#1 - Show Site Data Table including:
PIN, Zoning, Watershed, River Basin, Current Use, Proposed Uses, Current Impervious, Proposed Impervious, Parking Data, Tree Coverage Data, Building Height and sq. ft., Residential Density and unit data per housing type.

SITE DATA TABLE HAS BEEN ADDED.

#2 - Engineers Professional Seal Required

THIS WILL BE PROVIDED ONCE ALL COMMENTS ARE ADDRESSED AND THE PRELIMINARY PLAT IS APPROVED.

AMERICAN ENGINEERING'S RESPONSES ARE IN GREEN

PRELIMINARY SUBDIVISION PLAT FOR TUCKER WILKINS TRACT

SITUATED AT

0,1918,2012 AND 2016 ROLESVILLE ROAD

WAKE COUNTY, NORTH CAROLINA

VICINITY MAP
SCALE: 1"=1000'

THESE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING DRAWINGS AND THE STANDARD SPECIFICATIONS OF THE CITY OF RALEIGH, WAKE COUNTY, TOWN OF ROLESVILLE AND NCDOT.

Sheet List Table

Sheet Number	Sheet Title
CVR	COVER
1.0	EXISTING CONDITIONS
2.1	LOT AREAS, OPEN SPACE AND LAND USE PLAN
2.2	PROJECT DETAILS
3.0	SITE PLAN OVERALL
3.1	SITE PLAN 50 SCALE
3.2	SITE PLAN 50 SCALE
3.3	SITE PLAN 50 SCALE
3.4	CURVE & LINE TABLES
4.0	DRAINAGE AND GRADING OVERALL
4.1	DRAINAGE AND GRADING 50 SCALE
4.2	DRAINAGE AND GRADING 50 SCALE
4.3	DRAINAGE AND GRADING 50 SCALE
5.0	UTILITY SHEETS OVERALL
5.1	UTILITY SHEETS 30 SCALE
5.2	UTILITY SHEETS 30 SCALE
5.3	UTILITY SHEETS 30 SCALE
6.0	ROLESVILLE RD IMPROVEMENTS
6.1	STRIPING PLAN
7.0	PRE DRAINAGE AREA MAP

ENGINEER:	AMERICAN ENGINEERING CONTACT: BRAD HAERTLING 4020 WESTCHASE BLVD, STE. 450 RALEIGH, NC 27607 PHONE:919-469-1101 EMAIL: bhaertling@american-ea.com
PROPERTY OWNER:	PARKER, SUE SCARBORO PARKER, BETSY SCARBORO 7312 FEATHERSTONE CT WILMINGTON NC 28411-7113 PIN 1767264441 WILKINS,BETSY S AND SCARBORO, C WALLACE 7312 FEATHERSTONE CT WILMINGTON NC 28411-7113 PIN: 1767263062 PEARCE,LOUIS WILLARD TRUSTEE AND PEARCE, ALICE MITCHELL TRUSTEE 2004 ROLESVILLE RD WAKE FOREST NC 27587-6970 PIN: 1767257612 GODFREY,TIMOTHY WADE AND GODFREY,MARY MITCHELL 2016 ROLESVILLE RD WAKE FOREST NC 27587-6970 PIN: 1767256316
DEVELOPER:	DREES HOMES CONTACT: SHAWN GADDIS 8521 FORKS ROAD, SUITE 500 RALEIGH, NC 27615 PHONE: (979) 844-9288
SURVEYOR:	WITHERS RAVENEL CONTACT: MATT TIMLIN 115 MACKENAN DRIVE CARY, NC 27511 919-469-3340
BUFFER/WETLAND:	WITHERS RAVENEL CONTACT: TROY BEASLEY 115 MACKENAN DRIVE CARY, NC 27511 919-469-3340

GENERAL NOTES:
1. CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.
3. ALL BOUNDARY AND FIELD TOPOGRAPHY PROVIDED BY WITHERS & RAVENEL.
4. THE ZONING ENTITLEMENTS ACHIEVED/FACILITATING THIS PRELIM PLAT IS MA 21-05, APPROVED 12-7-2021 AS TOWN BOARD AGENDA ITEM B.2 ON THE CONSENT AGENDA; IT INCLUDES 5 CONDITIONS AND A CONCEPT PLAN DRAWING.
5. PLEASE SEE "APPROVED WITH MA 21-05 BY TOWN BOARD OF COMMISSIONERS" IS NUMBER 7.0.

ZONING CONDITIONS (CASE # MA210504)

1. PERMITTED USE LIMITED TO "DWELLING - SINGLE FAMILY."
2. ALL DWELLINGS TO BE CONSTRUCTED ON RAISED FOUNDATIONS WITH CRAWLSPACES. NO ON-SLAB CONSTRUCTION.
3.DEVELOPMENT TO INCORPORATE A PUBLIC GREENWAY AS SHOWN ON THE SKETCH PLAN INCORPORATING OPTION 2 TOGETHER WITH WAYFINDING SIGNAGE AND CONSTRUCTION OF A 10' OFF-SITE MULTI-USE PATH ALONG WOODLYN PARK DRIVE, CONNECTING THIS GREENWAY TO THE PROPOSED KALAS FALLS GREENWAY.
4. PRIOR TO COMPLETION OF THE ON-SITE GREENWAY, A 6' SOLID BOARD FENCE SHALL BE ERECTED ALONG THE PROPERTY BOUNDARY LINE FRONTING THE EASTERN TERMINUS OF THE GREENWAY AND BORDERING THE SHORE PROPERTY (PIN . 1767-38-1953) .
5. ON-SITE CONSTRUCTION SHALL NOT COMMENCE UNTIL THE KALAS FALLS ROLESVILLE ROAD WIDENING PROJECT IS COMPLETE.

*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607
919-469-1101

NORTH CAROLINA AMERICAN ENGINEERING ASSOCIATES SOUTHEAST C-3881 CERTIFICATE OF AUTHORIZATION

PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

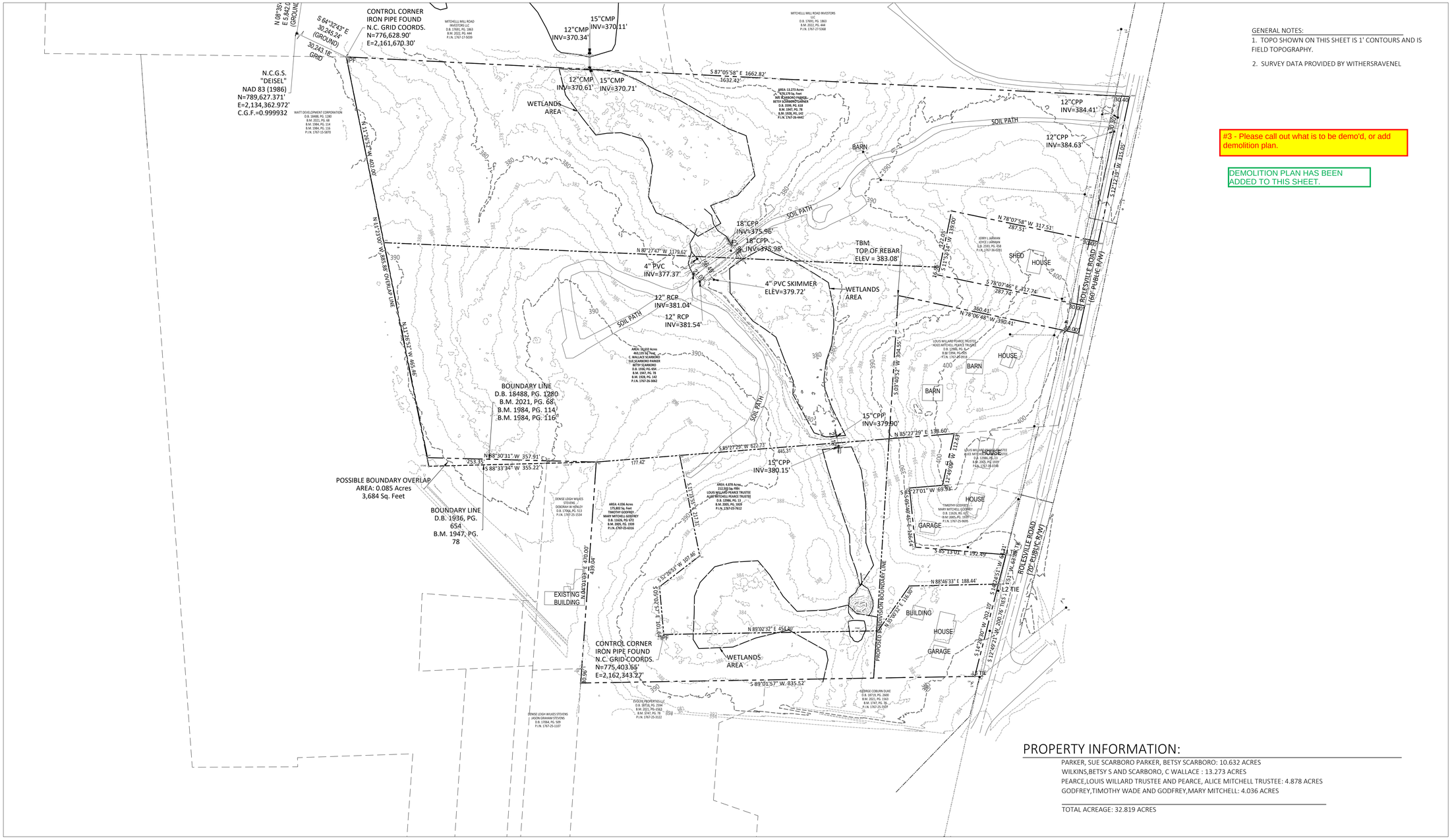
STIPULATION FOR REUSE

THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON. AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

Tucker Wilkins Tract
COVER
Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022
SHEET TITLE:	COVER
SHEET NO.:	CVR

V:\2021\R210017 - Tucker Wilkins Tract\CADD\Cad Sheet\CD1.0 CVR Cover.dwg



GENERAL NOTES:

1. TOPO SHOWN ON THIS SHEET IS 1' CONTOURS AND IS FIELD TOPOGRAPHY.
2. SURVEY DATA PROVIDED BY WITHERSRAVENEL

#3 - Please call out what is to be demo'd, or add demolition plan.

DEMOLITION PLAN HAS BEEN ADDED TO THIS SHEET.

PROPERTY INFORMATION:

PARKER, SUE SCARBORO PARKER, BETSY SCARBORO: 10.632 ACRES
WILKINS,BETSY S AND SCARBORO, C WALLACE : 13.273 ACRES
PEARCE,LOUIS WILLARD TRUSTEE AND PEARCE, ALICE MITCHELL TRUSTEE: 4.878 ACRES
GODFREY,TIMOTHY WADE AND GODFREY,MARY MITCHELL: 4.036 ACRES

