

September 1, 2026

Town of Rolesville
502 Southtown Circle
Rolesville, North Carolina 27571

RE: Atticus Woods
Project Number: PSP-26-0002
Response to 1st PSP Plan Review Comments
LEN24019

The following are the response comments for the above-mentioned project. Our response comments are in **bold**.

1. OS-1 is per the Rezoning Concept Plan the 2.457-acre Commercial piece long talked of as a self-storage use. It can't be calculated as Open Space for benefit of the residential which is all that is shown in this PSP and then switched at some time in the future for commercial use. Also, the Rezoning applicant consistently said the self-storage commercial would come first, fulfilling the NC timing of development requirement in large part from the front-end of this project. Now the way this 2.4x ac area is being treated, that seems not to be. What is the big picture of this project today?
McAdams Response: The plan for development of the entire site is for the three parcels, self-storage, residential, and large commercial, to be separated into three site plan submittals. We will be submitting a recombination plat to the Town of Rolesville to formally document the new property lines. The self-storage parcel will be built first, and the hatching and lineowrk has been updated to show the approved linework from the rezoning.
2. Big Picture - NC Zoning district is a mixed-use district; sub-setting the subdivision of land by residential and commercial will eventually fail to comply. Why is the entire 105.619 Acres not in this PSP ?
McAdams Response: We are submitting a recombination plat to comply with the rezoning and submit each area separately for approval.
3. Add the LDO Section reference for what is "REQUIRED" as anything "Required" originates in the LDO.
McAdams Response: LDO reference has been added to the required standards.
4. Contact Wake Co GIS/911 and begin the street name selection and Lot addressing process. Every single lot needs an address; physical features within lots that will require a Permit - retaining wall, tot lot, etc. - needs an Address. Attaining addresses can't occur too early. Address points can always be modified.
McAdams Response: Thank you for the reminder. We will be starting this process after this submittal.
5. Sht C2.00 includes a tiny diagram of a Phasing Plan - Phasing is extremely important aspect of a PSP - please make that its own sheet - the sheet Before the 'Overall prelim plat" sheet, and all sheets after the Phasing Plan should include the Phase lines/Phase # references. TY.

McAdams Response: C2.01 has been added as an overall phasing plan.

6. See Comments about Phasing - all of these Phasing specific data could be moved to the Phasing Plan sheet that focuses on Phasing.

McAdams Response: Created Phasing Plan sheet and relocated phasing table

7. This application is submitted under the Address of 2206 Wait; the Rezoning was for 5 separately addressed PIN's. This PSP is only for a portion of those 5 PIN's but goes beyond the 2206 Wait Ave PIN. Clarify/Explain/add an appropriate address to the plans and rectify the erroneous Address in Govwell.

McAdams Response: This PSP only applies to 3 of the parcels out of the 5 that were rezoned (Addressed as 2200, 2206 and 2208 Wait Avenue). If the permit portal will allow input of multiple addresses, we will add the 2208 Wait Avenue address as well within Govwell.

8. The mailing address of this property is actually Wake Forest, not Rolesville. 27587 is a "Wake Forest" zip code due to the Wake Forest USPS serving this property. If the intent is to write the address, it should say "Wake Forest". It is fine to then add "Town of Rolesville Corporate Limits" because that is correct also.

McAdams Response: The address has been updated to Wake Forest on all sheets.

9. Please add PSP-26-0002

McAdams Response: PSP-26-002 has been added to the cover sheet.

10. Landscape Plans are physical improvements for installation (construction) - they are a requirement for Construction Infrastructure Drawing (CID) plan set. Preliminary subdivision needs to vet and demonstrate major spatial locations and future easements (again, spatial), not plantings. Consider removing the core landscaping details and saving for CID, or else CID will repeat those details, and confusion may occur as to which plan is to be looked at.

McAdams Response: Landscape plans have been removed from the Preliminary Subdivision set. We have kept an overall landscape plan for reference, but full landscape design will be included in the Construction Infrastructure Drawing (CID) plan set, as recommended.

11. Submit to COR Energov portal. Include PSP-26-0002 in the Energov details for cross-reference purposes.

McAdams Response: Plan set has been reviewed by City of Raleigh Water and comments have been addressed accordingly.

12. Place revision dates right below, building Submittal/plan version dates. Suggest turning June 1, 2026, into "V1" when you add the V2 date below...

McAdams Response: The June 1st date is listed on the title as the original application date. Since this log is specific to revisions, we have added the first revision/submittal date in that section.

