



Wallbrook Entitlements

JPM Chase Retail Banking Center
 SEC of S Main St. and Virginia Water Dr
 Rolesville, NC 27587
 CHASE # 48100R008594
 Version 20.6

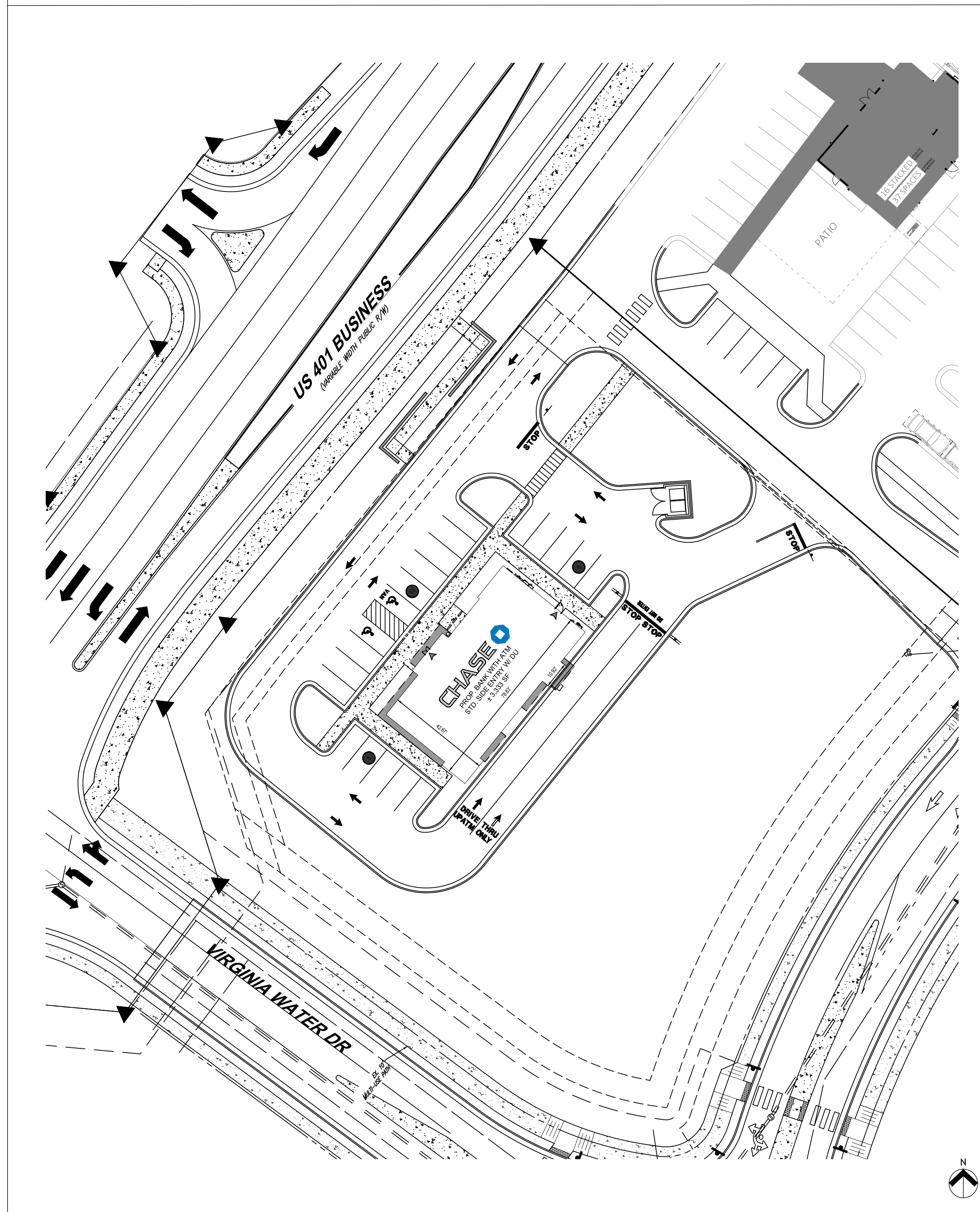


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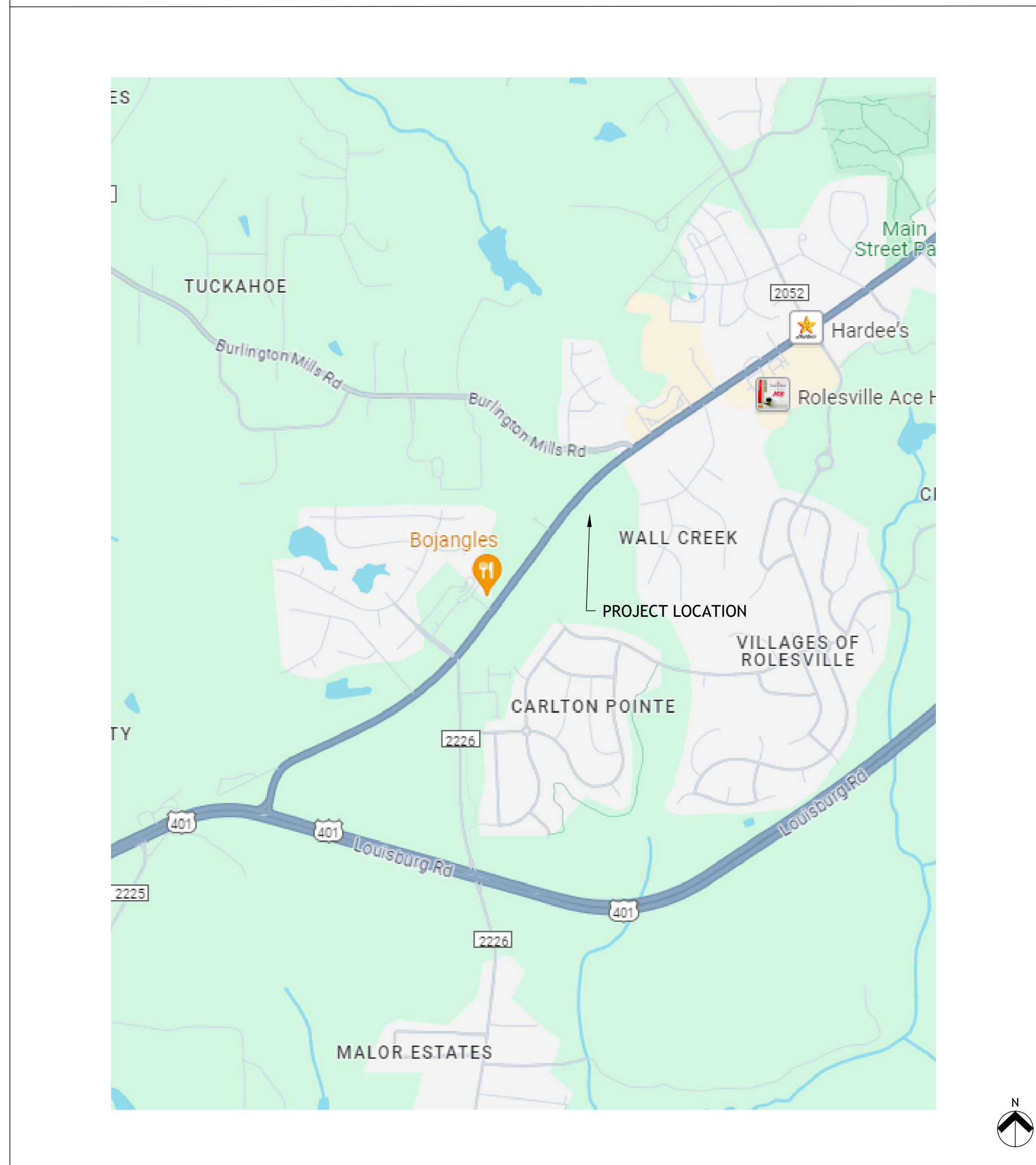


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SITE PLAN - FOR REFERENCE ONLY. REFER TO CIVIL.



