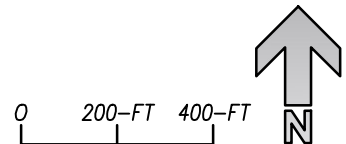


100% DESIGN DEVELOPMENT
CID| ROLESVILLE PLAN CASE # SDP-26-XX
ROLESVILLE POLICE STATION
408 E. YOUNG STREET - LOT 1
ROLESVILLE NC, 27571
TOWN OF ROLESVILLE
JUNE 22ND, 2026
PERMIT SET

VICINITY MAP



SITE DATA

OWNER: TOWN OF ROLESVILLE
OWNER CONTACT: P.O. BOX 250
ROLESVILLE, NC 27571
MEDHAT BASELOUS, PE, PMP
CAPITAL PROJECT MANAGER, TOWN OF ROLESVILLE
MEDHAT.BASELOUS@ROLESVILLE.NC.GOV

LANDSCAPE ARCHITECT: CLH DESIGN, P.A.
DESIGNER CONTACT: RACHEL WATSON, PLA
919-319-6716
400 REGENCY FOREST DRIVE, STE.120
CARY, NC 27511
RWATSON@CLHDESIGNPA.COM

CIVIL ENGINEER: CLH DESIGN, P.A.
DESIGNER CONTACT: DANI LOVERA, PE
919-319-6716
400 REGENCY FOREST DRIVE, STE. 120
CARY, NC 27511
DLOVERA@CLHDESIGNPA.COM

PROJECT ADDRESS: LOT-1 408 E. YOUNG STREET & O E. YOUNG STREET
ROLESVILLE, NC 27571

PLANNING JURISD: TOWN OF ROLESVILLE
PIN: 1760098727
DEEDED ACREAGE: 13.39AC
ZONING: BT - BUSINESS INDUSTRIAL AND TECHNOLOGY
EXISTING USE: VACANT
PROPOSED USE: POLICE STATION
DISTURBED AREA: 2.0 ACRES
PROPOSED FIRE: 15,112 SQFT
BUILDING HEIGHT: N/A

RIVER BASIN: NEUSE RIVER
FLOODZONE: N/A
FEMA MAP: PANEL 3720176900J

SHEET INDEX

- CIVIL**
- C-0.00 COVER
 - C-1.01 STAKING PLAN
 - C-2.01 EXISTING CONDITIONS & DEMOLITION PLAN
 - C-3.01 GRADING PLAN
 - C-4.01 EROSION CONTROL PLAN
 - C-5.01 UTILITY PLAN
 - C-6.01 LANDSCAPE PLAN
 - C-8.01 SITE DETAILS
 - C-8.02 SITE DETAILS
 - C-9.01 UTILITY DETAILS
 - C-9.02 UTILITY DETAILS
 - C-9.03 UTILITY DETAILS
 - C-9.04 UTILITY DETAILS
 - C-9.05 UTILITY DETAILS

ARCHITECTURAL
A200 EXTERIOR ELEVATIONS

PARKING SPACE REQUIREMENTS:

PARKING STANDARDS: 2.5 PARKING SPACES PER 1000SF
15,112SF / 1000SF X 2.5 PARKING SPACES
= 38 PARKING SPACES
48 PARKING SPACES PROVIDED

BIKE STANDARDS: 1 BIKE SPACE PER 5000SF
15,112SF / 5000SF
= 3 BIKE SPACES REQUIRED
3 BIKE SPACES PROVIDED

TYPE 3 LANDSCAPE BUFFER REQUIREMENTS:

25' TYPE 3 LANDSCAPE BUFFER:

STANDARD : 4 TREES PER 100LF - (275LF / 100) X 4 = 11 TREES REQUIRED
13 TREES PROVIDED

STANDARD : 2 UNDERSTORY TREES PER 100LF - (275LF / 100) X 2 = 6 TREES REQUIRED
6 UNDERSTORY TREES PROVIDED

STANDARD : 60 SHRUBS PER 100LF - (275LF / 100) X 60 = 165 SHRUBS REQUIRED
168 SHRUBS PROVIDED

6" WALL - NOT PROVIDED

ATTENTION CONTRACTORS

THE CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE INFRASTRUCTURE INSPECTIONS DIVISION AND SCHEDULE A PRE-CONSTRUCTION MEETING ON THE DEVELOPMENT PORTAL PRIOR TO BEGINNING ANY CONSTRUCTION. RALEIGH WATER MUST BE CONTACTED AT (919) 996-4540 AT LEAST TWENTY-FOUR HOURS PRIOR TO BEGINNING ANY WORK AROUND CRITICAL WATER AND SEWER INFRASTRUCTURE.

FAILURE TO NOTIFY CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

TOWN OF ROLESVILLE
SIGNATURE BLOCK

Signature block for the Town of Rolesville, including a line for the official seal and signature.

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT
APPROVED
EROSION CONTROL ☐ SEC-
STORMWATER MGMT ☐ SWF-
FLOOD STUDY ☐ SWF-
DATE: _____

RALEIGH WATER INSPECTIONS QUANTITIES (SUBDIVISIONS & SITE PLANS)	
NUMBER OF LOTS	6
NUMBER OF UNITS	N/A
PUBLIC WATER (LF)	2023
PUBLIC SEWER (LF)	950
PUBLIC FORCE MAIN (LF)	N/A
PRIVATE SEWER (LF)	360
WATER SERVICE STUBS (QTY)	6
SEWER SERVICE STUBS (QTY)	0
AVERAGE DAILY FLOW PER PHASE	TBD

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ROLESVILLE, NC
27571

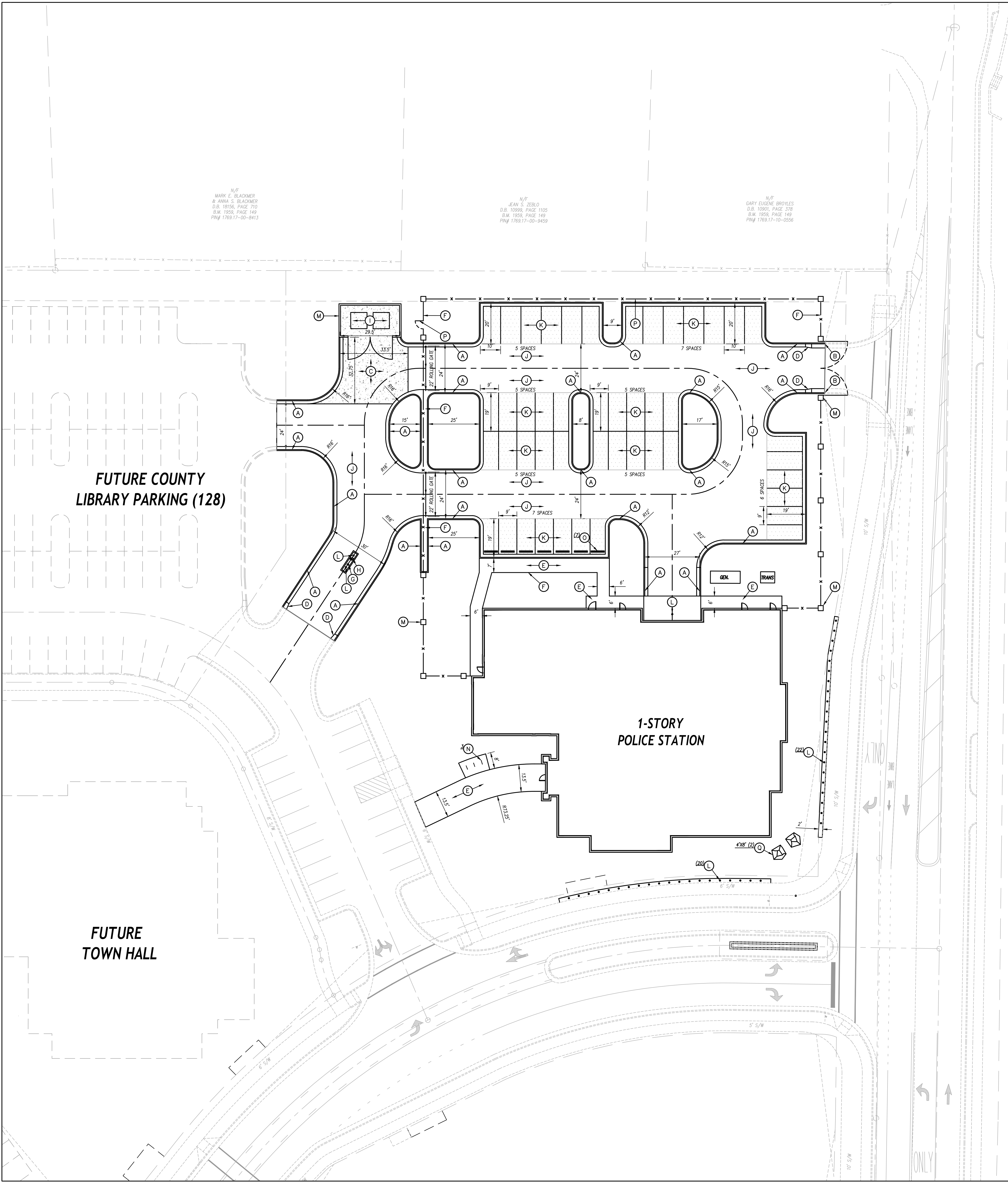
COVER SHEET

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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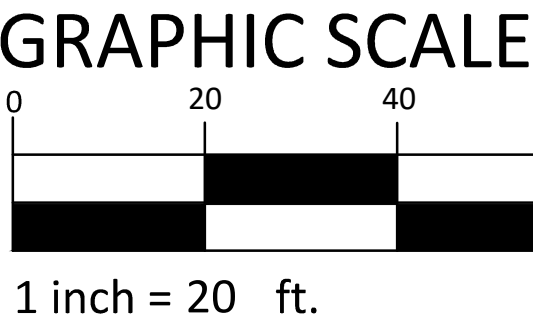
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C-0.00



- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE AND NCDOT STANDARDS AND SPECIFICATIONS.
 2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
 4. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL PAYMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 6. ALL FACE OF RADII ARE 4'-FT UNLESS OTHERWISE SHOWN.
 7. ALL PARKING SPACES SHALL BE A MINIMUM OF 9'-FT WIDE X 19'-FT DEEP.
 8. (AC) DENOTES ACCESSIBLE PARKING SPACE.
 9. (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
 10. ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 11. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
 12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
 13. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

- KEY NOTES**
- (A) 24-IN CURB & GUTTER, SEE DETAIL SHEET ____
 - (B) 30-IN CURB & GUTTER, SEE DETAIL SHEET ____
 - (C) CONCRETE PAVEMENT, SEE DETAIL SHEET ____
 - (D) 24-IN TO 30-IN CURB TRANSITION.
 - (E) CONCRETE SIDEWALK, SEE DETAIL SHEET ____
 - (F) 8'-FT ORNAMENTAL ALUMINUM FENCE AND GATES WITH MASONRY COLUMNS, SEE DETAIL SHEET ____
 - (G) APPROX. LOCATION OF KNOX BOX SWITCH, VERIFY W/ OWNER, SEE DETAIL SHEET ____
 - (H) APPROX. LOCATION OF KEYPAD FOR GATE, VERIFY W/ OWNER, SEE DETAIL SHEET ____
 - (I) DUMPSTER, PROVIDED BY OWNER.
 - (J) "HEAVY" DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET ____
 - (K) "LIGHT" DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET ____
 - (L) STEEL BOLLARD, SEE DETAIL SHEET ____
 - (M) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, LOADING DOCK, RAMPS, STAIRS, HANDRAILS, GUARDRAILS, BOLLARDS AND MECHANICAL SERVICE YARD.
 - (N) BIKE RACK, SEE SPECIFICATIONS, SEE DETAIL SHEET ____
 - (O) PRECAST CONCRETE WHEELSTOP, SEE DETAIL SHEET ____
 - (P) 8'-FT ORNAMENTAL ALUMINUM FENCE WITH NO COLUMN, SEE DETAIL SHEET ____
 - (Q) 4' x 8' BOULDER TO BE BURIED MIN. 18"



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**TOWN OF ROLESVILLE
POLICE
DEPARTMENT**

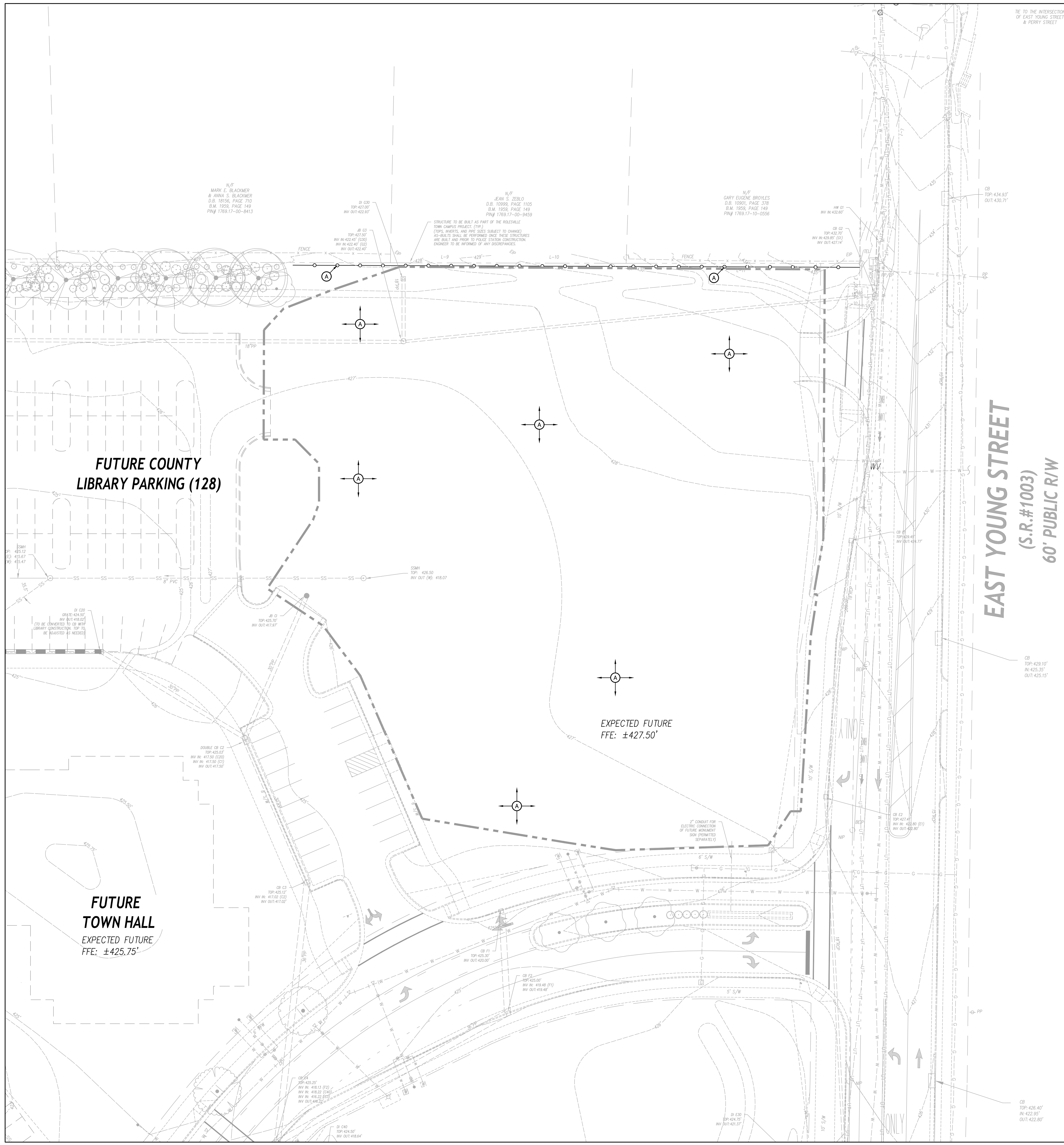
ROLESVILLE, NC
27571

STAKING PLAN

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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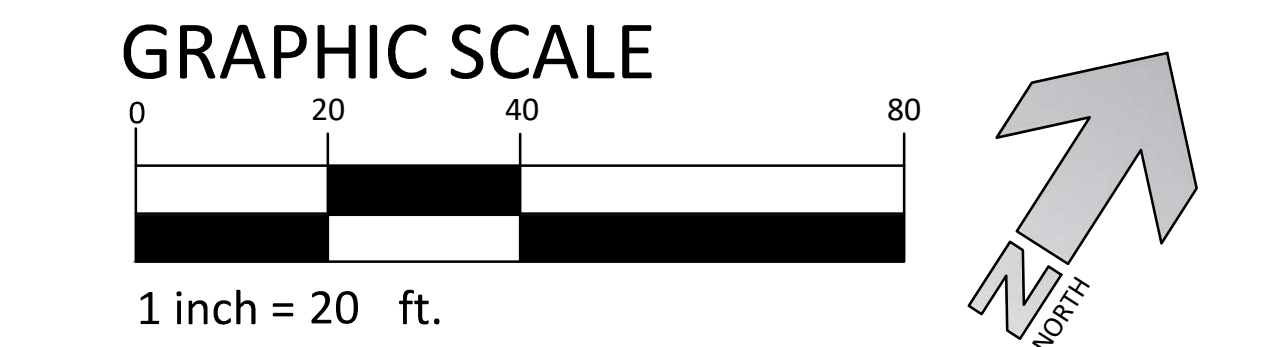
SHEET NUMBER:
C-1.01



LEGEND	
STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL	OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL	UNDERGROUND ELECTRICAL
FIRE PROTECTION	FIRE PROTECTION
GAS	GAS
SANITARY SEWER	SANITARY SEWER
TELEPHONE	TELEPHONE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC	FIBER OPTIC
WATER	WATER
FORCE MAIN	FORCE MAIN
STORM DRAIN	STORM DRAIN
INDIVIDUAL TREE TO BE REMOVED.	INDIVIDUAL TREE TO REMAIN.
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
CONSTR./CLEARING LIMITS	
TEMPORARY CONSTRUCTION FENCING	

- GENERAL NOTES
- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
 - ALL ASPHALT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. SIDEWALK TO BE REMOVED TO NEAREST EXISTING JOINT. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED FOR THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
 - ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 - ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 - EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY C.M.P. PERFORMED 03/16/2021. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
 - TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2'-4" DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR, ROOTS.
 - PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 - VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT. AREAS TO BE PROTECTED, REPAIRED AND CLEARED SHALL ALSO INCLUDE ANY STAGING AREAS, ACCESS ROUTES AND OTHER EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS THAT ARE TO REMAIN.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
 - ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
 - DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET C-201 FOR PAVEMENT REPAIR DETAILS.
 - THIS SITE IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP 3720170040L, DATED AS BEING WITHIN ZONE "X-OTHER AREA".
 - NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.