TOTAL ACREAGE: 32.819 ACRES

GRAPHIC SCALE

100 0 50 100 200 400

(IN FEET)
1 inch =100

*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607
919-469-1101

NORTH CAROLINA
AMERICAN ENGINEERING ASSOCIATES SOUTHEAST
C-3881
CERTIFICATE OF AUTHORIZATION

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Tucker Wilkins Tract

EXISTING CONDITIONS

Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

EXISTING CONDITIONS

SHEET NO.: **1.0**

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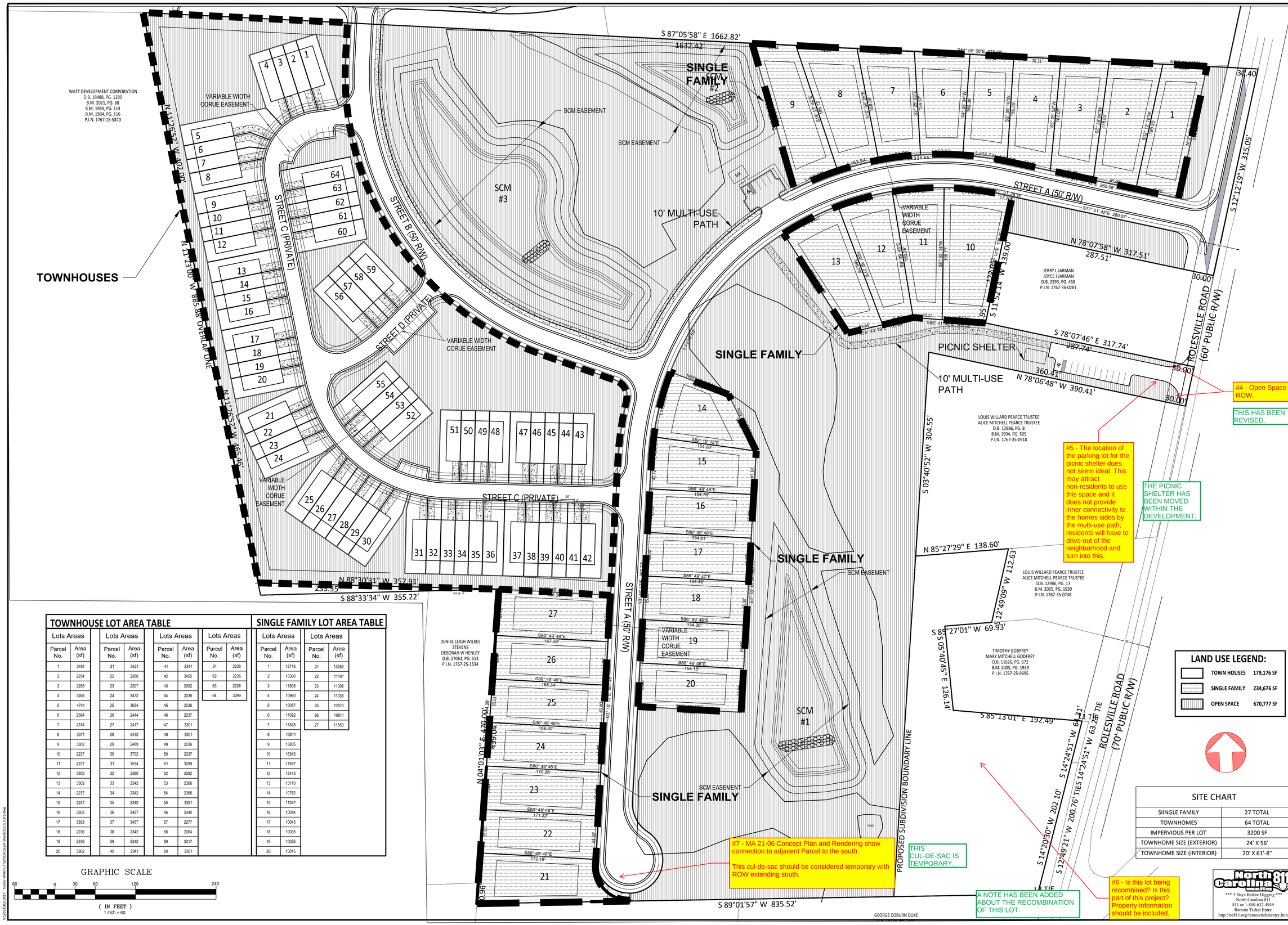

TOWNHOUSE LOT AREA TABLE

Lots Areas		Lots Areas		Lots Areas		Lots Areas	
Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)	Parcel No.	Area (sf)
1	3451	21	3421	41	2341	61	2236
2	2254	22	2286	42	3455	62	2236
3	2255	23	2307	43	3302	63	2236
4	3268	24	3472	44	2236	64	3299
5	4741	25	3634	45	2236		
6	2564	26	2444	46	2237		
7	2374	27	2417	47	3301		
8	3371	28	2432	48	3301		
9	3302	29	2489	49	2236		
10	2237	30	3702	50	2237		
11	2237	31	3534	51	3299		
12	3302	32	2360	52	3392		
13	3302	33	2342	53	2366		
14	2237	34	2342	54	2366		
15	2237	35	2342	55	3391		
16	3302	36	3457	56	3340		
17	3302	37	3457	57	2277		
18	2236	38	2342	58	2264		
19	2236	39	2342	59	3317		
20	3302	40	2341	60	3301		

SINGLE FAMILY LOT AREA TABLE

Lots Areas		Lots Areas	
Parcel No.	Area (sf)	Parcel No.	Area (sf)
1	12716	21	13253
2	13300	22	11161
3	11805	23	11098
4	10960	24	11036
5	10057	25	10973
6	11022	26	10911
7	11828	27	11550
8	13611		
9	13805		
10	16343		
11	11697		
12	12413		
13	13110		
14	10782		
15	11047		
16	10054		
17	10045		
18	10035		
19	10025		
20	10015		

LAND USE LEGEND:

TOWN HOUSES	179,176 SF
SINGLE FAMILY	234,676 SF
OPEN SPACE	670,777 SF

SITE CHART

SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUS PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

North Carolina 811
*** 3 Days Before Digging ***
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AMERICAN Engineering
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919-468-1101

NORTH CAROLINA AMERICAN ENGINEERING ASSOCIATES SOUTHEAST C-3881 CERTIFICATE OF AUTHORIZATION

PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

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Tucker Wilkins Tract
LOT AREAS, OPEN SPACE AND LAND USE PLAN
Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:
LOT AREAS, OPEN SPACE AND LAND USE PLAN

SHEET NO.: **2.1**

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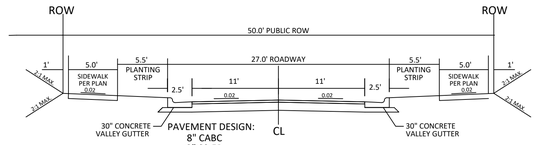
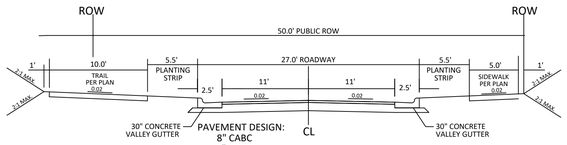


NOTE:
1. NORMAL CROWN OF 0.02 UNLESS OTHERWISE DIRECTED BY TOWN ENGINEER.
2. ASPHALT WILL BE INSTALLED AT A MIN. 1.5" LIFTS.

27' B-B ON A 50' R/W
TYPICAL SECTION



NOTE:
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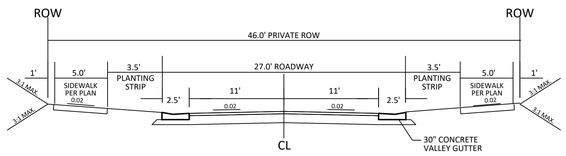
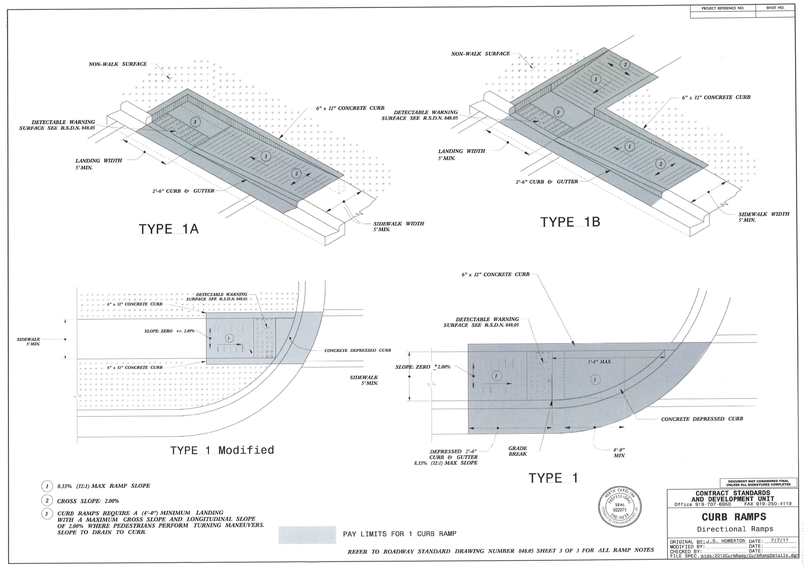
2. ASPHALT WILL BE INSTALLED AT A MIN. 1.5" LIFTS.

27' B-B ON A 50' R/W
TYPICAL SECTION



27' B-B ON A 46' R/W
TYPICAL SECTION N.T.S



1. 8.33% (12:1) MAX RAMP SLOPE
2. CROSS SLOPE: 2.00%
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.

PAY LIMITS FOR 1 CURB RAMP

REFER TO ROADWAY STANDARD DRAWING NUMBER 848.05 SHEET 3 OF 3 FOR ALL RAMP NOTES

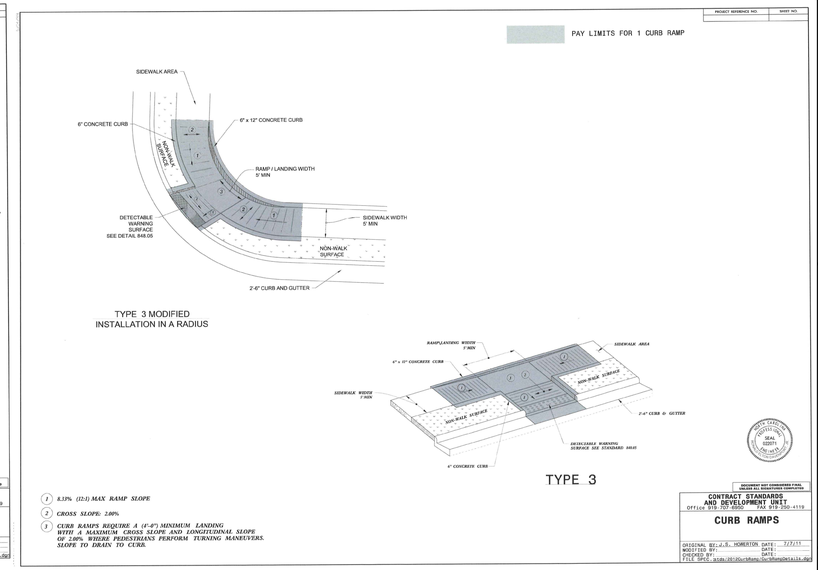
DOCUMENT NOT CONSIDERED FINAL UNLESS ALL SIGNATURES COMPLETED

CONTRACT STANDARDS AND DEVELOPMENT UNIT
Office 919-707-6900 FAX 919-250-4119

CURB RAMPS

Directional Ramps

ORIGINAL BY: J.S. HORERTON DATE: 7/7/11
MODIFIED BY: DATE:
CHECKED BY: DATE:
FILE SPEC: S:\SDL\2012Curb&Ramp\Curb&RampDetails.dgn



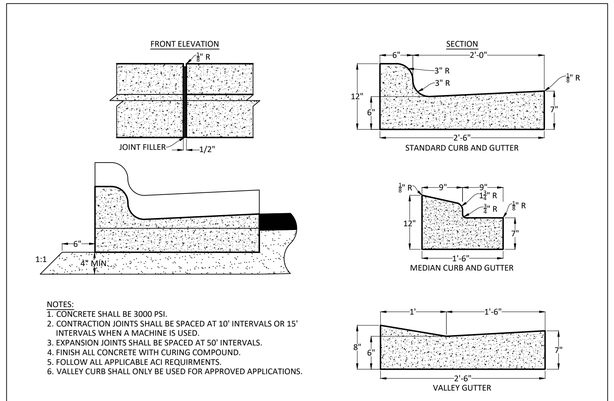
1. 8.33% (12:1) MAX RAMP SLOPE
2. CROSS SLOPE: 2.00%
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.

DOCUMENT NOT CONSIDERED FINAL UNLESS ALL SIGNATURES COMPLETED

CONTRACT STANDARDS AND DEVELOPMENT UNIT
Office 919-707-6900 FAX 919-250-4119

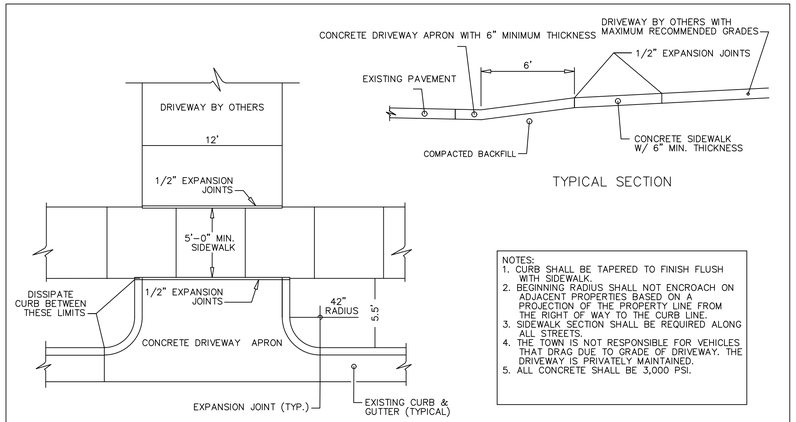
CURB RAMPS

ORIGINAL BY: J.S. HORERTON DATE: 7/7/11
MODIFIED BY: DATE:
CHECKED BY: DATE:
FILE SPEC: S:\SDL\2012Curb&Ramp\Curb&RampDetails.dgn



NOTES:
1. CONCRETE SHALL BE 3000 PSI.
2. CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS OR 15' INTERVALS WHEN A MACHINE IS USED.
3. EXPANSION JOINTS SHALL BE SPACED AT 50' INTERVALS.
4. FINISH ALL CONCRETE WITH CURING COMPOUND.
5. FOLLOW ALL APPLICABLE ACI REQUIRMENTS.
6. VALLEY CURB SHALL ONLY BE USED FOR APPROVED APPLICATIONS.