LOCATION MAP



SHEET INDEX

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 No Architectural License

Architect of Record:
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ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

SHEET TITLE
ENTITLEMENT PACKAGE COVER SHEET

SHEET NUMBER
A00.0

SCOPE OF WORK

PROTOTYPE - 20.6
 ATM CANOPY: ATTACHED
 DUMPSTER ENCLOSURE: Y
 BRG: N
 SEISMIC ZONE: N
 PROTOTYPE BUILDING WITH BRICK EXTERIOR FINISHES

BUILDING FLOOR AREA = 3,333 SF
SITE AREA = 71,000 SF

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SEAL

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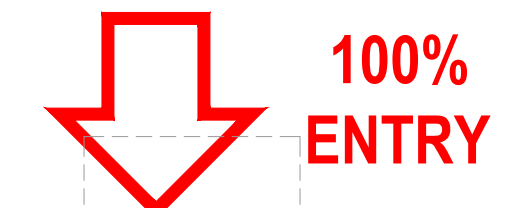
SHEET TITLE

FURNITURE FLOOR PLAN

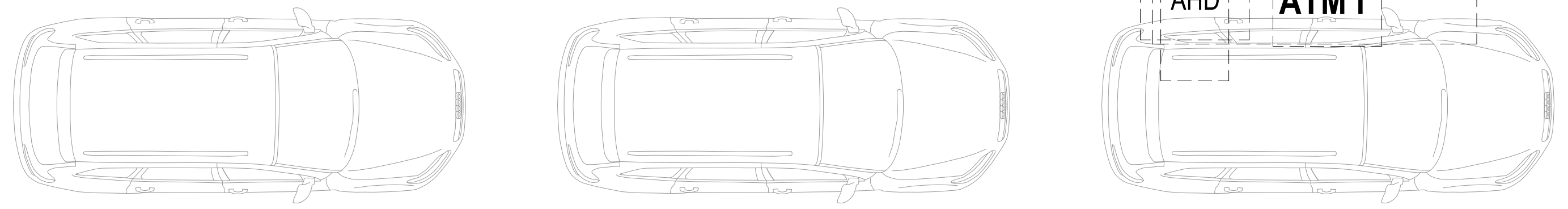
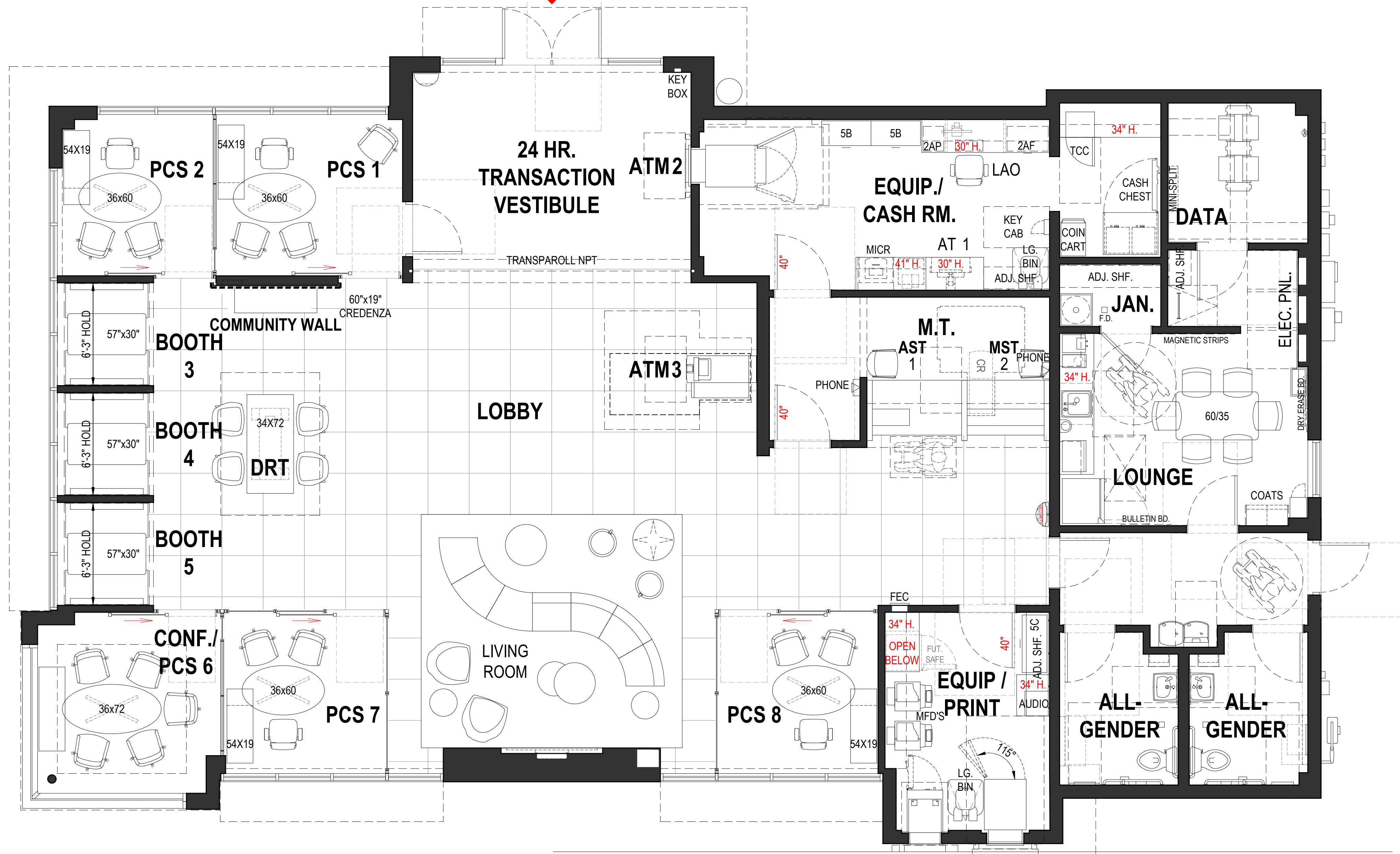
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A00.1

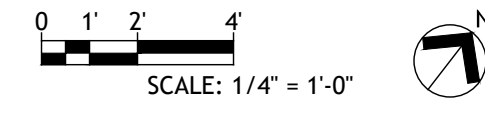
US 401 BUSINESS
PRIMARY PARKING



VIRGINIA WATER DR.



