

WAKE MED

REZONING CONCEPT PLAN PACKAGE
PREPARED FOR: TOWN OF ROLESVILLE, NC
TOWN PROJECT NUMBER:

DEVELOPER/CONTRACT PURCHASER:

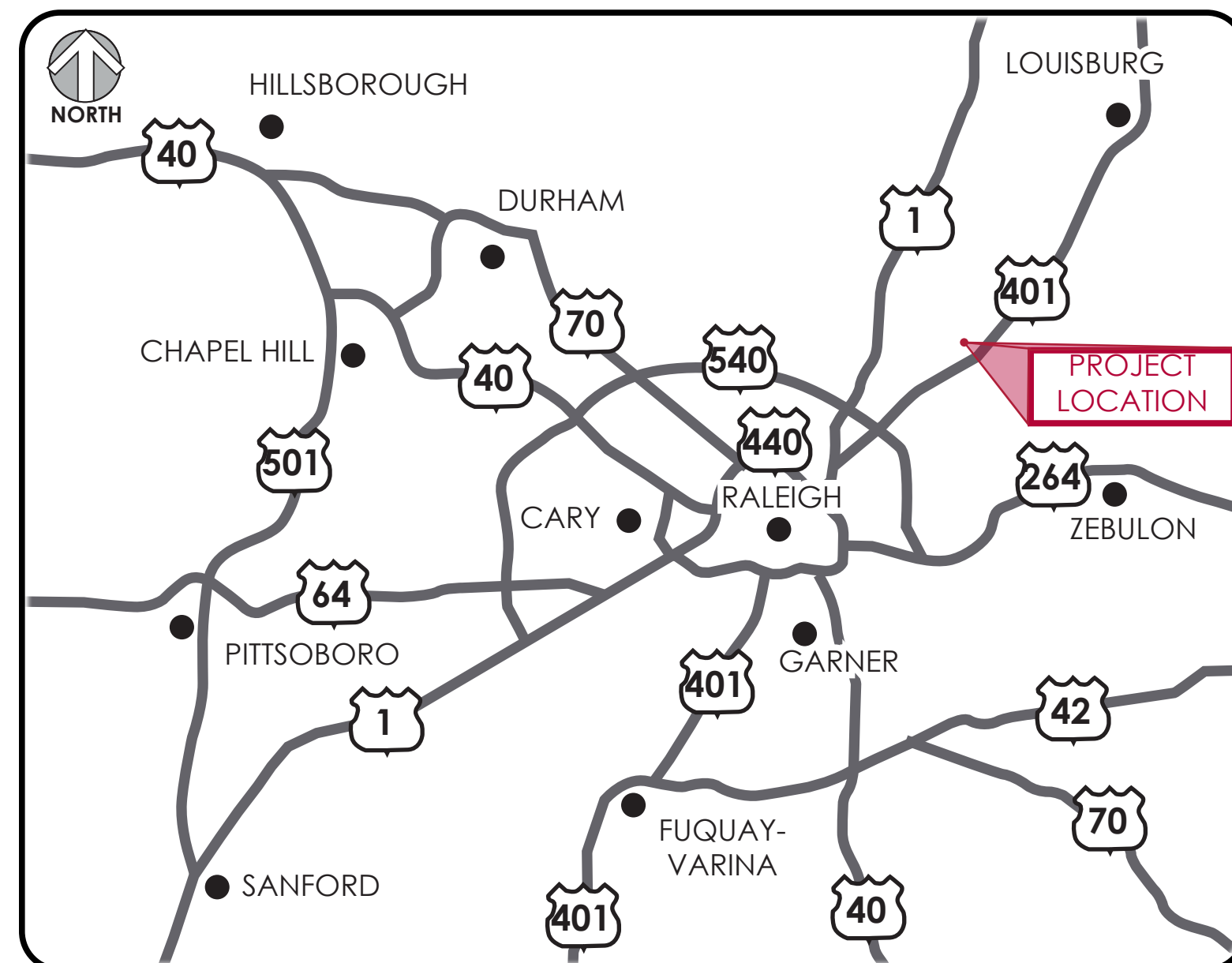


WAKEMED HEALTH & HOSPITALS
3128 SMOKETREE CT
RALEIGH, NC 27604

CONCEPT PLAN SHEET INDEX:

- MP-01 EXISTING CONDITIONS MAP
- MP-02 EXISTING SITE BOUNDARY SURVEY
- MP-03..... CONCEPTUAL LAND USE PLAN
- MP-04..... MASTER CONCEPT PLAN
- MP-05..... CONCEPT STORM WATER & UTILITY PLAN
- MP-06..... STREET TYPOLOGY SECTIONS

VICINITY MAP



NOT TO SCALE

APPLICANT / CONSULTING TEAM:



421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
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EMAIL: Richard.Brown@kimley-horn.com



150 FAYETTEVILLE STREET, SUITE 2300
RALEIGH, NC 27601
CONTACT: TOBY COLEMAN
PHONE: (919) 821-6778
EMAIL: tcoleman@smithlaw.com