- KEY NOTES
- (A) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - (B) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET C-201.



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ROLESVILLE, NC
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EXISTING CONDITIONS &
DEMOLITION PLAN

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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SHEET NUMBER:
C-2.01

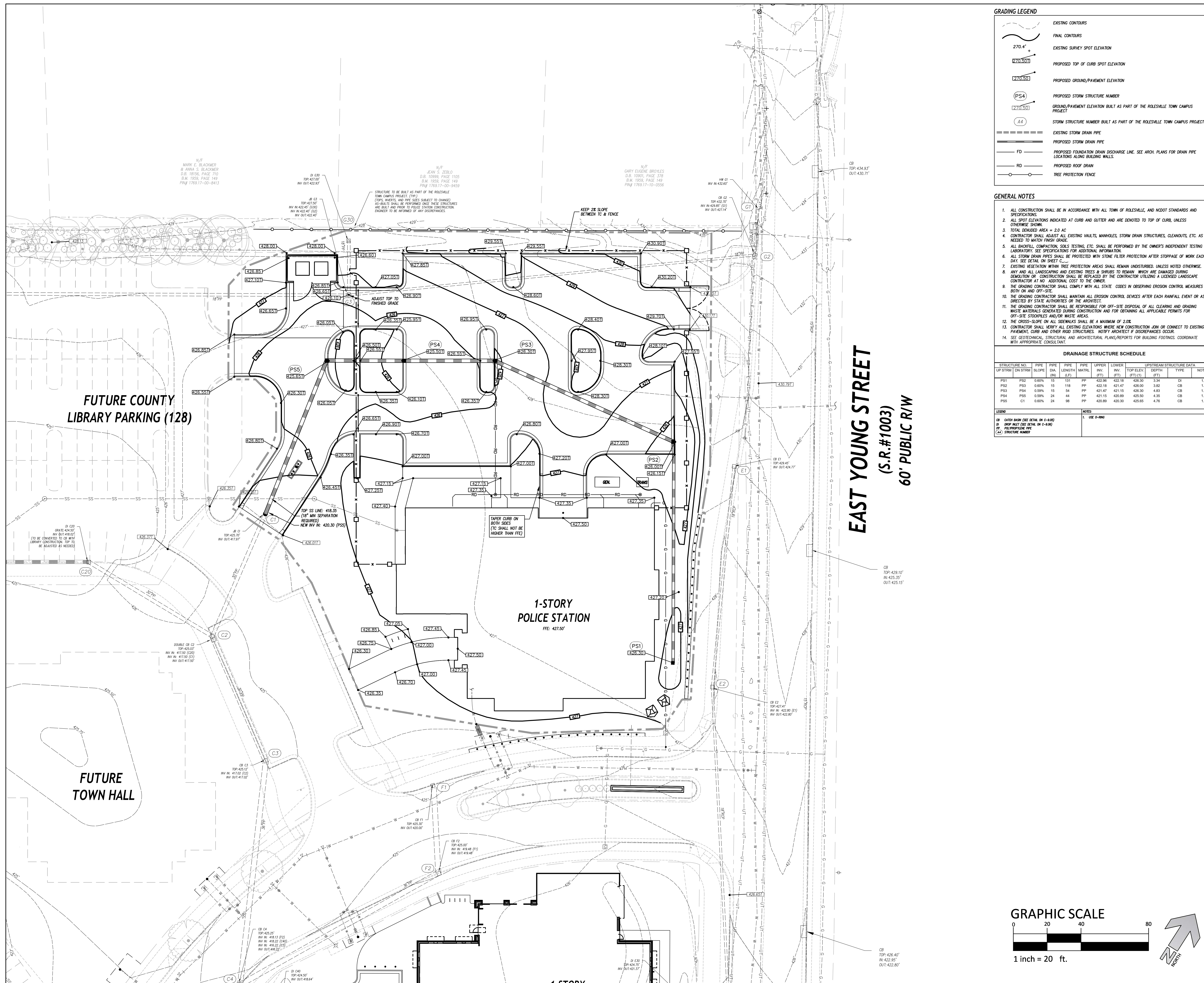
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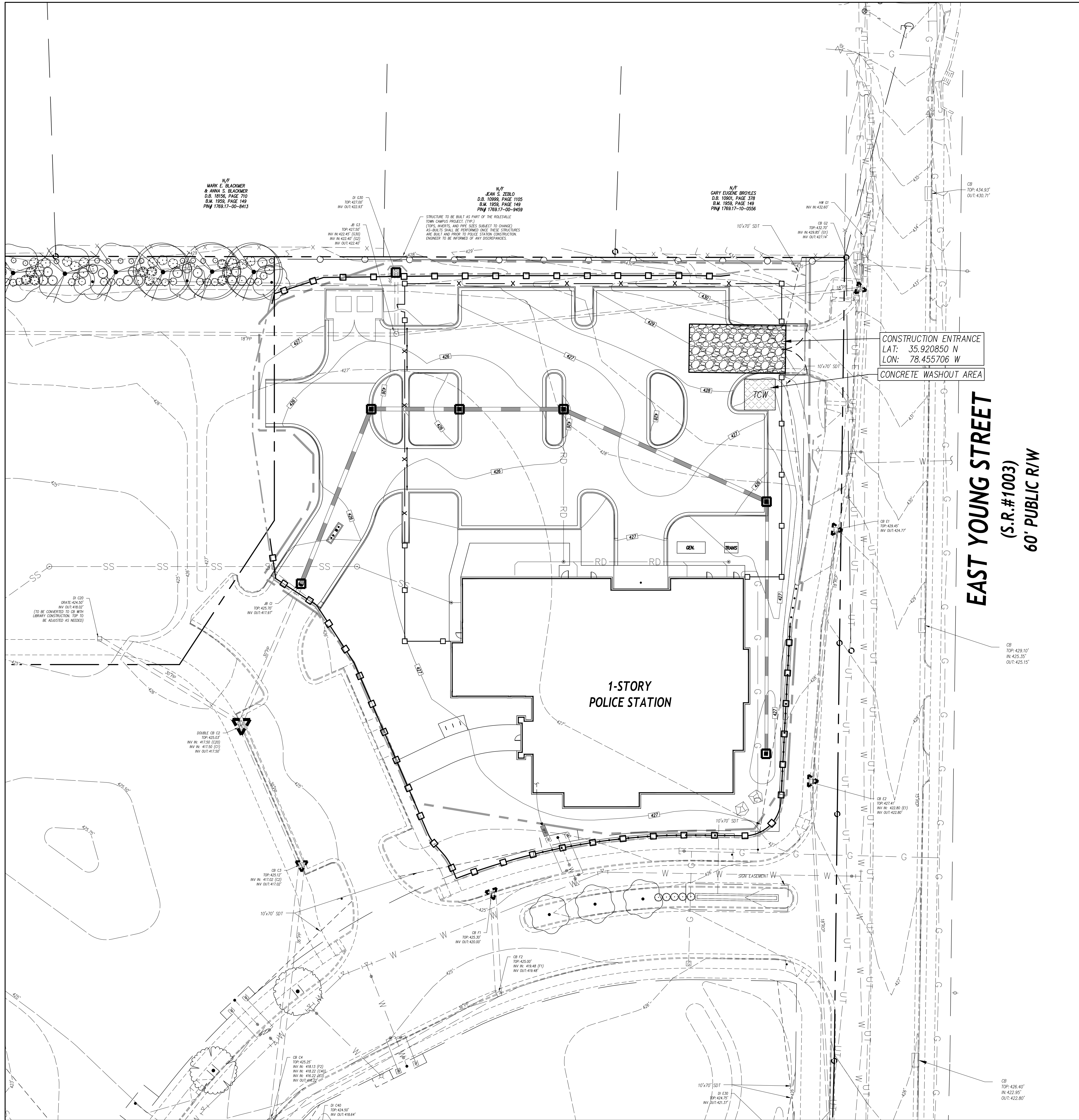
DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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SHEET NUMBER:

C-3.01





LEGEND			
	GRAVEL CONSTR. ENTRANCE, SEE DETAIL SHEET		TEMP. SKIMMER SEDIMENT BASIN, SEE DETAIL SHEET
	TEMP. INLET PROTECTION DEVICE, SEE DETAIL SHEET		TEMP. BAFFLES, SEE DETAIL SHEET
	TEMP. COMPOST SOCK INLET PROTECTION DEVICE, SEE DETAIL SHEET		EXISTING CONTOUR
	TEMP. CONTOUR		FINISHED CONTOUR
	TEMP. BAG INLET PROTECTION, SEE DETAIL SHEET		TEMP. GRADES DURING CONSTR., SEE DETAIL SHEET
	TEMP. DIVERSION DITCH / BERM, SEE DETAIL SHEET		TEMP. ROCK PIPE INLET PROTECTION, SEE DETAIL SHEET
	TEMP. SILT FENCE, SEE DETAIL SHEET		CHANNEL LINING, SEE DETAIL SHEET
	TEMP. REINFORCED SILT FENCE OUTLET, SEE DETAIL SHEET		TEMPORARY SLOPE MATTING SLOPES 6:1 OR STEEPER
	TEMP. J-HOOK PROTECTION, SEE DETAIL SHEET		TEMP. DEWATERING SILT BAG, SEE DETAIL SHEET
	TEMP. PROTECTION FENCE, SEE DETAIL SHEET		TREE PROTECTION FENCE, SEE DETAIL SHEET
	TEMP. CONCRETE WASHOUT AREA, SEE DETAIL SHEET		TEMP. COMPOST SOCK IN CHANNEL, SEE DETAIL SHEET
	TEMP. PLASTIC LINING, SEE TEMP. BASIN BAFFLES DETAIL SHEET		TEMP. SLOPE DRAIN, SEE DETAIL SHEET
	TEMP. ROCK CHECK DAM, SEE DETAIL SHEET		PROPOSED STORM SEWER PIPES
	TEMP. COFFER DAM, SEE STREAM CROSSING/OUTLET INSTALLATION DETAIL SHEET		EXISTING STORM SEWER PIPES
	TEMP. LEVEL SPREADER, SEE DETAIL SHEET		CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED
	TEMP. TIMBER/BRUSH MAT, SEE DETAIL SHEET		REINFORCED SILT FENCE OUTLET W/ STORAGE, SEE DETAIL SHEET
	TEMP. EXCAVATED INLET, SEE DETAIL SHEET		TRACK-OUT MAT CONSTRUCTION ENTRANCE, SEE DETAIL SHEET

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL WAKE COUNTY, NCDOT, AND NCDOT STANDARDS, SPECIFICATIONS, MANUALS, AND ORDINANCES.
 - THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF SITE. ALL GRADING, SOIL BORROW AND WASTE SITES SHALL BE PROPERLY PERMITTED FOR SUCH ACTIVITIES. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION OF SEDIMENT & EROSION CONTROL PERMIT FOR ANY OFF-SITE SITES TO OWNER PRIOR TO RELOCATING ANY STOCKPILE MATERIALS.
 - THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY LOCAL AUTHORITIES OR ARCHITECT.
 - TOTAL DISTURBED AREA: 2.0 AC.
 - ALL OPEN STORM PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER WORK STOPPAGE EACH DAY, SEE DETAIL SHEET.
 - ALL STORM DRAINAGE PIPES SHALL BE THOROUGHLY FLUSHED OF ALL SEDIMENT FOLLOWING SITE STABILIZATION. INTERIOR FLUSHING OF SYSTEM SHALL BE PERFORMED AS NEEDED TO MAINTAIN PROPER FUNCTIONING OF THE DRAINAGE SYSTEM. CLEANING SHALL BE PERFORMED IN A MANNER WHICH PREVENTS SEDIMENT FROM BEING FLUSHED THROUGH PIPES TO THE EXISTING DRAINAGE SYSTEM.
 - THE INDICATED STAGING AREAS IS INTENDED FOR ROCKS AND NON-STOCKPILE MATERIALS ONLY. NO SOIL, SAND, OR OTHER ERODIBLE, FINE GRAINED MATERIAL SHALL BE STORED OUTSIDE OF THE LIMITS OF THE SITE PROTECTED BY SEDIMENT AND EROSION CONTROL DEVICES AND MEASURES. STOCKPILES SHALL BE STABILIZED AS REQUIRED AS INDICATED IN THE SLOPE & SURFACE STABILIZATION NOTES ON THIS PLAN. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
 - THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
 - TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREAS WITHOUT WRITTEN AUTHORIZATION OF THE COUNTY ZONING DEPARTMENT. ANY ACTIVITY (LANDSCAPING, FENCING, OR UTILITY INSTALLATION) SHOWN ON THE APPROVED PLANS IN A TREE PROTECTION AREA, SHALL ALSO NOT OCCUR WITHOUT WRITTEN AUTHORIZATION FROM THE COUNTY ZONING COMPLIANCE STAFF. ANY UNAUTHORIZED ENCROACHMENT OR DISTURBANCE WITHIN THE BOUNDARIES OF A TREE PROTECTION AREA SHALL AUTOMATICALLY RESULT IN FINES AND THE REPLACEMENT OF ANY DAMAGED VEGETATION IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.
 - ROADSIDE DITCHES AND CHANNELS SHALL BE STABILIZED DAILY UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 - INSTALL TEMPORARY MATTING TO TOP OF ALL SIDE SLOPES ON CHANNELS, DIVERSION DITCHES AND TEMPORARY SEDIMENT BASINS, SEE DETAIL SHEET (PERMANENT CHANNEL) AND (TEMPORARY DIVERSION DITCH) FOR TYPE OF MATTING TO USE.
 - ANY DETERIORATION OF SEDIMENT CONTAINMENT DEVICES FOR MAINTENANCE, REMOVAL OR CONVERSION PURPOSES IS TO BE DONE THROUGH A SILT BAG.
 - ANY DETERIORATION OF STORM/UTILITY DITCHES IS TO BE DONE THROUGH A SILT BAG.
 - GROUND COVER IS TO BE APPLIED PER CONDITIONS OF THE NPDES PERMIT OR AT THE END OF THE DAY IN CRITICAL AREAS.
 - CONTRACTOR SHALL USE TIRE WASH STATION TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROAD IF CONSTRUCTION ENTRANCE IS FOUND INSUFFICIENT AT NO ADDITIONAL COST TO OWNER.
 - CONTRACTOR SHALL UTILIZE PAM FLOCCULANTS TO REDUCE RUN-OFF TURBIDITY. SEE SPECS.