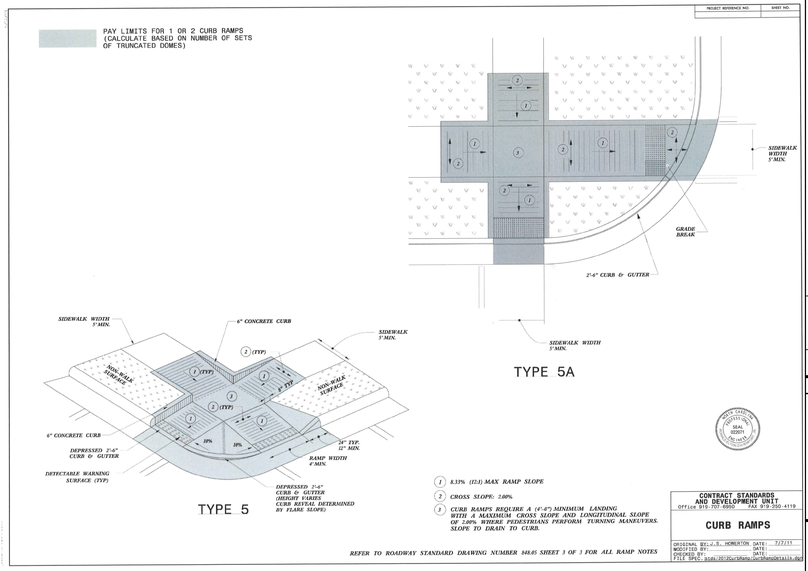
CONCRETE CURB AND GUTTER



NOTES:
1. CURB SHALL BE TAPERED TO FINISH FLUSH WITH SIDEWALK.
2. BEGINNING RADIUS SHALL NOT ENCROACH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF THE PROPERTY LINE FROM THE RIGHT OF WAY TO THE CURB LINE.
3. SIDEWALK SECTION SHALL BE REQUIRED ALONG ALL STREETS.
4. THE TOWN IS NOT RESPONSIBLE FOR VEHICLES THAT DRAG DUE TO GRADE OF DRIVEWAY. THE DRIVEWAY IS PRIVATELY MAINTAINED.
5. ALL CONCRETE SHALL BE 3,000 PSI.

DRIVEWAY APRON

PAY LIMITS FOR 1 OR 2 CURB RAMPS (CALCULATE BASED ON NUMBER OF SETS OF TRUNCATED DOMES)



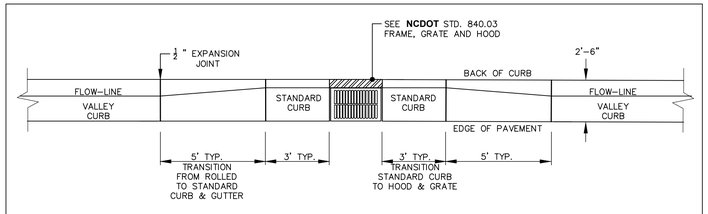
1. 8.33% (12:1) MAX RAMP SLOPE
2. CROSS SLOPE: 2.00%
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.

REFER TO ROADWAY STANDARD DRAWING NUMBER 848.05 SHEET 3 OF 3 FOR ALL RAMP NOTES

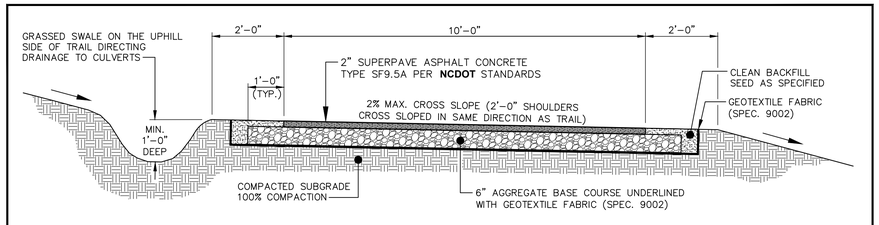
CONTRACT STANDARDS AND DEVELOPMENT UNIT
Office 919-707-6900 FAX 919-250-4119

CURB RAMPS

ORIGINAL BY: J.S. HORERTON DATE: 7/7/11
MODIFIED BY: DATE:
CHECKED BY: DATE:
FILE SPEC: S:\SDL\2012Curb&Ramp\Curb&RampDetails.dgn



CONCRETE CURB AND GUTTER TRANSITION
(ROLLED CURB TO STANDARD CURB)



NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPES DISTURBED BY CONSTRUCTION.
2. NO ABOVE GROUND UTILITIES OR UTILITY SURFACE COVERS/PLATES/MANHOLES SHALL BE LOCATED WITHIN TRAIL AND SHALL BE MINIMUM 2 FEET FROM THE EDGE OF TRAIL. RAISED MANHOLES SHALL BE MINIMUM 4 FEET FROM TRAIL EDGE.
3. ALL TRAILS SHALL BE LOCATED MINIMUM 5 FEET FROM THE BACK OF CURB.
4. SIDE SLOPES SHALL NOT EXCEED 3:1. CUT & FILL SLOPES SHALL TIE INTO EXISTING SLOPES TO CREATE AN EVEN TRANSITION.
5. CROSS SLOPE TYPICALLY TO LOW SIDE BUT CROSS SLOPE TO INSIDE OF DOWNHILL CURVES, WITH GRADUAL TRANSITIONS BETWEEN ANY CROSS SLOPE DIRECTION CHANGES.

STANDARD 10-FT GREENWAY TRAIL

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607
919-469-1101

NORTH CAROLINA
AMERICAN ENGINEERING ASSOCIATES SOUTHEAST
C-3881
CERTIFICATE OF AUTHORIZATION

PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

STIPULATION FOR REUSE

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Tucker Wilkins Tract

PROJECT DETAILS

Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

PROJECT DETAILS

SHEET NO.: **2.2**

North Carolina 811
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\C2.0 General Notes.dwg

THIS IS PRELIMINARY AND WILL BE REVISED WITH THE ADJACENT PLAN SET.

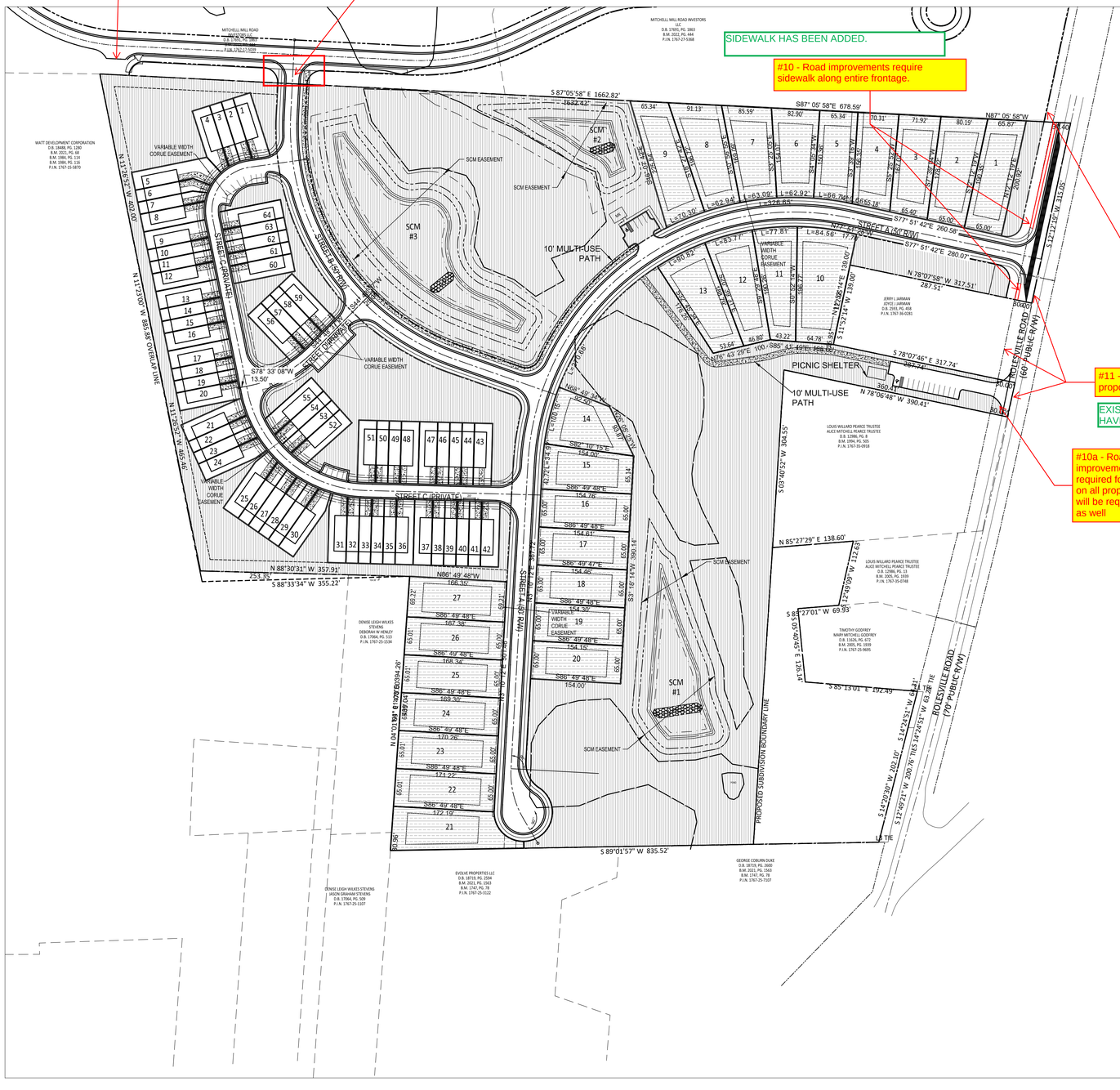
#8 - What is planned for this stub? Future intersection?

THE RESPONSIBILITY OF THIS ROAD CONSTRUCTION WILL BE FIRST COME FIRST SERVED BETWEEN THE ADJACENT PROJECT.

#9 - Who is responsible for building the stub to the road?

SIDEWALK HAS BEEN ADDED.

#10 - Road improvements require sidewalk along entire frontage.



#11 - Please label existing and proposed property lines.

EXISTING AND PROPOSED PROPERTY LINES HAVE BEEN LABELED.

#10a - Road improvements are required for frontage on all property so it will be required here as well

WE ARE UNABLE TO PROVIDE ADEQUATE TAPERS DUE TO THE CONSTRAINED WIDTH OF THIS FRONTAGE. ROAD IMPROVEMENTS HAVE NOTE BEEN ADDED. THE PICNIC SHELTER HAS BEEN MOVED.

RAMPS TO BE INSTALLED AT EVERY INTERSECTION

#12 - Please show Curb Ramps at all intersections - This can be addressed at CDs.

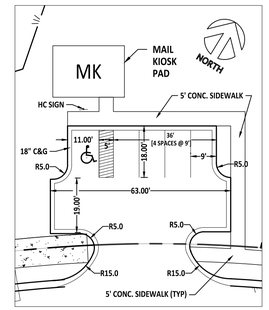
CURB RAMPS HAVE BEEN ADDED.

SITE CHART	
SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

SETBACK TABLE SINGLE FAMILY

	50'	50' W ALLEY	50'-59'	60'-69'	70'-79'	80'-100'	101' +
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,600	8,400	10,400	14,000

* AGGREGATE 12', MIN. 5'
** MIN. 3' AGGREGATE 10'



MAIL KIOSK EXHIBIT
SCALE: 1" = 25'

SITE LEGEND
PROPOSED LOT LINE
100 YEAR FLOOD EASEMENT
BUILDING RESTRICTION LINE
PROPOSED LOT SETBACK
PROPOSED ROW
PROPOSED SIDEWALK
PROPOSED BOC
PROPOSED EOP
PROPOSED CENTERLINE
PROPOSED GRADING
PROPOSED DRAINAGE EASEMENT
PROPOSED UTILITY EASEMENT
PROPOSED HANDICAP RAMPS
PROPOSED SIGHT TRIANGLE
POCKET PARK
MAIL KIOSK LOCATION
OPEN SPACE
MULTI-USE TRAIL

EXISTING LEGEND
EXISTING ADJACENT PROPERTY
EXISTING TREE LINE
EXISTING TOPOGRAPHY
EXISTING BOUNDARY
EXISTING WETLANDS
EXISTING WETLANDS AREA
EXISTING 50' NEUSE RIPERIAN BUFFER
EXISTING BUFFER ZONES
EXISTING TOP OF BANK
EXISTING OVERHEAD ELECTRIC
EXISTING FENCE TO BE REMOVED
EXISTING CENTERLINE
EXISTING EOP TO BE REMOVED
EXISTING ROW TO BE REMOVED
EXISTING CHANNEL TO BE REMOVED
EXISTING GRAVEL DRIVE TO BE REMOVED
EXISTING STREAM CENTERLINE
EXISTING GRAVEL PATHWAY
EXISTING WATERLINE
PHASE LINE