13. If you do not include the full commercial area, the commercial area will have to comply with Tree Preservation and Open Space requirements unto itself like a separate subdivision.

McAdams Response: Understood.

14. Add the LDO Section reference for this and anything that is "REQUIRED" since "Required" means it is per the LDO.

McAdams Response: LDO reference has been added to the required standards.

15. N/A for Wake County
McAdams Response: Noted.
16. also add the date of the Conditions which is 04-26-2026
McAdams Response: Zoning conditions data has been added.
17. Zoning Conditions as per REZ-24-05.
McAdams Response: Zoning conditions per REZ-24-05 have been added to the cover sheet.
18. In the Site Data Table please include watershed information and if within a floodplain. If the development is within a flood plain, provide the correct flood plain insurance rate map (FIRM), panel number, and date.
McAdams Response: Added watershed information; site is not within a floodplain, so no other updates are needed.
19. 1.07 is less than 1.17 Required - ? Revise.
McAdams Response: The 1.17 AC figure represents a MAXIMUM amount of acreage of required passive open space which can be located within environmental sensitive lands and counted within our open space. This is why the proposed figure is lower.
20. Pin x5778 - it does not appear that ALL of this is included; re-phrase to "xx acre portion of PIN ..." Is PIN1860056400 in this at all or is it just east/outside the bounds?
McAdams Response: Pins have been updated to reflect only what is being submitted and reference the acreage of parcel.
21. Pls add 2 additional prohibited uses in approved conditions d. private lodge and e. major transportation installation
McAdams Response: The two additional prohibited uses have been added to zoning condition 1.
22. Correct current zoning to NC Zoning District as per REZ-24-05.
McAdams Response: Current zoning condition has been updated to NC-CZ (as per REZ-24-05).
23. Please confirm that no part of this plat set was created thinking this land is zoned R&PUD which only lives in the UDO, whereas this property was rezoned to NC-CZ under the LDO.
McAdams Response: Confirmed. The R&PUD current zoning label was just a typo.
24. Confirm: Conditions signed on 4.27.26 #4 show max 250 dwelling units (maximum 140 attached units).
<https://www.rolesvillenc.gov/sites/default/files/uploads/projects/documents/atticus-woods-final-zoning-conditions-luddy-signed.pdf>
McAdams Response: We have corrected our listed max density and our zoning conditions to reflect max of 250 units.
25. "Single-family Attached (Townhomes)"
McAdams Response: Wording has been updated.

26. at least add "Residential" to this - remember NC is a mixed-use district, it contemplates and facilitates all Permitted uses which are both SFD, SFA, multifamily and many non-res uses.

McAdams Response: Residential clarification label added.

27. Add "Residential" - reminder NC is a mixed-use district that facilitates development of SFD, SFA, multifamily, and many non-res uses and their associated lots and buildings.

McAdams Response: Residential clarification label added.

28. Label with "NC District".

McAdams Response: Revised.

29. Please include owner, applicant, consultant contact information

McAdams Response: Contact Information updated.

30. Please note minimum lot size.

McAdams Response: Minimum lot size has been added to the Lot Development Standards table.

31. Why is "SFD" assumed? Revise: SFD = 50' / SFA = 20'

McAdams Response: Minimum lot width has been updated to reflect SFD=50' / SFA=20'.

32. Revise: SFD = 51' / SFA = 22'

McAdams Response: Minimum lot width has been updated to reflect SFD=51' / SFA=22'.

33. Add "Residential" - reminder that NC district allows non-res as well as SFD and SFA which are proposed in this PSP.

McAdams Response: 'Residential label' added in multiple locations.

34. add LDO Section for reference.

McAdams Response: LDO section has been added for reference.

35. add " Detached"

McAdams Response: Detached has been added in the parking table.

36. Revise to Single-family Attached (townhome)

McAdams Response: Wording revised to single family attached (townhome) in the parking table.

37. Please include information on accessible parking spaces being provided

McAdams Response: Accessible parking will be provided to serve the main recreational amenity site, but details on the size of that facility are still forthcoming, thus the overall parking requirement and the associated accessible parking are TBD.

