be designed in accordance with N.C. Department of Transportation Standards (street section) with curb, public R/W.

**McAdams Response: The typical sections were reviewed and accepted prior to this re-submittal. Alleys will be private.**

MEMO – Sheet C0.02 Overall Open Space Plan

7. If future Fire Department parcel, PIN 1749808870 is it possible for connection to Street "O" or Burlington Mills (NCDOT input to driveway connection separation on Burlington Mills Road).

**McAdams Response: If the Town can provide a layout or location for future driveways, we are happy to incorporate them.**

MEMO – Sheet 1 of 1 ALTA/NSPS Land Title Survey

8. Update to include 500-year flood line.

**McAdams Response: We added the 500-yr flood line to sheet C1.00.**

9. Notes on the deed state no filling or erection of permanent structures in the areas of Wake County Flood Hazard Soils. There are multiple proposed units in these areas.

**McAdams Response: A local flood study is being prepared that may re-delineate the flood hazard soils.**

MEMO – Sheet C2.0 Overall Preliminary Plat

10. Alley 16 will require a turnaround or through connection.

**McAdams Response: We have added a turnaround for Alley 16.**

11. The greenway is proposed in flood hazardous soils per the survey.

**McAdams Response: A local flood study is being prepared that may re-delineate the flood hazard soils.**

12. The centerline radius for collector roads is 310' minimum and local roads are 230' minimum, public alley less than 230 need approval from planning and engineering.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

MEMO – Sheet C2.01 Preliminary Plat and Pavement Marking Plan – Area “A”

13. Label the width of the proposed greenway easement throughout the plan.

**McAdams Response: The “Private” Greenway Trails, like the one on sheet C2.01 are private and shown on HOA property which doesn’t require an easement. All “Private” Greenways are shown on the plans with dashed lines. “Public” Greenways are shown with solid lines and include 30’ easements which are labeled on the plans.**

14. Verify that the greenway easement will be on any private lots throughout the site. Try to keep within HOA lots when possible.

**McAdams Response: All Greenways are on HOA property. Public Greenways include a 30’ easement.**

15. The minimum right of way outlined in the Town of Rolesville LDO is 50’ Update plans as needed to reflect this condition.

**McAdams Response: The Local Street typical sections were recently approved at 47 feet wide.**

16. Pedestrian ramps shall be designed and constructed to meet the latest requirements per NCDOT detail 848.05, typical. (during CDs)

**McAdams Response: We have included new NCDOT Standard Drawing 848.06 which includes the directional curb ramps on the plans. See sheet C8.01.**

17. Provide dimensions and labels for all OS lots. Typ.

**McAdams Response: Dimensions and labels have been added to all open space lots.**

MEMO – Sheet C2.02 Preliminary Plat and Pavement Marking Plan – Area “B”

18. Provide dimensions and labels for all OS lots. Typ.

**McAdams Response: Dimensions and labels have been added to all open space lots.**

MEMO – Sheet C2.03 Preliminary Plat and Pavement Marking Plan – Area “C”

19. Can the cross walk get moved so that it will align with the greenway crossing location.

**McAdams Response: The crossing has been moved to line up with the Greenway.**

20. Will there be any proposed driveway connection to ROW for future park, during development? Or parking provided along the street ROW.

**McAdams Response: The “Public Park” will be designed at a later date and permitted separately. Driveways and / or parking will be included as necessary.**

21. Add the following details to the right in right out exit onto Burlington Mills Road: lane width, curb radius, monolithic curb, section, construction limits (ROW) between improvements on Burlington Mill Road and Subdivision.

**McAdams Response: The right-in / right-out details will be included with the NCDOT off-site improvement plans. The Right-of-way is shown on the plan which separates NCDOT improvements from on-site development.**

MEMO – Sheet C2.04 Preliminary Plat and Pavement Marking Plan – Area “D”

22. Provide and label easement for the proposed greenway Typ.

**McAdams Response: The “Private” Greenway Trails, like the one called out on sheet C2.04 are private and shown on HOA property which doesn’t require an easement. All “Private” Greenways are shown on the plans with dashed lines. “Public” Greenways are shown with solid lines and include 30’ easements which are labeled on the plans.**

MEMO – Sheet C2.05 Preliminary Plat and Pavement Marking Plan – Area “E”

23. Will there be a connection/driveway to the ROW for OS-3.

**McAdams Response: The “OS-3” open space will be designed at a later date and permitted separately. Driveways and/or parking will be included as necessary.**

24. Will OS-3 be designed in a separate submittal? If not show design for this space.

**McAdams Response: Open space lots will be submitted separately and will include entrance drives and/or parking as necessary.**

MEMO – Sheet C2.06 Preliminary Plat and Pavement Marking Plan – Area “F”

25. Where will the proposed connection to the right of way be for the Main amenity area OS-1? Please provide this information in the next submittal.

**McAdams Response: Open space lots will be submitted separately and will include entrance drives and/or parking as necessary.**

26. Will OS-1 be designed in a separate submittal? If not show design for this space.

**McAdams Response: Yes, all open space lots will be designed under a separate submittal.**

27. The centerline radius for collector roads is 310’ minimum and local roads are 230’ minimum.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

MEMO – Sheet C2.07 Preliminary Plat and Pavement Marking Plan – Area “G”

28. Provide and label easement for the proposed greenway Typ.

**McAdams Response: The “Private” Greenway Trails, like the one called out on sheet C2.07 are private and shown on HOA property which doesn’t require an easement. All “Private” Greenways are shown on the plans with dashed lines. “Public” Greenways are shown with solid lines and include 30’ easements which are labeled on the plans.**

29. Greenway connection conflicts with handicap ramp revise this connection.

**McAdams Response: The Greenway connection has been relocated to avoid conflicting with the accessible ramp.**

30. Eliminate the text conflicts for legibility.

**McAdams Response: Text conflicts have been resolved.**

31. The centerline radius for collector roads is 310’ minimum and local roads are 230’ minimum.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