PROJECT LOCATION MAP

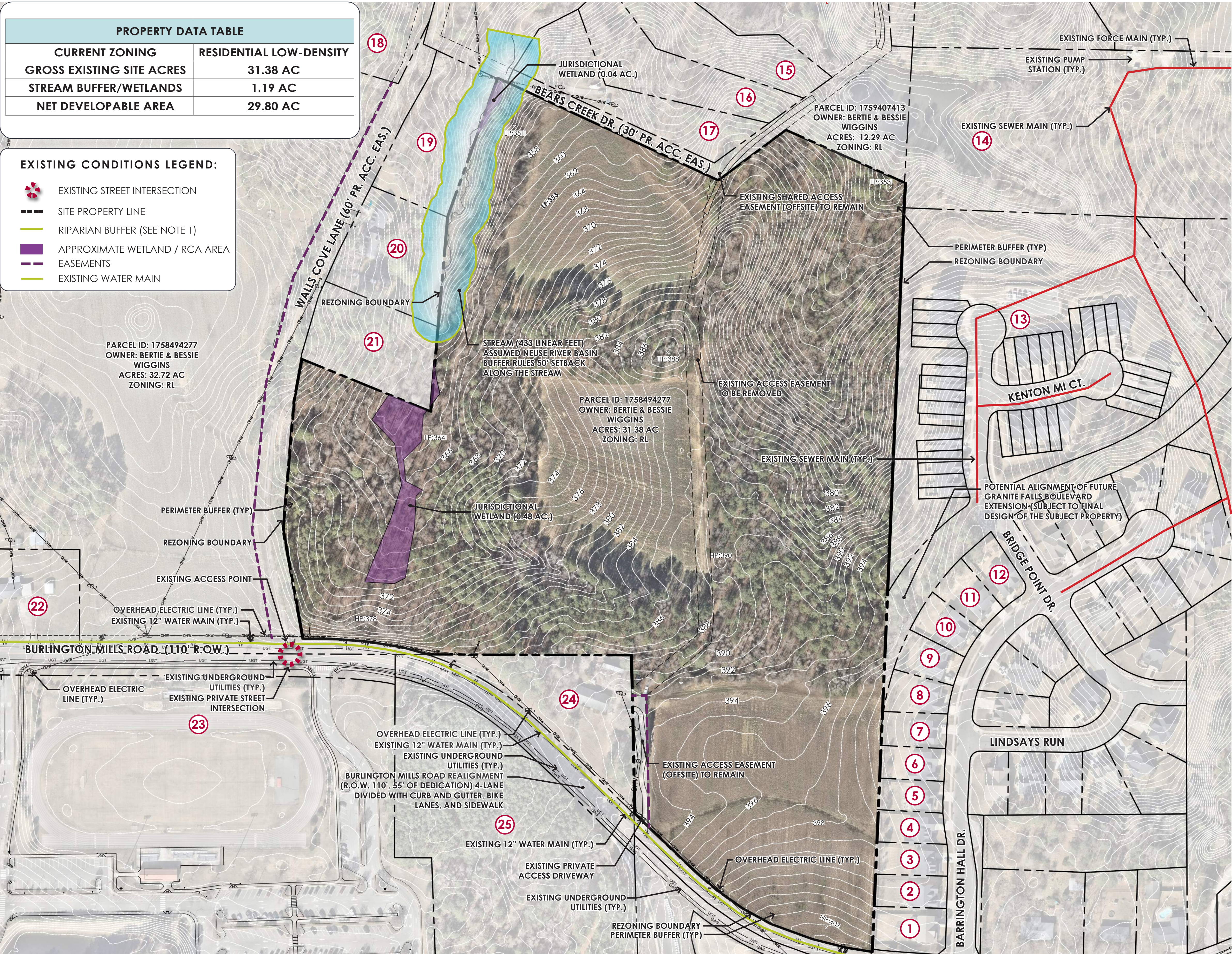


NOT TO SCALE

PROPERTY DATA TABLE	
CURRENT ZONING	RESIDENTIAL LOW-DENSITY
GROSS EXISTING SITE ACRES	31.38 AC
STREAM BUFFER/WETLANDS	1.19 AC
NET DEVELOPABLE AREA	29.80 AC

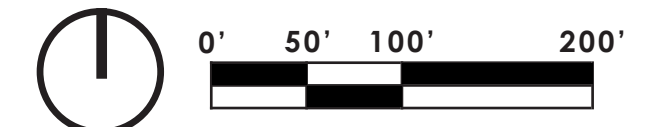
EXISTING CONDITIONS LEGEND:

- EXISTING STREET INTERSECTION
- SITE PROPERTY LINE
- RIPARIAN BUFFER (SEE NOTE 1)
- APPROXIMATE WETLAND / RCA AREA
- EASEMENTS
- EXISTING WATER MAIN



- ADJOINING PROPERTIES:**
- PROPERTY OWNER: JASON & JULIA DAVIS
PIN: 1758584300
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: WILLIAM & SUSAN RACHIS
PIN: 1758584318
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: WILLIAM & SHARON THAXTON
PIN: 1758584414
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: WILLIAM & BREANNA JOHNSON
PIN: 1758584510
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: ADAM & KATHRYN RIDGE
PIN: 1758584517
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: JAMES & AMELIA MOUNT
PIN: 1758584613
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: LEONARD & TONI KENION
PIN: 1758584710
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: MONSEBULA & MATONDO LESANGA
PIN: 1758584727
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: HAI & KHANH TRAN
PIN: 1758584844
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: JORDAN & NATIA AKINS
PIN: 1758584981
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: ROBERT & AMY HARKEY
PIN: 1758585927
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: JAMES RHODES
PIN: 1758595082
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: BARRINGTON TOWNES HOMEOWNERS
PIN: 1758596553
ZONING: R&PUD
USE: RESIDENTIAL
 - PROPERTY OWNER: NEW OXFORD DEVELOPMENT CO. LLC.
PIN: 1758598900
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: BERTIE WIGGINS
PIN: 1759409123
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: BERTIE WIGGINS
PIN: 1759408017
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: BERTIE WIGGINS
PIN: 1758498953
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: BEVERLY & BESSIE DIXON
PIN: 1759402396
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: JAMES WALL
PIN: 1758494848
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: JENNIFER & SIDNEY GREGORY
PIN: 1758493655
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: BERTIE WIGGINS
PIN: 1758493416
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: ERMA CHAMPION & KATHY MOSS TRUSTEE
PIN: 1758386918
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: WAKE COUNTY BOARD OF EDUCATION
PIN: 1758387160
ZONING: RO
USE: RESIDENTIAL OFFICE
 - PROPERTY OWNER: WILLARD & BARBARA PARK
PIN: 1758487746
ZONING: RL
USE: RESIDENTIAL
 - PROPERTY OWNER: BROTHERS FORTY SIX LLC.
PIN: 1758486155
ZONING: GC-CZ
USE: GENERAL COMMERCIAL