- MAINTENANCE PLAN**
- DURING ALL PHASES OF CONSTRUCTION, GROUND COVER ON EXPOSED SLOPES SHALL BE PROVIDED ACCORDING TO GROUND STABILIZATION TABLE (SHEET) FOLLOWING COMPLETION OF ANY PHASE OF GRADING.
 - FINAL PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED ON ALL DISTURBED AREAS ACCORDING TO GROUND STABILIZATION TABLE (SHEET) FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
 - THE ABOVE REQUIREMENTS ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS AND SCHEDULES WHICH MAY EXCEED THOSE ABOVE.
 - SLOPE EROSION CONTROL MATTING SHALL BE INSTALLED FOR TEMPORARY STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (6:1 OR STEEPER). REFER TO MATERIAL SPECIFICATIONS. INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS.
 - ALL OTHER SEEDD AREAS SHALL BE MULCHED WITH STRAW AND TACKED WITH ASPHALT.

SELF-INSPECTION RULES

SEE SHEET FOR SELF-INSPECTION REQUIREMENTS.

THE CONTRACTOR (ACTING AS AN AGENT FOR THE FINANCIALLY RESPONSIBLE PERSON) SHALL PERFORM SELF INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES USING NCDOT'S SELF INSPECTION REPORT (WORKSHEET) AND SHALL KEEP COPIES OF INSPECTION REPORTS ONSITE.

SLOPE & SURFACE STABILIZATION

GROUND STABILIZATION SHALL BE PROVIDED ON ALL DISTURBED AREAS ACCORDING TO GROUND STABILIZATION NOTES. SEE SHEET.

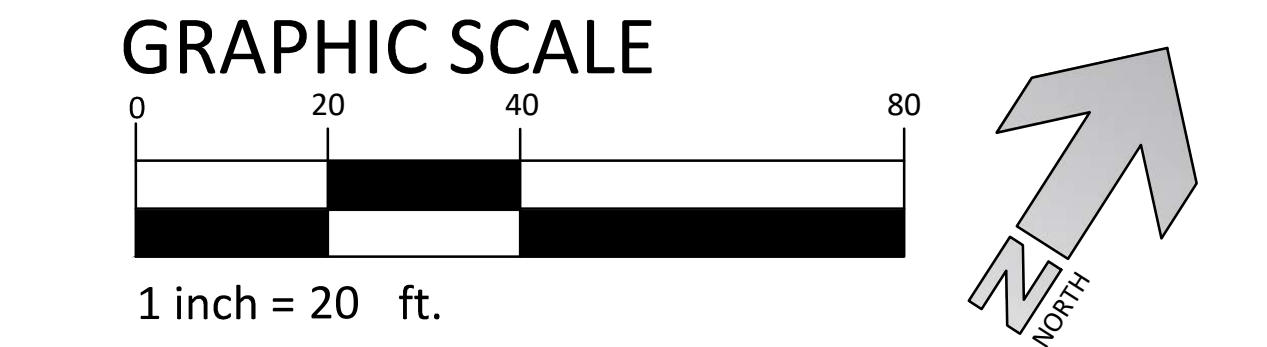
EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE (SECTION 1.B(2) (b)).

THE REQUIREMENTS ON SHEET ARE THE MINIMUM NECESSARY TO MEET EROSION AND SEDIMENT CONTROL REGULATIONS. THE CONTRACT DOCUMENTS INCLUDE ADDITIONAL SEEDING AND STABILIZATION REQUIREMENTS AND SCHEDULES WHICH MAY EXCEED MINIMUM REQUIREMENTS.

INSTALL TEMPORARY EXCLOSURE MATTING FOR STABILIZATION DURING THE ESTABLISHMENT OF VEGETATIVE COVER ON ALL STEEP SLOPES (6:1 OR STEEPER) AND AREAS OF CONCENTRATED FLOW (CHANNELS, DITCHES, SWALES, ETC.). UTILIZE TEMPORARY COCOMAT MAT IN AREAS DERIVED ON PLAN. REFER TO SPECIFICATION SECTION 312500 FOR MATERIAL SPECIFICATIONS. INSTALL MATTING PER MANUFACTURER'S INSTRUCTIONS.

SEE SHEET EROSION CONTROL CONSTRUCTION SEQUENCE.

SEE SHEET EROSION CONTROL GROUND COVER PLAN FOR MORE INFORMATION.



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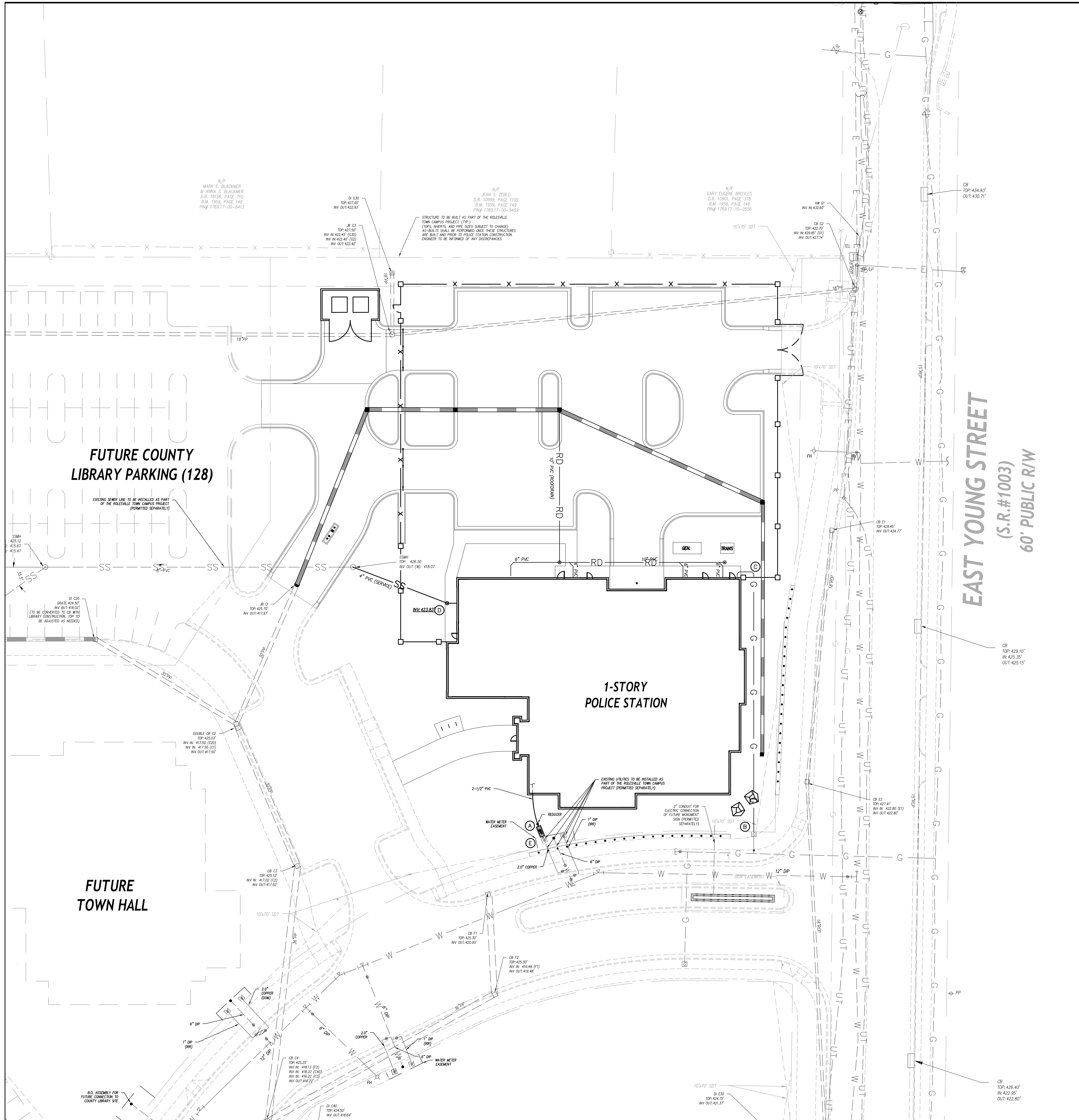
TOWN OF ROLESVILLE POLICE DEPARTMENT

ROLESVILLE, NC 27571

EROSION CONTROL PLAN

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

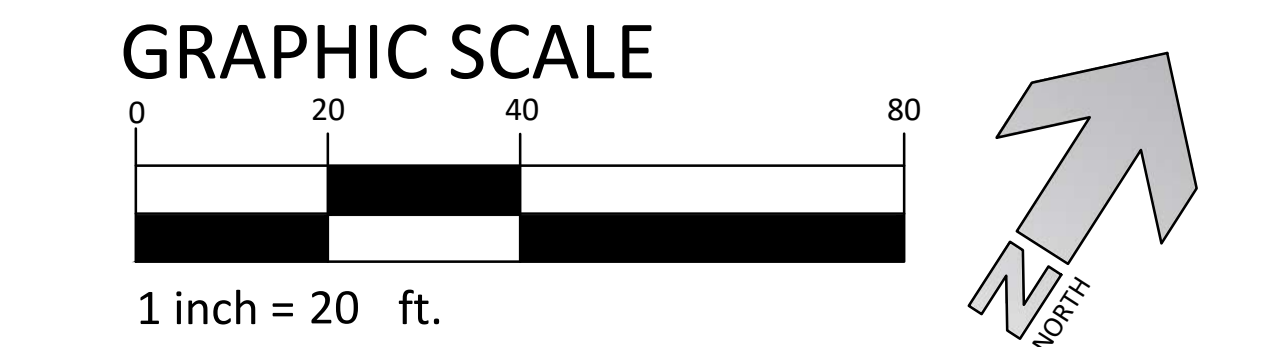
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UTILITY LEGEND		
	EXISTING	PROPOSED
CHILLED WATER	--- CW ---	CW
ELECTRICAL (OVERHEAD)	--- E ---	E
ELECTRICAL (UNDERGROUND)	--- UE ---	UE
FOUNDATION DRAIN	--- FD ---	FD
GAS	--- G ---	G
SANITARY SEWER	--- SS ---	SS
TELEPHONE (OVERHEAD)	--- T ---	T
TELEPHONE (UNDERGROUND)	--- UT ---	UT
WATER	--- W ---	W
ROOF DRAIN	--- RD ---	RD
FIRE PROTECTION	--- FP ---	FP
STORM DRAIN	---	---
TREE PROTECTION FENCING, SEE EROSION CONTROL PLANS		
LIGHT POLE	☆ LP	☆
UTILITY POLE	⊗ PP	⊗
MANHOLE	⊙ MH	⊙
CLEAN OUT	⊙ CO	⊙
DROP INLET/CATCH BASIN	□ DI, CB	■
FIRE HYDRANT	⊕ FH	⊕
WATER VALVE	⊙ WV	⊕
POST INDICATOR VALVE (PIV)		⊕
FIRE DEPARTMENT CONNECTION (FDC)		⊕
THRUST BLOCKING		⊕
SANITARY SEWER STRUCTURE IDENTIFICATION		1

- GENERAL NOTES-UTILITY**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, AND NC DOT STANDARDS, SPECIFICATIONS AND DETAILS.
 - INSTALL WATERMANS WITH A COVER OF NO LESS THAN 3'-FT.
 - INSTALL SEWER MAINS WITH A COVER OF NO LESS THAN 3'-FT TO FINISH GRADE IN NON-TRAFFIC AREAS, 4'-FT TO FINISH GRADE IN TRAFFIC AREAS.
 - INSTALL ALL UTILITIES TO PROVIDE REQUIRED CLEARANCES AS INDICATED IN THE SPECIFICATIONS.
 - WATERLINES AND SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL CLEARANCE OF 10'-FT.
 - SEWER MAINS SHALL BE INSTALLED WITH A MINIMUM VERTICAL CLEARANCE OF 24"-IN TO STORM DRAINAGE PIPES.
 - COORDINATE AND SEWERAGE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CABLE.
 - VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
 - ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE NCSDC AND OSHA REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL UTILITY AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION. SEE SPECS FOR ALL AS-BUILT REQUIREMENTS.
 - CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES. COORDINATE SHORT-TERM, OFF-HOUR, TEMPORARY SHUT-DOWNS WITH THE OWNER.
 - SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
 - ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
 - ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 0.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24"-IN.
 - ALL CONDENSATE LINES SHALL BE CONNECTED TO STORM DRAINAGE SYSTEM.
 - NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.
 - SEE UTILITY DETAILS SHEETS FOR CITY OF RALEIGH STANDARD UTILITY NOTES AND DETAILS.

- KEY NOTES**
- (A) 2.0-IN ZURN-MILKINS MODEL 875H2 OR APPROVED EQUIVARIANT BACKFLOW PREVENTER (BFP) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET _____. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (B) APPROXIMATE LOCATION GAS METER AND GAS SERVICE LINES. SEE MECHANICAL PLANS FOR ADDITIONAL INFORMATION.
 - (C) 2 PSI NATURAL GAS SERVICE LINE. SEE MEP PLANS FOR ADDITIONAL INFORMATION. GC TO COORDINATE WITH UTILITY PROVIDER.
 - (D) NEW SANITARY SEWER CLEANOUT, TYP. SEE DETAIL SHEET _____. CONNECT TO EXISTING 2.0-IN WATER METER.
 - (E) CONNECT TO EXISTING 2.0-IN WATER METER.



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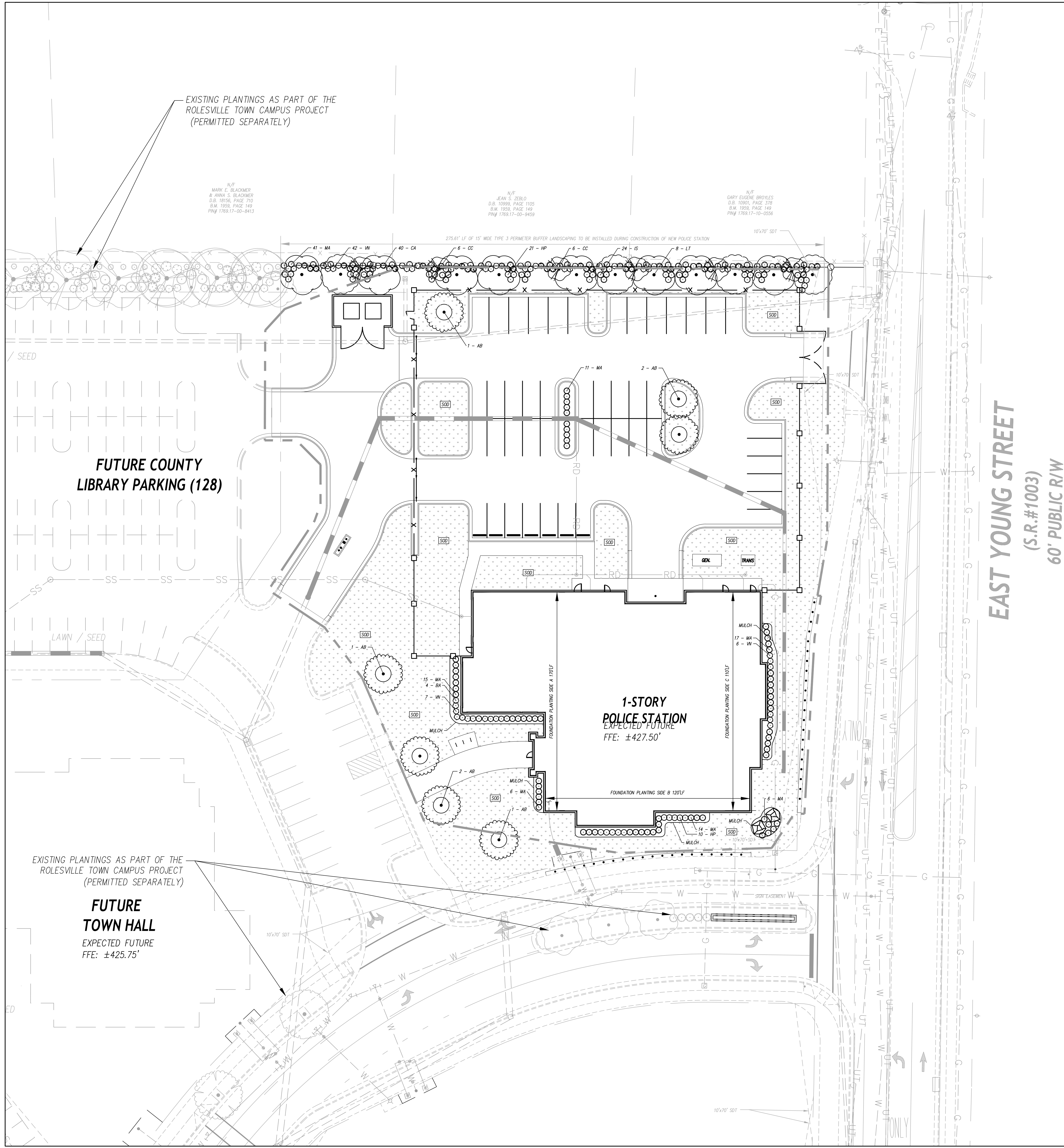
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27571