38. Revised to SFA (Townhome) Guest

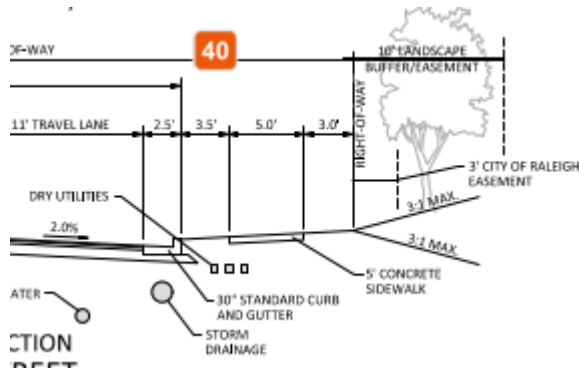
McAdams Response: Wording has been revised in the parking table.

39. Please add a Total or Sum field below the Provided column. TY

McAdams Response: Total has been added for required and proposed in the parking table.

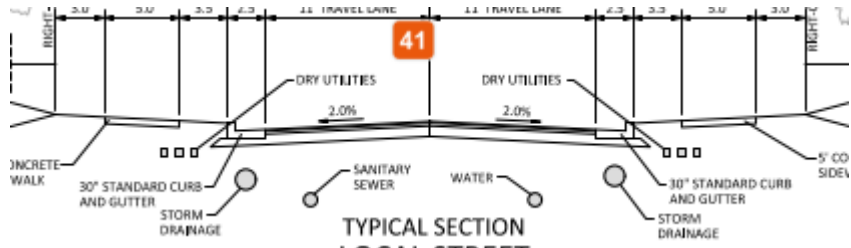
C0.01 PROJECT NOTES

40. Per the Town's Standards Manual, a utility strip shall be provided between the back of curb and sidewalk at a width of 5' - dry utilities should be located within this space and not under the sidewalk. This comment applies to both residential collector and local streets.



McAdams Response: Adjusted street section to comply with the Town's standards.

41. Please review the Town's Standards Manual for street section dimensions for both residential collector and local streets.



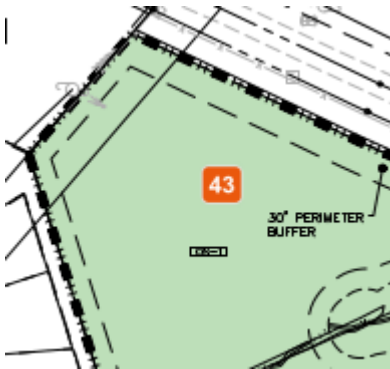
McAdams Response: Reviewed the Town's Standards Manual for street section dimensions and adjusted where needed.

C0.02 OVERALL OPEN SPACE PLAN

42. Please identify future amenity center site.

McAdams Response: Future amenity site has been identified as OS Area #11 on C2.00 in the open space areas summary table.

43. Is this the 2.457-acre commercial area zoned for a storage use? Plans do not reflect this.



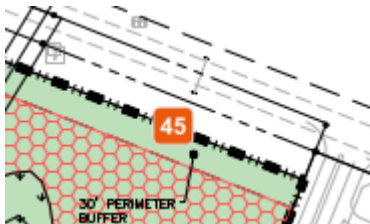
McAdams Response: Open space has been revised to not include the commercial area.

44. Please clarify the buffer - the LDO does not have any 20' buffers and I do not see any specific zoning conditions for this.



McAdams Response: Buffer widths have been changed to 10' wide Type 1 buffers.

45. This space would be a Street Buffer, not Perimeter - revise. 30' dimension is correct.



McAdams Response: Label has been revised to 30' Street Buffer.

46. The plans do not identify the Town's future park property as shown on Zoning approval



McAdams Response: The Town's future park site has been identified as OS Area #12 on C2.00 in the open space areas summary table.

47. Please label and provide required setbacks.



McAdams Response: We do not show setbacks on the overall sheets. Also, those lot lines are for the existing subdivision, which is not a part of this project site.

48. The entire preliminary plat should be shown, including commercial lots with a note stating the development of the commercial lots will be under a future Site Plan application.



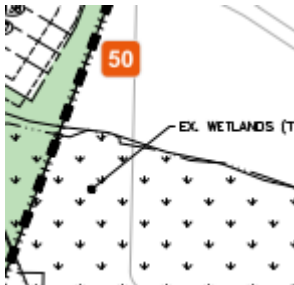
McAdams Response: A separate sheet has been added to the plan set showing the entirety of the development.

49. Wetland Buffer should be outside of residential lots



McAdams Response: Once ponds are drained, the buffer will be reestablished, and buffers will no longer be within the lots.

50. The Classic Way Connection is missing - does not match zoning approval



McAdams Response: The Classic Way connection has been added and stubbed. The remainder of the Classic Way connection will be approved under a separate submittal for the 22.834 AC commercial site plan.