MEMO – Sheet C2.08 Preliminary Plat and Pavement Marking Plan – Area “H”

32. Provide a turnaround. Alley 16 is over the length allowable without one.

**McAdams Response: We have added a turnaround for Alley 16.**

33. Clarify the purpose of this line and add a label.

**McAdams Response: The line is referencing the 100-yr flood plain and is now labeled.**

34. MUP paths should be designed to tie into each other at 90° angles whenever the grade is permitting.

**McAdams Response: The connection between greenway trails has been revised and is now at a 90° angle.**

MEMO – Sheet C2.09 Preliminary Plat and Pavement Marking Plan – Area “I”

35. COR easement grading and min cross section provide min requirements with SCM maintenance easement.

**McAdams Response: As discussed with Brian Laux, the sanitary sewer will be limited depth and above the top of dam. Easement has been previously accepted by Tim Beasley with COR.**

MEMO – Sheet C2.11 Preliminary Plat and Pavement Marking Plan – Area “K”

36. The centerline radius for collector roads is 310’ minimum and local roads are 230’ minimum.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

MEMO – Sheet C2.12 Preliminary Plat and Pavement Marking Plan – Area “L”

37. The centerline radius for collector roads is 310' minimum and local roads are 230' minimum.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

MEMO – Sheet C2.14 Preliminary Plat and Pavement Marking Plan – Area “N”

38. The centerline radius for collector roads is 310' minimum and local roads are 230' minimum.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

MEMO – Sheet C2.15 Preliminary Plat and Pavement Marking Plan – Area “O”

39. The centerline radius for collector roads is 310' minimum and local roads are 230' minimum.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

MEMO – Sheet C2.16 Preliminary Plat and Pavement Marking Plan – Area “P”

40. The centerline radius for collector roads is 310' minimum and local roads are 230' minimum.

**McAdams Response: The streets have been adjusted to meet the revised typical sections and the minimum radii listed above.**

41. A greenway easement will need to be provided for all greenways.

**McAdams Response: The “Private” Greenway Trails like the one called out on sheet C2.16 are private and shown on HOA property which doesn’t require an easement. All “Private” Greenways are shown on the plans with dashed lines. “Public” Greenways are shown with solid lines and include 30’ easements which are labeled on the plans.**

MEMO – Sheet C2.17 Preliminary Plat and Pavement Marking Plan – Area “Q”

42. A greenway easement will need to be provided for all greenways.

**McAdams Response: The “Private” Greenway Trails like the one called out on sheet C2.17 are private and shown on HOA property which doesn’t require an easement. All “Private” Greenways are shown on the plans with dashed lines. “Public” Greenways are shown with solid lines and include 30’ easements which are labeled on the plans.**

MEMO – Sheet C2.18 Preliminary Plat and Pavement Marking Plan – Area “R”

43. Cul-de-sac width shall be a minimum of 96 ft diameter or a radius of 48 ft. The Fire Chief can request or adjust this minimum according to responding apparatus requirements for emergency scene operations.

**McAdams Response: Typically, at least on other projects in Wake County, the Fire Marshall has allowed the standard 38.5’ radius cul-de-sac. We would like to request the same allowance for Pearce Farm if possible and keep the current configuration?**

MEMO – Sheet C3.01 Grading and Storm Drainage Plan – Area “A”

44. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

45. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.02 Grading and Storm Drainage Plan – Area “B”

46. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

47. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.03 Grading and Storm Drainage Plan – Area “C”

48. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

MEMO – Sheet C3.04 Grading and Storm Drainage Plan – Area “D”

49. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

50. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.05 Grading and Storm Drainage Plan – Area “E”

51. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

MEMO – Sheet C3.06 Grading and Storm Drainage Plan – Area “F”

52. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

53. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.07 Grading and Storm Drainage Plan – Area “G”

54. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

55. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.08 Grading and Storm Drainage Plan – Area “H”

56. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

MEMO – Sheet C3.09 Grading and Storm Drainage Plan – Area “I”

57. Storm drainage easements required when crossing (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

58. Berm is at two very different elevations depending on which side of the pond you are limiting accessibility for maintenance.

**McAdams Response: The purpose of the flat area along the front slope of the SCM is to facilitate the sanitary sewer outfall with a workable cross-slope. The sanitary sewer outfall is located here to prevent very deep sewer in the streets. The location has been approved by the City of Raleigh.**

59. Low Point these will need to be collected, typ.

**McAdams Response: The grading for the lots will be more detailed on the construction drawings. These areas are not intended to be “low points” but will drain to the street and be collected in the storm drainage system.**

60. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

61. SCM easement should include entire berm for maintenance. Adjust to include.

**McAdams Response: The easement and SCM have been adjusted.**

MEMO – Sheet C3.10 Grading and Storm Drainage Plan – Area “J”

62. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.11 Grading and Storm Drainage Plan – Area “K”

63. Low Point these will need to be collected, typ.

**McAdams Response: The grading for the lots will be more detailed on the construction drawings. These areas are not intended to be “low points” but will drain to the street and be collected in the storm drainage system.**



64. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

65. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.12 Grading and Storm Drainage Plan – Area “L”

66. Verify grading in this area, Is this a high point or low point? Typ.

**McAdams Response: The grading for the lots will be more detailed on the construction drawings. These areas are not intended to be “low points”, but will drain to the street, or rear yard swales and be collected in the storm drainage system.**

67. Label existing contours for clarity.

**McAdams Response: Contours are now labeled.**

MEMO – Sheet C3.13 Grading and Storm Drainage Plan – Area “M”

68. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.14 Grading and Storm Drainage Plan – Area “N”

69. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

70. Verify grading in this area, Is this a high point or low point? Typ.

**McAdams Response: The grading for the lots will be more detailed on the construction drawings. These areas are not intended to be “low points” but will drain to the street and be collected in the storm drainage system.**

MEMO – Sheet C3.15 Grading and Storm Drainage Plan – Area “O”

71. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

72. Verify grading in this area, Is this a high point or low point? Typ.

**McAdams Response: The grading for the lots will be more detailed on the construction drawings. These areas are not intended to be “low points” but will drain to the street and be collected in the storm drainage system.**

73. SCM is being grading into the proposed MUP path.

**McAdams Response: The SCM grading has been adjusted out of the Greenway.**

MEMO – Sheet C3.16 Grading and Storm Drainage Plan – Area “P”

74. How are you proposing to swale drainage to inlets on slope.

**McAdams Response: A retaining wall has been added to this area to allow room for a swale.**

75. There is an inlet proposed in the middle of the proposed MUP location.

**McAdams Response: The inlet in question has been changed to junction box.**

76. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

77. Greenway is proposed in flood prone soils per survey.

**McAdams Response: A flood study is being conducted and will be submitted to Wake County.**

MEMO – Sheet C3.17 Grading and Storm Drainage Plan – Area “Q”

78. Greenway is proposed in flood prone soils per survey.

**McAdams Response: A local flood study is being prepared that may re-delineate the flood hazard soils.**

79. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C3.18 Grading and Storm Drainage Plan – Area “R”

80. Storm drainage easements are required when ditches cross (2) or more lots, typ.

**McAdams Response: Storm drainage easements have been added to the plans.**

MEMO – Sheet C4.01 Utility Plan – Area “A”

81. During CDs provide details at structure conflicting with the wall.

**McAdams Response: Noted. This will be a pipe penetration (inlet) at the proposed retaining wall to bypass off-site storm drainage through the site.**

MEMO – Sheet C4.08 Utility Plan – Area “H”

82. Move bends outside of NCDOT ROW when possible (move east).

**McAdams Response: The bends have been relocated outside the NCDOT ROW.**

MEMO – Sheet C4.11 Utility Plan – Area “K”

83. Turn street trees off in this sheet.

**McAdams Response: Apologies. This entire sheet was added to the set, in error. Sheet C4.11 has been corrected for this submittal.**

84. Zone 1 buffer line is missing on this sheet.

**McAdams Response: Apologies. This entire sheet was added to the set, in error. Sheet C4.11 has been corrected for this submittal.**

85. Eliminate the text conflicts.

**McAdams Response: Apologies. This entire sheet was added to the set, in error. Sheet C4.11 has been corrected for this submittal.**

86. Sheet title is wrong. Should be C4.11 Utilities instead of landscape.

**McAdams Response: Apologies. This entire sheet was added to the set, in error. Sheet C4.11 has been corrected for this submittal.**

#### MEMO – Sheet C8.01 Site Details

87. Please update the detail sheet to reflect the following.

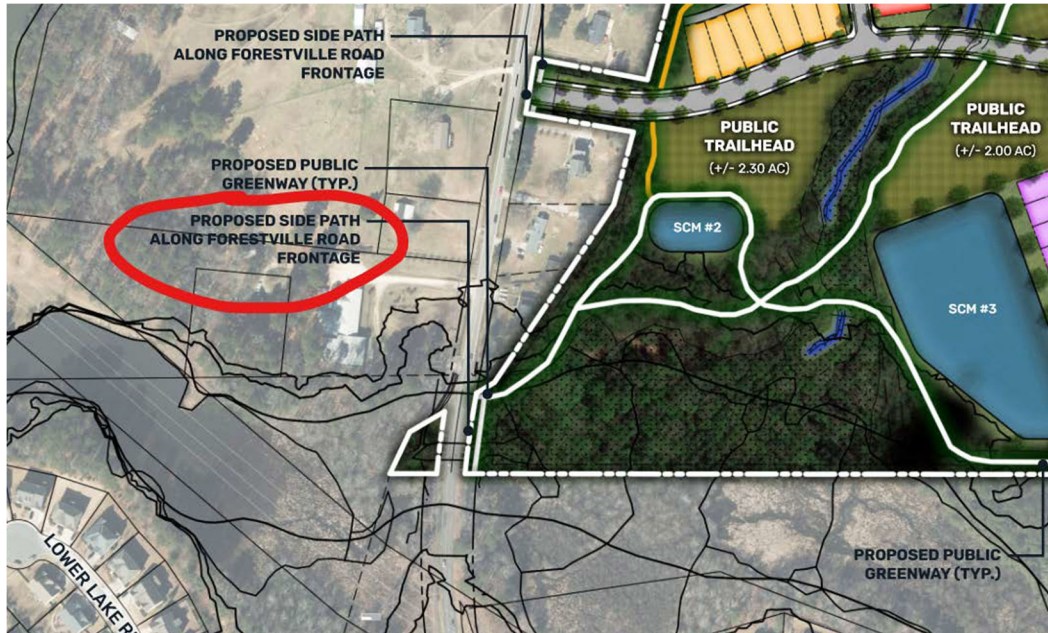
- > NCDOT sidewalk / curb ramps / notes (848.05)
- > Pedestrian ramps shall be designed and constructed to meet the latest requirements per NCDOT for pedestrian ramps located in public right-of-way. Pedestrian ramps located outside of right-of-way shall be designed and constructed to meet the latest accessibility requirements in the North Carolina Building Code.

**McAdams Response: All accessible ramp details have been replaced with the latest NCDOT standard drawings 840.06.**

## **PARKS & RECREATION**

### **Eddie Henderson**

1. Forestville Road / Sidepath – Revise plans to show 10' wide Sidepath per 2022 Greenway Plan (Pg 61 specifically). MA 21-10 (Rezoning) Concept Plan approved by Town Board shows Sidepath along Forestville; see PDF Exhibit of this.