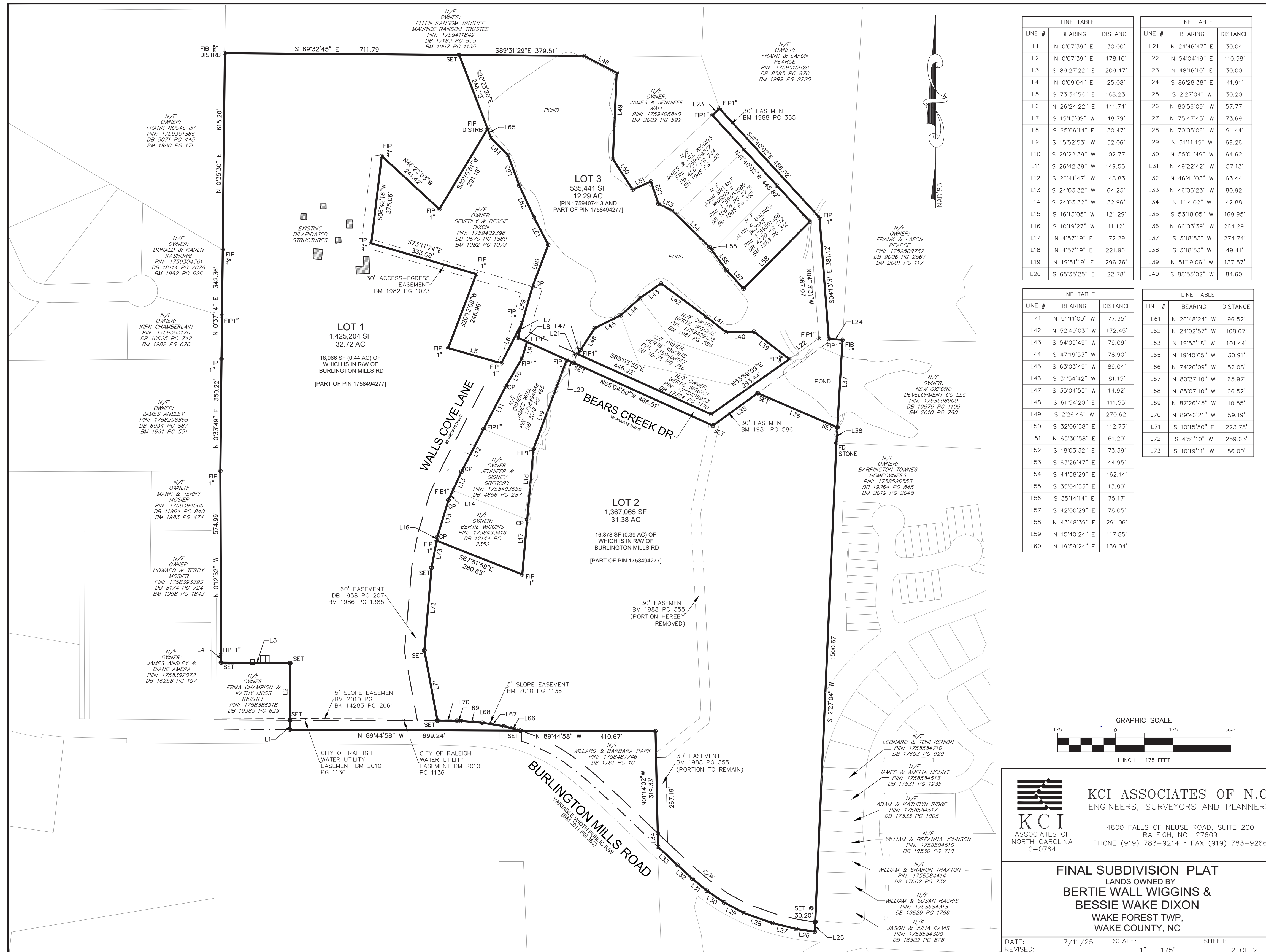
- EXISTING CONDITIONS NOTES:**
- Streams and wetland and jurisdictional determinations have been preliminarily mapped by Kimley-Horn and Associates. Applicability and status of these features will be confirmed and reviewed by NCDENR and the Army Corps of Engineers prior to development.
 - All base data has been provided by Wake County GIS and shall be confirmed with a topographic and boundary survey prior to development of construction drawings.
 - This diagram does not consider subsurface conditions such as utilities, unsuitable soils, rock or other elements that may influence the detailed design or the location of infrastructure. A preliminary soils, geotech or similar investigation should inform the final design.
 - Adjacent property information based on Wake County Register of Deeds.
 - Plano metric information based on publicly available information from the Wake County Geographical Information Systems Database.
 - Topographic information based on publicly available information from the Wake County Geographical Information Systems Database.
 - All easement information shown is per publicly available information from the Wake County Geographical Information Systems Database.
 - Per FIRM Map 3720175800k, Panel: 1758, and FIRM Map 3720175900k, Panel: 1759 there are no FEMA floodplains located on the subject property.



Kimley & Horn

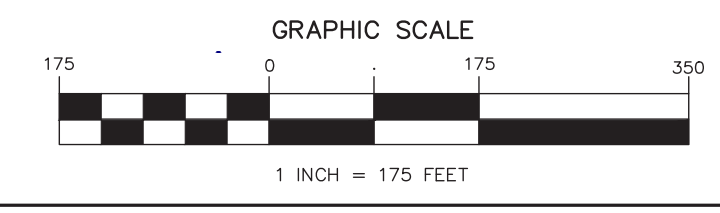


REV DATE	SHEET
	MP-01



LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
L1	N 0°07'39" E	30.00'	L21	N 24°46'47" E	30.04'
L2	N 0°07'39" E	178.10'	L22	N 54°04'19" E	110.58'
L3	S 89°27'22" E	209.47'	L23	N 48°16'10" E	30.00'
L4	N 0°09'04" E	25.08'	L24	S 86°28'38" E	41.91'
L5	S 73°34'56" E	168.23'	L25	S 2°27'04" W	30.20'
L6	N 26°24'22" E	141.74'	L26	N 80°56'09" W	57.77'
L7	S 15°13'09" W	48.79'	L27	N 75°47'45" W	73.69'
L8	S 65°06'14" E	30.47'	L28	N 70°05'06" W	91.44'
L9	S 15°52'53" W	52.06'	L29	N 61°11'15" W	69.26'
L10	S 29°22'39" W	102.77'	L30	N 55°01'49" W	64.62'
L11	S 26°42'39" W	149.55'	L31	N 49°22'42" W	57.13'
L12	S 26°41'47" W	148.83'	L32	N 46°41'03" W	63.44'
L13	S 24°03'32" W	64.25'	L33	N 46°05'23" W	80.92'
L14	S 24°03'32" W	32.96'	L34	N 1°14'02" W	42.88'
L15	S 16°13'05" W	121.29'	L35	S 53°18'05" W	169.95'
L16	S 10°19'27" W	11.12'	L36	N 66°03'39" W	264.29'
L17	N 4°57'19" E	172.29'	L37	S 31°8'53" W	274.74'
L18	N 4°57'19" E	221.96'	L38	S 31°8'53" W	49.41'
L19	N 19°51'19" E	296.76'	L39	N 51°19'06" W	137.57'
L20	S 65°35'25" E	22.78'	L40	S 88°55'02" W	84.60'

LINE #	BEARING	DISTANCE	LINE #	BEARING	DISTANCE
L41	N 51°11'00" W	77.35'	L61	N 26°48'24" W	96.52'
L42	N 52°49'03" W	172.45'	L62	N 24°02'57" W	108.67'
L43	S 54°09'49" W	79.09'	L63	N 19°53'18" W	101.44'
L44	S 47°19'53" W	78.90'	L64	N 19°40'05" W	30.91'
L45	S 63°03'49" W	89.04'	L65	N 74°26'09" W	52.08'
L46	S 31°54'42" W	81.15'	L66	N 80°27'10" W	65.97'
L47	S 35°04'55" W	14.92'	L67	N 85°07'10" W	66.52'
L48	S 61°54'20" E	111.55'	L68	N 87°26'45" W	10.55'
L49	S 2°26'46" W	270.62'	L69	N 89°46'21" W	59.19'
L50	S 32°06'58" E	112.73'	L70	S 10°15'50" E	223.78'
L51	N 65°30'58" E	61.20'	L71	S 45°11'00" W	259.63'
L52	S 18°03'32" E	73.39'	L72	S 10°19'11" W	86.00'
L53	S 63°26'47" E	44.95'			
L54	S 44°58'29" E	162.14'			
L55	S 35°04'53" E	13.80'			
L56	S 35°14'14" E	75.17'			
L57	S 42°00'29" E	78.05'			
L58	N 43°48'39" E	291.06'			
L59	N 15°40'24" E	117.85'			
L60	N 19°59'24" E	139.04'			