C100 EXISTING CONDITIONS

51. Please provide existing right-of-way widths on adjacent streets

McAdams Response: Labels have been added to the existing street.

C2.00 OVERALL PRELIMINARY PLAT

52. Show the ROW dedication for Wait Avenue. CTP has this as a 4- lane raised median divided roadway with curb gutter bike lanes and sidePATH. based on similar cross-sections described in the CTP, that is a 110' ultimate ROW. with 60' ROW existing, 1/2 of the delta (50') is a dedication of 25' ROW at least.



McAdams Response: ROW dedication has been added to plans.

53. see Cover Sht comment about Phasing Plan.

McAdams Response: A phasing plan sheet has been added. See C2.01.

54. Off-Site Improvements should be included to meet the Town's CTP.



McAdams Response: Offsite roadway improvements are now shown on the plans.

55. What is the plan for the entirety of the site included in rezoning case REZ-24-05?

McAdams Response: The plan for development of the entire site is for the three parcels, self-storage, residential, and large commercial, to be separated into three site plan submittals. We will be submitting a recombination plat to the Town of Rolesville to formally document the new property lines.

56. Identify as "future amenity center" where that is planned, just as a holder bc it helps Staff review all that is shown to be occurring around it. TY.



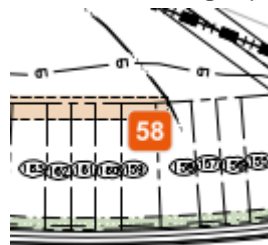
McAdams Response: Future amenity site has been identified as OS Area #11 on C2.00 in the open space areas summary table.

57. Is site layout shown for commercial area for information only?



McAdams Response: Yes, that is correct. Linework is no longer shown and labels now reference under separate submittal.

58. On this page and/or on the zoomed in sheets, please add a diagram showing how townhome buildings meet setbacks/building separation.



McAdams Response: Setbacks are shown on the zoomed in sheets (C2.03-C2.05).

C2.01 PRELIMINARY PLAT AND PAVEMENT MARKING PLAN – AREA “A”

59. Riparian Buffer should be outside of individual lot area.

McAdams Response: This is pointing to an existing subdivision and not a part of our project site. Once we have stream and wetland buffer determinations from the environmental consultant, we will make sure to update linework where needed.

C2.04 PRELIMINARY PLAT AND PAVEMENT MARKING PLAN – AREA “D”

60. This intersection is not encouraged. See the LDO for intersection design requirements.



McAdams Response: The angle of the intersection has been adjusted slightly. Since this is a private alley, they do not fall under the LDO design requirements.

61. Show curb and gutter on parking stalls. Show handicap accessible parking stalls as required.



McAdams Response: Wheel stops added. Accessible parking will be provided to serve the main recreational amenity site, but details on the size of that facility are still forthcoming, thus the overall parking requirement and the associated accessible parking are TBD.

62. Show Mail Kiosk location



McAdams Response: Mail kiosk labels have been added to three locations throughout the site.

63. Per the LDO, Intersections should intersect as nearly as possible at right angles. No street shall intersect any other street at an angle of less than 60 degrees. Please review all intersections to improve as much as possible.



McAdams Response: Check LDO and see if it mentions anything about this for private streets.

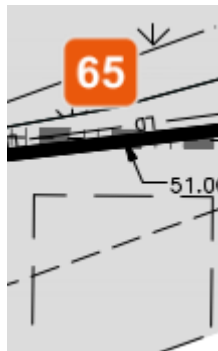
64. Minimum centerline radius for local streets is 230' per the NCDOT Subdivision Standards.



McAdams Response: Adjusted centerline radius to 230' as per NCDOT standards.

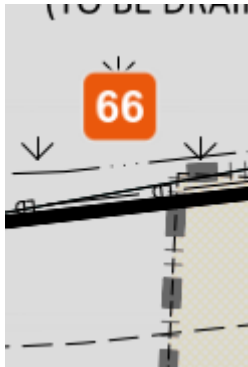
C2.05 PRELIMINARY PLAT AND PAVEMENT MARKING PLAN – AREA “E”

65. Does wall encroach on the lot area? There should be an HOA easement if so. Add note that the wall is the responsibility of the HOA.