**McAdams Response:** The location of the sidepath planned along Forestville Road would require a culvert extension or replacement to widen the shoulder of the road, and also encroach a wetland area. Is it possible to satisfy this requirement with a fee-in-lieu for the sidepath/greenway? Also, it seems that if Forestville Road is to be widened in the future, it would make more sense to install the sidepath at that time?

2. Burlington Mills Road / Sidepath & Bike Lanes – Revise to show both along ALL property frontages of Burlington Mills per 2022 Bike (pg 59-61 specifically) and Greenway Plan.

**McAdams Response:** The Off-Site Road Improvement plans will include the sidepath and bike lanes along Burlington Mills Road. See preliminary Road Improvement plans with this re-submittal for reference.

3. Crosswalk – Revise plans to show a crosswalk where the public Greenway trail ends across from the future Public Park site.

**McAdams Response:** This has been updated on the plans.

4. Trailhead(s) – Revise plans to clearly show/denote where the public trailheads are located (see MA 21-10 Concept Plan for guidance).

**McAdams Response:** Labels for public trailheads have been added to the overall site plan sheet and overall open space plan.

5. FYI Comment – During review of MA 21-10, (an earlier) version of Concept Plan was brought to the Parks and Recreation Advisory Board (PARAB). Staff intends to bring PSP-23-04 to PARAB for a review on Wednesday, January 24, 2024. Applicant is welcome to attend.

**McAdams Response:** Noted, thank you.

**PLANNING & ZONING – PLANNING STAFF & WITHERSRAVENEL****Karen Mallo****Liza Monroe**Summary Sheet Comments

1. Provide a written response to ALL the comments received; mark-up to mark-ups is OK.

**McAdams Response: This letter serves as the written responses to all comments.**

2. Revise the date on all materials, include original dates.

**McAdams Response: Revised dates are included in the Revision Block of all plan sheets.**

3. See PDF of written memo comments for 61 numbered comments.

**McAdams Response: Noted.**

4. See PDF of mark-up comments on the Plat set; many relate to the Memo comments.

**McAdams Response: Noted.**

MEMO – General Comments

1. Please clarify if a phasing plan is to be provided.

**McAdams Response: Phasing will be incorporated into the next plan submittal.**

2. Per LDO Section 6.2.1.G.11, in multi-phased developments, open space shall be provided for each phase in an amount sufficient to satisfy the open space requirements for the subject phase of development and all preceding phases of development.

**McAdams Response: Phasing will be incorporated into the next plan submittal.**

MEMO/PLAT MARKUPS - Cover Sheet

3. Add case number PSP-23-04 to the cover sheet.

**McAdams Response: We have added the case number to the title block of all sheets as well as the cover sheet.**

4. Within the Site Data Table, include the following:

- > Provide overall site acreage.
- > Provide parking space calculations, divided by use type.
- > Building Height.

**McAdams Response: Site area (222.83 ac) is located in the Site Data table on the cover sheet. Parking calculations have been added in a separate table and the building height max. has been added to the Lot Development Standards table.**

5. Total site area was noted as 222.94 in rezoning and annexation approval.

**McAdams Response: Site area is 222.83 ac per the most current survey data. All calculations based on overall site area have been updated accordingly.**

6. Regardless of what is required in the Ordinance (12%) or what is required per the rezoning (40%), these open space totals are not consistent when compared to the site acreage.

**McAdams Response: Per discussion with staff on 03/26/24, the open spaces shown on the open space plan and detailed in the corresponding data table are in compliance with the approved zoning document. The amount of active recreation area on site exceeds the standard code requirement (Min. ½ of the 12% requirement). A breakdown of uses and area descriptions has been included in the updated open space table on sheet C0.02.**

7. Please provide a box noting all previously approved applications and their appropriate conditions of approval.

**McAdams Response: General District Conditions, Architectural Standards and Transportation Improvements are listed on the cover sheet exactly as shown in the approved zoning document. These were shown on the initial submittal. Please confirm if additional information is needed.**

MEMO/PLAT MARKUPS - Sheet C0.01 Project Notes and Typical Sections

8. Please provide standard floodplain note with the correct FIRM panel reference and date.

**McAdams Response: Please see note #5 of the notes shown on the ALTA/NSPS survey sheet 1 of 1 for flood hazard area information.**

9. Please provide a typical lot layout graphic that showcases the location as well as the width of the driveways to be provided.

**McAdams Response: A typical lot layout detail has been added to sheet C2.00 showing typical lot setbacks.**

10. Per LDO Section 6.2.2.2.D.3, label the location of the grass strip required for street tree plantings.

**McAdams Response: The revised typical sections include 10-foot landscape buffer/easements shown outside the ROW.**

11. Please provide parking calculations for the overall site.

**McAdams Response: Parking calculations table has been added to the cover sheet.**

MEMO/PLAT MARKUPS - Open Space Plan

12. The table provided is incomplete. Please update to include a description for all open space types.

**McAdams Response: The table has been updated and all descriptions included.**

13. Label the zoning district and use of adjacent properties.

**McAdams Response: Zoning district and use information has been added to the labels of all adjacent properties.**

14. Per LDO Section 6.2.1.D.1.b, required open space shall include **at least** one (1) small or medium open space type and one (1) large open space type, or shall include one (1) small open space type and two (2) medium open space types. At least fifty (50) percent of dwelling units must be within one-half (1/2) mile of a medium or large park. Please demonstrate compliance or clarify within the table provided which open spaces are fulfilling this requirement.

**McAdams Response: The open space table has been updated to include open space type classifications and detailed descriptions based on proposed programming of qualifying small, medium and large open space areas.**

15. Per LDO Section 6.2.1.G.3, No two open space types shall be adjacent or within one hundred (100) feet of each other. Active use areas are exempted from this standard.