WALLBROOK DRIVE



FURNITURE FLOOR PLAN SCALE 1/4" = 1'-0"

1

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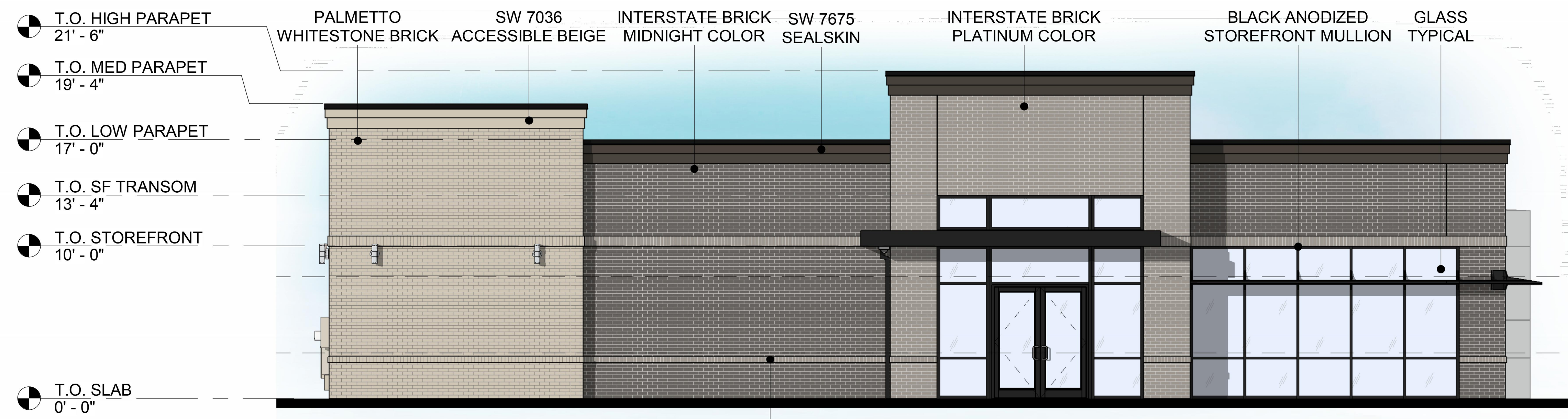
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SHEET TITLE
BUILDING RENDERINGS

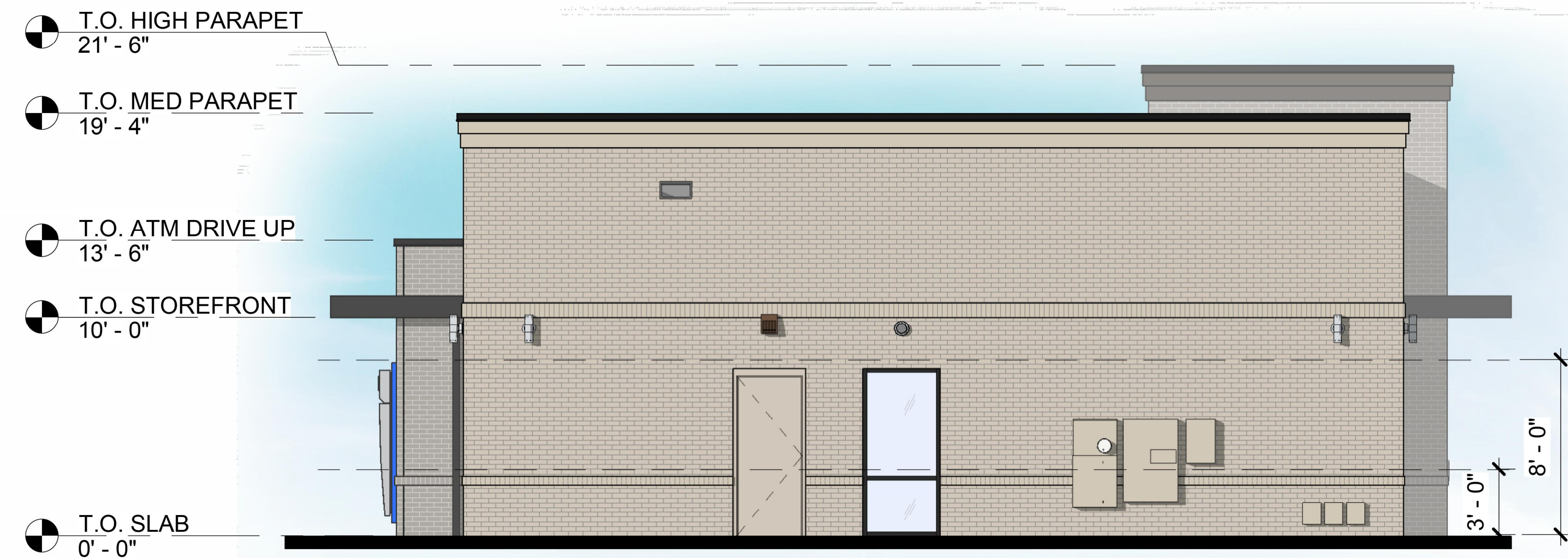
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A00.2