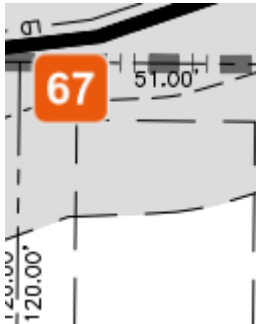
McAdams Response: Added wall easement to lots 89-91.

66. This wall appears to be within zone 1 of the riparian buffer. Please refer to Neuse Buffer Rules: 15a NCAC 02b.0714



McAdams Response: We have approved Pond Dam Breach plans and intend to drain this pond. After the delineation is done, the buffer will be removed, and the wall will no longer be in the buffer.

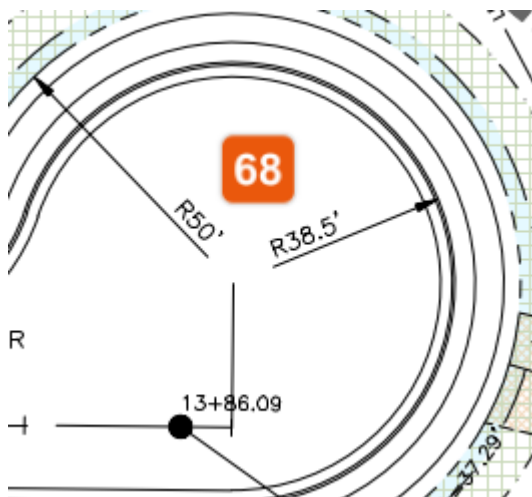
67. Riparian buffer should be outside of lot areas to ensure they remain protected.



McAdams Response: We have approved Pond Dam Breach plans and intend to drain this pond. After the delineation is done, the buffer will be removed, and the wall will no longer be in the buffer.

68.

- | Fire Department access roads shall meet provisions of the Fire Code for emergency operations.
- | Street width shall be a minimum of 20 ft wide with an all-weather surface capable of withstanding imposed loads of fire apparatus weighing at least 80,000 lbs.
- | No vertical obstructions within 13 ft 6 inches over roadway which includes tree branches, signs or gates.
- | Grade shall meet minimum DOT standards and not exceed 10% grade.
- | Turning radius shall be sufficient to allow emergency vehicle access without stopping and repositioning.
- | Road widths where a hydrant is located shall be a minimum of 26 ft.
- | Dead end roads over 150 ft in length shall have 60 ft hammerhead turn around provided. If temporary due to phased construction, then a temporary turnaround shall be provided.
- | If entrance gate provided then immediate emergency vehicle access shall be provided.
- | Gated entrances shall have a minimum of 12 ft roadway width in each direction or if one gate then a minimum of 20 ft width.
- | Buildings over 30 ft in height above fire department access road shall have 26 ft wide access roads for aerial apparatus.
- | Fire lane marking may be required in areas near building and around hydrants to provide unobstructed access.
- | Alleys serving the front door of residence shall be name for E911 addressing and meet the same requirements as all other roads



McAdams Response: Thank you for the notes. We will make sure that our subdivision design complies with the fire code requirements you listed above.

C2.06 PRELIMINARY PLAT AND PAVEMENT MARKING PLAN – AREA “F”

69. Riparian Buffer should be outside of lot area to ensure protection.



McAdams Response: We have approved Pond Dam Breach plans and intend to drain this pond. After the delineation is done, the buffer will be removed, and the lot will no longer be in the buffer.

70. Retaining wall appears to be within zone 1 of the Riparian Buffer



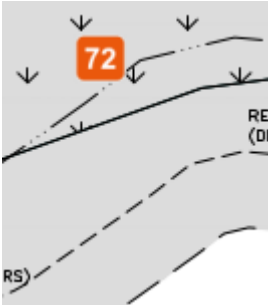
McAdams Response: We have approved Pond Dam Breach plans and intend to drain this pond. After the delineation is done, the buffer will be removed, and the wall will no longer be in the buffer.

71. has the process to get these wetlands mitigated begun?



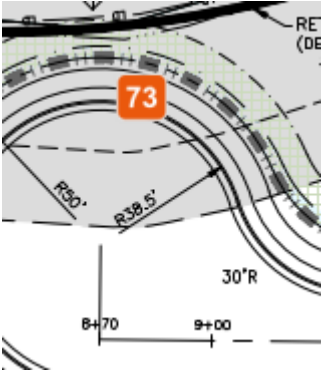
McAdams Response: The process should begin within the next couple of months.

72. Retaining walls appear to be within zone 1 of the riparian buffer



McAdams Response: With the existing pond being drained we feel confident that when the pond is redetermined, the retaining wall will no longer be in the buffer. A note has been added to affected areas referencing that development is dependent on future delineation.