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES

GRAPHIC SCALE
100 0 50 100 200 400
(IN FEET)
1 inch =100

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607
919-469-1101

NORTH CAROLINA AMERICAN ENGINEERING ASSOCIATES SOUTHEAST C-3881 CERTIFICATE OF AUTHORIZATION

PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

STIPULATION FOR REUSE

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Tucker Wilkins Tract

SITE PLAN OVERALL

Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

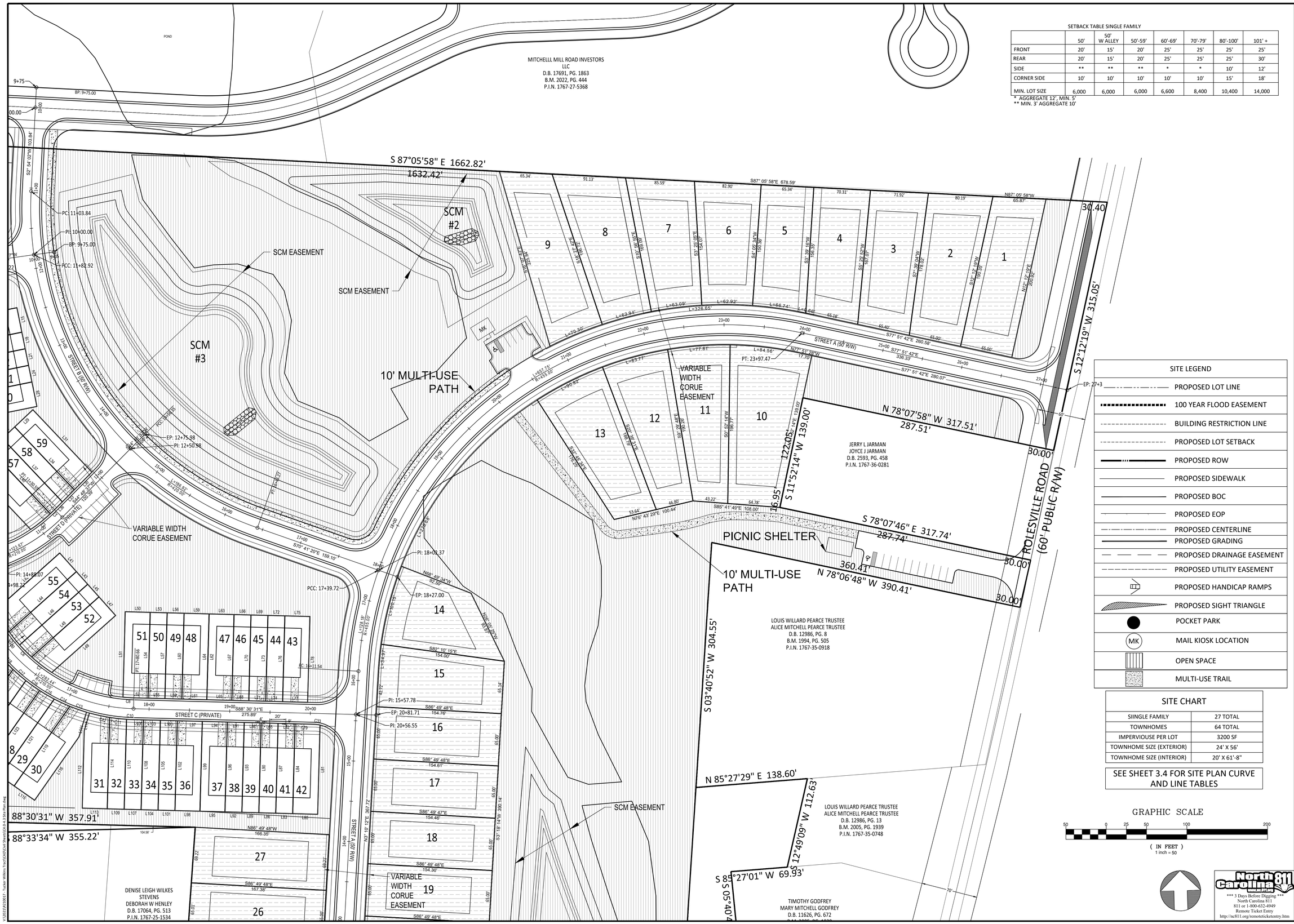
SHEET TITLE:

SITE PLAN OVERALL

SHEET NO.: **3.0**

North Carolina 811
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\C-0.0-4.3 Site Plan.dwg



SETBACK TABLE SINGLE FAMILY

	50'	50' W ALLEY	50'-59'	60'-69'	70'-79'	80'-100'	101' +
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,600	8,400	10,400	14,000

* AGGREGATE 12', MIN. 5'
** MIN. 3' AGGREGATE 10'

SITE LEGEND

- PROPOSED LOT LINE
- 100 YEAR FLOOD EASEMENT
- BUILDING RESTRICTION LINE
- PROPOSED LOT SETBACK
- PROPOSED ROW
- PROPOSED SIDEWALK
- PROPOSED BOC
- PROPOSED EOP
- PROPOSED CENTERLINE
- PROPOSED GRADING
- PROPOSED DRAINAGE EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED HANDICAP RAMPS
- PROPOSED SIGHT TRIANGLE
- POCKET PARK
- MAIL KIOSK LOCATION
- OPEN SPACE
- MULTI-USE TRAIL

SITE CHART

SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50

North Carolina 811 Inc.
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4700 Westgate Boulevard, Suite 400
Raleigh, NC 27607
919-469-1101

NORTH CAROLINA AMERICAN ENGINEERING ASSOCIATES SOUTHEAST C-3881 CERTIFICATE OF AUTHORIZATION

PRELIMINARY FOR CONSTRUCTION

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NO.	DATE	REVISION:

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Tucker Wilkins Tract

SITE PLAN 50 SCALE

Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

SITE PLAN 50 SCALE

SHEET NO.: **3.1**

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES

SITE CHART	
SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

SETBACK TABLE SINGLE FAMILY

	50'	50' W ALLEY	50'-59'	60'-69'	70'-79'	80'-100'	101' +
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,600	8,400	10,400	14,000

* AGGREGATE 12', MIN. 5'
** MIN. 3' AGGREGATE 10'

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4700 Waverley Boulevard, Suite 4-501
Raleigh, NC 27607
919-468-1101

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Tucker Wilkins Tract

SITE PLAN 50 SCALE

Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

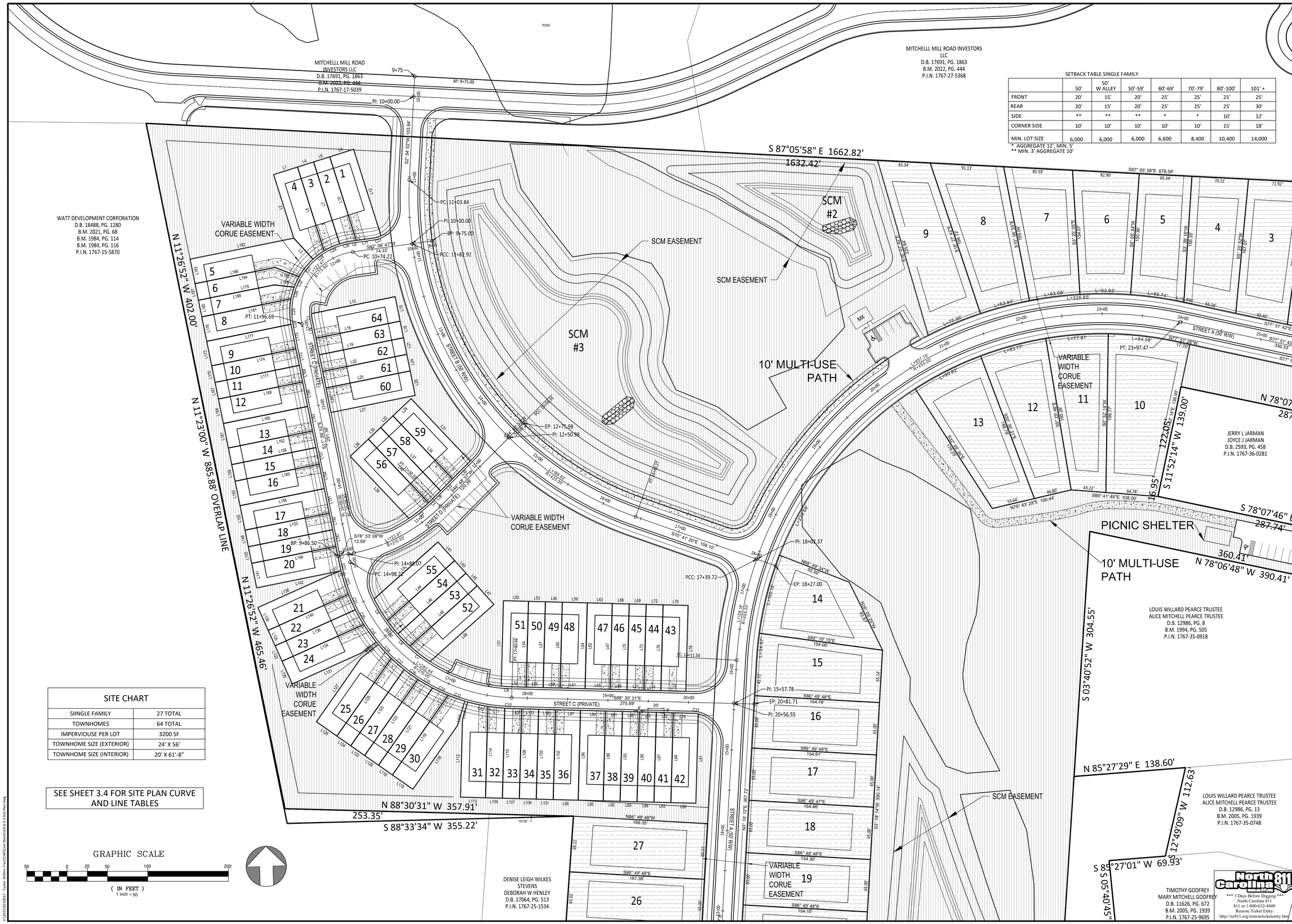
SHEET TITLE:

SITE PLAN 50 SCALE

SHEET NO.:

3.2

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\3.4-3.6 Site Plan.dwg



SETBACK TABLE SINGLE FAMILY							
	50'	50' W ALLEY	50'-59'	60'-69'	70'-79'	80'-100'	101' +
FRONT	20'	15'	20'	25'	25'	25'	25'
REAR	20'	15'	20'	25'	25'	25'	30'
SIDE	**	**	**	*	*	10'	12'
CORNER SIDE	10'	10'	10'	10'	10'	15'	18'
MIN. LOT SIZE	6,000	6,000	6,000	6,600	8,400	10,400	14,000

* AGGREGATE 12', MIN. 5'
** MIN. 3' AGGREGATE 10'

SITE CHART	
SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

SEE SHEET 3.4 FOR SITE PLAN CURVE AND LINE TABLES

GRAPHIC SCALE
50 0 25 50 100 200
(IN FEET)
1 inch = 50

V:\2021\2210017 - Tucker Wilkins Tract\CADD\Civil Sheets\G-0-0-3 Site Plan.dwg

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4000 Westchase Boulevard, Suite 410-01
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919-468-1101

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Tucker Wilkins Tract

SITE PLAN 50 SCALE

Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

SITE PLAN 50 SCALE

SHEET NO.: **3.3**

North Carolina 811 Call Before You Dig
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.html

TOWNHOME LINE LABEL TABLES

Parcel Line Table		
Line #	Length	Direction
L1	31.00'	N72° 22' 53"E
L2	82.68'	N17° 37' 07"W
L3	35.29'	N42° 27' 14"W
L4	21.00'	N72° 22' 53"E
L5	109.05'	N17° 37' 07"W
L6	21.00'	N72° 22' 53"E
L7	106.52'	N17° 37' 07"W
L8	6.14'	S82° 06' 47"W
L9	31.00'	N72° 22' 53"E
L10	108.83'	N17° 37' 07"W
L11	20.75'	S82° 06' 47"W
L12	112.60'	S17° 37' 07"E
L13	105.68'	N78° 33' 08"E
L14	20.96'	N11° 26' 52"W
L15	31.00'	S11° 26' 52"E
L16	106.50'	N78° 33' 08"E
L17	21.00'	N11° 26' 52"W
L18	21.00'	S11° 26' 52"E
L19	106.50'	N78° 33' 08"E
L20	21.00'	N11° 26' 52"W

Parcel Line Table		
Line #	Length	Direction
L21	21.00'	S11° 26' 52"E
L22	106.50'	N78° 33' 08"E
L23	21.00'	N11° 26' 52"W
L24	21.00'	S11° 26' 52"E
L25	106.50'	N78° 33' 08"E
L26	31.00'	N11° 26' 52"W
L27	106.50'	S78° 33' 08"W
L28	31.00'	S11° 26' 52"E
L29	31.00'	N46° 35' 53"E
L30	31.02'	S44° 48' 37"W
L31	106.51'	S43° 24' 07"E
L32	21.00'	N46° 35' 53"E
L33	21.01'	S44° 48' 37"W
L34	107.48'	S43° 24' 07"E
L35	21.00'	N46° 35' 53"E
L36	13.66'	S44° 48' 37"W
L37	108.13'	S43° 24' 07"E
L38	31.00'	N46° 35' 53"E
L39	105.99'	N43° 24' 07"W
L40	108.65'	S43° 24' 07"E