KCI ASSOCIATES OF N.C.
ENGINEERS, SURVEYORS AND PLANNERS

4800 FALLS OF NEUSE ROAD, SUITE 200
RALEIGH, NC 27609
PHONE (919) 783-9214 • FAX (919) 783-9266
C-0764

FINAL SUBDIVISION PLAT
LANDS OWNED BY
BERTIE WALL WIGGINS & BESSIE WAKE DIXON
WAKE FOREST TWP,
WAKE COUNTY, NC

DATE: 7/11/25
REVISED: SCALE: 1" = 175'
SHEET: 2 OF 2

METES AND BOUNDS DESCRIPTION:
A PARCEL OF LAND LOCATED IN WAKE FOREST TOWNSHIP, WAKE COUNTY, NC AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT IN THE CENTERLINE OF BURLINGTON MILLS ROAD AT THE SOUTHEAST CORNER OF LANDS DESCRIBED IN DB 687 PG 206; SAID POINT HAVING NORTH CAROLINA STATE PLANE COORDINATES OF N:788227.32 AND E:2155330.82 (NAD83/2011);

- THENCE, ON THE CENTERLINE OF BURLINGTON MILLS ROAD, THE FOLLOWING 8 CALLS:
- 1) N 80° 56' 09" W A DISTANCE OF 57.77 FEET TO A POINT;
 - 2) N 75° 47' 45" W, A DISTANCE OF 73.69 FEET TO A POINT;
 - 3) N 70° 05' 06" W, A DISTANCE OF 91.44 FEET TO A POINT;
 - 4) N 61° 11' 15" W, A DISTANCE OF 69.26 FEET TO A POINT;
 - 5) N 55° 01' 49" W, A DISTANCE OF 64.62 FEET TO A POINT;
 - 6) N 49° 22' 42" W, A DISTANCE OF 57.13 FEET TO A POINT;
 - 7) N 46° 41' 03" W, A DISTANCE OF 63.44 FEET TO A POINT;
 - 8) N 46° 05' 23" W, A DISTANCE OF 80.92 FEET TO A POINT AT THE SOUTHEAST CORNER OF LANDS NOW OR FORMERLY OWNED BY WILLARD AND BARBARA PARK (DB 1781 PG 10);
- THENCE N 01° 14' 02" W, ON THE EAST LINE OF SAID PARK LANDS, A DISTANCE OF 42.88 FEET TO A FOUND IRON PIPE ON THE NORTH RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD;
- THENCE N 01° 14' 02" W, CONTINUING ON THE EAST LINE OF PARK LANDS, A DISTANCE OF 319.33 FEET TO A FOUND IRON PIPE;
- THENCE N 89° 44' 58" W, ON THE NORTH LINE OF PARK LANDS, A DISTANCE OF 410.67 FEET TO A POINT;
- THENCE ON THE NORTH RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD THE FOLLOWING 5 CALLS:
- 1) N 74° 26' 09" W, A DISTANCE OF 52.08 FEET TO A POINT;
 - 2) N 80° 27' 10" W, A DISTANCE OF 65.97 FEET TO A POINT;
 - 3) N 85° 07' 10" W, A DISTANCE OF 66.52 FEET TO A POINT;
 - 4) N 87° 26' 45" W, A DISTANCE OF 10.55 FEET TO A POINT;
 - 5) N 89° 46' 21" W, A DISTANCE OF 59.19 FEET TO A POINT;

THENCE N 10° 15' 50" W, DISTANCE OF 223.78 FEET TO A POINT;

THENCE N 04° 51' 10" E, DISTANCE OF 259.63 FEET TO A POINT;

THENCE N 10° 19' 11" E, DISTANCE OF 86.00 FEET TO A FOUND IRON PIPE AT THE SOUTHWEST CORNER OF LANDS NOW OR FORMERLY OWNED BY BERTIE WIGGINS (DB 12144 PG 2352);

THENCE S 67° 51' 59" E, ON THE SOUTH LINE OF SAID WIGGINS LANDS, A DISTANCE OF 280.65 FEET TO A FOUND IRON PIPE;

THENCE N 04° 57' 19" E, ON THE EAST LINE OF SAID WIGGINS LANDS, A DISTANCE OF 172.29 FEET TO A POINT AT THE SOUTHEAST CORNER OF LANDS NOW OR FORMERLY OWNED BY JENNIFER AND SIDNEY GREGORY (DB 4866 PG 287);

THENCE N 04° 57' 19" E, ON THE EAST LINE OF SAID GREGORY LANDS, A DISTANCE OF 221.96 FEET TO A FOUND IRON PIPE AT THE SOUTHEAST CORNER OF LANDS NOW OR FORMERLY OWNED BY JAMES WALLS (DB 3816 PG 465);

THENCE N 19° 51' 19" E, ON THE EAST LINE OF SAID WALL LANDS, A DISTANCE OF 296.76 FEET TO A FOUND IRON PIPE;

THENCE S 65° 35' 25" E, DISTANCE OF 22.78 FEET TO A POINT;

THENCE S 65° 04' 50" E, DISTANCE OF 466.51 FEET TO A POINT;

THENCE N 53° 18' 05" E, DISTANCE OF 169.95 FEET TO A POINT;

THENCE S 66° 03' 39" E, DISTANCE OF 264.29 FEET TO A POINT ON THE WEST LINE OF LANDS NOW OR FORMERLY OWNED BY NEW OXFORD DEVELOPMENT CO LLC (DB 19679 PG 1109)

THENCE S 03° 18' 53" W, ON THE WEST LINE OF SAID NEW OXFORD LANDS, A DISTANCE OF 49.41 FEET TO A FOUND STONE;

THENCE S 02° 27' 04" W, DISTANCE OF 1500.67 FEET TO A POINT ON THE NORTH RIGHT OF WAY OF BURLINGTON MILLS RD;