**McAdams Response: Per discussion with staff on 03/26/24, the open spaces shown on the open space plan and detailed in the corresponding data table are acceptable in their spacing.**

16. Per LDO Section 6.2.1.G.4, open spaces shall make accommodations to provide universal designs that can be enjoyed by different target users and provide for ADA accessibility. Please clarify how this is being provided and met.

**McAdams Response: A note has been added to sheet C0.02 that addresses universal designs and ADA accessibility for open space areas.**

17. Per LDO Section 6.2.1.G.5, Public seating shall be required. Public seating shall be appropriate to the intended use of the park area (i.e., benches may be appropriate for active spaces; Adirondack chairs and landscape terraces may be appropriate for passive spaces). Please label the location of these amenities.

**McAdams Response: A note has been added to sheet C0.02 that addresses public seating for open space areas.**

18. Per LDO Section 6.2.1.G.6, Refuse and recycling receptacles are required at each entrance and gathering space. Please label the locations and provide details.

**McAdams Response: A note has been added to sheet C0.02 that addresses refuse and recycling receptacles for open space areas.**

19. Per LDO Section 6.2.1.G.7, A maximum of fifty (50) percent of total required passive open space may be stormwater facilities. Any stormwater facility used toward that requirement shall be publicly accessible through improved or primitive trail.

- a. The applicant has noted a private trail with a dotted line. Please note that this private trail would be unable to be counted towards the 50% allocation.



- b. For this section, improved and primitive trails are defined below:
- Improved Trail. An improved trail shall be defined as a clearly marked, paved, impervious trail.
  - Primitive Trail. A primitive trail shall be defined as an unpaved, pervious trail that consists of mulch, crushed stone, or similar material.

**McAdams Response: Stormwater pond "A" has been removed from the calculations for open space. Per discussion with staff on 03/26/24, the remaining SCMs that are counted toward the open space allocation for this site qualify as open space given that trail access (both improved and primitive) has been provided in a manner acceptable by staff. The stormwater control measure open space allocations are detailed in the updated open space table on sheet C0.02.**

20. Per LDO Section 6.2.1.G.8, A maximum of twenty (20) percent of total passive open space may be environmentally sensitive or unique lands such as wetlands, protected stream buffers, rock outcroppings, and floodplains. Please demonstrate compliance.

**McAdams Response: Passive open space within environmentally sensitive or unique lands has been capped at 18.20 ac to not exceed the 20% maximum requirement. This has been detailed in the updated open space table on sheet C0.02.**

21. Per LDO Section 6.2.1.G.12, A minimum of fifty (50) percent of all required open space shall be dedicated and designed to allow for active recreation features. Please refer to Table 6.2.1.3 for the identified list of these features.

- a. Active recreation is defined as recreational features, often requiring equipment and taking place at prescribed places, sites or fields, which allow for the active recreational needs of residents or users of the development which they serve.
- b. Passive recreation is defined as recreational features that do not require prepared facilities like sports fields or pavilions and require minimal disruption to a site. These include such activities as walking paths and other features defined in Table 6.2.1.3.

**McAdams Response: The area of open space dedicated and designed to allow for active recreation features is in conformity with the approved zoning documents and is in excess of LDO requirements for the site's zoning district (1/2 of 12% for Residential Medium Density per 6.2.1.D.1, as confirmed by staff on November 15, 2022). The updates discussed with staff on March 26, 2024, regarding the table describing open space areas and their uses have been integrated on Sheet C0.02.**

22. LDO Section 6.2.1.J describes specific requirements regarding greenways that are to be adopted into the Town's overall system. Those standards are as follows:

- a. All greenways shall include a multi-use path of a minimum of ten (10) feet wide within a dedicated right-of-way or public easement of at least fifty (50) feet. Greenways shall be wide enough to accommodate a variety of pedestrian mobility, including walkers, hikers, joggers, and bicyclists. An alternative may be granted to reduce the minimum easement of at least fifty (50) feet to thirty (30) feet if site constraints



including topography and/or environmental features do not allow for a fifty (50) easement. Cost shall not be considered a site constraint.

- b. Greenway connectors shall be a minimum of ten (10) feet wide.
- c. Where land is designated as part of the town's adopted greenway system, a comprehensive greenway and trail plan demonstrating compliance with this section shall be required.
- d. Sidewalks shall not be constructed in place of required greenways.
- e. For land designated as part of the adopted greenway/bikeway system, greenways shall provide basic amenities for all targeted users. Such greenways shall provide at least three (3) of the following: Drinking fountains, restrooms, trash receptacles, benches, bicycle racks, and shade structures. Way station facilities may also be considered for greenways. These facilities may also include small buildings/kiosks containing exhibits and/or minor food provisions. **Land not designated as part of the town's adopted greenway/bikeway system is not required to meet this requirement.**
- f. Land area dedicated as a greenway shall be credited towards applicable open space percentage requirements in Section 6.2.1. Greenways are a passive feature.

**McAdams Response: All public greenways are shown within 30' easements given the site constraints. Greenway and primitive trails have been credited toward the required open space calculations. Greenways that act as a chain between active open space areas and enhance the overall open space network of the site have been shown as active open space per our discussion with staff on 03/26/24. Remaining greenways and primitive trails have been shown as passive open space area and credited toward our calculations accordingly.**

#### MEMO/PLAT MARKUPS - Existing Conditions

23. Label demolition proposed (on this sheet or separate if existing conditions under demolition are illegible).

**McAdams Response: A separate demolition plan has been added to the set (sheet C1.01) and labels all impervious areas and areas to be removed.**

24. Label impervious surface as there is over 17,000 square feet noted to be on site on the **cover sheet**.

**McAdams Response: All impervious surface has been labeled on the existing conditions sheet (gravel drives, structures, debris piles, etc.)**

25. Provide the zoning districts of the site and adjacent properties to confirm buffer requirements.

**McAdams Response: Current zoning and uses have been added to all adjacent parcel labels as well as the project parcel labels.**

26. Label setbacks.

**McAdams Response: Perimeter setbacks are labeled on sheet.**

27. Label existing vegetation (with general description and location).

**McAdams Response: A tree survey is in the process of being completed and will be included on a future submittal.**

28. Label all vegetation that is proposed to be removed, especially those that require replacement per LDO Section 6.2.4.5.