Parcel Line Table		
Line #	Length	Direction
L41	31.00'	S41° 46' 45"E
L42	106.01'	N48° 13' 15"E
L43	21.00'	S41° 46' 45"E
L44	111.91'	N48° 13' 15"E
L45	21.00'	S41° 46' 45"E
L46	113.04'	N48° 13' 15"E
L47	31.00'	S41° 46' 45"E
L48	111.93'	N48° 13' 15"E
L49	106.06'	S48° 13' 15"W
L50	31.00'	S88° 30' 31"E
L51	106.04'	N1° 29' 29"E
L52	17.61'	N88° 30' 31"W
L53	21.00'	S88° 30' 31"E
L54	106.50'	N1° 29' 29"E
L55	21.00'	N88° 30' 31"W
L56	21.00'	S88° 30' 31"E
L57	106.50'	N1° 29' 29"E
L58	21.00'	N88° 30' 31"W
L59	31.00'	S88° 30' 31"E
L60	106.50'	N1° 29' 29"E

Parcel Line Table		
Line #	Length	Direction
L61	31.00'	N88° 30' 31"W
L62	106.50'	S1° 29' 29"W
L63	31.00'	S88° 30' 31"E
L64	106.50'	N1° 29' 29"E
L65	31.00'	N88° 30' 31"W
L66	21.00'	S88° 30' 31"E
L67	106.50'	N1° 29' 29"E
L68	21.00'	N88° 30' 31"W
L69	21.00'	S88° 30' 31"E
L70	106.50'	N1° 29' 29"E
L71	21.00'	N88° 30' 31"W
L72	21.00'	S88° 30' 31"E
L73	106.50'	N1° 29' 29"E
L74	21.00'	N88° 30' 31"W
L75	31.00'	S88° 30' 31"E
L76	106.50'	N1° 29' 29"E
L77	31.00'	N88° 30' 31"W
L78	106.50'	S1° 29' 29"W
L79	23.87'	S88° 30' 31"E
L80	31.00'	N88° 30' 31"W

Parcel Line Table		
Line #	Length	Direction
L81	110.80'	S1° 29' 29"W
L82	21.00'	S88° 30' 31"E
L83	21.00'	N88° 30' 31"W
L84	111.50'	S1° 29' 29"W
L85	21.00'	S88° 30' 31"E
L86	21.00'	N88° 30' 31"W
L87	111.50'	S1° 29' 29"W
L88	21.00'	S88° 30' 31"E
L89	21.00'	N88° 30' 31"W
L90	111.50'	S1° 29' 29"W
L91	21.00'	S88° 30' 31"E
L92	21.00'	N88° 30' 31"W
L93	111.50'	S1° 29' 29"W
L94	31.00'	S88° 30' 31"E
L95	31.00'	N88° 30' 31"W
L96	111.50'	S1° 29' 29"W
L97	31.00'	S88° 30' 31"E
L98	31.00'	N88° 30' 31"W
L99	111.50'	S1° 29' 29"W
L100	21.00'	S88° 30' 31"E

Parcel Line Table		
Line #	Length	Direction
L101	21.00'	N88° 30' 31"W
L102	111.50'	S1° 29' 29"W
L103	21.00'	S88° 30' 31"E
L104	21.00'	N88° 30' 31"W
L105	111.50'	S1° 29' 29"W
L106	12.68'	S88° 30' 31"E
L107	21.00'	N88° 30' 31"W
L108	111.50'	S1° 29' 29"W
L109	21.00'	N88° 30' 31"W
L110	111.66'	S1° 29' 29"W
L111	23.00'	N16° 12' 39"E
L112	96.00'	N1° 29' 29"E
L113	31.00'	N88° 30' 31"W
L114	113.43'	S1° 29' 29"W
L115	31.00'	N55° 01' 21"W
L116	96.00'	S34° 58' 39"W
L117	32.03'	S16° 51' 30"W
L118	21.00'	N55° 01' 21"W
L119	120.57'	S34° 58' 39"W
L120	21.00'	N55° 01' 21"W

Parcel Line Table		
Line #	Length	Direction
L121	116.84'	S34° 58' 39"W
L122	21.00'	N55° 01' 21"W
L123	115.13'	S34° 58' 39"W
L124	21.00'	N55° 01' 21"W
L125	115.41'	S34° 58' 39"W
L126	27.70'	N51° 23' 52"E
L127	96.00'	N34° 58' 39"E
L128	31.00'	N55° 01' 21"W
L129	117.68'	S34° 58' 39"W
L130	31.00'	N24° 11' 08"W
L131	92.99'	S65° 48' 52"W
L132	23.83'	S54° 01' 02"W
L133	21.00'	N24° 11' 08"W
L134	111.00'	S65° 48' 52"W
L135	21.00'	N24° 11' 08"W
L136	109.04'	S65° 48' 52"W
L137	16.49'	N67° 45' 21"E
L138	96.00'	N65° 48' 52"E
L139	31.00'	N24° 11' 08"W
L140	109.05'	S65° 48' 52"W

Parcel Line Table		
Line #	Length	Direction
L141	31.00'	N11° 26' 52"W
L142	106.52'	S78° 33' 08"W
L143	0.13'	S78° 33' 08"W
L144	22.63'	S11° 26' 52"E
L145	21.00'	N11° 26' 52"W
L146	106.50'	S78° 33' 08"W
L147	21.00'	S11° 26' 52"E
L148	21.00'	N11° 26' 52"W
L149	106.50'	S78° 33' 08"W
L150	21.00'	S11° 26' 52"E
L151	31.00'	S11° 26' 52"E
L152	31.00'	N11° 26' 52"W
L153	106.50'	S78° 33' 08"W
L154	31.00'	S11° 26' 52"E
L155	31.00'	N11° 26' 52"W
L156	106.50'	S78° 33' 08"W
L157	21.00'	S11° 26' 52"E
L158	106.50'	N78° 33' 08"E
L159	21.00'	N11° 26' 52"W
L160	106.50'	S78° 33' 08"W

Parcel Line Table		
Line #	Length	Direction
L161	31.00'	N11° 26' 52"W
L162	106.50'	S78° 33' 08"W
L163	31.00'	S11° 26' 52"E
L164	31.00'	N11° 26' 52"W
L165	106.50'	S78° 33' 08"W
L166	31.00'	S11° 26' 52"E
L167	21.00'	N11° 26' 52"W
L168	106.50'	S78° 33' 08"W
L169	21.00'	S11° 26' 52"E
L170	21.00'	N11° 26' 52"W
L171	106.50'	S78° 33' 08"W
L172	21.00'	S11° 26' 52"E
L173	31.00'	N11° 26' 52"W
L174	106.50'	S78° 33' 08"W
L175	28.90'	S11° 26' 52"E
L176	31.00'	N11° 26' 52"W
L177	106.52'	S78° 33' 08"W
L178	24.86'	S83° 24' 43"E
L179	96.00'	N78° 33' 08"E
L180	21.00'	N11° 26' 52"W

Parcel Line Table		
Line #	Length	Direction
L181	112.92'	S78° 33' 08"W
L182	131.23'	N78° 33' 08"E
L183	31.00'	N11° 26' 52"W
L184	101.14'	S78° 33' 08"W
L185	31.97'	N69° 05' 42"W

TOWNHOME CURVE LABEL TABLES

Curve Table					
Curve #	Length	Radius	Delta	Tangent	Chord Brg.
C1	10.08'	61.50'	9°23'38"	5.06'	N6°45'03"W
C2	7.35'	196.50'	2°08'36"	3.68'	S45°52'55"W
C3	31.15'	196.50'	9°04'54"	15.61'	S51°29'39"W
C4	31.59'	196.50'	9°12'40"	15.83'	N31°00'43"W
C5	21.04'	196.50'	6°08'07"	10.54'	N38°41'06"W
C6	21.04'	196.50'	6°08'06"	10.53'	N44°49'11"W
C7	31.58'	196.50'	9°12'34"	15.83'	N52°29'31"W
C8	13.40'	196.50'	3°54'28"	6.71'	N86°33'17"W
C10	8.33'	223.50'	2°08'04"	4.17'	S87°26'29"E
C11	21.08'	223.50'	5°24'18"	10.55'	S83°40'19"E
C12	25.63'	223.50'	6°34'11"	12.83'	S77°41'05"E
C13	21.85'	223.50'	5°36'08"	10.94'	S70°37'42"E
C14	21.34'	223.50'	5°28'12"	10.68'	S65°05'33"E
C15	21.08'	223.50'	5°24'12"	10.55'	S59°39'22"E
C16	21.01'	223.50'	5°23'10"	10.52'	S54°15'41"E
C17	21.13'	223.50'	5°25'01"	10.58'	S48°51'36"E
C18	23.69'	223.50'	6°04'25"	11.86'	S43°06'54"E
C19	26.68'	223.50'	6°50'21"	13.36'	S35°39'48"E
C20	21.10'	223.50'	5°24'33"	10.56'	S29°32'21"E
C21	21.01'	223.50'	5°23'08"	10.52'	S24°08'31"E

Curve Table					
Curve #	Length	Radius	Delta	Tangent	Chord Brg.
C22	30.64'	223.50'	7°51'21"	15.35'	S17°31'17"E
C23	8.37'	223.50'	2°08'45"	4.19'	S12°31'14"E
C24	2.10'	88.50'	1°21'39"	1.06'	S10°46'03"E
C25	31.82'	88.50'	20°36'13"	16.09'	S0°12'53"W
C26	14.92'	88.50'	9°39'34"	7.48'	S15°20'47"W
C27	27.89'	88.50'	18°03'15"	14.06'	S38°31'09"W
C28	17.17'	88.50'	11°06'49"	8.62'	S53°06'11"W
C29	21.20'	88.50'	13°43'36"	10.66'	S65°31'23"W
C30	15.02'	88.50'	9°43'38"	7.54'	S77°14'59"W
C31	10.59'	36.50'	16°37'22"	5.34'	S73°48'07"W
C33	7.18'	36.50'	11°15'52"	3.60'	S82°52'35"E

SEE SHEETS 3.1 - 3.3 FOR SITE PLAN DATA CORRESPONDING WITH CURVE AND LINE TABLES

North Carolina 811
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North Carolina 811
811 or 1-800-632-4949
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AMERICAN Engineering
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919-469-1101

NORTH CAROLINA AMERICAN ENGINEERING ASSOCIATES SOUTHEAST C-3881 CERTIFICATE OF AUTHORIZATION

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Tucker Wilkins Tract

Rolesville, Wake County North Carolina 27587

CURVE & LINE TABLES

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

CURVE & LINE TABLES

SHEET NO.: **3.4**

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Cad Sheets\C4.0-4.3 Site Plan.dwg

GRAPHIC SCALE

100 0 50 100 200 400

(IN FEET)
1 inch =100

#13 - Label Proposed and Existing Contours.

CONTOURS HAVE BEEN LABELED.

UTILITIES LEGEND
EXISTING BOUNDARY
EXISTING 50' NEUSE RIPERIAN BUFFER
EXISTING BUFFER ZONES
PROPOSED LOT LINE
PROPOSED ROW
PROPOSED SIDEWALK
PROPOSED BOC
PROPOSED EOP
PROPOSED CENTERLINE
PROPOSED EASEMENT
PHASELINE
RIP RAP
BASIN WEIR
JUNCTION BOX
PROPOSED CATCH BASIN
PROPOSED YARD INLET
PROPOSED DROP INLET
PROPOSED FLARED END SECTION
PROPOSED WATER METER
PROPOSED SEWER SERVICE
PROPOSED MANHOLE
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER REDUCER
PROPOSED SEWER LINE
PROPOSED WATER LINE
PROPOSED STORM WATER

SITE LEGEND
PROPOSED LOT LINE
100 YEAR FLOOD EASEMENT
BUILDING RESTRICTION LINE
PROPOSED LOT SETBACK
PROPOSED ROW
PROPOSED SIDEWALK
PROPOSED BOC
PROPOSED EOP
PROPOSED CENTERLINE
PROPOSED GRADING
PROPOSED DRAINAGE EASEMENT
PROPOSED UTILITY EASEMENT
PROPOSED HANDICAP RAMPS
PROPOSED SIGHT TRIANGLE
POCKET PARK
MAIL KIOSK LOCATION
OPEN SPACE
MULTI-USE TRAIL

EXISTING LEGEND
EXISTING ADJACENT PROPERTY
EXISTING TREE LINE
EXISTING TOPOGRAPHY
EXISTING BOUNDARY
EXISTING WETLANDS
EXISTING WETLANDS AREA
EXISTING 50' NEUSE RIPERIAN BUFFER
EXISTING BUFFER ZONES
EXISTING TOP OF BANK
EXISTING OVERHEAD ELECTRIC
EXISTING FENCE TO BE REMOVED
EXISTING CENTERLINE
EXISTING EOP TO BE REMOVED
EXISTING ROW TO BE REMOVED
EXISTING CHANNEL TO BE REMOVED
EXISTING GRAVEL DRIVE TO BE REMOVED
EXISTING STREAM CENTERLINE
EXISTING GRAVEL PATHWAY
EXISTING WATERLINE
PHASE LINE