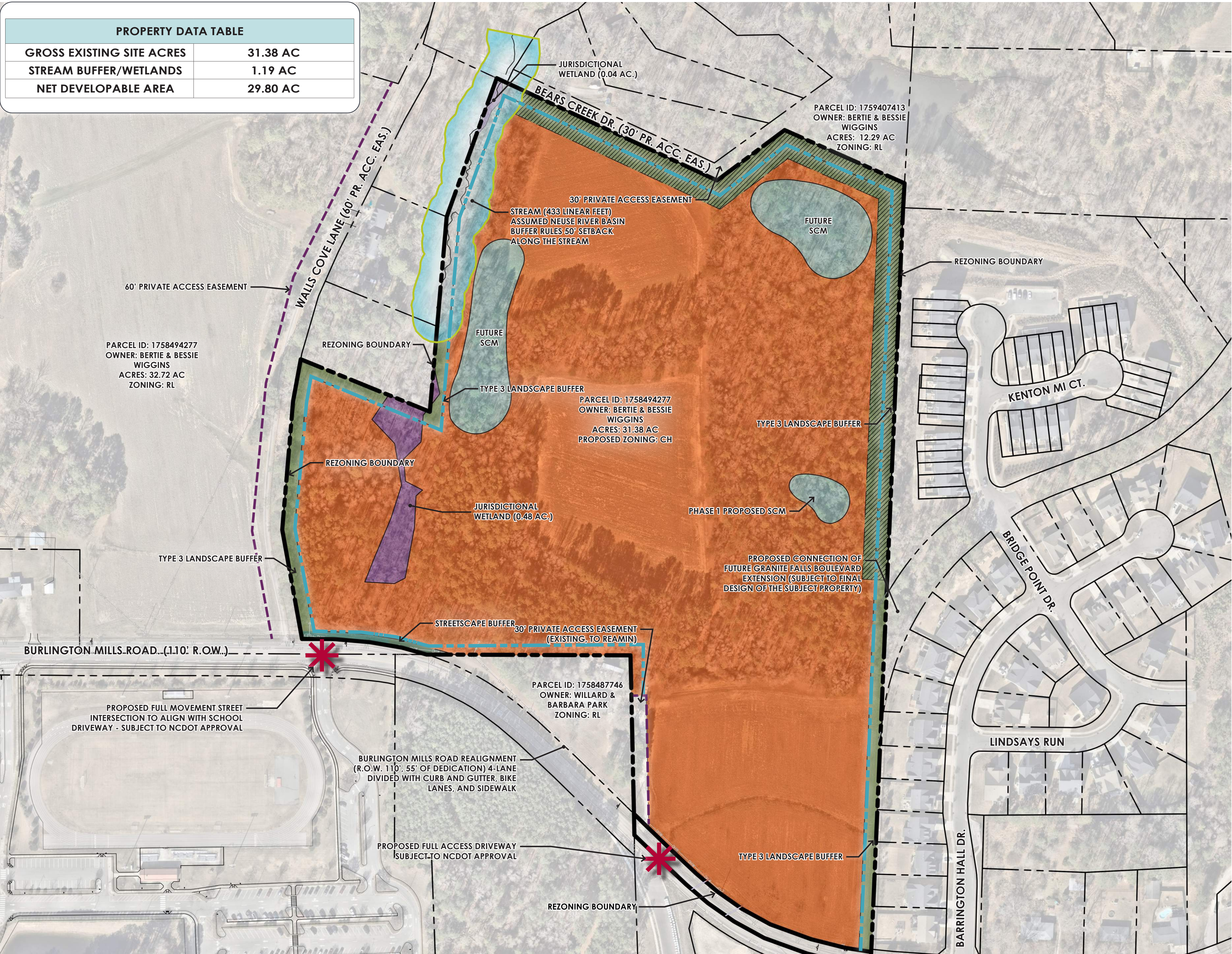
THENCE S 02° 27' 04" W, DISTANCE OF 30.20 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINING 1,367,065 SQUARE FEET, OR 31.38 ACRES OF LAND MORE OR LESS. 16,878 SQUARE FEET (0.39 ACRES) OF WHICH LIE WITHIN THE RIGHT OF WAY OF BURLINGTON MILLS ROAD.



REV DATE	SHEET
	MP-02

PROPERTY DATA TABLE	
GROSS EXISTING SITE ACRES	31.38 AC
STREAM BUFFER/WETLANDS	1.19 AC
NET DEVELOPABLE AREA	29.80 AC



CONCEPT PLAN LEGEND:

- PROPOSED FULL ACCESS DRIVEWAY/ STREET INTERSECTION
- PROPOSED INTERNAL/EXTERNAL STREET STUB LOCATIONS
- RIPARIAN BUFFER (SEE NOTE 1)
- PROPERTY SETBACKS/BUFFERS
- EASEMENT
- GRANITE FALLS FUTURE EXTENSION - 2 LANE DIVIDED (60' R.O.W.)

NOTE: SEE SHEET MP-06 FOR STREET TYPOLOGY SECTIONS

SITE DATA TABLE	
PROJECT NAME	WAKE MED
PARCEL IDENTIFICATION NUMBER	1758494277 & 1759407413
PROPERTY SIZE	31.38 ACRES
PROPERTY LOCATION	TOWN OF ROLESVILLE
EXISTING ZONING DISTRICT	RL - RESIDENTIAL LOW DENSITY
PROPOSED ZONING DISTRICT	CH
EXISTING USE	AGRICULTURE/RESIDENTIAL
PROPOSED USE	MEDICAL (SEE NOTE 1)
MAX BUILDING HEIGHT (REZ-24-02 ORDINANCE DOCUMENT APPROVED JANUARY 7, 2025)	60' MAX.
ELECTRIC PROVIDER	DUKE ENERGY
WATER PROVIDER	CITY OF RALEIGH
SEWER PROVIDER	CITY OF RALEIGH
PROPOSED IMPERVIOUS CALCS.	3.80 ACRES
PROPOSED PARKING CALCS.	2,0/1,000 SF MIN. 5.0/1,000 SF MAX. (SEE LDO TABLE 6.4.3.G. OFF-STREET PARKING)
REQUIRED OPEN SPACE (5% OPEN SPACE)	1.56 ACRES (SEE LDO 6.2.1.1. OPEN SPACE)
PROPOSED OPEN SPACE (6.37% OPEN SPACE)	2 ACRES (SEE LDO 6.2.1.1. OPEN SPACE)
REQUIRED VEGETATION PRESERVATION (10% OF ALL EXISTING TREES IN GOOD HEALTH)	3.13 ACRES
VEGETATION PRESERVATION PROVIDED (11% OF ALL EXISTING TREES IN GOOD HEALTH)	3.76 ACRES

*SEE SUMMARY TABLE AND LAND USE SUMMARY TABLE FOR A GENERAL SUMMARY OF PROPOSED USES PLANNED FOR THIS DEVELOPMENT.

- LAND USE PLAN NOTES:**
- All uses allowed as per the Town's Land Development Ordinance section 5.1.5.(c),(d), and (f), shall be permitted within this district.
 - The maximum building size permitted on the site shall be (±40,000 SF).
 - Streams and wetland and jurisdictional determinations have been preliminarily mapped by Kimley-Horn and Associates. Applicability and status of these features will be confirmed and reviewed by NCDENR and the Army Corps of Engineers prior to development.
 - A shared stormwater management system is anticipated to serve the overall development. A phased stormwater management plan as necessary to serve each development phase, will be designed at the subdivision stage. These plans will be in conformance with the Town's stormwater regulations in place at the time of this zoning approval.