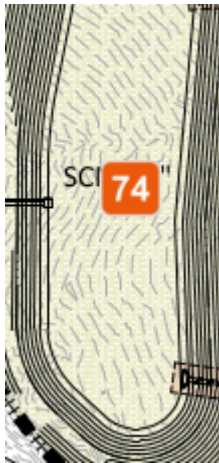
73. Road impacts riparian buffer. Will the impacts be mitigated in accordance with Neuse River rules.



McAdams Response: With the existing pond being drained we feel confident that when the pond is redetermined, the street will no longer be in the buffer. A note has been added to affected areas referencing that development is dependent on future delineation.

C3.00 OVERALL GRADING AND STORM DRAINAGE PLAN

74. General comment: How are these SCM's accessible from a public right of way for future cleanout



McAdams Response: Added access paths to SCM with grading.

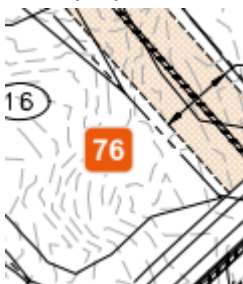
C3.01 GRADING AND STORM DRAINAGE PLAN – AREA “A”

75. For all SCMs, please provide access route and grade accordingly.



McAdams Response: Added access path to SCMs with grading.

76. Label proposed contours.



McAdams Response: Added proposed contour labels.

77. Label existing contours



McAdams Response: Added existing contour labels.

78. Please review intersection design to ensure contours are not developing potential low points.



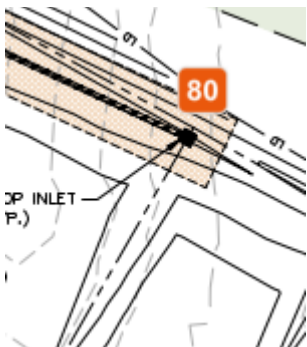
McAdams Response: Removed low spot from intersection.

79. During CIDs, please plan to show driveway locations and proposed FFE. Driveways will be reviewed with CBs to ensure no CBs are within driveways.

McAdams Response: Thanks for the comment, we will show driveway locations and proposed FFE during CDs.

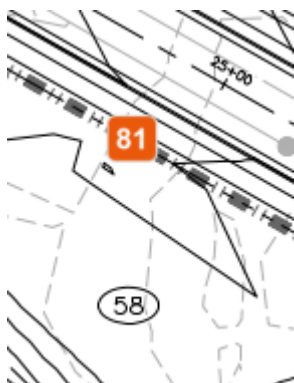
C3.02 GRADING AND STORM DRAINAGE PLAN – AREA “B”

80. all drainage easements not carrying "public water" to be private



McAdams Response: Modified drainage easements to public drainage easements.

81. Review grading for low points without drainage.



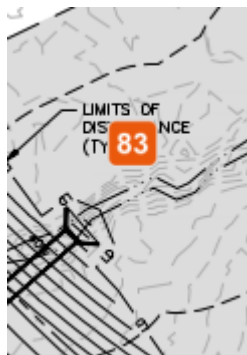
McAdams Response: Removed low point in lot 58.

82. Adjust text/labels for legibility



McAdams Response: Adjusted text and labels for legibility.

83. Provide easement for culvert - Minimum width should be 20' but depth should be accounted for so all future maintenance can be maintained within easement.



McAdams Response: Added easement for culvert for future maintenance.

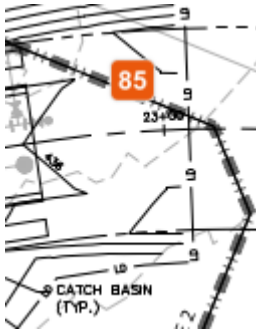
84. CBs cannot be located within pedestrian ramps and need to be located far enough away to ensure curb height transitions can occur.



McAdams Response: Relocated CBs from pedestrian ramps and far enough for the curb transitions.

C3.03 GRADING AND STORM DRAINAGE PLAN – AREA “C”

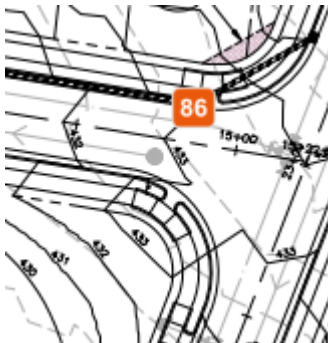
85. Street should be shown all the way to Wait Avenue



McAdams Response: The street connects through a roundabout with Wait Avenue, but the roundabout is in the commercial property which is to be submitted under a separate cover. A stub road will be shown to better separate the two Street “B” sections.