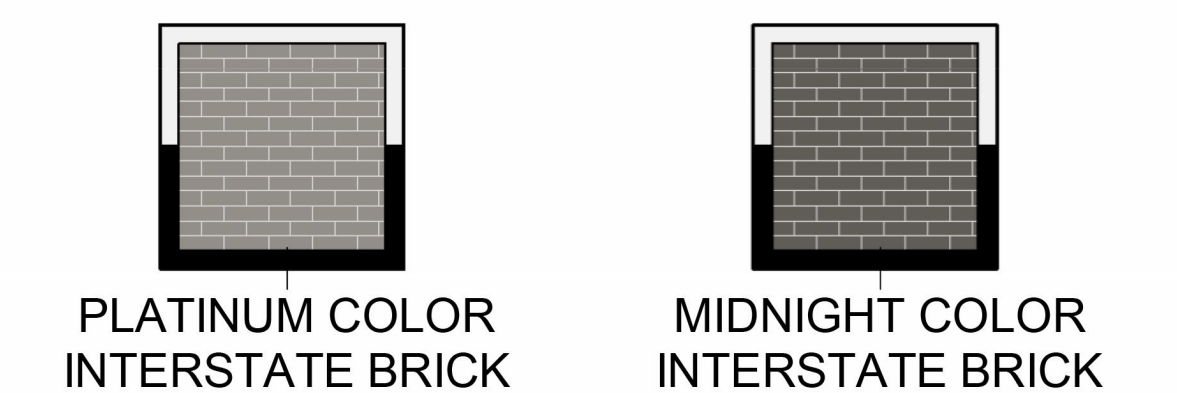
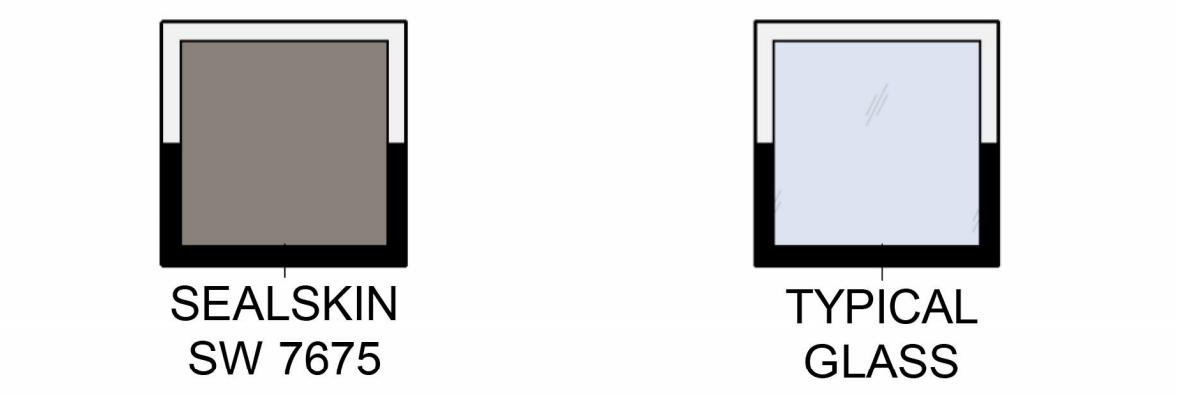
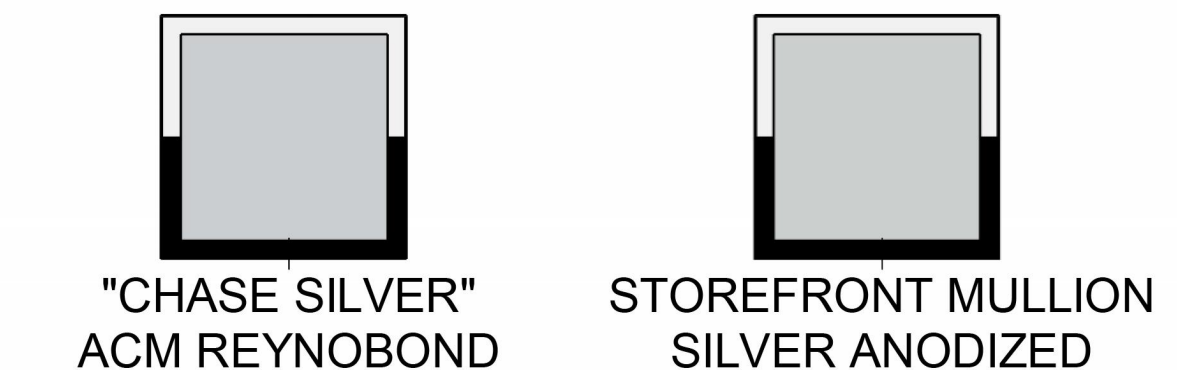
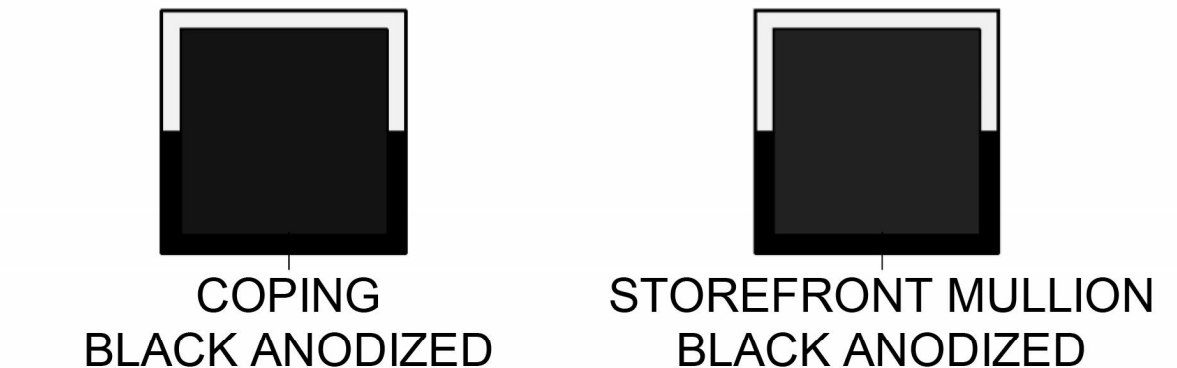
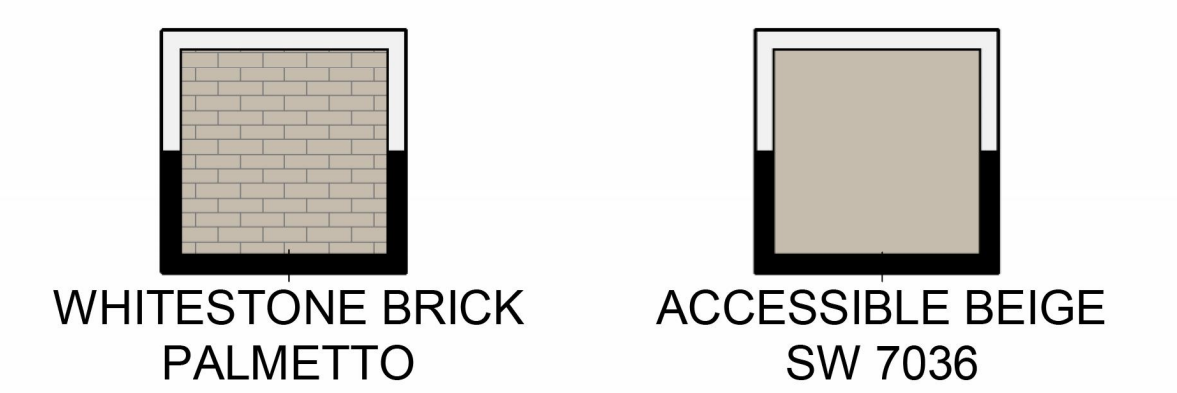


NORTH ELEVATION
TOTAL SF OF GLAZING: 344 SF (37%)
TOTAL SF OF GLAZING 3'-0"-8'-0": 155 SF

INTERSTATE BRICK
PLATINUM COLOR



EAST ELEVATION
TOTAL SF OF GLAZING: 25 SF



WALLBROOK

SEC of S Main St. and Virginia Water Dr.
Rolesville, NC 27587



234053(48100R008594)
04-18-2024

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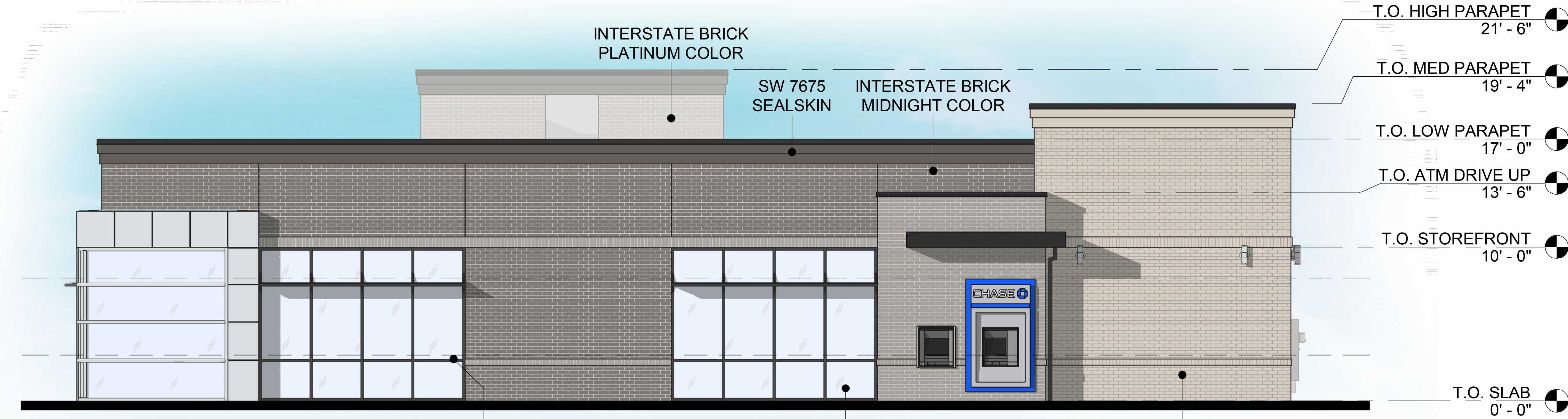
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SHEET TITLE