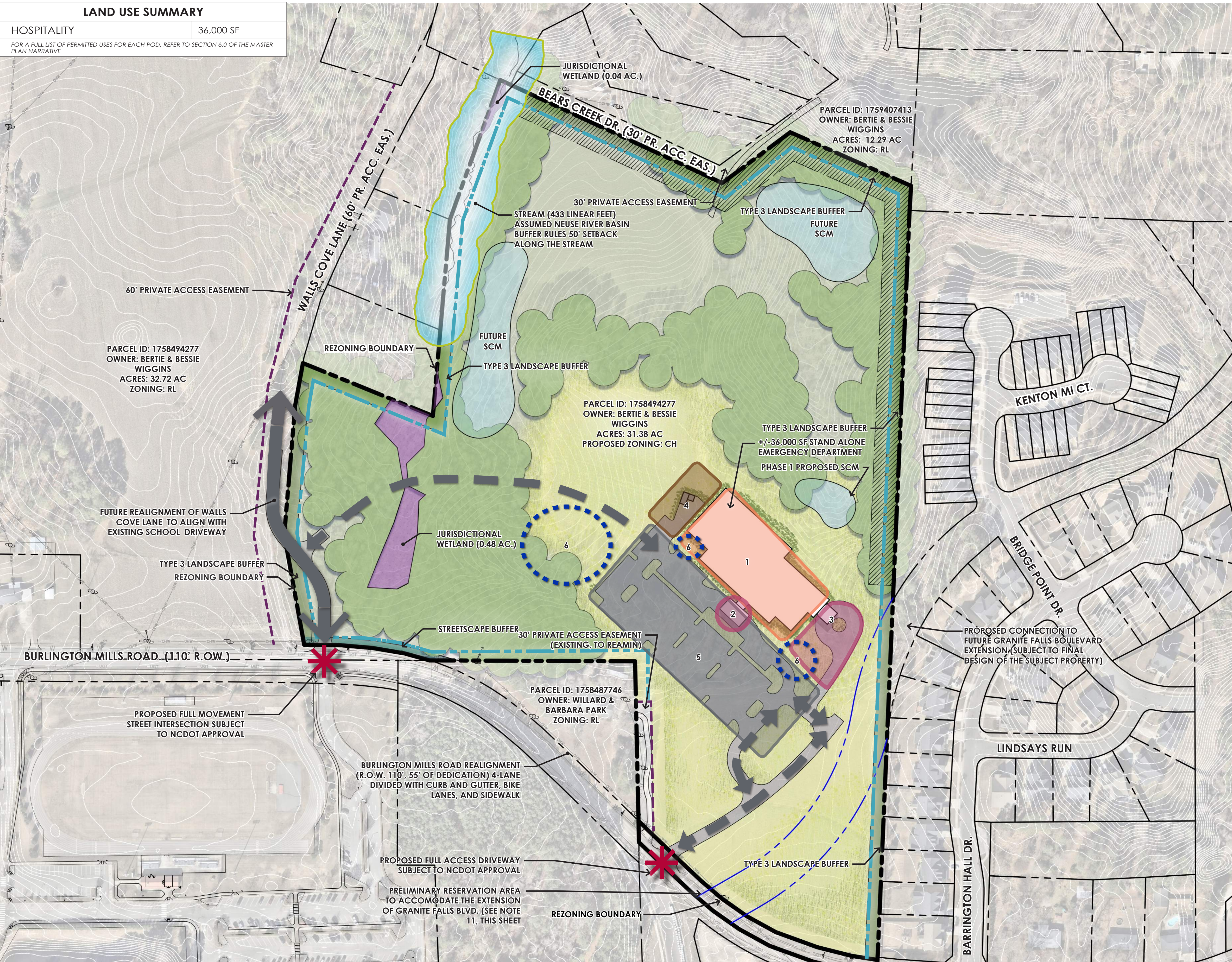


Kimley»Horn



REV DATE	SHEET

LAND USE SUMMARY	
HOSPITALITY	36,000 SF
FOR A FULL LIST OF PERMITTED USES FOR EACH POD, REFER TO SECTION 6.0 OF THE MASTER PLAN NARRATIVE	



MASTER PLAN LEGEND:

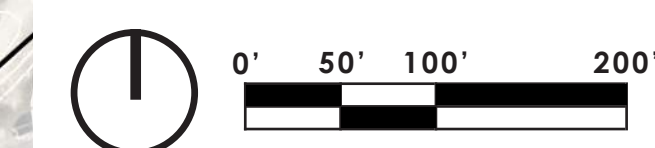
- PROPOSED FULL ACCESS DRIVEWAY/ STREET INTERSECTION
- PROPOSED INTERNAL/EXTERNAL STREET STUB LOCATIONS
- RIPARIAN BUFFER (SEE NOTE 1)
- PROPERTY SETBACKS/BUFFERS
- EASEMENT
- 15' TYPE 2 LANDSCAPE BUFFER
- 25' TYPE 3 C LANDSCAPE BUFFER
- 15' STREETScape BUFFER (SETBACK FROM THE R.O.W.)
- PROPOSED STAND ALONE EMERGENCY DEPARTMENT BUILDING
- EMERGENCY DEPARTMENT AMBULANCE DROP OFF ZONE
- PATIENT EMERGENCY DROP-OFF/PICK-UP
- OUTDOOR SERVICE AREA/ LOADING DOCK
- SURFACE PARKING/ PATIENT DROP OFF ZONE
- OUTDOOR OPEN SPACE (See Note #9)
(REQ. 1 SMALL OPEN SPACE TYPE MIN. 500 SF - 1.AC)
(REQ. 1 MEDIUM OPEN SPACE TYPE MIN 1AC - 2.5AC)

STREET TYPOLOGIES:

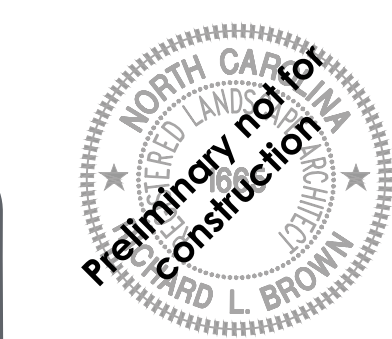
- PRIVATE STREET (INTERNAL)
 - WALLS COVE LANE - 24' TRAVELWAY (60' PRIVATE R.O.W.)
 - GRANITE FALLS FUTURE EXTENSION - 2 LANE DIVIDED (60' R.O.W.)
- NOTE: SEE SHEET MP-06 FOR STREET TYPOLOGY SECTIONS