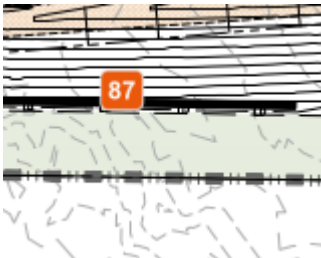
C3.04 GRADING AND STORM DRAINAGE PLAN – AREA “D”

86. Review all CB locations to ensure they are constructable with the curb and gutter/ADA compliance. There are several located within or right at pedestrian ramps which will not be able to work.



McAdams Response: CBs have been moved off of the pedestrian ramps, and more space was given to allow for the curb transitions.

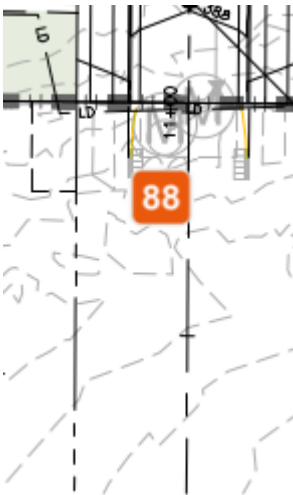
87. In CIDs, please include top and bottom of wall elevations.



McAdams Response: We will show top and bottom of wall elevations in CIDs.

C3.05 GRADING AND STORM DRAINAGE PLAN – AREA “E”

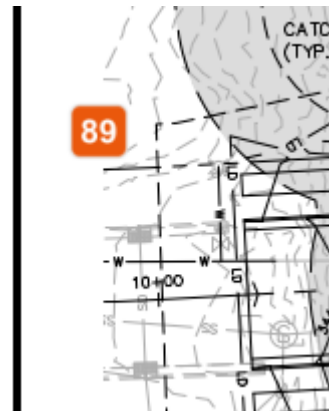
88. Show existing conditions to ensure widths/transitions are occurring properly, including existing grading. It appears additional survey may be needed since this is an existing roadway but contours don't reflect a road.



McAdams Response: Noted. We are working on getting updated survey for the tie in roads and will update the plans and grading accordingly.

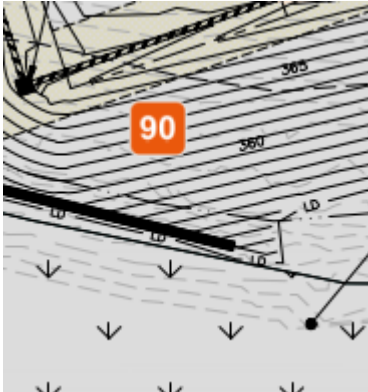
C3.06 GRADING AND STORM DRAINAGE PLAN – AREA “F”

89. Existing Sidewalks are not shown. Please show all existing conditions to ensure tie ins are correct.



McAdams Response: Noted. We are working on getting updated survey for the tie in roads and will update the plans and grading accordingly.

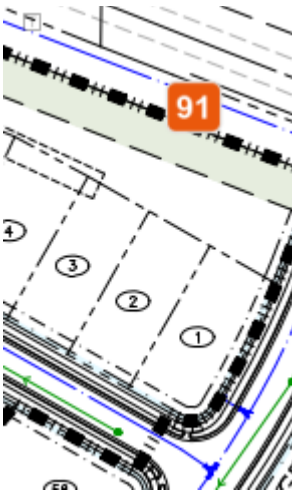
90. Retaining wall appears to be in Zone 1 of the riparian buffer.



McAdams Response: The existing pond is to be drained, so the buffer will be removed from that area.

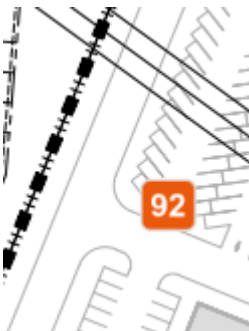
C4.00 OVERALL UTILITY PLAN

91. Revise to show 10' wide sidepath and label.



McAdams Response: 10' pathway is now showing along Wait Avenue.

92. FYI comment - sidepath and bike lane will need to be shown along Averette Road for the future commercial development



McAdams Response: The side path along Averette Rd. will be shown once the commercial parcel submits their plans.