BUILDING RENDERINGS

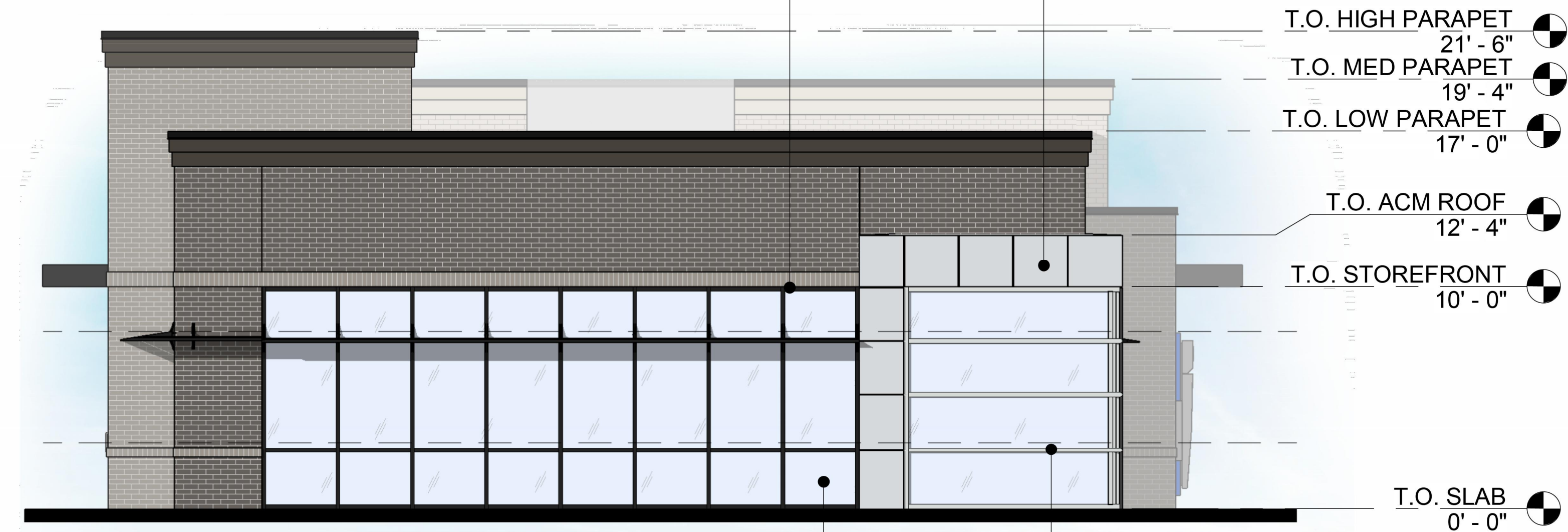
SHEET NUMBER

A00.3



SOUTH ELEVATION
TOTAL SF OF GLAZING: 363 SF (39%)
TOTAL SF OF GLAZING 3'-0"-8'-0": 182 SF

BLACK ANODIZED STOREFRONT MULLION
GLASS TYPICAL
PALMETTO WHITESTONE BRICK
BLACK ANODIZED STOREFRONT MULLION
ACM REYNOBOND "CHASE SILVER"



WEST ELEVATION
TOTAL SF OF GLAZING: 360 SF (70%)
TOTAL SF OF GLAZING 3'-0"-8'-0": 181 SF

GLASS TYPICAL
SILVER ANODIZED STOREFRONT MULLION

T.O. HIGH PARAPET 21' - 6"
T.O. MED PARAPET 19' - 4"
T.O. LOW PARAPET 17' - 0"
T.O. ATM DRIVE UP 13' - 6"
T.O. STOREFRONT 10' - 0"
T.O. SLAB 0' - 0"

WHITESTONE BRICK PALMETTO
ACCESSIBLE BEIGE SW 7036
COPING BLACK ANODIZED
STOREFRONT MULLION BLACK ANODIZED
"CHASE SILVER" ACM REYNOBOND
STOREFRONT MULLION SILVER ANODIZED
SEALSKIN SW 7675
TYPICAL GLASS
PLATINUM COLOR INTERSTATE BRICK
MIDNIGHT COLOR INTERSTATE BRICK