**McAdams Response: A tree survey is in the process of being completed and will be included on a future submittal.**

MEMO/PLAT MARKUPS - Preliminary Plat and Pavement Markings

29. Any stormwater facility used toward the passive open space requirement shall be publicly accessible through improved or primitive trail.

**McAdams Response: Stormwater pond "A" has been removed from the calculations for open space. Per discussion with staff on 03/26/24, the remaining SCMs that are counted toward the open space allocation for this site qualify as open space given that trail access has been provided in a manner acceptable by staff. The stormwater control measure open space allocations are detailed in the updated open space table on sheet C0.02.**

30. Label all setbacks for the overall site.

**McAdams Response: Perimeter setbacks have been added. Other setbacks are shown on other sheets.**

31. Label required streetscape buffer width and location.

**McAdams Response: Streetscape buffer width and location call outs have been added to the site plan sheets.**

32. Several open spaces (noted on plan set) are not approved open spaces per the Concept Plan. Please revise to ensure compliance.

**McAdams Response: Per discussion with staff on 03/26/24, the open spaces listed as not approved are acceptable as part of our open space allocation. Small open space lots 24-26 from the previous submittal have been removed as they did not meet code requirements.**

33. Mail kiosk parking areas are not clearly labeled and will require signage. Please update plans for compliance.

**McAdams Response: The locations of mail kiosks and associated parking areas are forthcoming in a future submittal.**

34. A fence is required with a Type 2 Buffer. Please label the location of the fence on all applicable plan sheets.

**McAdams Response: The majority of our Type 2 buffers will remain undisturbed. In areas where there will be disturbance or removal of existing vegetation, we only may disturb a portion of the 100' LF section. We have concern of adding small sections of fence sporadically throughout the buffer length (i.e., we may only have sections where a fence is 20' long, which would seem odd between two existing stands of**

vegetation). We would like to request consideration of additional evergreen planting material in lieu of a 6' fence. We have updated our buffer detail to include 3 additional evergreen understory trees in lieu of the 6' fence. Please let us know if you are open to this consideration and if not, please let us know what kind of alternatives to fencing or walls would be appropriate.

35. Building envelopes should be free of all easements. Please revise.

**McAdams Response: All building setback/envelopes have been revised and removed from easements.**

MEMO/PLAT MARKUPS - Grading and Erosion Control

36. Label impervious surfaces (label and provide calculations).

**McAdams Response: Please see the Site Data Table shown on the Cover Sheet for existing and proposed impervious areas.**

37. Label existing vegetation (types and locations) as required per LDO Section 6.2.4.5.

**McAdams Response: A tree survey is in the process of being completed and will be included on a future submittal.**

38. Label all retaining walls with top and bottom of wall elevations (wall detail required for construction drawings).

**McAdams Response: All retaining walls show top and bottom of wall elevations along the wall.**

39. Label tree protection fencing location (reference detail location if on separate sheet).

**McAdams Response: Tree protection fencing is now shown on all grading sheets and detail is referenced in the legend (Sheet C8.00).**

40. Label critical root zones as required per LDO Section 6.2.4.

**McAdams Response: A tree survey is in the process of being completed and will be included on a future submittal.**

41. Advisory Comment: Erosion Control design shall meet Wake County standards. Please reference the Wake County Sediment and Erosion Control Construction Checklist.

**McAdams Response: Noted.**

MEMO/PLAT MARKUPS - Utility Plan Sheet

42. Label all above-ground utilities and equipment (screened and with details) as required by LDO Sections 6.2.4 and 9.2.6.

**McAdams Response: Above ground utilities are shown on the plans per LDO Section 9.2.6. There is no proposed above ground screening per LDO Section 6.2.4.**

43. Label tree protection fencing location (reference detail location if on separate sheet).

**McAdams Response: Tree protection fencing is now shown on all utility sheets and detail is referenced in the legend (Sheet C8.00).**

44. Advisory Comment: Sewer and water design are to meet the City of Raleigh Public Utility standards.

**McAdams Response: Noted.**

MEMO/PLAT MARKUPS - Site Details

45. Provide the following details: bicycle rack details, parking space detail, fence details, and tree protection detail.

**McAdams Response: Details have been added to sheet C8.00 and parking spaces have been dimensioned on the site plan sheets.**

MEMO/PLAT MARKUPS - Landscape Plan

The Plat has provided some landscape calculations but is not showing landscaping on the plan sheets themselves. This includes streetscape buffering, perimeter buffering, street trees, or even the location of existing vegetation. For this reason, please see the below comments to help aid in creating a more appropriate preservation & landscape plan submittal.

46. Provide tree calculation boxes for the following calculations: Street trees required and provided, buffer landscaping required and provided, and streetscape buffer landscaping required and provided.