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Tucker Wilkins Tract

DRAINAGE AND GRADING OVERALL

Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

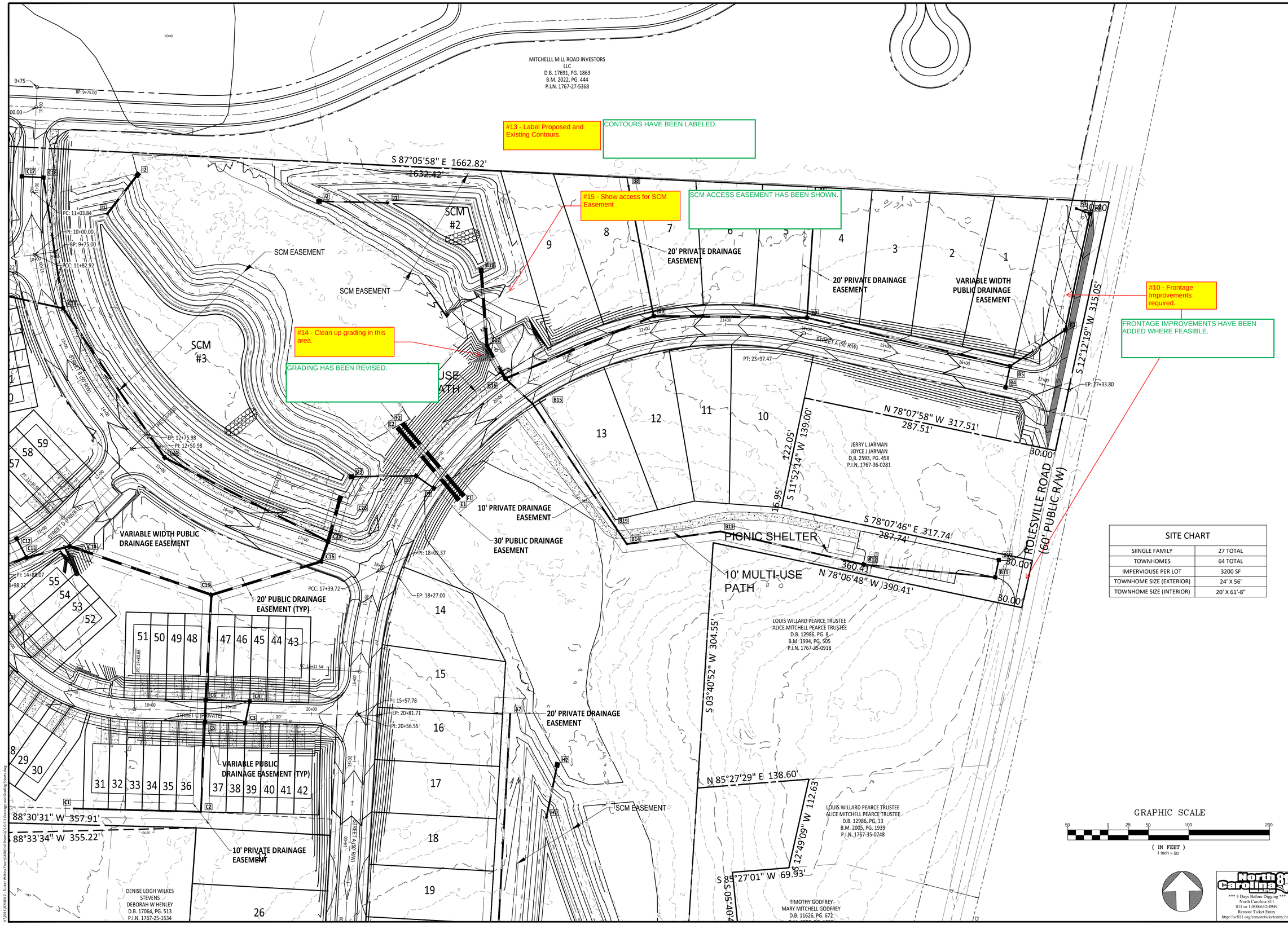
SHEET TITLE:

DRAINAGE AND GRADING OVERALL

SHEET NO.:

4.0

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\C5-5.3 Drainage and Grading Sheets.dwg



SITE CHART	
SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50

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Tucker Wilkins Tract
DRAINAGE AND GRADING 50 SCALE
Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:
DRAINAGE AND GRADING 50 SCALE

SHEET NO.: **4.1**

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#16 - Storm Structures can not be within CORUE

BASED ON CONVERSATION WITH CITY OF RALEIGH OFFICIALS, STORM STRUCTURES WITHIN THE EASEMENT WILL BE ACCEPTABLE.

#20 - Please label easement.

EASEMENT HAS BEEN LABELED.

#19 - Label and cleanup 20' Public drainage easement. Easements should go from the ROW line around storm structures.

DRAINAGE EASEMENTS HAS BEEN REVISED.

#17 - Clean up grading in this area.

GRADING HAS BEEN REVISED.

#18 - Easement through building.

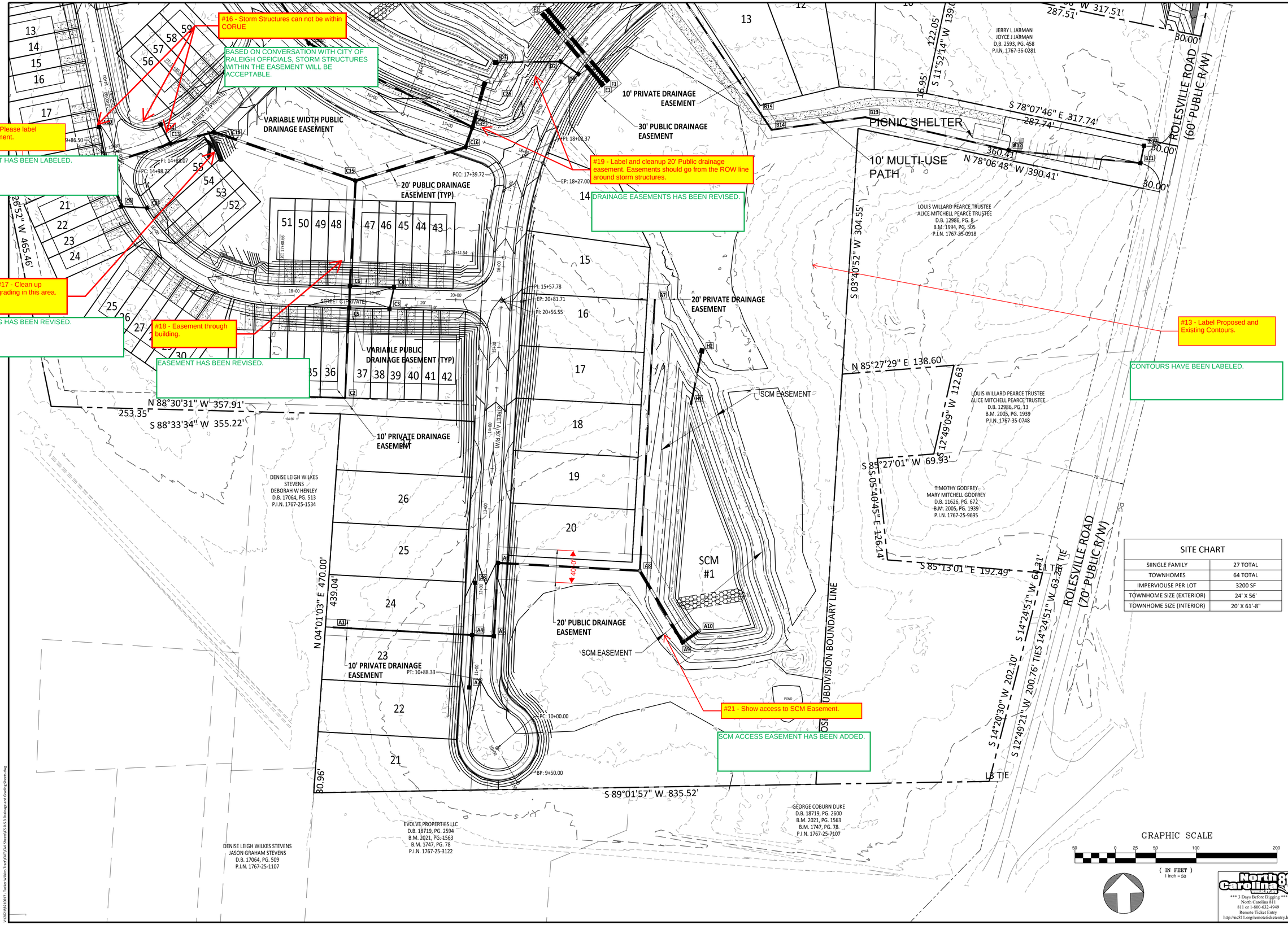
EASEMENT HAS BEEN REVISED.

#13 - Label Proposed and Existing Contours.

CONTOURS HAVE BEEN LABELED.

#21 - Show access to SCM Easement.

SCM ACCESS EASEMENT HAS BEEN ADDED.



SITE CHART	
SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

GRAPHIC SCALE

50 0 25 50 100 200

(IN FEET)
1 inch = 50

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Tucker Wilkins Tract

DRAINAGE AND GRADING 50 SCALE

Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

DRAINAGE AND GRADING 50 SCALE

SHEET NO.: **4.2**

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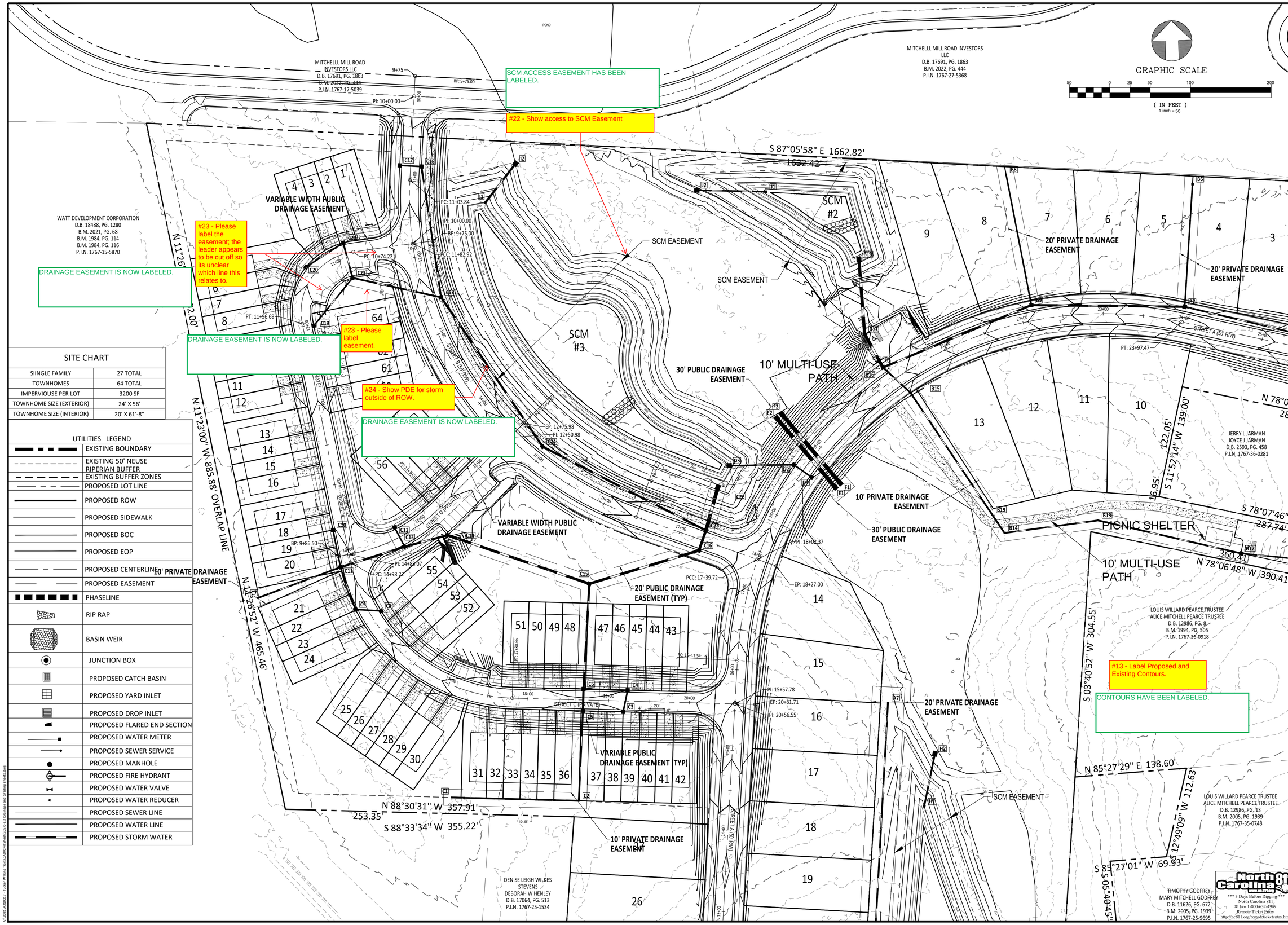