MASTER LAND USE PLAN NOTES:

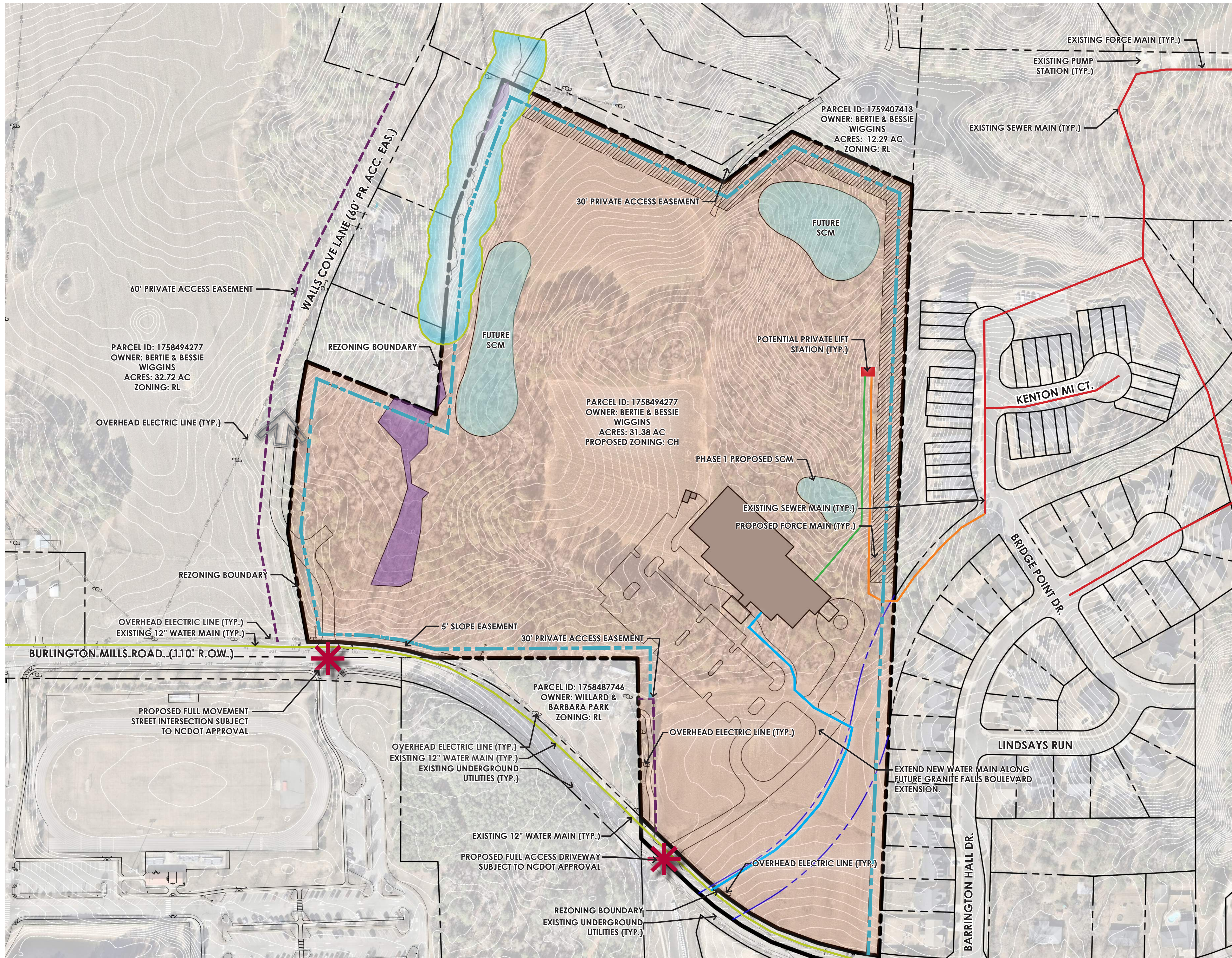
1. Streams and wetland and jurisdictional determinations have been preliminarily mapped by Kimley-Horn and Associates. Applicability and status of these features will be confirmed and reviewed by NCDENR and the Army Corps of Engineers prior to development.
2. The proposed street network and typologies are preliminary and subject to change pending Town approval.
3. Stormwater management facilities may be shared independent or shared and will be built in phases as needed to support development within a given phase. All SCM's will meet the requirements of Wake Counties Stormwater Design Manual.
4. A 15' Type 2 Perimeter Buffer will be provided along all property boundaries adjacent to Residential high density.
5. A 25' Type 3 Perimeter Buffer will be provided along all property boundaries adjacent to Residential Low-Density (North, East, and West).
6. A 15' Streetscape Buffer will be provided along the Burlington Mills Road frontage (Set back from the Right-of-way)* If the streetscape is disturbed or non-vegetated, the property owner or developer shall install and maintain the following vegetation per (section 6.2.2.2. Street Buffers).
7. Following requirements of the Town's Land Development Ordinance (section 6.2.1.1 Open Space), this Master Plan will provide (1) Small open space totaling 500 SF min. and (1) Medium open space totaling 1.0 acre min. This plan shall be provided at subdivision permitting process. Qualifying open space shall consist of but is not limited to: Plazas, Pocket Park, Open green space.
8. Height shall be measured per the standards of the LDO. All uses within the proposed rezoning boundary shall not exceed the base height of (60' per Ordinance Document Approved January 7, 2025).
9. Following requirements of the Town's Land Development Ordinance (section 6.2.4.5 Vegetation Preservation), this Master Plan will provide a min. of 10% of all existing trees on site in good health (determined by a professional arborist) shall be preserved. *Excluding non-native invasive plants as listed by the US Forest Service or the NC Forest Service.
10. Burlington Mills Road (Under Construction at the time of this application) will be realigned and the existing right of way is expected to be abandoned upon approval of the Town Board. Per Town policies and procedures. Thus, no land use buffer or streetscape buffer is required along this portion of the District Boundary.
11. Right of Way for the future extension of Granite Falls Blvd. will be provided through the subject property at such time as it is warranted - The extension will not be required with phase 1 development. This R.O.W. alignment is conceptual and shown for illustrative purposes only.



Kimley & Horn



REV DATE	SHEET



CONCEPT PLAN LEGEND:

- PROPOSED FULL ACCESS DRIVEWAY/ STREET INTERSECTION
- PROPOSED INTERNAL/EXTERNAL STREET STUB LOCATIONS
- RIPARIAN BUFFER (SEE NOTE 1)
- PROPERTY SETBACKS/BUFFERS
- EASEMENT
- EXISTING WATER MAIN
- EXISTING SEWER FORCE MAIN
- WATER MAIN
- PROPOSED SEWER FORCE MAIN
- GRAVITY SEWER
- POTENTIAL LIFT STATION (PRIVATE)

NOTE: SEE SHEET MP-06 FOR STREET TYPOLOGY SECTIONS

CONCEPTUAL STORM WATER AND UTILITY PLAN NOTES:

1. A shared storm water management system is anticipated to serve the overall development. A phased storm water management plan will be determined and designed at the subdivision stage and will be in conformance with the Counties storm water regulations in place at the time of this zoning approval.
2. Where public utilities are outside of the public rights of ways, a public utility easement will be provided.