UTILITY PLAN

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

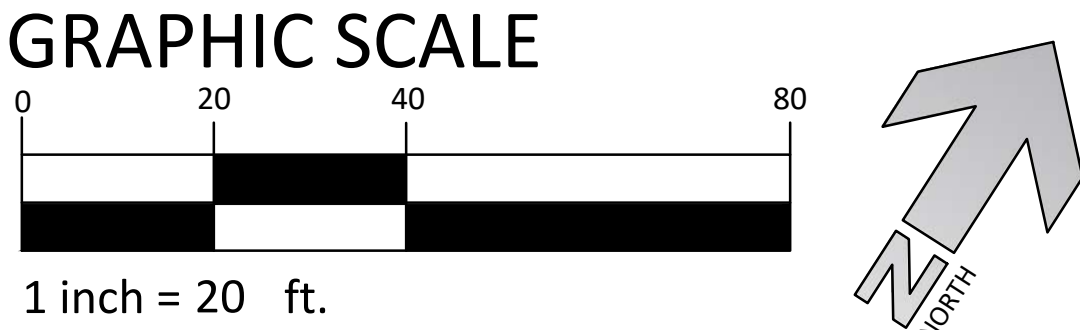
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PLANT SCHEDULE				
CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
TREES				
AB	7	ACER BUREGERIANUM TRENTON MAPLE	CONT./BAB	8' HT MIN.
OC	6	CERIS CANADENSIS 'NCCOY'	CONT./BAB	
LY	8	LIPODENDRON DELPHERA DWARF YEW	CONT./BAB	
OS	4	CERCIS SHUMARDII SHUMARD OAK	CONT./BAB	
SHRUBS				
BA	4	BAPTISIA AUSTRALIS BLUE WIND MIDGE	5 GAL CONT. FULL SPACE AS SHOWN	
CA	40	CALLICAPPA AMERICANA AMERICAN BEAUTYBERRY	7 GAL. FULL	
HP	31	HYPERICUM POLYPHYLLUM ST. JOHNSWORT	7 GAL. FULL	
IS	24	ILEX VERTICILLATA 'SOUTHERN GENTLEMAN' SOUTHERN GENTLEMAN WINTERBERRY	7 GAL. FULL	
MA	109	MOOREA CERIFERA NANA DWARF SOUTHERN WAX MYRTLE	7 GAL. FULL	
WN	55	WINTERBURN NIGRA WINTERBURN VIBURNUM	7 GAL. FULL	
		SOD		SEE DETAIL SHEET C-6.01

FOUNDATION PLANTING CALCULATION	
STANDARD: 50% OF THE BUILDING FACING PUBLIC OR PRIVATE STREET	
FOUNDATION PLANTING SIDE A	170LF / 2 = 85LF OF FOUNDATION PLANTING
PROVIDED: 80LF OF FOUNDATION PLANTING	
FOUNDATION PLANTING SIDE B	120LF / 2 = 60LF OF FOUNDATION PLANTING
PROVIDED: 75LF OF FOUNDATION PLANTING	
FOUNDATION PLANTING SIDE C	110LF / 2 = 55LF OF FOUNDATION PLANTING
PROVIDED: 75LF OF FOUNDATION PLANTING	



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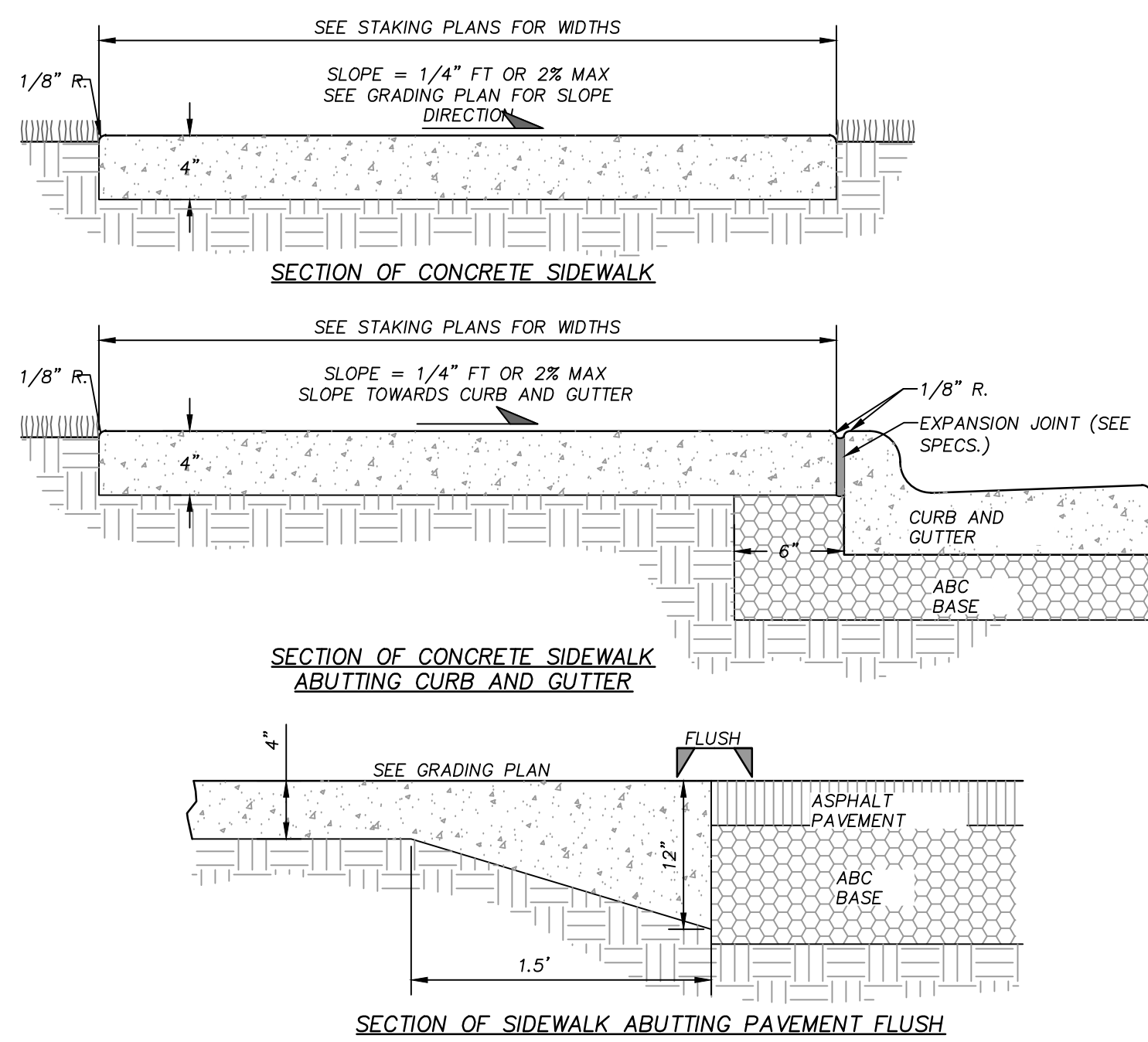
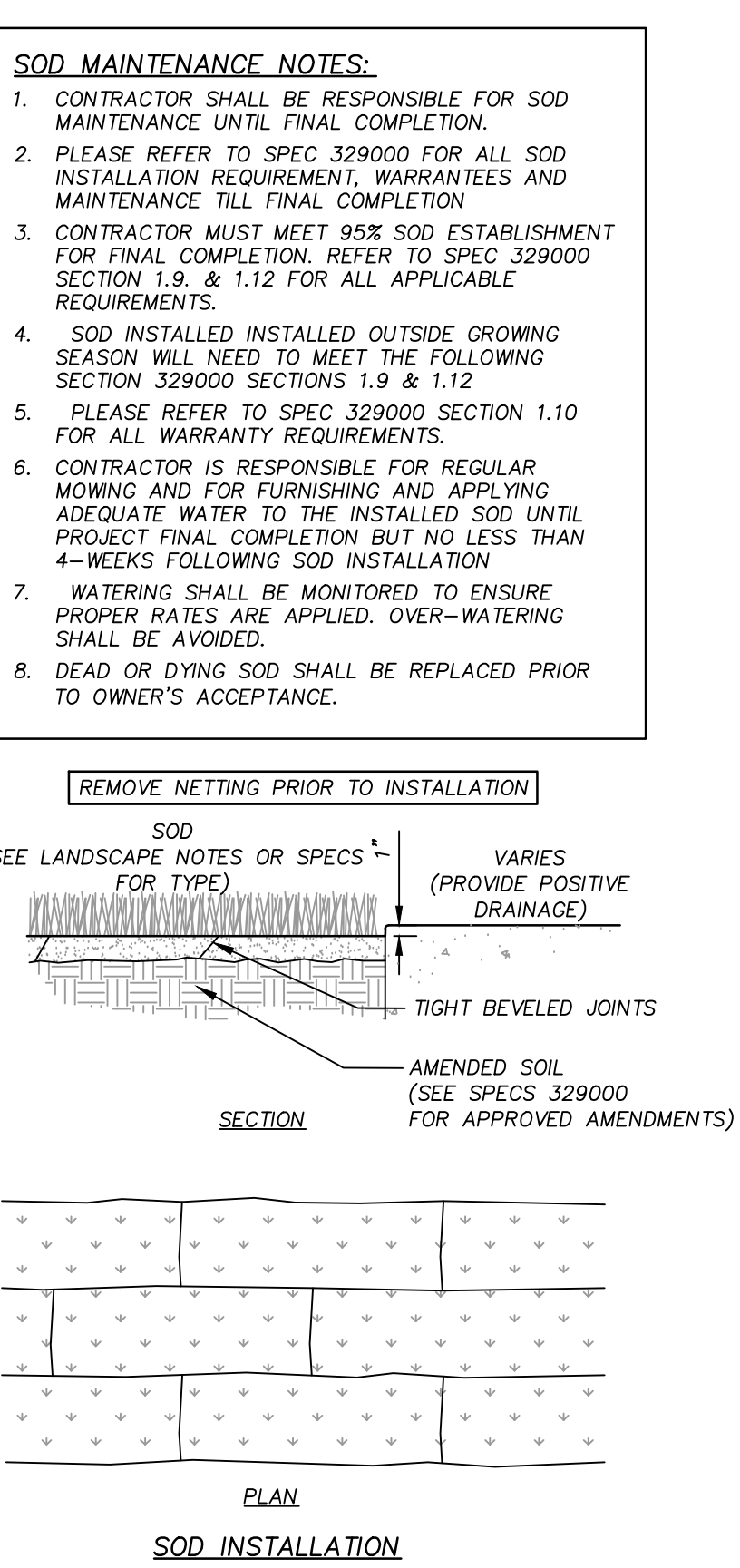
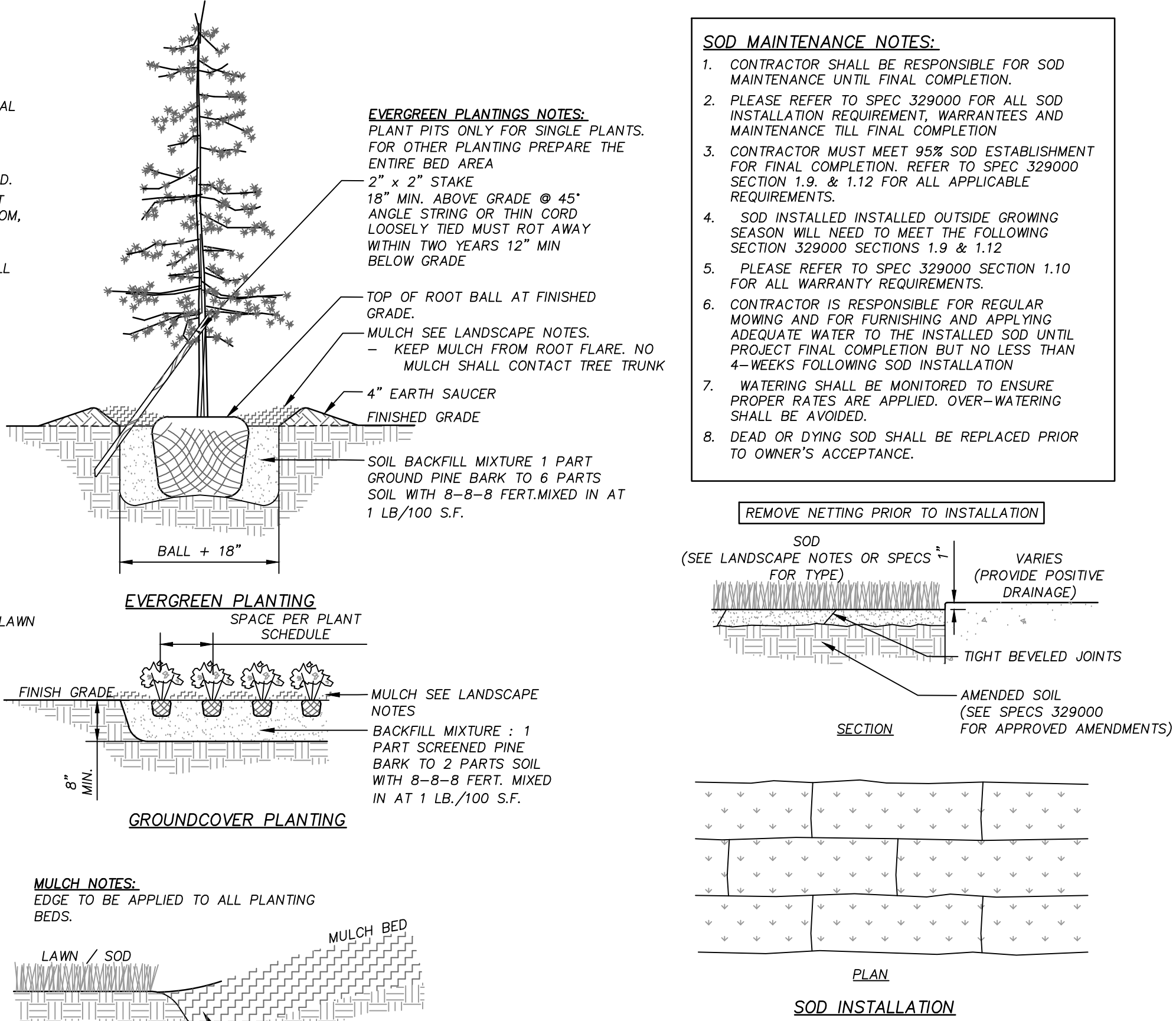
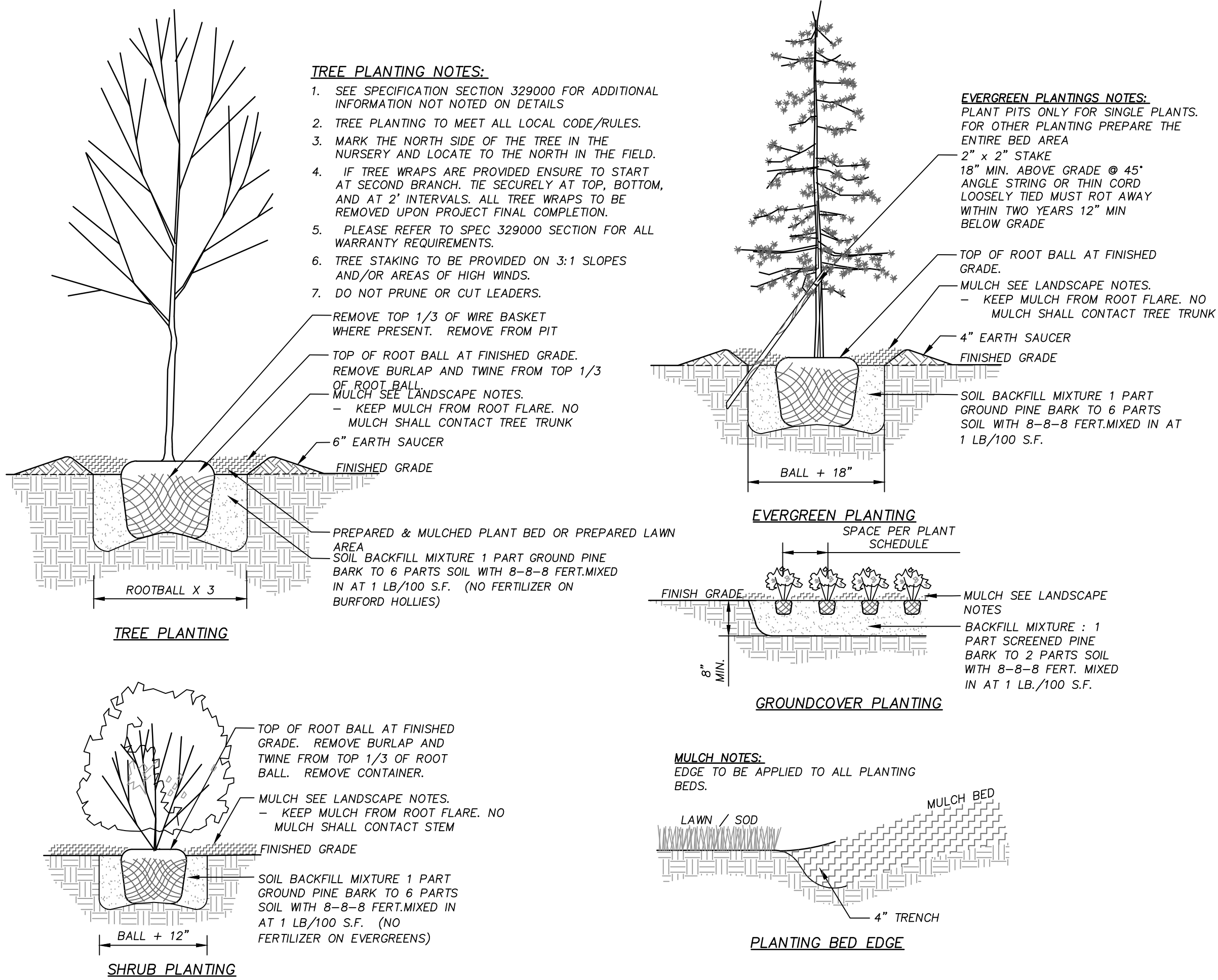
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LANDSCAPE PLAN