SITE CHART

SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"

UTILITIES LEGEND

	EXISTING BOUNDARY
	EXISTING 50' NEUSE RIPERIAN BUFFER
	EXISTING BUFFER ZONES
	PROPOSED LOT LINE
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED EASEMENT
	PHASELINE
	RIP RAP
	BASIN WEIR
	JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED YARD INLET
	PROPOSED DROP INLET
	PROPOSED FLARED END SECTION
	PROPOSED WATER METER
	PROPOSED SEWER SERVICE
	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED WATER REDUCER
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM WATER

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Tucker Wilkins Tract

DRAINAGE AND GRADING 50 SCALE

Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

DRAINAGE AND GRADING 50 SCALE

SHEET NO.: **4.3**

North Carolina 811

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North Carolina 811
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Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

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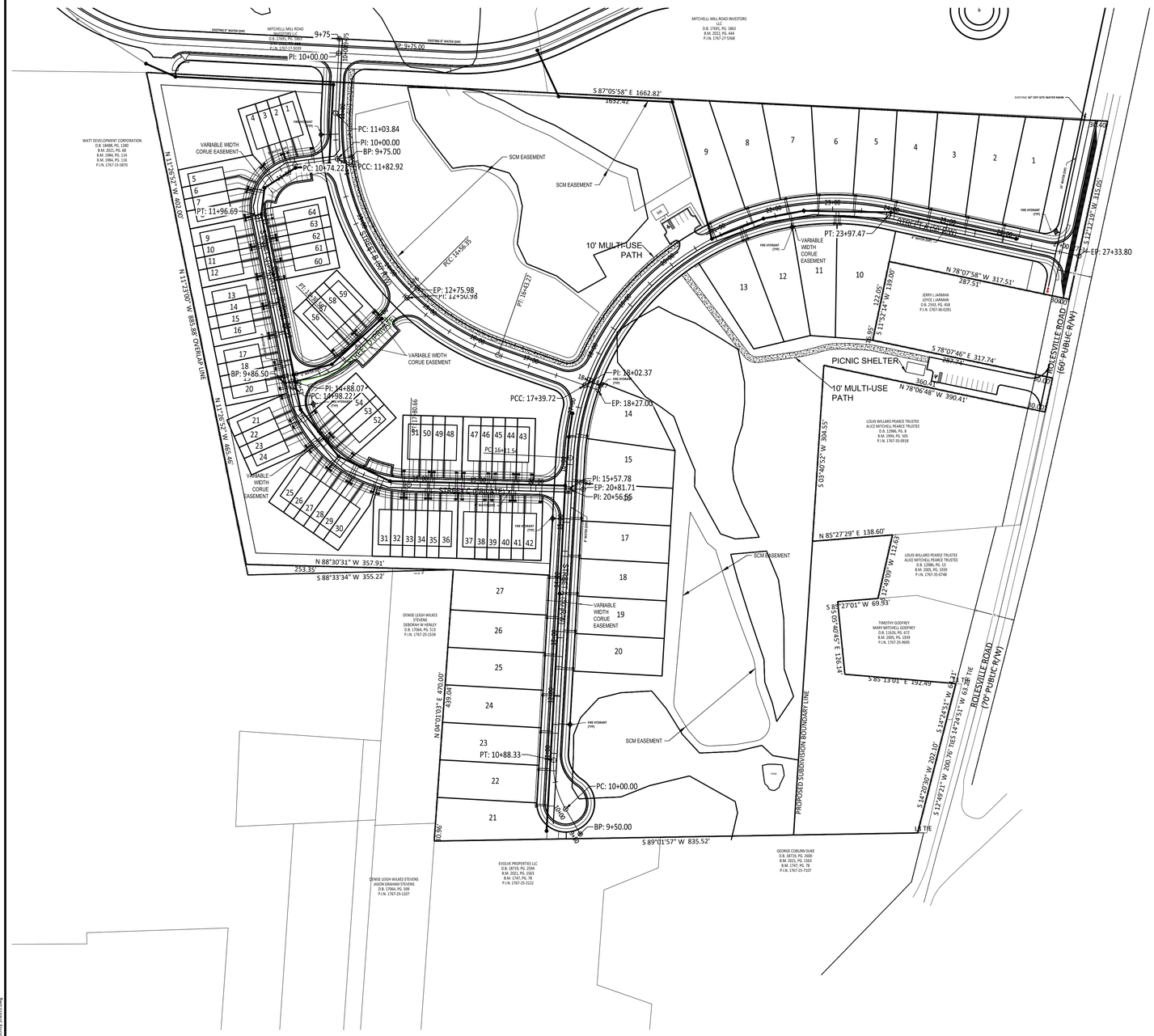
SITE CHART	
SIINGLE FAMILY	27 TOTAL
TOWNHOMES	64 TOTAL
IMPERVIOUSE PER LOT	3200 SF
TOWNHOME SIZE (EXTERIOR)	24' X 56'
TOWNHOME SIZE (INTERIOR)	20' X 61'-8"



GRAPHIC SCALE

100 0 50 100 200 400

(IN FEET)
1 inch =100

UTILITIES LEGEND	
	EXISTING BOUNDARY
	EXISTING 50' NEUSE RIPERIAN BUFFER
	EXISTING BUFFER ZONES
	PROPOSED LOT LINE
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED EASEMENT
	PHASELINE
	RIP RAP
	BASIN WEIR
	JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED YARD INLET
	PROPOSED DROP INLET
	PROPOSED FLARED END SECTION
	PROPOSED WATER METER
	PROPOSED SEWER SERVICE
	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED WATER REDUCER
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM WATER

SITE LEGEND	
	PROPOSED LOT LINE
	100 YEAR FLOOD EASEMENT
	BUILDING RESTRICTION LINE
	PROPOSED LOT SETBACK
	PROPOSED ROW
	PROPOSED SIDEWALK
	PROPOSED BOC
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED GRADING
	PROPOSED DRAINAGEEASEMENT
	PROPOSED UTILITY EASEMENT
	PROPOSED HANDICAP RAMPS
	PROPOSED SIGHT TRIANGLE
	POCKET PARK
MK	MAIL KIOSK LOCATION
	OPEN SPACE
	PROPOSED SWALE (AT TIME OF LOT GRADING)
	PROPOSED PHASELINE

EXISTING LEGEND	
	EXISTING ADJACENT PROPERTY
	EXISTING TREE LINE
	EXISTING TOPOGRAPHY
	EXISTING BOUNDARY
	EXISTING WETLANDS
	EXISTING WETLANDS AREA
	EXISTING 50' NEUSE RIPERIAN BUFFER
	EXISTING BUFFER ZONES
	EXISTING TOP OF BANK
	EXISTING OVERHEAD ELECTRIC
#	EXISTING FENCE TO BE REMOVED
	EXISTING CENTERLINE
	EXISTING EOP TO BE REMOVED
	EXISTING ROW TO BE REMOVED
	EXISTING CHANNEL TO BE REMOVED
	EXISTING GRAVEL DRIVE TO BE REMOVED
	EXISTING STREAM CENTERLINE
	EXISTING GRAVEL PATHWAY
	EXISTING WATERLINE
	PHASE LINE

North Carolina 811
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North Carolina 811
811 or 1-800-632-4949
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http://nc811.org/remoteticketentry.htm

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Tucker Wilkins Tract

UTILITY SHEETS OVERALL

Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

UTILITY SHEETS OVERALL

SHEET NO.: **5.0**

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\C6.0 & 1 Utility Sheets.dwg

#25 - Is there an easement for this?

THIS HAS BEEN REVISED. THERE ISN'T A SEWER CONNECTION HERE ANYMORE.

#25 - Is there an easement for this?

AN EASEMENT HAS BEEN ADDED HERE.

EX MH 275

EX MH 241

A18

A17

A16

A15

A14

A13

A12

A11

A10

A9

A8

A4

A5

B6

S 87°05'58" E 1662.82'

1632.42'

N 11°26'52" W 402.00'

N 11°23'00" W 885.88' OVERLAP LINE

N 11°26'52" W

VARIABLE WIDTH CORUE EASEMENT

FIRE HYDRANT (TYP)

8" WATER (DIP)

PC: 11+03.84

PI: 10+00.00

BP: 9+75.00

PCC: 11+82.92

PC: 10+74.22

PT: 11+96.69

STREET C (PRIVATE)

STREET B (50' R/W)

STREET D (PRIVATE)

SCM EASEMENT

SCM EASEMENT

10' MULTI-USE PATH

EP: 12+75.98

PI: 12+50.98

VARIABLE WIDTH CORUE EASEMENT

6" WATER (DIP)

BP: 9+86.50

PI: 14+88.07

PC: 14+98.22

FIRE HYDRANT (TYP)

PI: 18+02.37

FIRE HYDRANT (TYP)

PCC: 17+39.72

EP: 18+27.00

MK

4 3 2 1

5 6 7 8

9 10 11 12

13 14 15 16

17 18 19 20

21 22

64 63 62 61 60

59 58 57 56

55 54 53 52

51 50 49 48

47 46 45 44 43

14

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30

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Tucker Wilkins Tract

UTILITY SHEETS 30 SCALE

Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

UTILITY SHEETS 30 SCALE

SHEET NO.:

5.1

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*** 3 Days Before Digging ***
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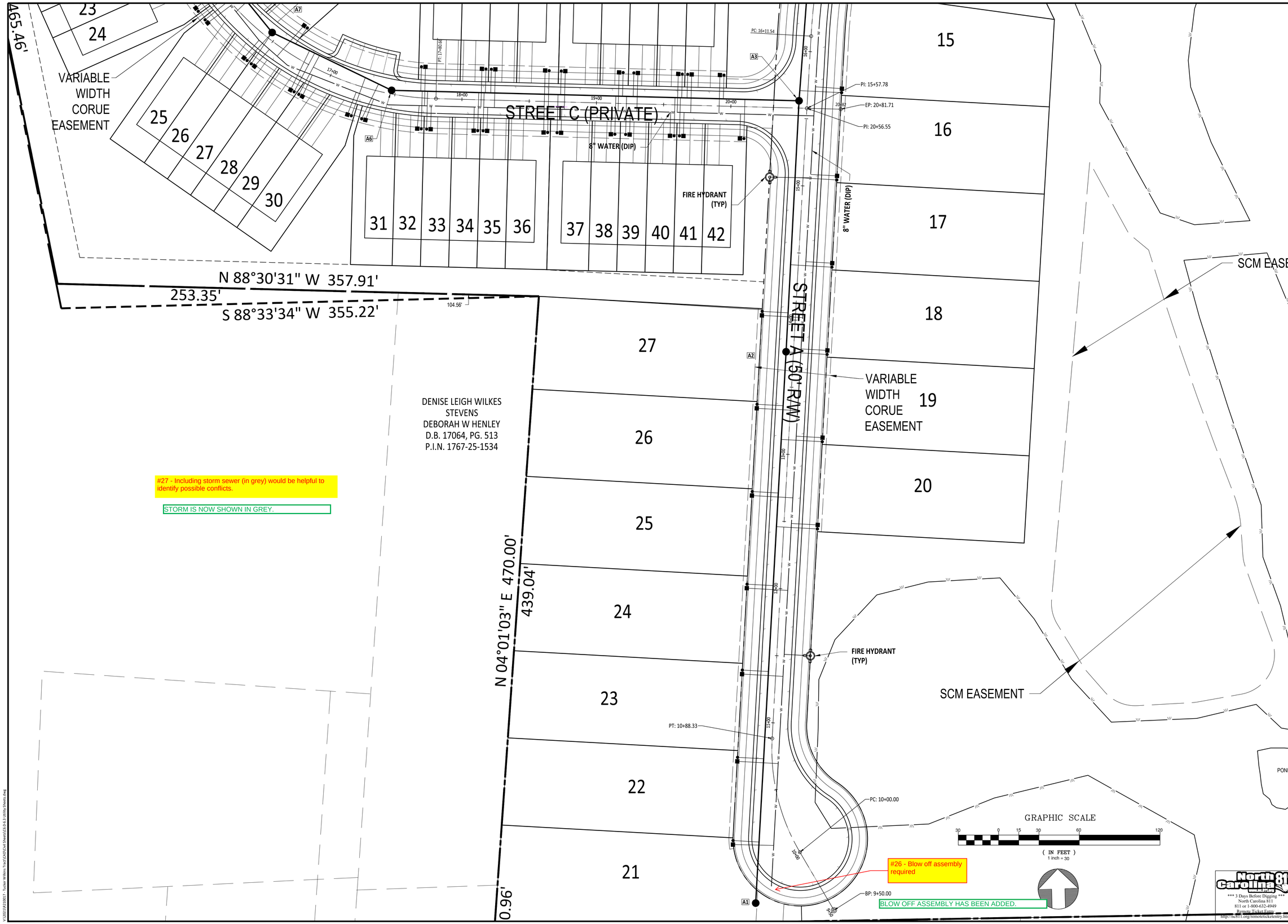
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\01-0-5.1-Utility Sheets.dwg



#27 - Including storm sewer (in grey) would be helpful to identify possible conflicts.