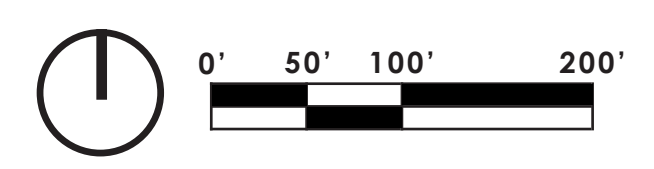
WATER AND SEWER NARRATIVE

Sanitary Sewer Service
 There is an existing force main within the adjacent Bridge Point Dr. Operated by The City of Raleigh. The project is anticipated to be developed to allow future redevelopment. The site will drain by gravity to a proposed pump station. This pump station will provide a force main that will be extended along the future Granite Falls Blvd to a point of gravity connection near the existing WWTP. Based on currently estimated flows and topography of the site, the proposed pump station and force main extension is anticipated to be required. The pump station and force main will be the responsibility of the developer/applicant and will need to be sized based on project flows associated with actual development project(s) at the time of Subdivision application. The size and specification of sewer infrastructure and pump station shall be determined during final design and will conform to The City of Raleigh Public Works and Utilities Department requirements.

Water Service
 Water services exist along the property along the Burlington Mills Road frontage. Water services will be connected to the existing main and looped through the property via a public main. The size and specification of water infrastructure shall be determined during final design and will conform to The City of Raleigh Public Works and Utilities Department requirements. Existing utility information shown herein is based on publicly available GIS data and may not reflect actual field conditions.

**** Special Utility Note:** In the event that public Water and/Or Sewer Utilities are extended by the governing Jurisdiction or as a result of future development, This project may evaluate the potential to tie to that Public Infrastructure.

CONDITION OFFERED:
 Prior to the issuance of the first site permit associated with the development program, the developer will formalize a memorandum of understanding with The City of Raleigh and the Town of Rolesville to determine allocation and funding methodology of public water and wastewater services to support the initial phases and ultimate build-out of the proposed property.

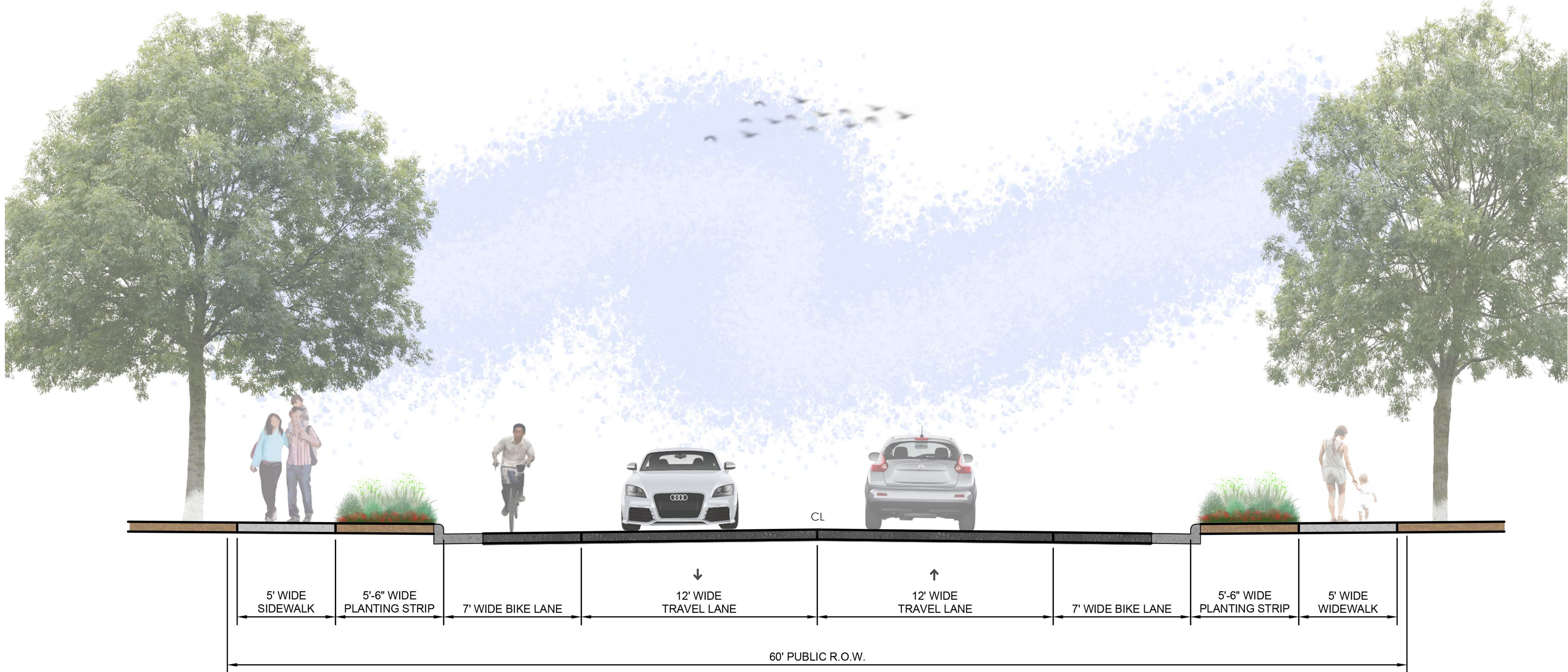


Kimley»Horn



REV DATE	SHEET

GRANITE FALLS BOULEVARD EXTENSION
GRAND ROCK WAY TO BURLINGTON MILLS ROAD REALIGNMENT
PROPOSED STREET SECTION
TOTAL R.O.W: 60 FEET



- NOTES:
1. Street section are for illustrative purposes and subject to final design. All public and private streets will be subject to the Town's public street standards applicable at the time of this master plan approval.
 2. All street trees shall be planted a minimum of 10' from any water, sewer, storm water, utility, or driveway.
 3. Where 5' sidewalk falls outside of the Right-of-Way a public access easement shall be provided.

Kimley»Horn

REV DATE	SHEET
09.10.2021	MP-06

WAKE MED - REZONING CONCEPT PLAN PACKAGE

SEPTEMBER 2, 2025 | ROLESVILLE, NORTH CAROLINA

STREET TYPOLOGY SECTIONS