**McAdams Response: Calculations for landscape requirements are provided on sheet L5.19.**

47. Streetscape buffer landscaping shall be provided in accordance with LDO Section 6.2.2.2. Please refer to this Section for all requirements and context. The following standards are ones that need to be reflected on the plans at this time:

- a. Per LDO Section 6.2.2.2, The width of the streetscape buffer shall be at least thirty (30) feet for thoroughfares, fifteen (15) feet for collectors, and ten (10) feet for local streets as measured from the right-of-way line.
- b. The width of the streetscape buffer shall be at least thirty (30) feet for thoroughfares, fifteen (15) feet for collectors, and ten (10) feet for local streets as measured from the right-of-way line.
- c. If the streetscape is disturbed or non-vegetated, the property owner or developer shall install and maintain the following vegetation every forty (40) linear feet of frontage. Along collector streets, this vegetation may be installed up to every fifty (50) linear feet of frontage. Along local streets, this vegetation may be installed up to every sixty (60) linear feet:
  - i. One (1) street tree of two (2) and one-half (1/2) inches in caliper; or,
  - ii. Two (2) understory ornamental type trees one-and-one-half (1.5) inches in caliper (this option is used only with overhead utility lines).
  - iii. Small trees shall be located under overhead power lines. Such small trees shall be at least one-and-one-half (1.5) inches in caliper at the time of installation and two such trees shall be installed or

maintained for every forty (40) linear feet of streetscape, rather than one (1) larger tree per forty (40) feet required above.

- d. Trees shall not be planted between the curb and sidewalk (a grass strip is required). Please ensure the grass strip is also labeled on pavement typicals.
- e. Each large canopy tree in the streetscape shall be provided with at least three-hundred-and-fifty (350) square feet of pervious ground area for root growth. Any planting area bounded by an impervious surface shall be at least ten (10) feet wide.

**McAdams Response: Streetscape buffer landscaping has been provided in accordance with the listed requirements. Please see the L-series for locations and L5.19 for street calculations.**

48. Please a detailed plant list keyed to plan and showing what requirement each plant will fulfill, caliper size and height of plants, condition of root ball, common name and botanical name, number of each plant.

- a. When twenty (20) or more canopy or accent trees are required to be planted on a site to meet the standards of this LDO, a mix of genera shall be provided as shown in Table 6.2.4.3

Total Trees Planted on Site	Minimum Number of Genera Required	Maximum Percentage of any Genera
<b>20 or less</b>	<b>1</b>	<b>Not applicable</b>
<b>21-50</b>	<b>2</b>	<b>60 percent</b>
<b>51-100</b>	<b>3</b>	<b>50 percent</b>
<b>101 or more</b>	<b>4</b>	<b>40 percent</b>

**McAdams Response: An updated plant schedule on sheet L5.19 provides the requested information. There are more than 4 genera if species provided. We understand that some of the species proposed are not currently on the approved tree species list. However, we kindly request that additional species be considered and approved for this project. Due to the large size of the project our goal would be to provide more biodiversity and interest throughout the development. This not only increases the overall health and success of the street trees but also aids in species availability during construction.**

49. Per LDO Section 6.2.4.2.A., a Preservation Plan is required. This can also be on the landscape plan sheet, but Staff would suggest this be its own plan sheet as it must include all the following:

- a. A tree and/or vegetative survey preferred to be prepared by a Certified Arborist (LDO Section 6.2.4.5B)
- b. The plan must show there will be no disturbance within a critical root zone of trees, as defined in the LDO.
- c. A critical root zone shall be protected from encroachment and damage. The preferred method is to restrict access by installing a barrier to keep materials, people, or equipment out of the critical root zone, as required in the preservation standards above.
- d. Barriers shall be accompanied by temporary signs labeling the critical root zone.

- e. The critical root zone area shall remain free of all building materials and debris.
- f. The plan shall include a location plan and boundary line survey of the property.
- g. The plan shall show the size, location, and species of trees.
- h. The plans shall show areas where trees, vegetation, and soils are to be protected and preserved and areas where trees, vegetation, and soil are to be removed or modified.
- i. The plan shall graphically identify each tree to be saved or removed.
- j. The plan shall demonstrate compliance with all vegetation preservation standards of LDO Section 6.8.4.5C.
- k. Tree protection fencing location (reference detail location if on separate sheet).

**McAdams Response: A tree survey is in the process of being completed and will be included on a future submittal. This survey will inform the required preservation plan that will be included on a future submittal, as well.**

50. Per LDO Section 6.2.4.5.B, preservation standards, to be represented and confirmed with the tree survey and landscape, include:

- a. Deciduous and evergreen trees shall be preserved to the greatest extent possible. At least ten (10) percent of all existing trees in good health (as determined by a professional arborist) shall be preserved within developments that are two (2) acres or greater in size, excluding non-native invasive plants as listed by the US Forest Service or the NC Forest Service.
- b. Within applicable sites, evergreen trees at least twenty (20) inches diameter at breast height and deciduous trees at least eighteen (18) inches diameter at breast height, and in good health (as determined by a professional arborist), and within required buffering and landscaping areas, shall be tagged prior to any site clearance and be preserved to the greatest extent possible.
- c. In any case where removal of a qualifying evergreen or deciduous tree from subsection (2) is required for site development, it shall be replaced on-site with at least four (4) or more trees of similar species and size.
- d. Trees sixty (60) inches diameter at breast height and in good health based upon a professional arborist, must be preserved to the greatest extent possible and not be removed. If removal is required for site development, diameter at breast height shall be replaced one (1) for one (1) using a minimum of three (3) inch caliper trees on site. Existing buffers and canopy may be used for up to twenty- five (25) percent of replacement.

**McAdams Response: Thank you for providing these details. As noted in previous comment, a tree survey is in the process of being completed and will be included on a future submittal. This survey will inform the required preservation plan that will be included on a future submittal, as well.**

51. A 6-foot fence is required for a Type 2 buffer according to LDO Section 6.2.2.1. Label fence location and provide a detail.

- a. Fences and walls shall be constructed of high-quality materials including brick and stone, stucco over concrete masonry blocks, treated wood, wrought iron/aluminum, composite fencing, or PVC vinyl.
- b. The finished side of the fence shall face the adjoining property.
- c. Fences/walls shall be placed at the rear of a buffer, so the adjoining property benefits from the view.

- d. All fences and walls shall comply with the standards of Section 6.5: Fences, Walls, and Berms.