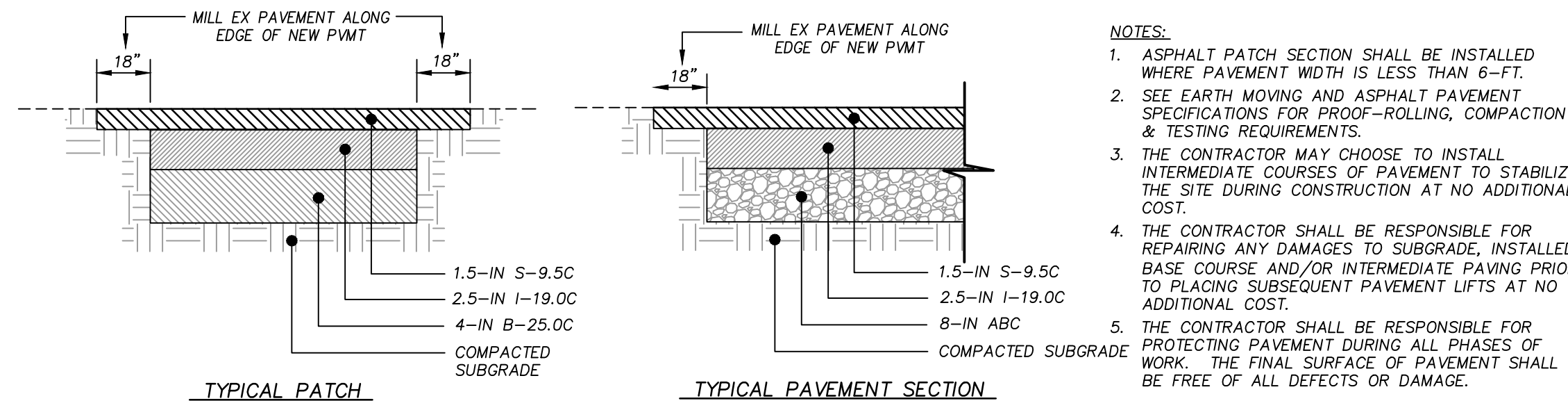
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CONCRETE SIDEWALK N.T.S.



ASPHALT PATCH N.T.S.

	LIGHT DUTY ASPHALT	MEDIUM DUTY ASPHALT	HEAVY DUTY ASPHALT
SURFACE COURSE	TYPE 3-9.5C	TYPE 5-9.5C	TYPE 5-9.5C
BINDER COURSE	-	-	-
AGGREGATE BASE COURSE	-	-	-
COMPACTED SUBGRADE	*TWO LIFTS		

SEE SPECIFICATIONS FOR PROOFROLLING, COMPACTION & TESTING REQUIREMENTS.

DETAIL IS FOR ON-SITE PAVING OPERATIONS ONLY.

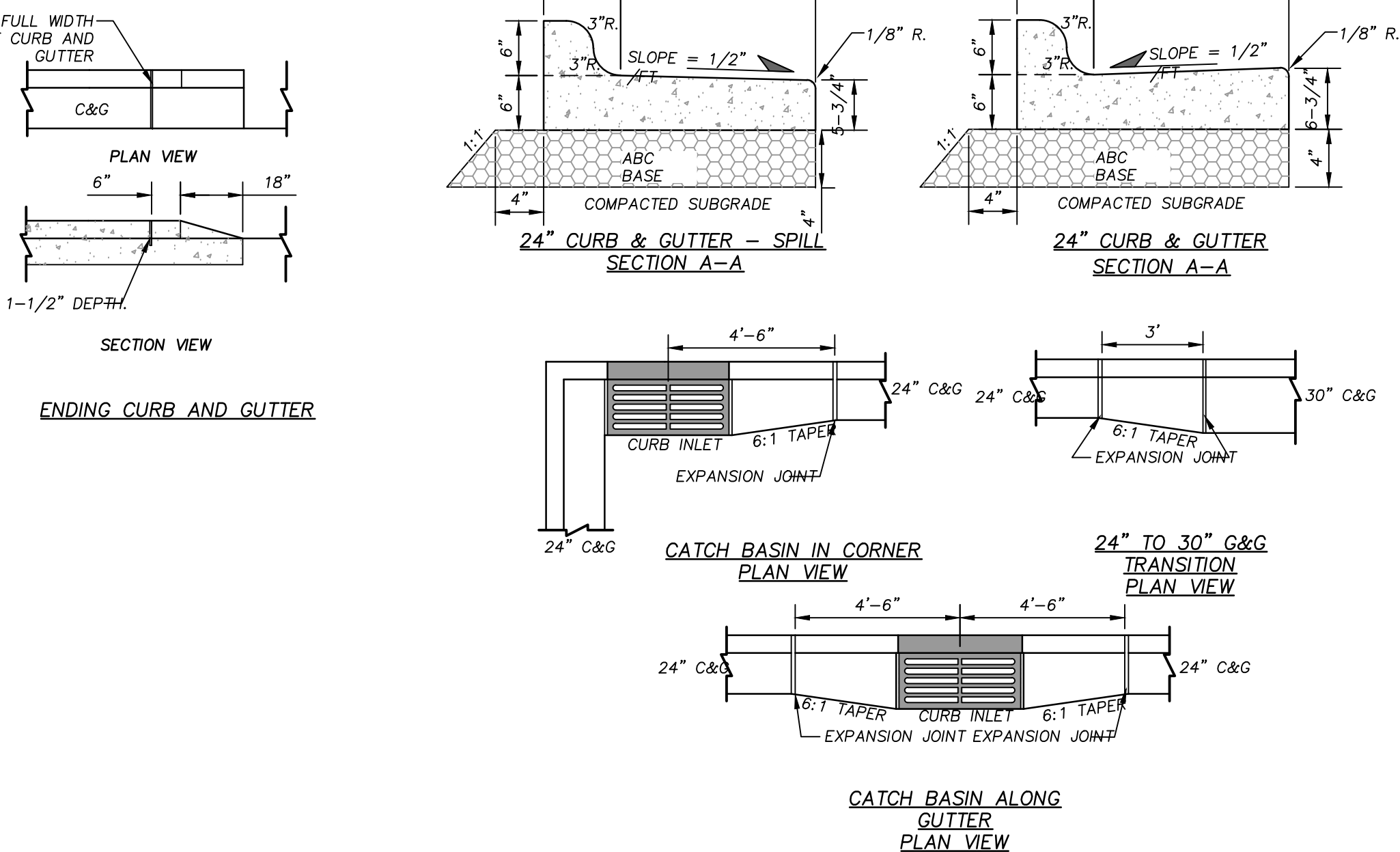
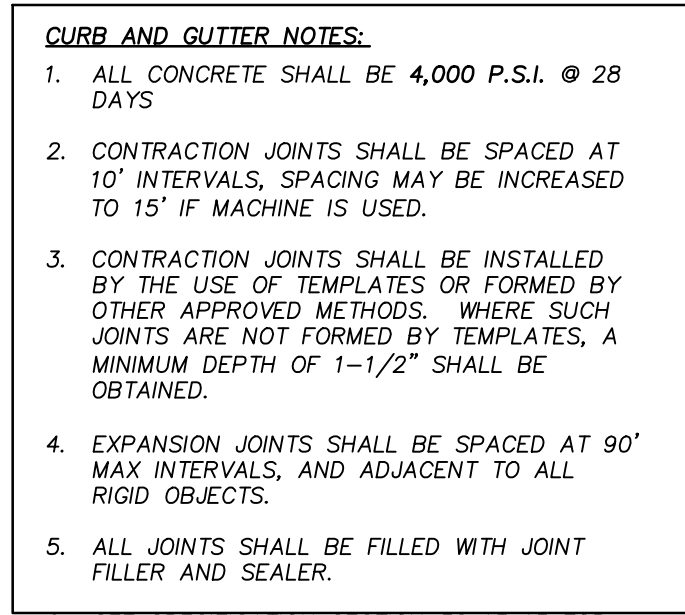
THE CONTRACTOR MAY CHOOSE TO INSTALL INTERMEDIATE COURSES OF PAVEMENT TO STABILIZE THE SITE DURING CONSTRUCTION AT NO ADDITIONAL COST.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ADEQUATE THICKNESS REQUIRED FOR INTERMEDIATE PAVING. INCREASES IN THE DESIGN PAVEMENT SECTION TO FACILITATE INTERMEDIATE PAVING SHALL BE PROVIDED AT NO ADDITIONAL COST.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGES TO SUBGRADE, INSTALLED BASE COURSE AND/OR INTERMEDIATE PAVING PRIOR TO PLACING SUBSEQUENT PAVEMENT LIFTS AT NO ADDITIONAL COST.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAVEMENT DURING ALL PHASES OF WORK. THE FINAL SURFACE OF PAVEMENT SHALL BE FREE OF ALL DEFECTS OR DAMAGE.

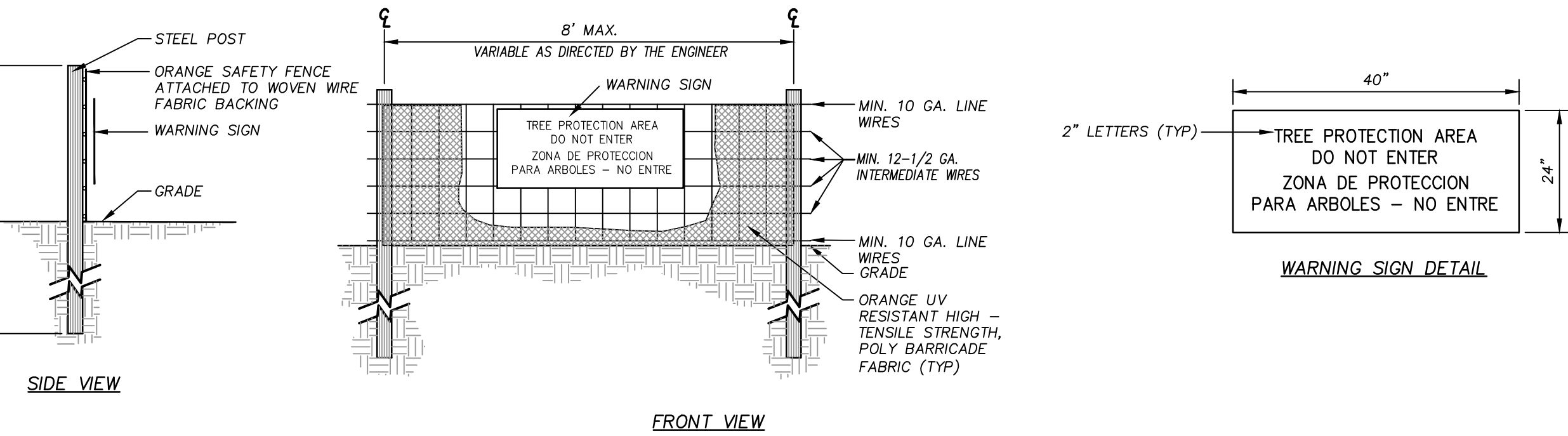
PAVEMENT SECTIONS N.T.S.



CURB AND GUTTER N.T.S.

PLANTING / LANDSCAPING DETAIL N.T.S.

- NOTES:**
- INSTALL TREE PROTECTION FENCING PRIOR TO PERFORMING ANY CLEARING OF THE SITE.
 - WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 100' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 100' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.



TEMPORARY TREE PROTECTION FENCE N.T.S.

TEMPORARY SEEDING SCHEDULE (JUNE 1ST TO FEBRUARY 28TH)

DATE	TYPE	SEEDING RATE
AUG 15 - APR 15	3-WAY TALL FESCUE BLEND AND CEREAL RYE (GRAN)	10 LBS PER 1,000/SF 35 LBS/ACRE
APR 15 - AUG 15	3-WAY TALL FESCUE BLEND AND GERMAN MILLET *** OR SUDANGRASS (SMALL-STEMMED VAR) ***	10 LBS PER 1,000/SF 25 LBS/ACRE

CONSULT CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENIED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

*** TEMPORARILY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE RESCUE MAY BE SHAVED OUT.

DATE	TYPE	SEEDING RATE
APR 15 - JULY 15 **	MULLED SUNSTAR OR RIVERA BERMUDA	150 LBS/ACRE *
JULY 15 - AUG 15	SUNSTAR OR RIVERA BERMUDA	150 LBS/ACRE *

* OR AS REQUIRED TO ACHIEVE 95% COVERAGE AS DETERMINED ON A PER SQUARE YARD BASIS PRIOR TO SUBSTANTIAL COMPLETION.

** WHEN SEEDING MUST TAKE PLACE OUT-OF-SEASON FOR PERMANENT GRASS, APPROPRIATE TEMPORARY SEEDING SHALL BE DONE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERMANENT SEEDING AS SPECIFIED IN SEASON AT NO ADDITIONAL COST TO OWNER.

PLANTING / LANDSCAPING GENERAL NOTES

- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. IN CASE OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERMEN AND THE WRITTEN SPECIFICATIONS.
- ALL PLANT MATERIAL (SHRUBS/TREES) SHALL BE A MINIMUM DISTANCE OF 4-1/2 FEET FROM BACK OF CURB, EXCEPT ALONG ANY NEW WALLS.
- ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED. 3-IN OF DYED BROWN DESIGNER (PALETTEZED) MULCH SHALL BE USED AROUND ALL PLANTINGS WITH EXCEPTIONS. BUTTER PLANTINGS MAY USE TRIPLE SHREDDED HARDWOOD. CONFIRM WITH LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- DO NOT INSTALL PLANT MATERIAL IN IMPEROUS SOILS. (I.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS). SEE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
- CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION 48 HOURS IN ADVANCE OF THE SCHEDULED SITE VISIT AND AT THE FOLLOWING INTERVALS:
- REVIEW OF GRADING PRIOR TO PLANT AND LAWN INSTALLATION.
- REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.
- ONE SUBSTANTIAL COMPLETION MEETING FOR PLANT INSTALLATION.
- ONE FINAL INSPECTION PRIOR TO SEEDING/PLANTING OPERATIONS.
- THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

LIME AND FERTILIZATION SCHEDULE:

- APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY A MINIMUM 3,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND A MINIMUM 500 LB/ACRE 10-10-10 FERTILIZER, AS NEEDED TO ESTABLISH 95% COVERAGE (AS DETERMINED ON A PER SQUARE YARD BASIS) PRIOR TO SUBSTANTIAL COMPLETION.
- CONTRACTOR TO SUBMIT A COPY OF ALL SOIL REPORTS TO OWNER UPON RECEIPT.