WALLBROOK

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234053(48100R008594)
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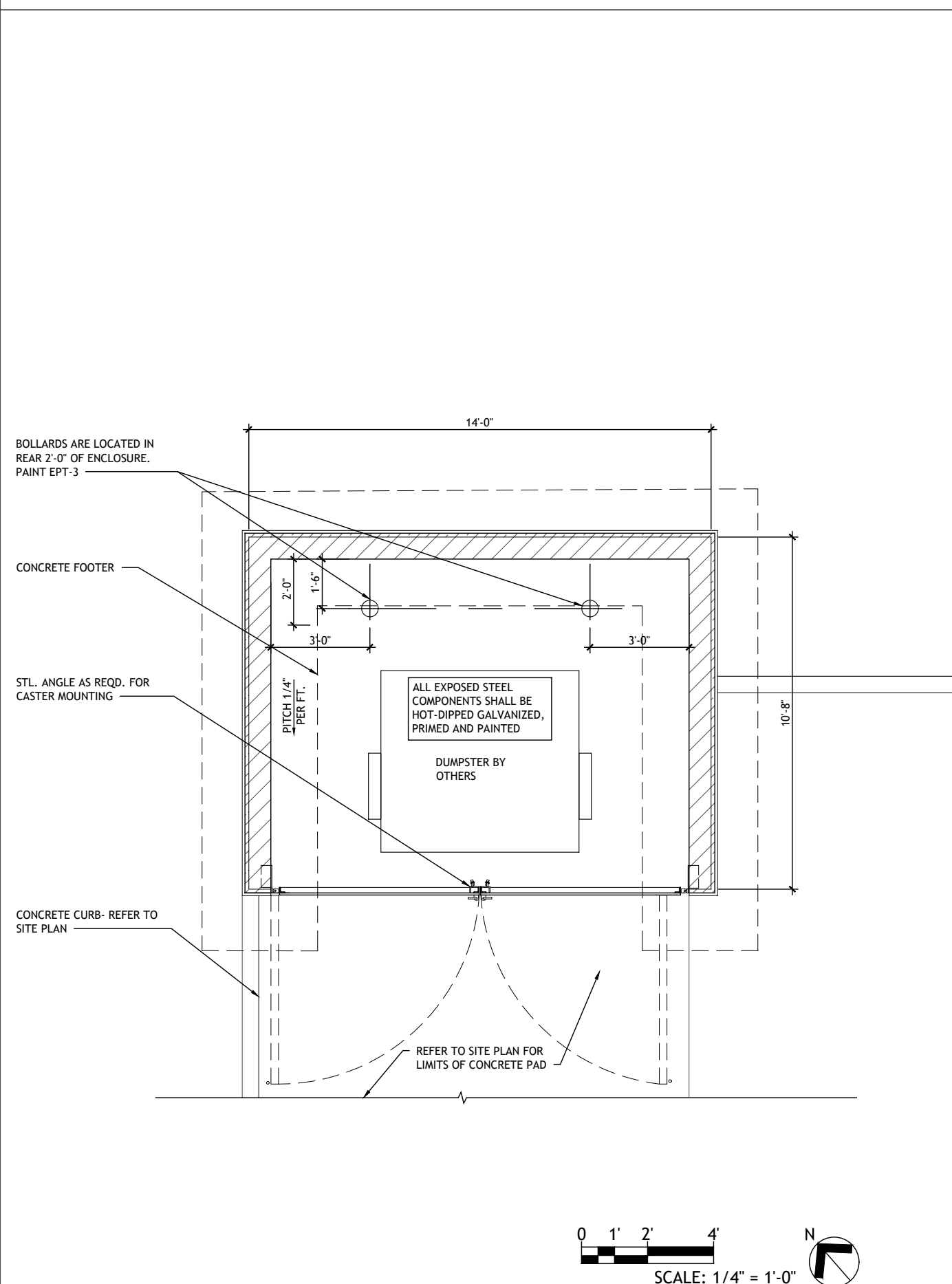
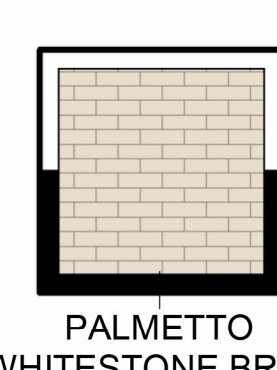
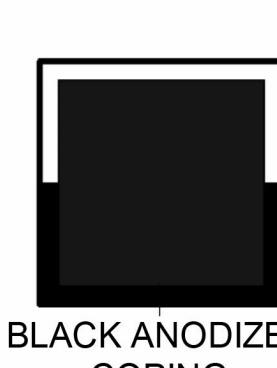
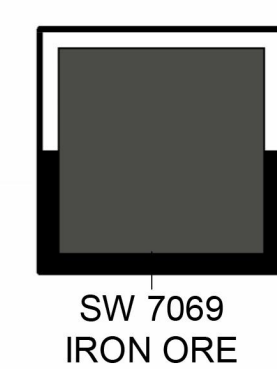
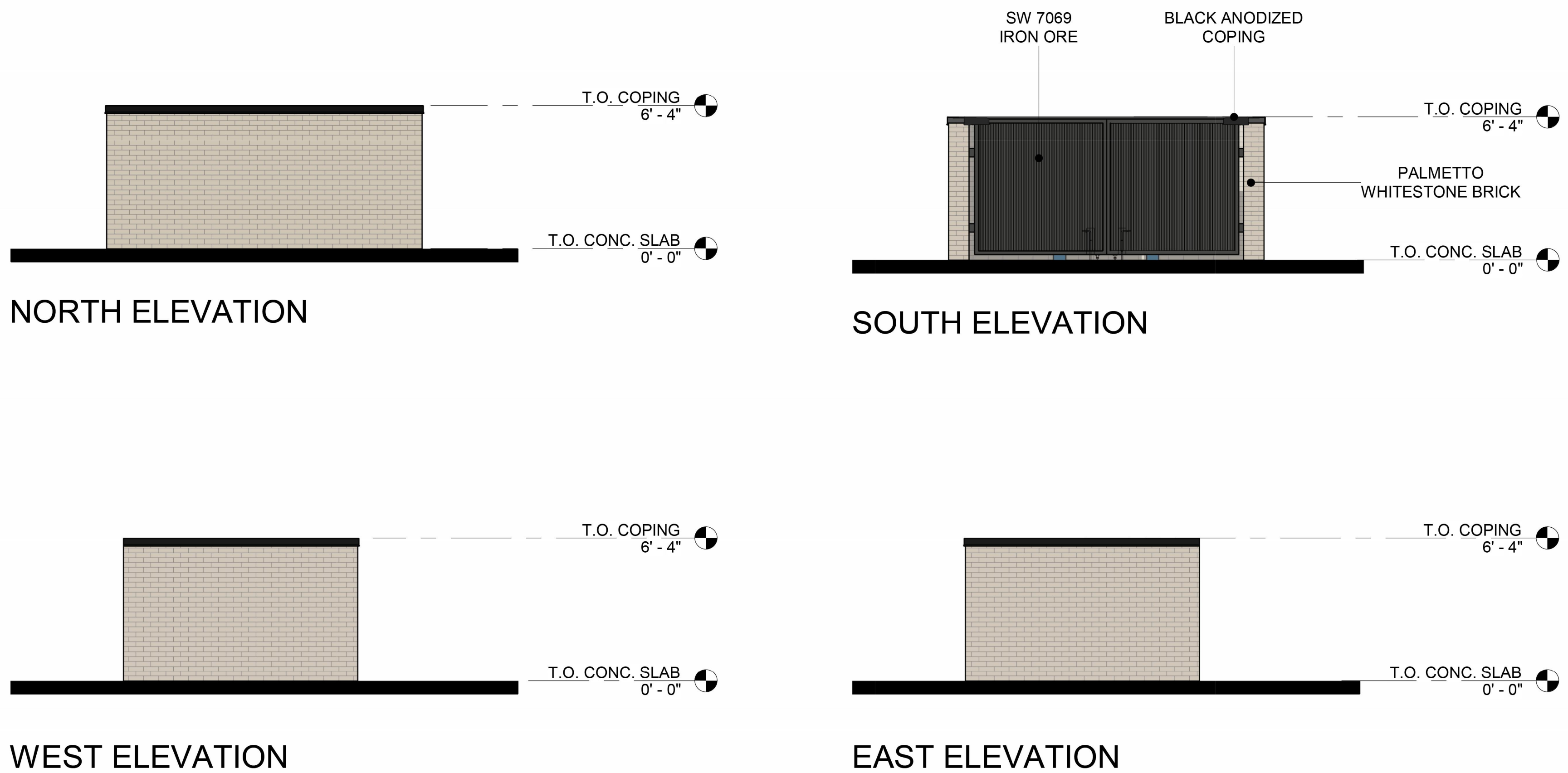
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SHEET TITLE

DUMPSTER RENDERINGS

SHEET NUMBER

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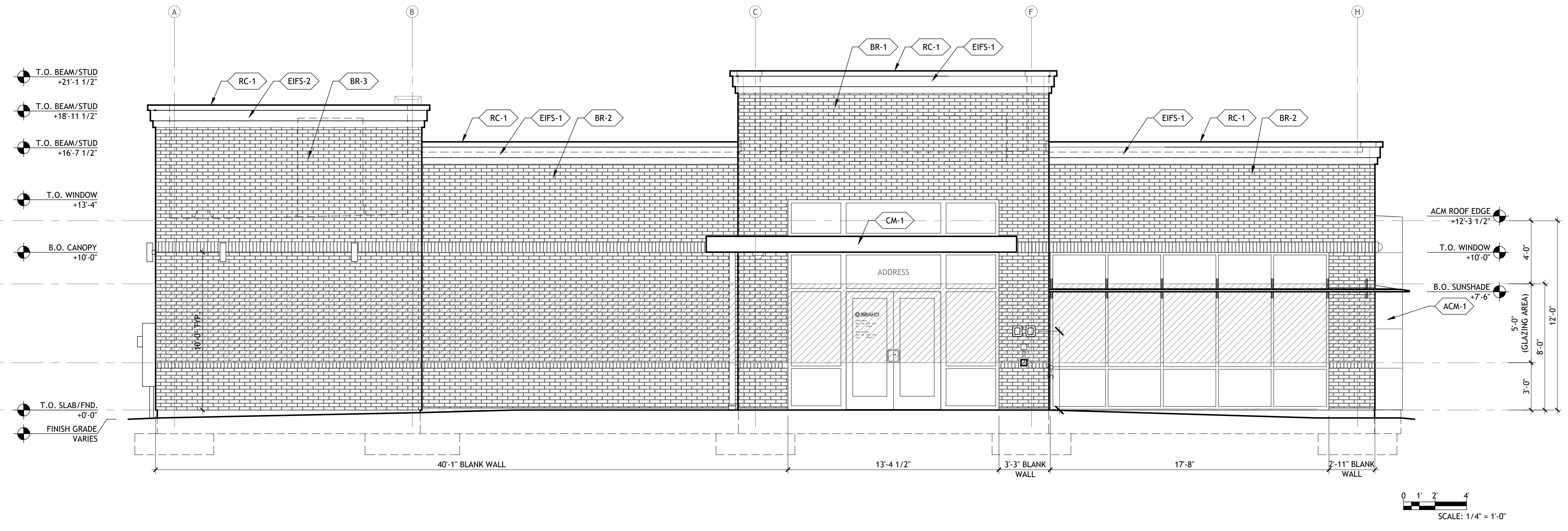
PROPOSED GRADES	EXISTING GRADES
SOUTH ELEVATION: 388.00' FFE	SOUTH ELEVATION: 388.00' FFE
NORTH ELEVATION: 388.00' FFE	NORTH ELEVATION: 388.00' FFE
EAST ELEVATION: 388.00' FFE	EAST ELEVATION: 388.00' FFE
WEST ELEVATION: 388.00' FFE	WEST ELEVATION: 388.00' FFE
AVERAGE GRADE: -388.00' FFE	AVERAGE EXISTING PREDEVELOPMENT GRADE: 388.00' FFE
MAX BUILDING HEIGHT	
BUILDING HEIGHT: 21'-6" AFF (409.50' FFE)	
BUILDING HEIGHTS	
TALLEST PARAPET HEIGHT: +21'-6" (409.50' FFE) MAIN PARAPET HEIGHT: +17'-0" (405.00' FFE)	