93. Revise to show greenway connecting from Elizabeth Springs to the parkland



McAdams Response: The greenway that crosses into the residential portion is now shown from the Classic Way stub to the park. The connection of the greenway from Elizabeth Springs will be shown when the commercial parcel submits their site plan.

C4.02 UTILITY PLAN – AREA “B”

94. Please add sign easements where applicable



McAdams Response: Sign easements have been added where applicable.

L5.00 OVERALL LANDSCAPE PLAN

95. See LDO 6.2.2.2. for Street Buffers, which is what applies to the Wait Avenue frontage (30' wide for this 'thoroughfare'), and the frontages of all the new local public streets (10' for local streets).

McAdams Response: Thank you for the comment. We will make sure to use LDO 6.2.2.2 when designing the street buffers.

96. see LDO 6.2.3. for Mixed Use Perimeter compatibility - which is what is used for NC district.

McAdams Response: Thank you for the comment. We will make sure to use LDO 6.2.3 for design guidance within the buffer.

L5.02 LANDSCAPE PLAN – AREA “B”

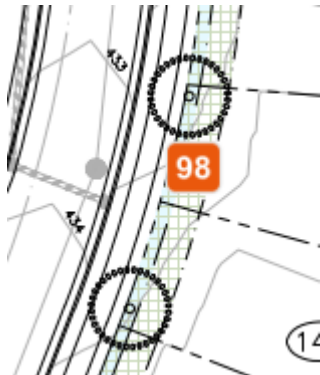
97. Show required NCDOT improvements



McAdams Response: As recommended by previous comment, detailed landscape plan enlargements are not required at the preliminary subdivision plan stage. This comment will be addressed during the Construction Document review. An overall landscape plan will be provided for reference with the preliminary subdivision plan, but the detailed enlargements and full landscape design will be forthcoming with the future submittal of construction documents.

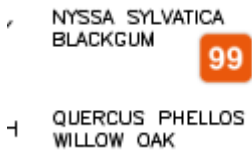
L5.04 LANDSCAPE PLAN – AREA “D”

98. These appear to be front-loaded townhomes. Verify trees will not conflict with driveways.



McAdams Response: As recommended by previous comment, detailed landscape plan enlargements are not required at the preliminary subdivision plan stage. This comment will be addressed during the Construction Document review. An overall landscape plan will be provided for reference with the preliminary subdivision plan, but the detailed enlargements and full landscape design will be forthcoming with the future submittal of construction documents.

99. Check tree size in 10-20 years; will there be enough room between homes and branches. Consider columnar shaped trees. Also happy to brainstorm with you on this topic.



McAdams Response: As recommended by previous comment, detailed landscape plan enlargements are not required at the preliminary subdivision plan stage. This comment will be addressed during the Construction Document review. An overall landscape plan will be provided for reference with the

preliminary subdivision plan, but the detailed enlargements and full landscape design will be forthcoming with the future submittal of construction documents.

100. Please add variety/additional trees to plant list.

McAdams Response: As recommended by previous comment, detailed landscape plan enlargements are not required at the preliminary subdivision Plan stage. This comment will be addressed during the Construction Document review. An overall landscape plan will be provided for reference with the preliminary subdivision plan, but the detailed enlargements and full landscape design will be forthcoming with the future submittal of construction documents.

Raleigh Water

Austin Bain

1. Add Raleigh Water Inspections Quantities Table to the cover sheet.

McAdams Response: Added Raleigh Water Inspections Quantities Table to cover sheet.

2. Add Standard Utility notes to the utility sheets.

McAdams Response: Added call out to mention where to find standard utility notes in the utility sheets.

3. Add Attention contractors note to the cover sheet and utility sheets.

McAdams Response: Added call out to mention where to find attention contractors note in the utility sheets.

4. Call out hydrant as public or private and show hydrant leg size and material.

McAdams Response: All fire hydrants are public and are using a standard 6" leg size and material as DIP.

5. You are showing the proposed sewer as "8" SS". What is the material? Please call it out and include material. Ex: 8" PVC

McAdams Response: Labeled proposed sewer material as PVC.

6. Where are your water and sewer services for the lots?

McAdams Response: Added typical lot service layout to sheet C4.00.

7. All easements need to be called out and clearly shown.

McAdams Response: All easements have been labeled in their respective sheets.

Consideration of this response is greatly appreciated. If you should have any questions or require additional information, please do not hesitate to contact me at 919. 361. 5000.

Sincerely,

McAdams



 **MCADAMS**

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BJ/tp