**McAdams Response: The majority of our Type 2 buffers will remain undisturbed. In areas where there will be disturbance or removal of existing vegetation, we only may disturb a portion of the 100' LF section. We have concern of adding small sections of fence sporadically throughout the buffer length (i.e., we may only have sections where a fence is 20' long, which would seem odd between two existing stands of vegetation). We would like to request consideration of additional evergreen planting material in lieu of a 6' fence. We have updated our buffer detail to include 3 additional evergreen understory trees in lieu of the 6' fence. Please let us know if you are open to this consideration and if not, please let us know what kind of alternatives to fencing or walls would be appropriate.**

#### MEMO/PLAT MARKUPS - Lighting Plan

A lighting plan was not provided by the applicant though it is required per LDO Section 6.6.F to be included with the site plan submittal. The following comments are being made to assist the applicant in the submittal of these drawings.

52. A lighting plan is required per LDO Section 6.6.F. It shall be prepared, signed, and sealed by a licensed engineer.

It shall be of an engineered scale that is easily legible and include the following:

- a. Title of project.
- b. Professional seal.
- c. Dimensions, scale, and north arrow.
- d. All proposed and existing buildings on the site.
- e. Pedestrian and vehicular areas.
- f. Other above-ground improvements.
- g. The horizontal location of all proposed and existing outdoor lighting fixtures, including pole and wall-mounted fixtures.
- h. Mounting heights of each fixture.
- i. Overall height of each pole above grade.
- j. Location of externally illuminated signs and associated fixtures.
- k. The location of all architectural and landscape lighting fixtures.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

53. Please ensure that the Photometrics/Lighting Plan is compliant with LDO Section 6.6.F.1.

- a. The manufacturer's cut sheets (specifications) for each proposed fixture must be submitted.
- b. Clearly label the mounting heights of each fixture.
- c. Clearly label the overall height of each pole above grade.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

54. Lighting plans shall be specified and calculated in maintained footcandles (FC). Measurements of light levels shall be taken at finished grade with an accurate and calibrated light meter – LDO 6.6.F.3.



**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

55. The plan must include a footcandle plan that provides typical footcandle contours and a point photometric grid that indicates footcandle levels measured at grade across the site. Maximum, average, and minimum site foot-candles, uniformity ratio (average and minimum), and depreciation factors also are required. The plan must show initial horizontal illuminance values in foot-candles for the area to be illuminated. These values must be calculated at grade and include contributions from all onsite fixtures.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

56. The plan must plot foot-candles of illumination at ground level to the nearest tenth of a foot-candle, and at horizontal grid intervals of no more than ten (10) feet.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

57. The plan shall show illumination level at the lot line (or perimeter of a development, if applicable) to ensure maximum illumination levels are not exceeded.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

58. A lighting fixture schedule that presents the following information: Fixture type, including the manufacturer's product identification catalog number and fixture mounting height.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

59. In accordance with LDO Section 6.6.G.10, full cut-off lighting shall be provided in loading areas. The plans should be revised to provide cut-off/shield details and demonstrate compliance.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

60. Building façade and accent lighting will not be approved unless the light fixtures are carefully selected, located, aimed, and shielded so that light is directed only onto the building façade and spillover light is negligible.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

61. Lighting design shall be coordinated with the landscape plan to ensure that vegetation growth will not substantially impair the intended illumination.

**McAdams Response: A lighting plan is in process and will be included on a future submittal.**

## **WAKE COUNTY WATERSHED MANAGEMENT**

**Janet Boyer**

1. No comments were received; please contact Wake Co. Watershed Management to ensure compliance with stormwater management regulations under their purview that affects this development.

**McAdams Response: Noted.**



**NCDOT****Jacob Nicholson**

1. A 16.1b Encroachment Agreement and Driveway Permit will be needed.

**McAdams Response: Noted. Roadway construction drawings are being developed and will be submitted for 2-party Encroachment Agreement and Driveway Permit in the coming months.**

2. The plans submitted to NCDOT should reflect Congestion Management's TIA recommendations.

**McAdams Response: Roadway construction drawings are being developed for the improvements required by NCDOT Congestion Management's review of the TIA.**

**COR PUBLIC UTILITIES****Tim Beasley**Sheet C3.09 Grading and Storm Drainage Plan – Area "I"

1. SS extension and storm water device are in conflict. SS should not be located with the SCM structure.

**McAdams Response: Per an email dated 1/12/2024 from Tim Beasley, the sanitary sewer is allowed as long as the slope easement doesn't exceed 3:1 and the storm water management easement does not overlap with the utility easement. These conditions have been met on the re-submitted plans.**

Sheet C4.00 Overall Utility Plan

2. Again, SS should be extended to the upstream adjacent parcels. An extension to Rocky Knoll here would likely work.

**McAdams Response: A sanitary sewer extension to Rocky Knoll Lane has been added to the revised plans.**

3. Will need a SS extension here to serve these two parcels.

**McAdams Response: A sanitary sewer extension has been added through Open Space 8 to serve the Faison parcels.**

4. As discussed previously a Downstream Sewer Capacity Analysis is required for this development prior to CD approval. Any necessary improvements identified with the study should be designed and permitted with the CDs. You may want to make a note for this on the preliminary plat.

**McAdams Response: Downstream sewer capacity analysis is being prepared and will be provided at next submittal.**

Sheet C4.04 Utility Plan – Area "D"

5. If these are upstream adjacent SS should be extended.

**McAdams Response: A sanitary sewer extension to serve the parcels on the west side of the site has been added to the plans.**

Sheet C4.08 Utility Plan – Area “H”

6. SS needs to be extended to these upstream adjacent parcels.

**McAdams Response: A sanitary sewer extension has been added to serve adjacent parcels.**

Consideration of this response is greatly appreciated. If you should have any questions or require additional information, please do not hesitate to contact me at 919. 361. 5000.

Sincerely,

**MCADAMS**



Mike Sanchez, PE  
Group Manager, Residential

MS/tp