SURFACE STABILIZATION REQUIREMENTS:

- DURING ALL PHASES OF CONSTRUCTION, GROUND COVER ON EXPOSED SLOPES SHALL BE PROVIDED WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF ANY EXPOSED GRADING.
- FINAL PERMANENT GROUND COVER ON ALL DISTURBED AREAS SHALL BE PROVIDED ON ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
- USE EXCLESIOR MATTING OR OTHER APPROVED CHANNEL LINING MATERIAL TO COVER THE BOTTOM OF CHANNELS.
- APPLY 4000 LB/ACRE (2 TONS LB/AC) GRAIN STRAW OVER SEEDS AREAS AND ANCHOR STRAW CRIMPING WITH HAND OR MECHANICAL CRIMPER 8" MAX. SPACING, ASPHALT TACKING OR OTHER APPROVED METHOD. ASPHALT TACKING SHALL BE 400 GAL/ACRE (9 GAL/1000 SF).
- MULCH AND ANCHORING MUST NOT BE ALLOWED TO WASH DOWN SLOPES AND CLOG DRAINAGE DEVICES.
- SEE NCEOD GROUND STABILIZATION REQUIREMENTS FOR ADDITIONAL INFORMATION.

LAWN MAINTENANCE NOTES:

- SEE SPEC SECTION 329000 FOR LAWN MAINTENANCE REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE UNTIL FINAL COMPLETION.
- LAWN MUST BE AT 95% COVERAGE AT SUBSTANTIAL COMPLETION REVIEW TO BE ACCEPTED.
- IF NOT AT 95% SUBSTANTIAL COMPLETION WILL BE DELAYED UNTIL THE FOLLOWING GROWING SEASON.
- DO NOT ALLOW NURSE CROP TO GROW OVER 12" IN HEIGHT BEFORE MOWING, OTHERWISE THE PERMANENT SEEDING MAY BE SHADED OUT.

TURF, SOD AND SEEDBED PREPARATION:

- CHISEL ALL CUT GRADED OR COMPACTED AREAS TO A MINIMUM DEPTH OF 8".
- DISC ALL AREAS TO RECEIVE GRASS TO A MINIMUM OF 8 INCHES, MIX AND AMEND WITH 3 INCHES OF WELL SCREENED TOPSOIL. ON-SITE TOPSOIL MAY BE USED IN PLACE OF IMPORTED TOPSOIL. IF WELL-SCREENED AND DRY PRIOR TO APPLICATION ACCORDANCE WITH SPECIFICATION SECTION 329000.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND PHOSPHATE UNIFORMLY AS PER PRECIPITATION RATES AND MIX WELL WITH SOIL.
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED TO A 5 INCHES DEPTH.
- SEED AT RATE SPECIFIED OR AS NEEDED TO ACHIEVE AND MAINTAIN A THICK HEALTHY GROUND COVERAGE.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH. BEGIN THOROUGH WATERING OF GRASSSED AREAS IMMEDIATELY UPON INSTALLATION. DO NOT ALLOW GRASSSED AREAS TO BECOME EXCESSIVELY DRY.
- INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS AS NEEDED.
- IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.

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SITE DETAILS

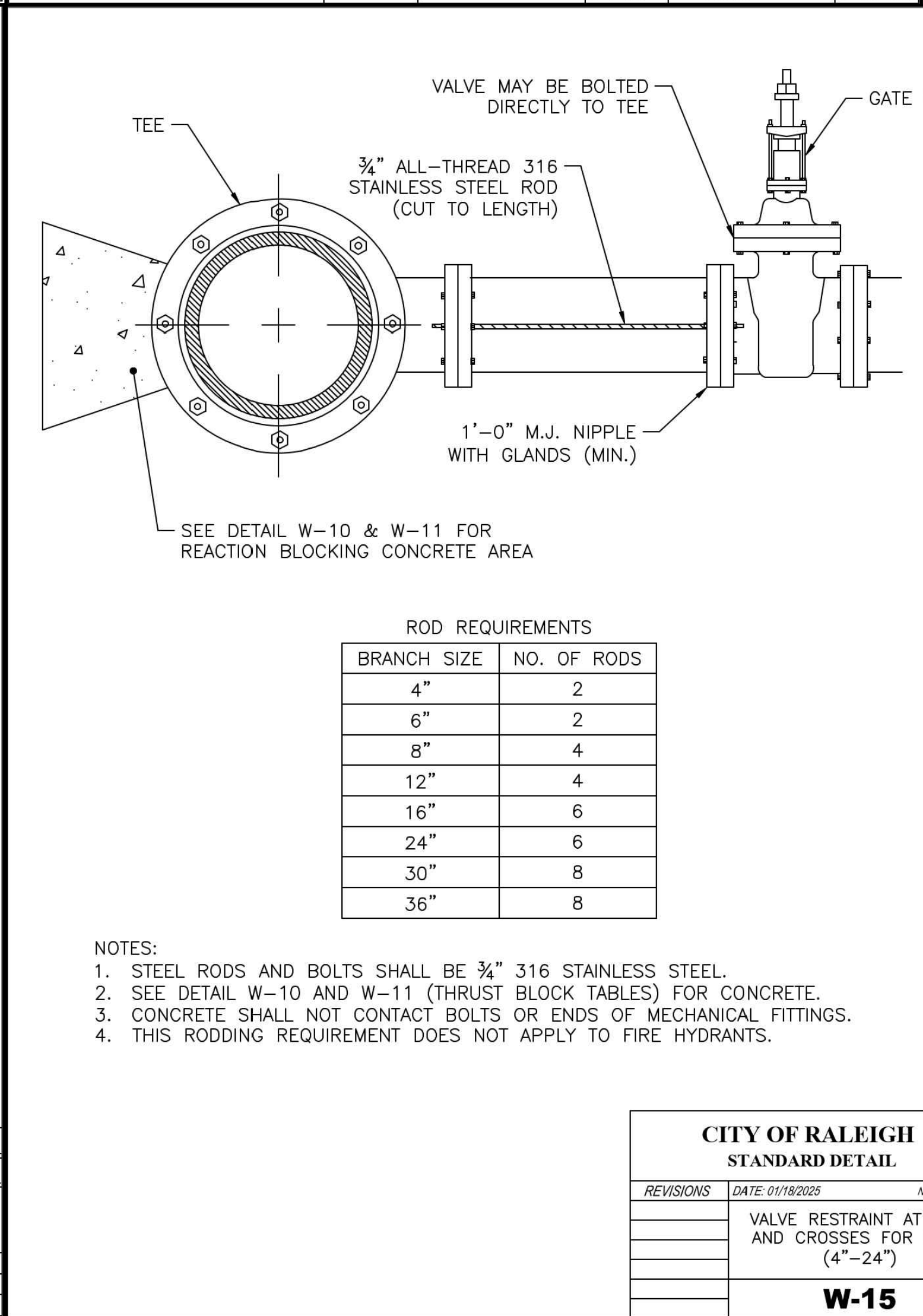
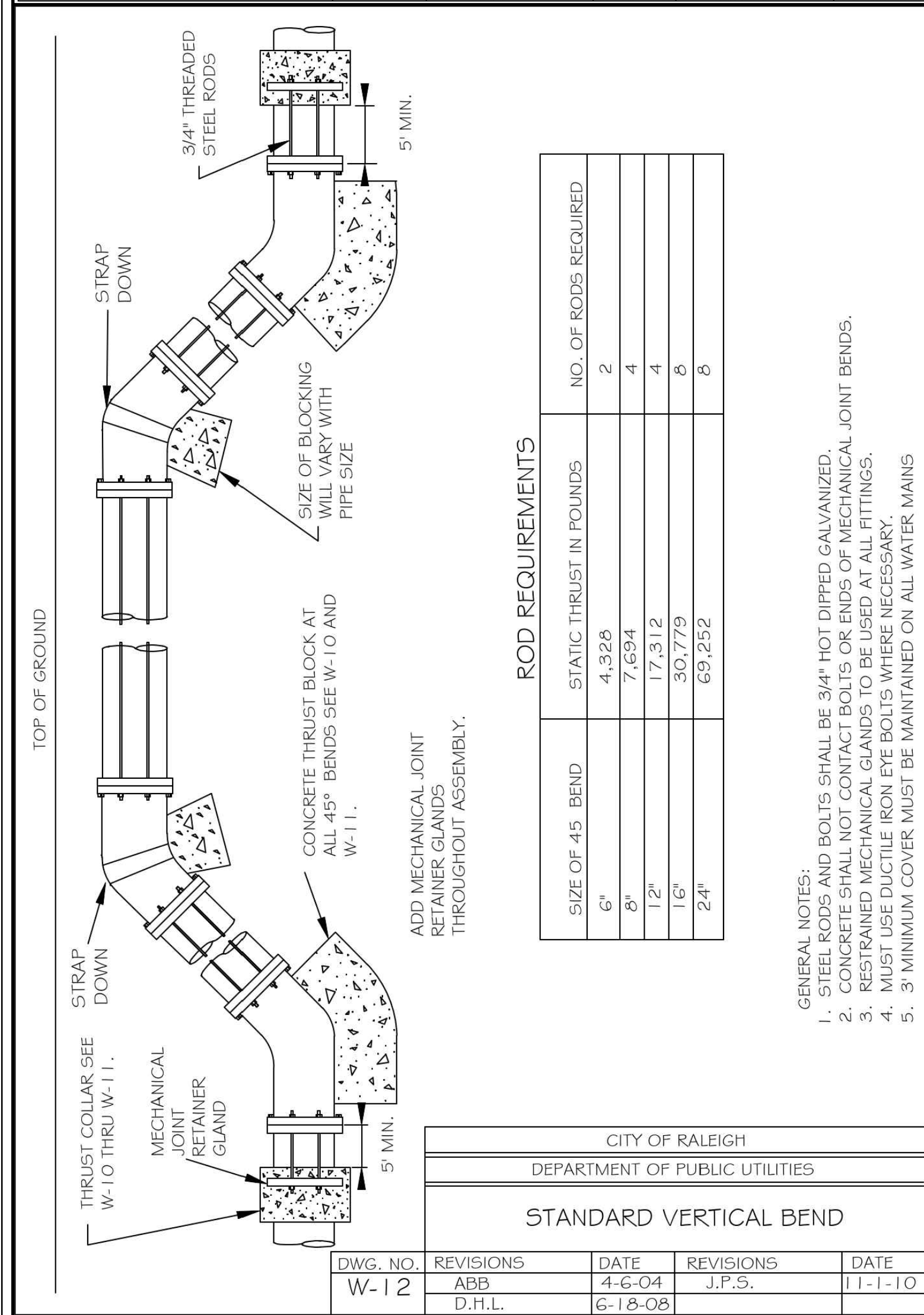
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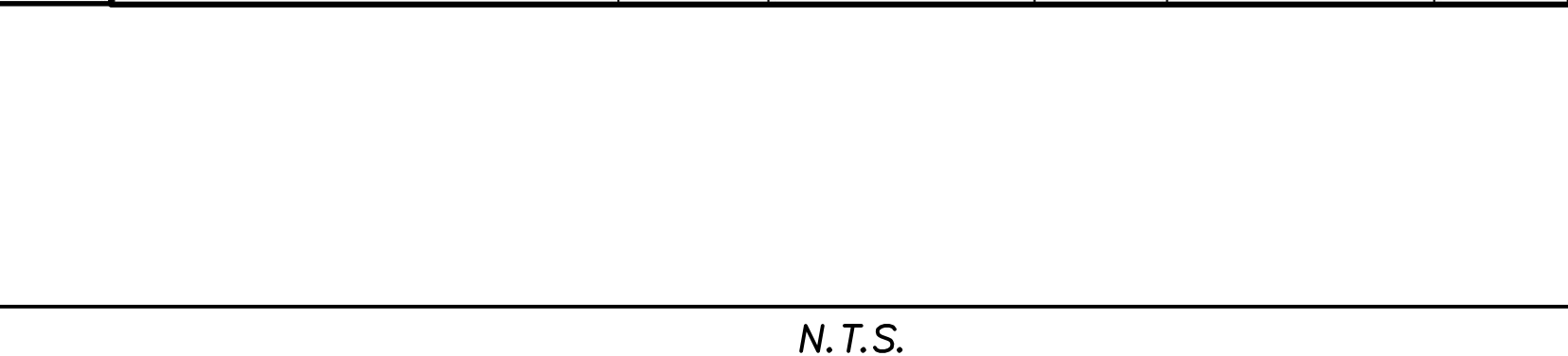
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - 2.1. A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - 2.2. B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - 2.3. C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 2.4. D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - 2.5. E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W- 41 & S-49).
 - 2.6. F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. SEWER BYPASS PUMPING – A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
9. INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
10. INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
11. PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
12. ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
13. INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
14. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
15. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
16. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
17. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
18. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
19. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
20. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A – GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
21. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
22. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
23. PRIVATE SUB-METERING – NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".