UDO SECTION 1.5.9B	
1.	THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE THE ADJACENT SIDEWALK. MORE THAN 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET OF THE BUILDING FACADE.
2.	THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.
3.	IN A MIXED USE BUILDING, OR GENERAL BUILDING WHERE AN URBAN FRONTAGE IS APPLIED, A MINIMUM OF 60% OF THE STREET-FACING STREET-LEVEL WINDOW PANE SURFACE AREA MUST ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET. WINDOWS SHALL NOT BE MADE OPAQUE BY NON-OPERABLE WINDOW TREATMENTS (EXCEPT CURTAINS, BLINDS OR SHADES WITHIN THE CONDITIONED SPACE).
4.	GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

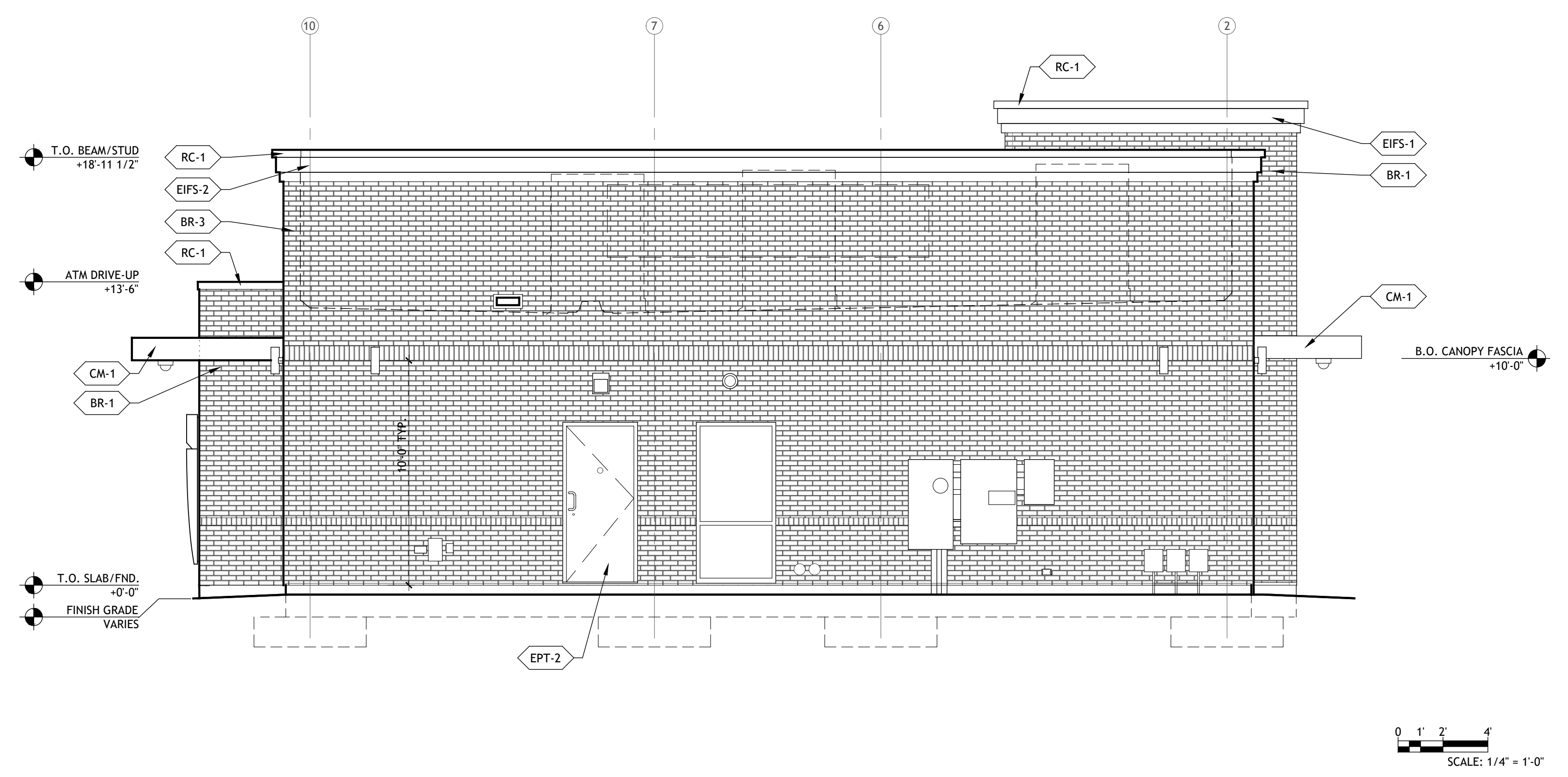
ELEVATION LEGEND	
	3'-0" TO 8'-0" GLAZING AREA

TRANSPARENCY TABLE					
FLOOR LEVEL	SF OF WALL	0'-0" TO 12'-0" TRANSPARENCY REQD (33%)	0'-0" TO 12'-0" TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQD	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLOOR - NORTH	928 SF*	310 SF (33%)	344 SF (37%)	155 SF (50% OF THE 33% REQD.)	155 SF
GROUND FLOOR - SOUTH	950 SF*	317 SF (33%)	363 SF (38%)	158.5 SF (50% OF THE 33% REQD.)	182 SF
GROUND FLOOR - WEST	514 SF*	172 SF (33%)	360 SF (70%)	86 SF (50% OF THE 33% REQD.)	181 SF
GROUND FLOOR - EAST	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR - NORTH	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR - NORTH	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR - WEST	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR - EAST	N/A	N/A	N/A	N/A	N/A

* SF MEASURED PER GENERAL REQUIREMENTS NOTED IN UDO SECTION 1.5.9B NOTE BOX ABOVE.



FRONT BUILDING ELEVATION - NORTH SCALE 1/4" = 1'-0" 2



SIDE BUILDING ELEVATION - EAST SCALE 1/4" = 1'-0" 1

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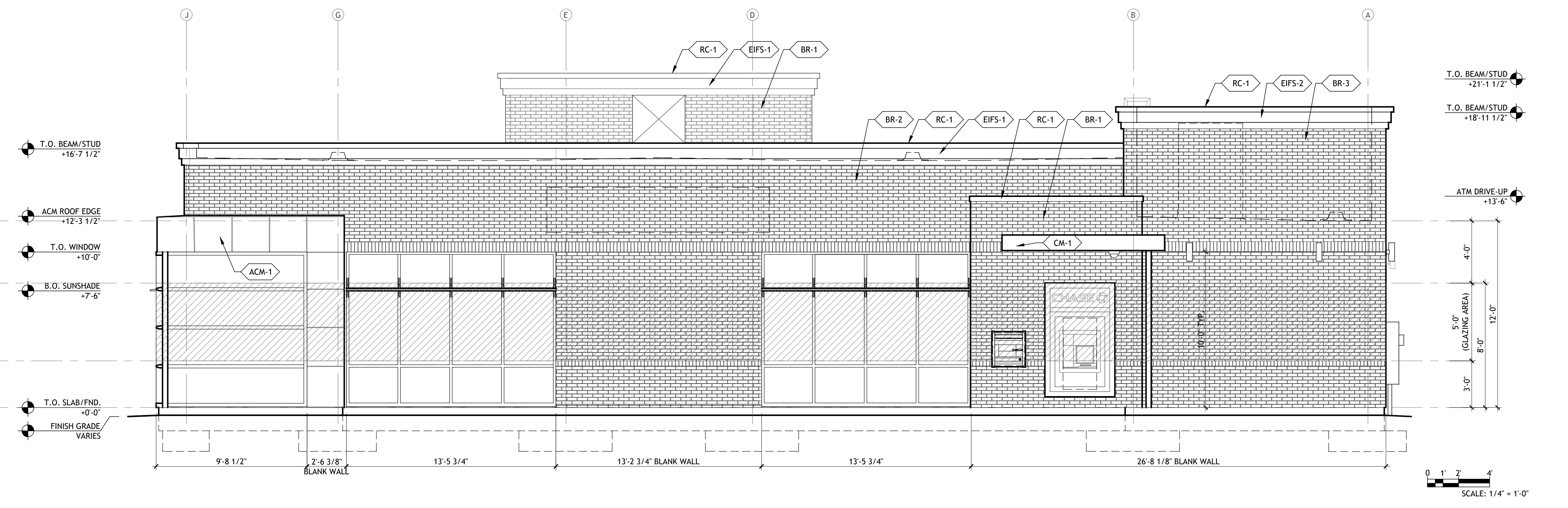
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ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK
JOB #: 234053
DATE: 04-23-2024
DRAWN BY: KF
CHECKED BY: TN