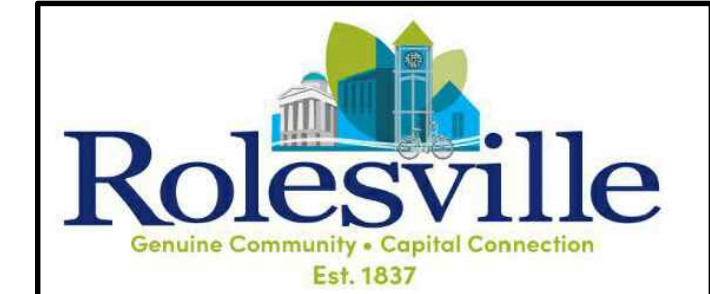
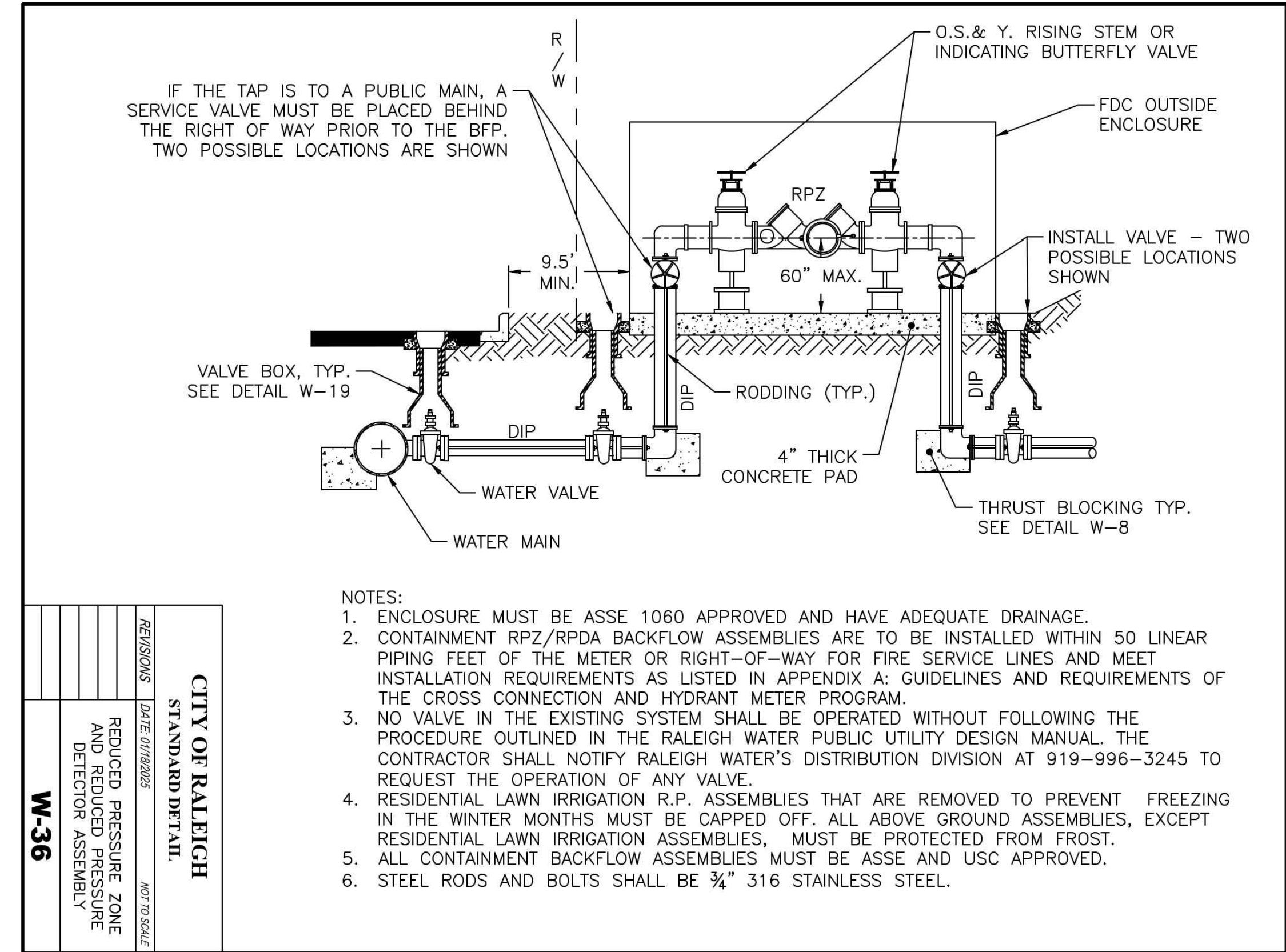
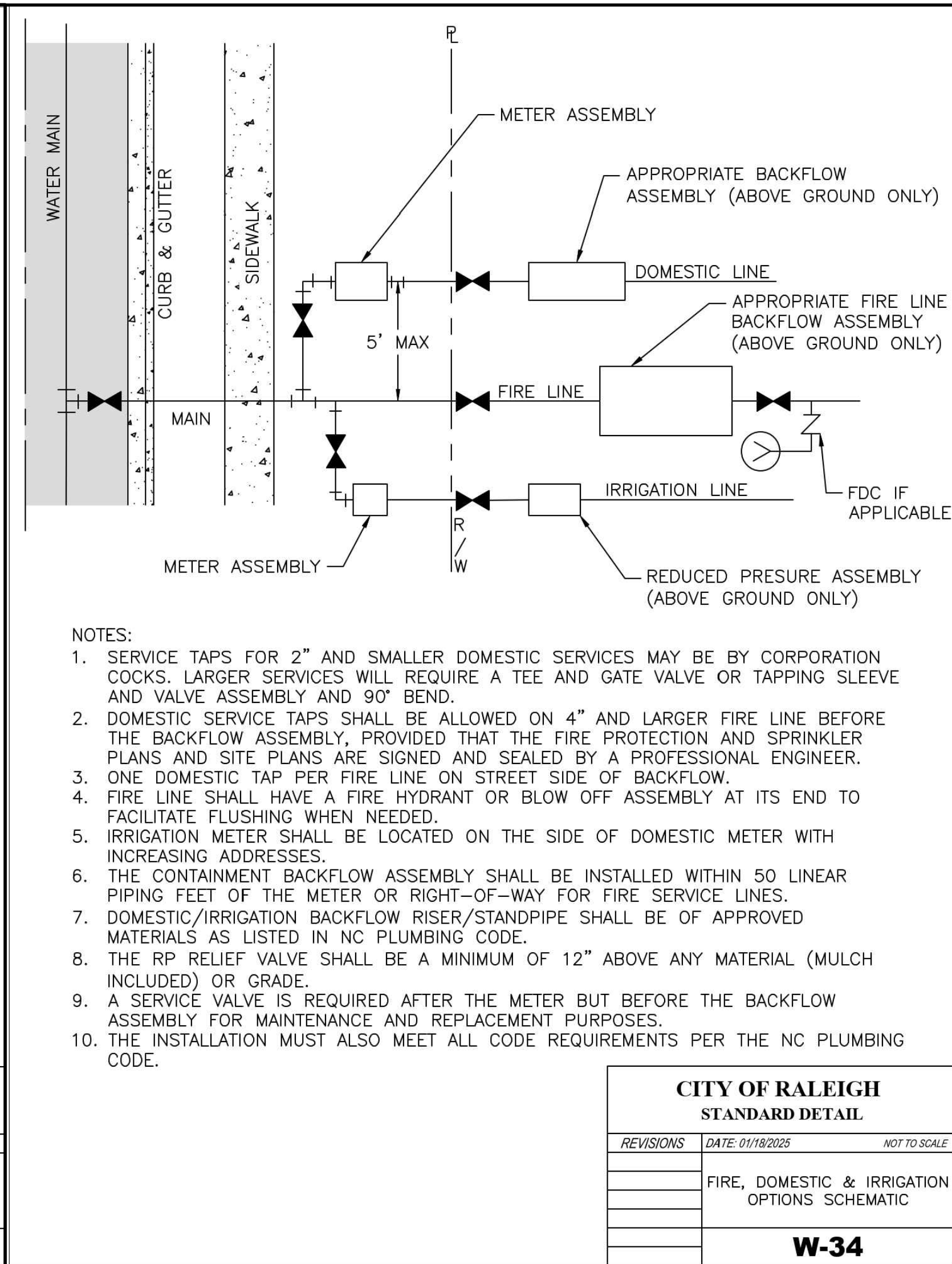
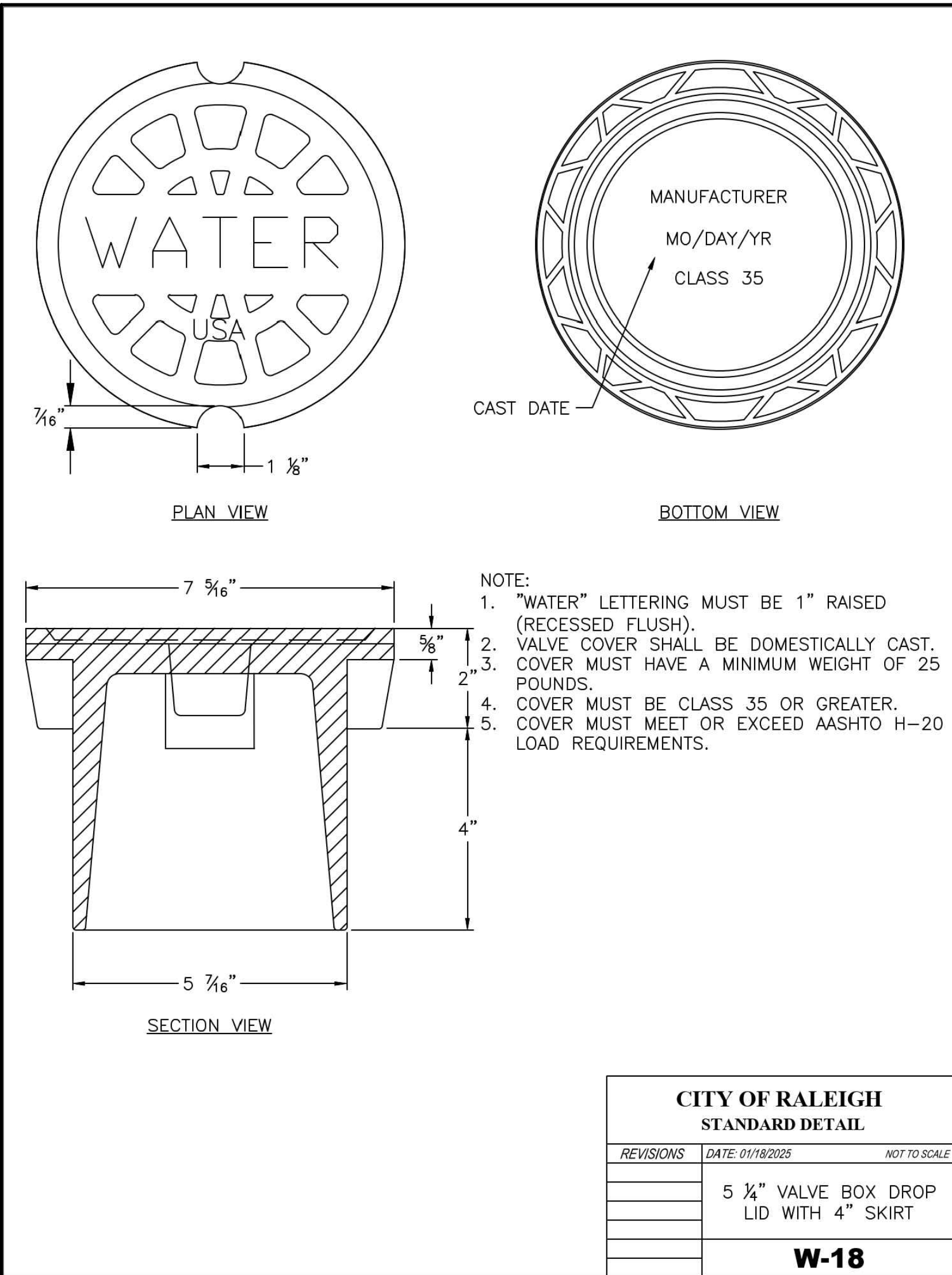


NOTES:

1. REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.
2. USE 6" 90° BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 01/18/2005	NOT TO SCALE
	THRUST BLOCKING DESIGN QUANTITY TABLE	
		W-10





TOWN OF ROLESVILLE POLICE DEPARTMENT

ROLESVILLE, NC
27571

UTILITY DETAILS

DATE: 06-22-2026
PROJECT NO:
CLH PROJECT NO: 25-108

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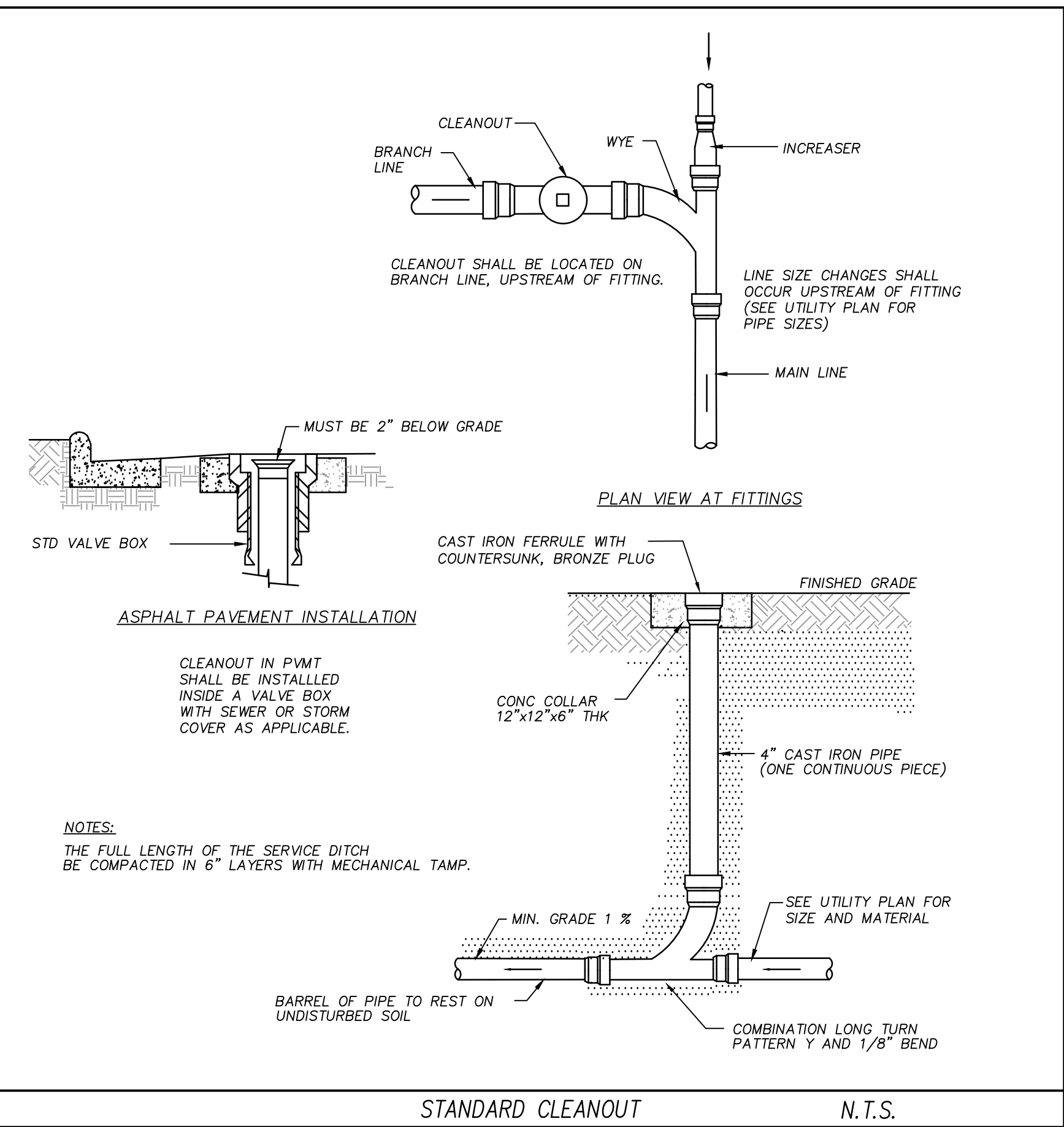
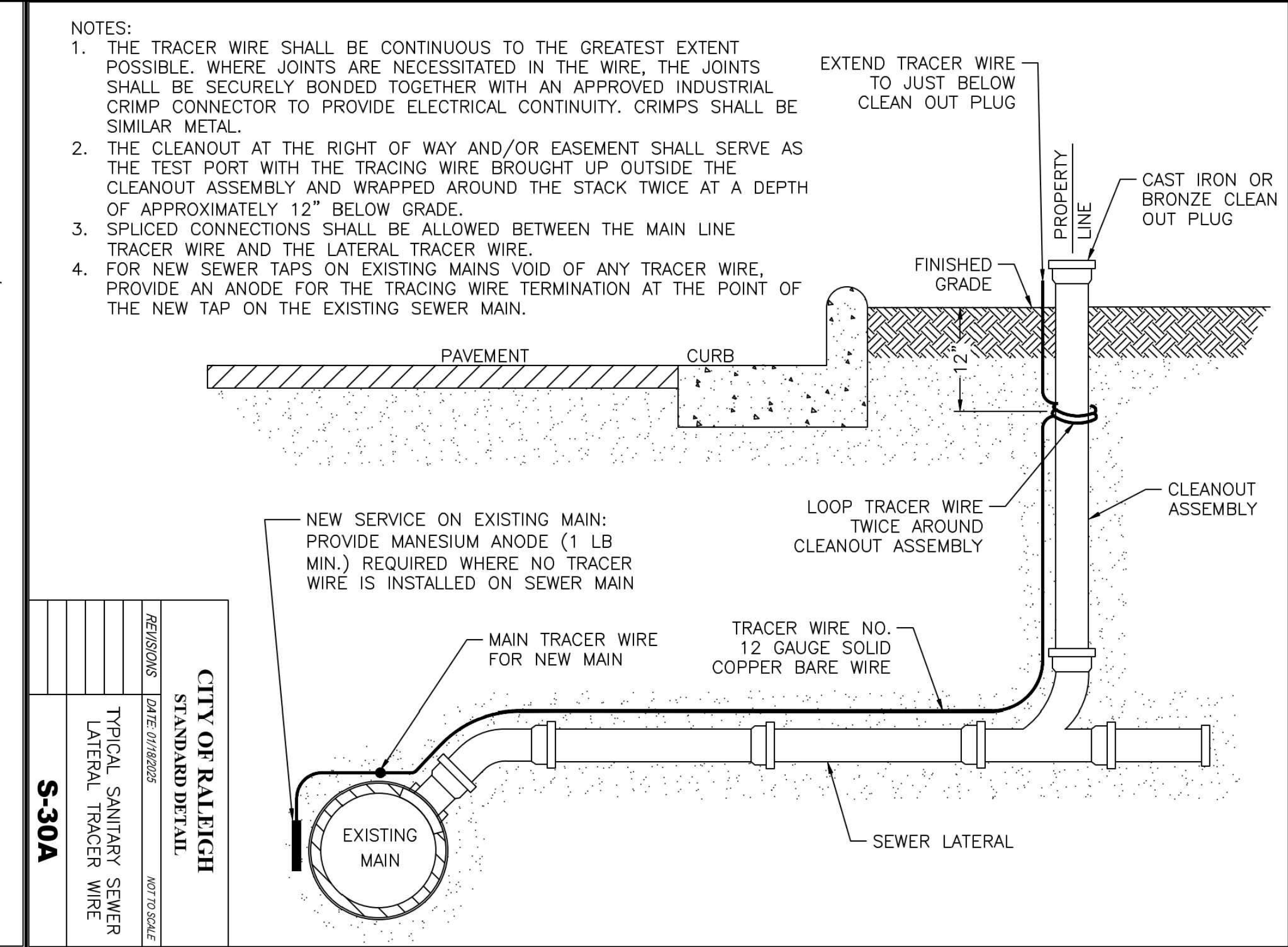
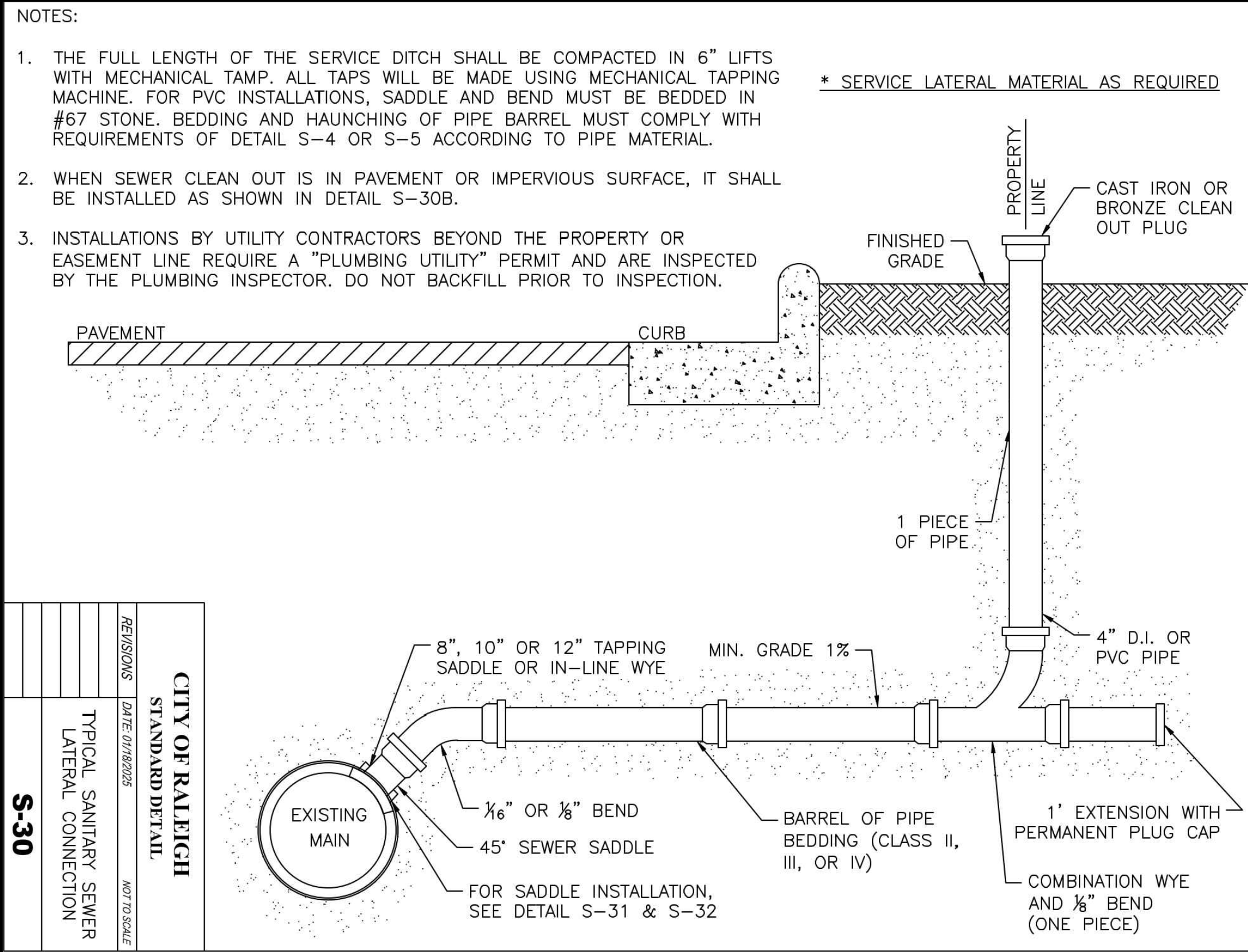
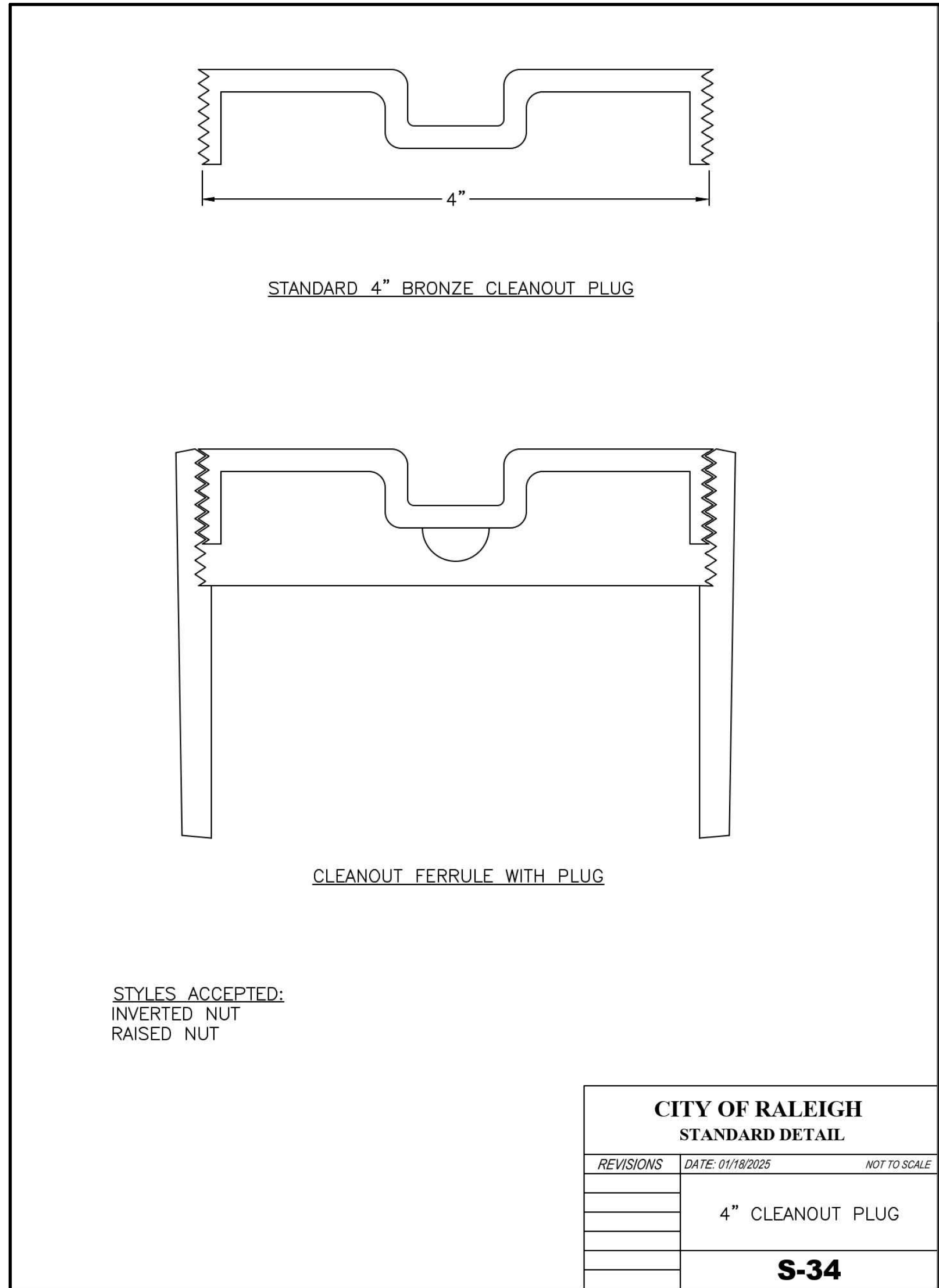
TOWN OF
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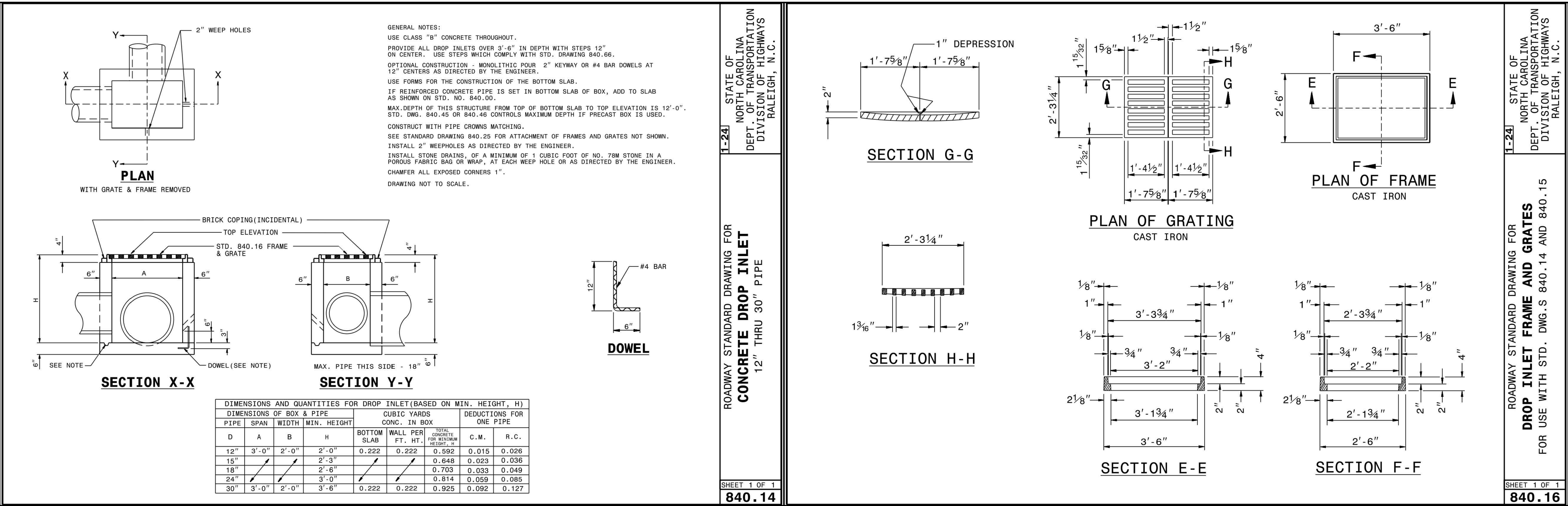
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ROLESVILLE, NC
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UTILITY DETAILS

DATE: 06-22-2026
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DROP INLET DETAIL

N.T.S.

TOWN OF
ROLESVILLE
POLICE
DEPARTMENT

ROLESVILLE, NC
27571

EXTERIOR ELEVATIONS

DATE: 04-20-26

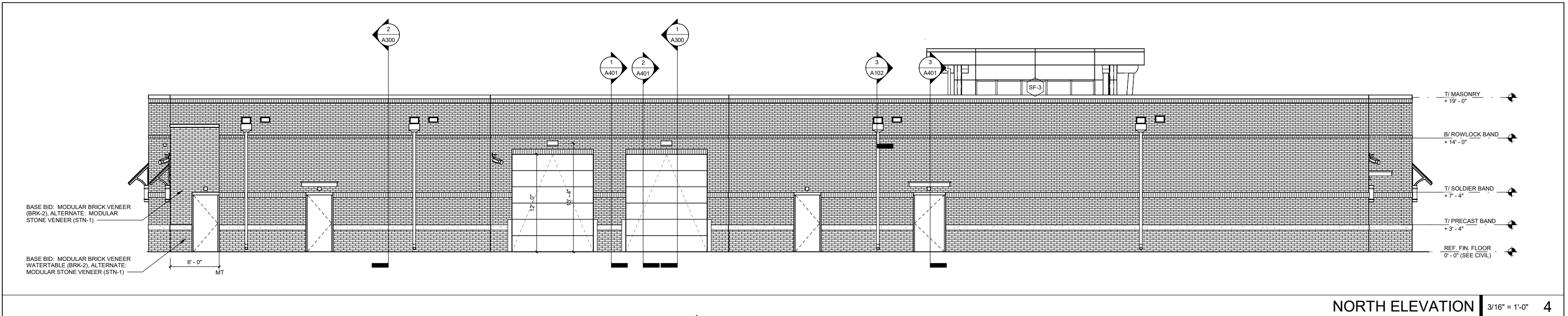
PROJECT NO: 24008

REVISIONS

NO:	DATE:	DESCRIPTION:
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SHEET NUMBER:
A200



- EXT. COLOR SCHEDULE:**
- BRK-1: MODULAR BRICK VENEER, RUNNING BOND (U.N.O.). BASIS OF DESIGN: TAYLOR CLAY PRODUCTS #318 BURGUNDY WIRECUT. SUBSTITUTION SHALL BE SUBMITTED 10 DAYS PRIOR TO BID, SUBJECT TO COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.
 - BRK-2: MODULAR BRICK VENEER, RUNNING BOND (U.N.O.). BASIS OF DESIGN: TAYLOR CLAY PRODUCTS PEARL GRAY WIRECUT. SUBSTITUTION SHALL BE SUBMITTED 10 DAYS PRIOR TO BID, SUBJECT TO COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.
 - STN-1: INTEGRAL COLOR MODULAR STONE VENEER UNITS. BASIS OF DESIGN: ARRISCRAFT CITADEL 'MOCHA'. SUBSTITUTIONS SHALL BE SUBMITTED 10 DAYS PRIOR TO BID, SUBJECT TO COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.
 - ARCHITECTURAL PRECAST SHALL BE COLORED 'WHITE'. MANUFACTURER TO BE DETERMINED AT A LATER DATE.
 - MTL-1: PREFINISHED ALUM. TO MATCH PAC-CLAD 'DARK BRONZE'. SUBSTITUTIONS SHALL BE SUBMITTED 10 DAYS PRIOR TO BID. SUBJECT TO COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS. BERRIDGE 'DARK BRONZE' IS AN ACCEPTABLE SUBSTITUTE. PREFIN. ALUM. COPINGS AS SCHEDULED, PREFIN. ALUM. GUTTERS, SCUPPERS AND DOWNSPOUTS, PREFIN. ALUM. LOUVERS, PREFIN. ALUM. STANDING SEAM ROOFING & BRACKETS AT AWINGS.
 - PREFIN. ALUM. STOREFRONT SHALL MATCH PAC-CLAD 'DARK BRONZE'.
 - EXTERIOR HOLLOW METAL DOORS & FRAMES SHALL BE PAINTED (P-10).
 - BOLLARDS PAINTED (P-10).
 - UTILITY METERS SHALL BE PAINTED TO MATCH ADJACENT WALL.
 - MORTAR SHALL BE CUSTOM COLORED TO MATCH PRECAST AT AREAS WITH PRECAST. CUSTOM COLORED TO MATCH STN-1 AT AREAS WITH STN-1, AND SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF STANDARD COLORS AT AREAS WITH BRK-1 & BRK-2.
 - ALL EXPOSED STEEL SHALL BE PAINTED TO MATCH ADJACENT COLOR U.N.O.
 - SEALANTS/CAULKING SHALL MATCH ADJACENT COLOR U.N.O.
 - SIGNAGE FINISH SHALL BE AS NOTED.
- GENERAL NOTES:**
- MASONRY JOINTS (MJ) ARE TO BE MAX. 3/8" APART U.N.O. IN DRAWINGS.
 - MASON IS TO COMPLETELY FILL THE HEAD AND BED JOINTS OF ALL MASONRY (U.N.O.).
 - MASON IS TO KEEP ALL CAVITIES CLEAR OF MORTAR.
 - PROVIDE SOLID BRICKS AT CORNERS AND FOR SOLDIER & ROWLOCK COURSES. PROVIDE FINISHED FACE ON ALL VISIBLE SIDES.
 - SEE SHEET A201 FOR PRECAST DETAILS.
 - SEE SHEET SERIES A400 - WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - ALL WALL MOUNTED EQUIPMENT MUST BE PAINTED TO MATCH THE BUILDING.