SHEET TITLE
EXTERIOR ELEVATIONS
SHEET NUMBER
A00.5

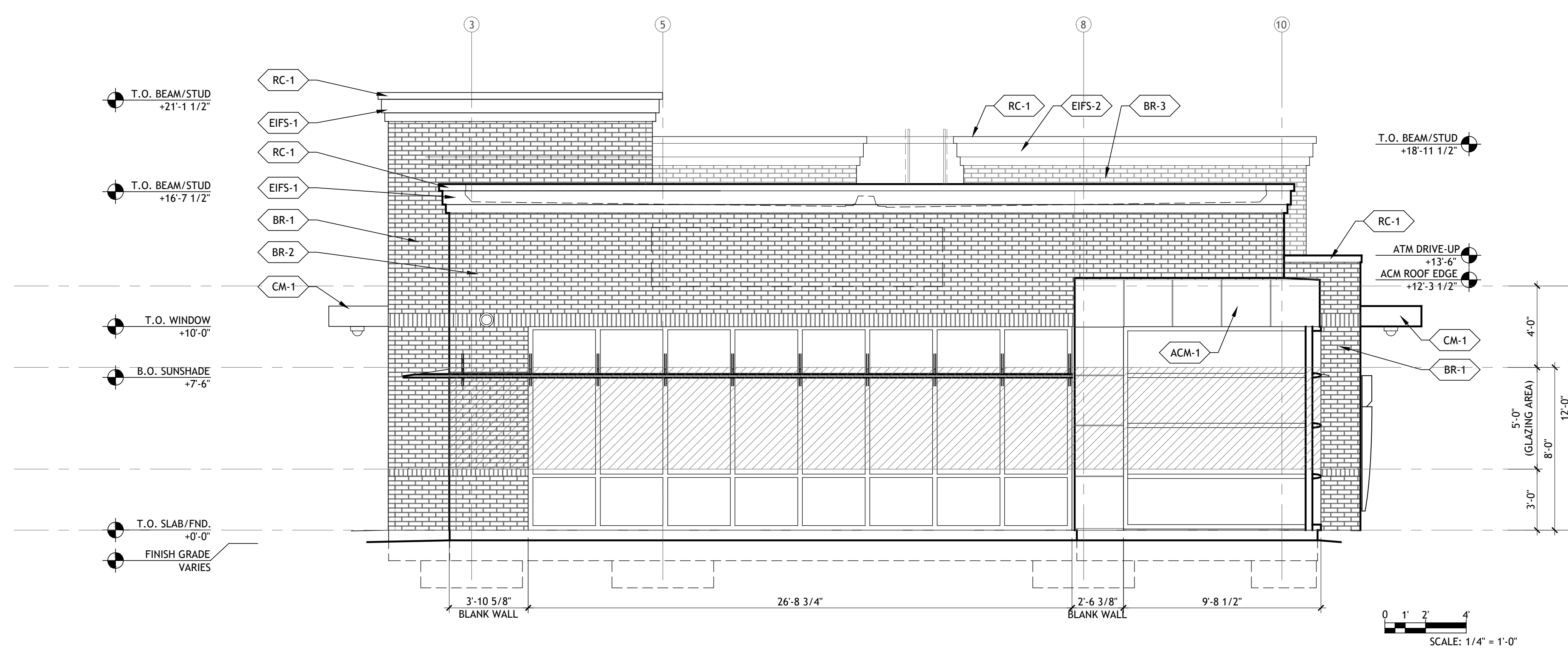
EXTERIOR FINISH MATERIALS	
THIS SCHEDULE IS COMPREHENSIVE. NOT ALL LISTED ITEMS ARE USED IN THIS PROJECT	
BR-1	SIMULATED MASONRY MANUFACTURER INTERSTATE BRICK PRODUCT BRICK VENEER COLOR PLATINUM SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
BR-2	SIMULATED MASONRY MANUFACTURER INTERSTATE BRICK PRODUCT BRICK VENEER COLOR MIDNIGHT SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
BR-3	SIMULATED MASONRY MANUFACTURER PALMETTO PRODUCT BRICK VENEER COLOR WHITESTONE BRICK SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
RC-1	ROOF COPING MANUFACTURER PETERSEN ALUMINUM / PAC-CLAD PRODUCT PAC-CONTINUOUS COLOR MATTE BLACK STEEL / BLACK ALUMINUM
ACM-1	ALUMINUM COMPOSITE MATERIAL MANUFACTURER ARCONIC ARCHITECTURAL PRODUCTS PRODUCT REYNOBOND COLOR DURAGLOSS 5000 PROGRAM "CHASE SILVER"
EPT-1	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7045 INTELLECTUAL GRAY FINISH SEMI-GLOSS
EPT-2	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7036 ACCESSIBLE BEIGE FINISH SEMI-GLOSS
EPT-3	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7069 IRON ORE FINISH SEMI-GLOSS
EPT-8	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 6995 SUPERWHITE FINISH SEMI-GLOSS
EPT-9	EXTERIOR PAINT - OPTIONAL MATCH TO NICHHA BARK MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7675 SEALSKIN FINISH SEMI-GLOSS
EPT-10	EXTERIOR PAINT - OPTIONAL MATCH TO NICHHA ASH MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7018 DOVETAIL FINISH SEMI-GLOSS
CM-1	PRE-MANUFACTURED CANOPY MANUFACTURER MAPES PRODUCT ALUMINUM CANOPY SYSTEM COLOR TO MATCH CHASE PROGRAM BLACK
EIFS-1	EIFS ACCENT BANDS / PARAPETS MANUFACTURER STO CORP. (OR APPROVED EQUAL) PRODUCT STOTHERM PREMIER NEXT COLOR TO MATCH INTERSTATE BRICK MIDNIGHT FINISH STOSILCO LIT 1.0 (FINE)
EIFS-2	EIFS ACCENT BANDS / PARAPETS MANUFACTURER STO CORP. (OR APPROVED EQUAL) PRODUCT STOTHERM PREMIER NEXT COLOR TO MATCH SHERWIN-WILLIAMS #SW 7036 (ACCESSIBLE BEIGE) FINISH STOSILCO LIT 1.0 (FINE)



SIDE BUILDING ELEVATION - SOUTH

SCALE 1/4" = 1'-0"

2



REAR BUILDING ELEVATION - WEST

SCALE 1/4" = 1'-0"

1

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