STORM IS NOW SHOWN IN GREY.

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UTILITY SHEETS 30 SCALE

Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

UTILITY SHEETS 30 SCALE

SHEET NO.: 5.2

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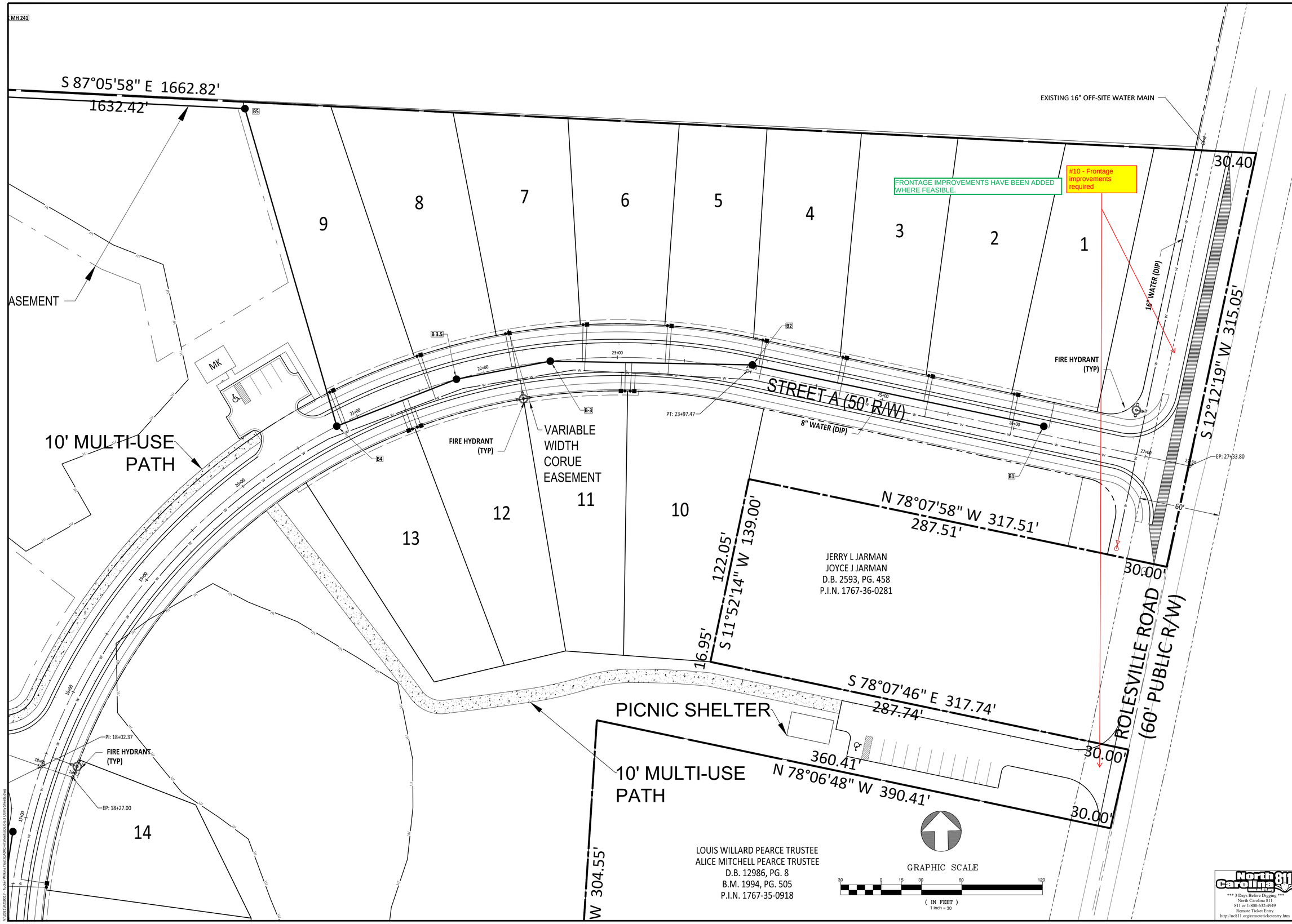

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UTILITY SHEETS 30 SCALE

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North Carolina 27587

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DATE:	12-1-2022

SHEET TITLE:

UTILITY SHEETS 30 SCALE

SHEET NO.: 5.3

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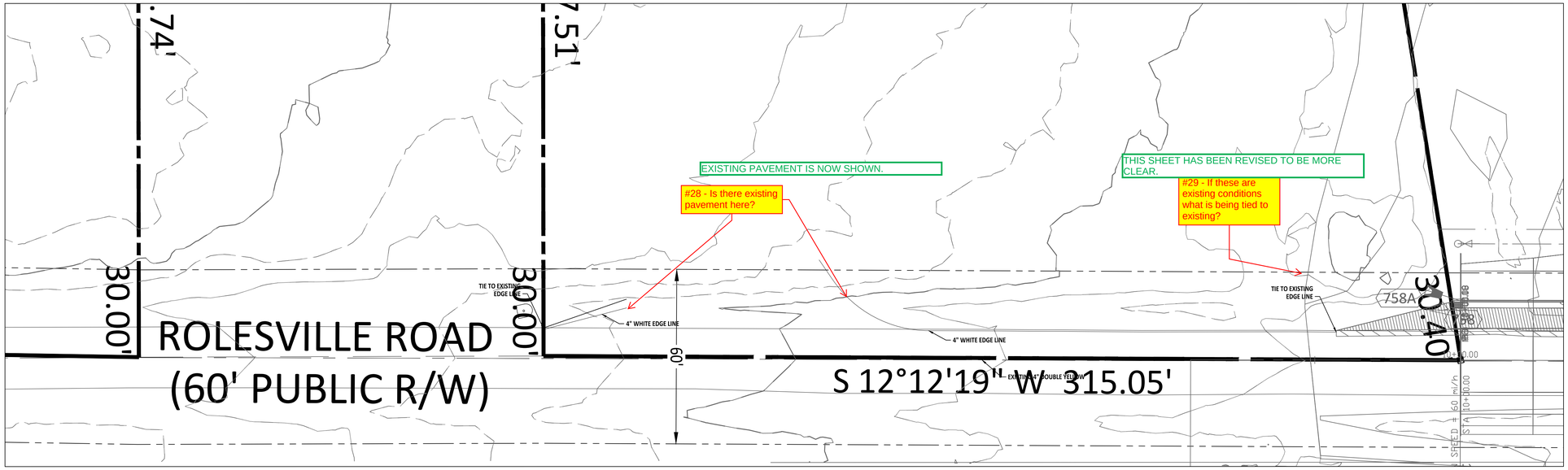
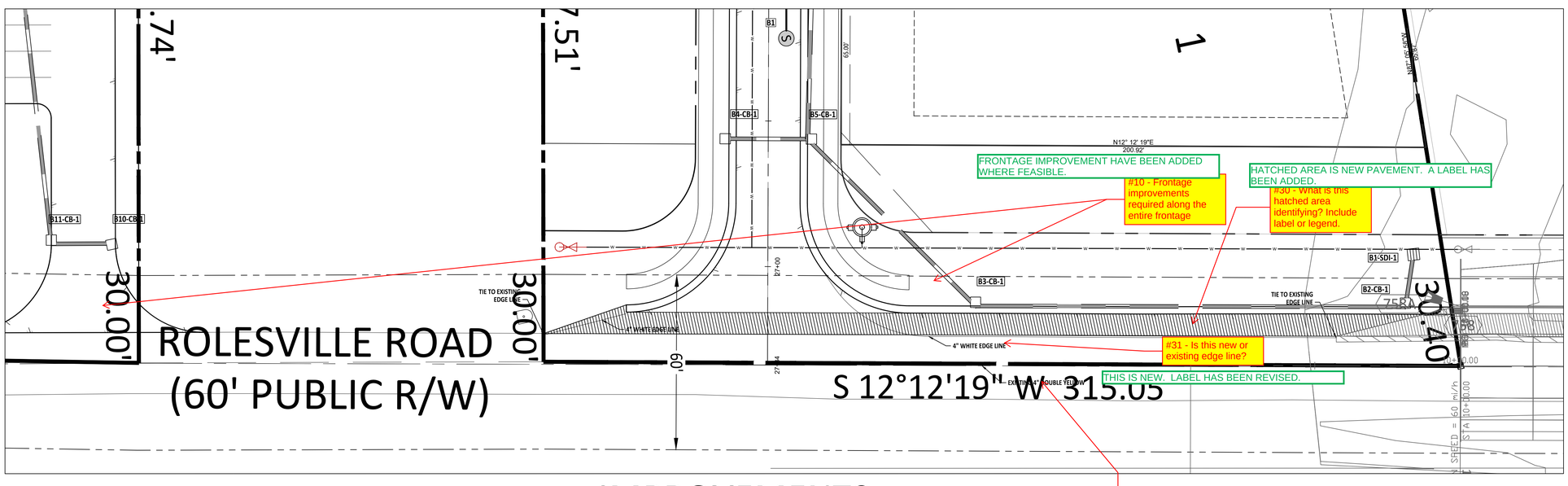
http://nc811.org/remoteticketentry.htm

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\CG-0-5.3 Utility Sheets.dwg



EXISTING CONDITIONS



IMPROVEMENTS

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607
919-469-1101

NORTH CAROLINA AMERICAN ENGINEERING ASSOCIATES SOUTHEAST C-3881 CERTIFICATE OF AUTHORIZATION

PRELIMINARY FOR CONSTRUCTION

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

STIPULATION FOR REUSE

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Tucker Wilkins Tract

ROLESVILLE RD IMPROVEMENTS

Rolesville, Wake County North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

ROLESVILLE RD IMPROVEMENTS

SHEET NO.:

6.0

North Carolina 811

*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

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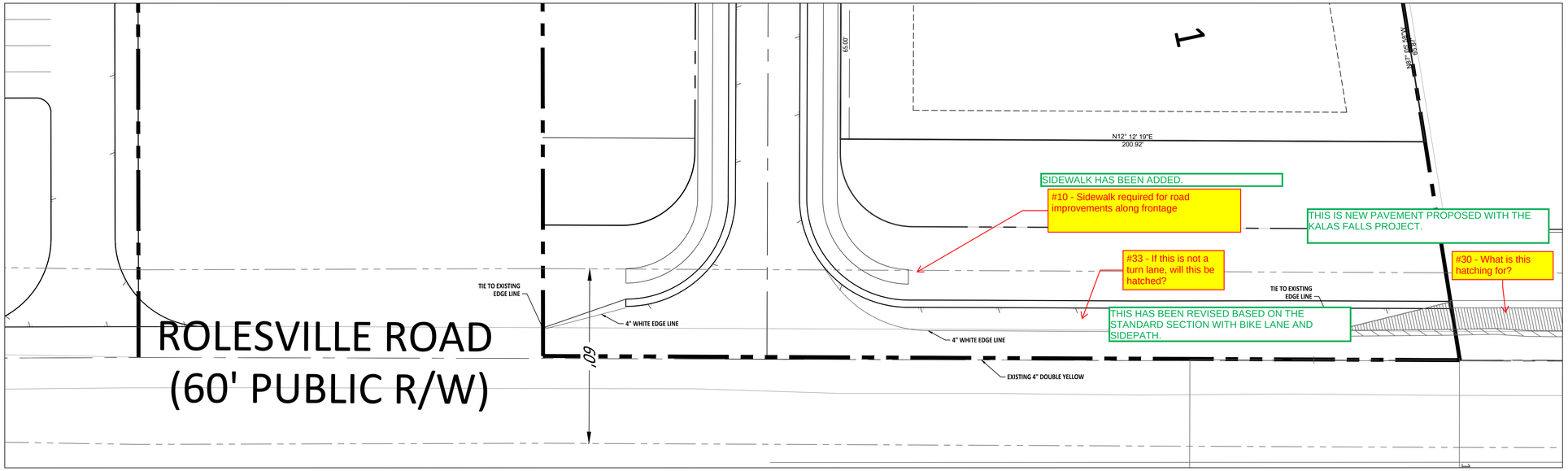

ROAD IMPROVEMENTS AT ROLESVILLE RD ENTRANCE

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20

AMERICAN Engineering
American Engineering Associates - Southeast, P.A.
4020 Westchase Boulevard, Suite 450
Raleigh, NC 27607
919-469-1101

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Tucker Wilkins Tract

STRIPING PLAN

Rolesville, Wake County
North Carolina 27587

JOB NUMBER:	R210017
CHECKED BY:	
DRAWN BY:	AE
DATE:	12-1-2022

SHEET TITLE:

STRIPING PLAN

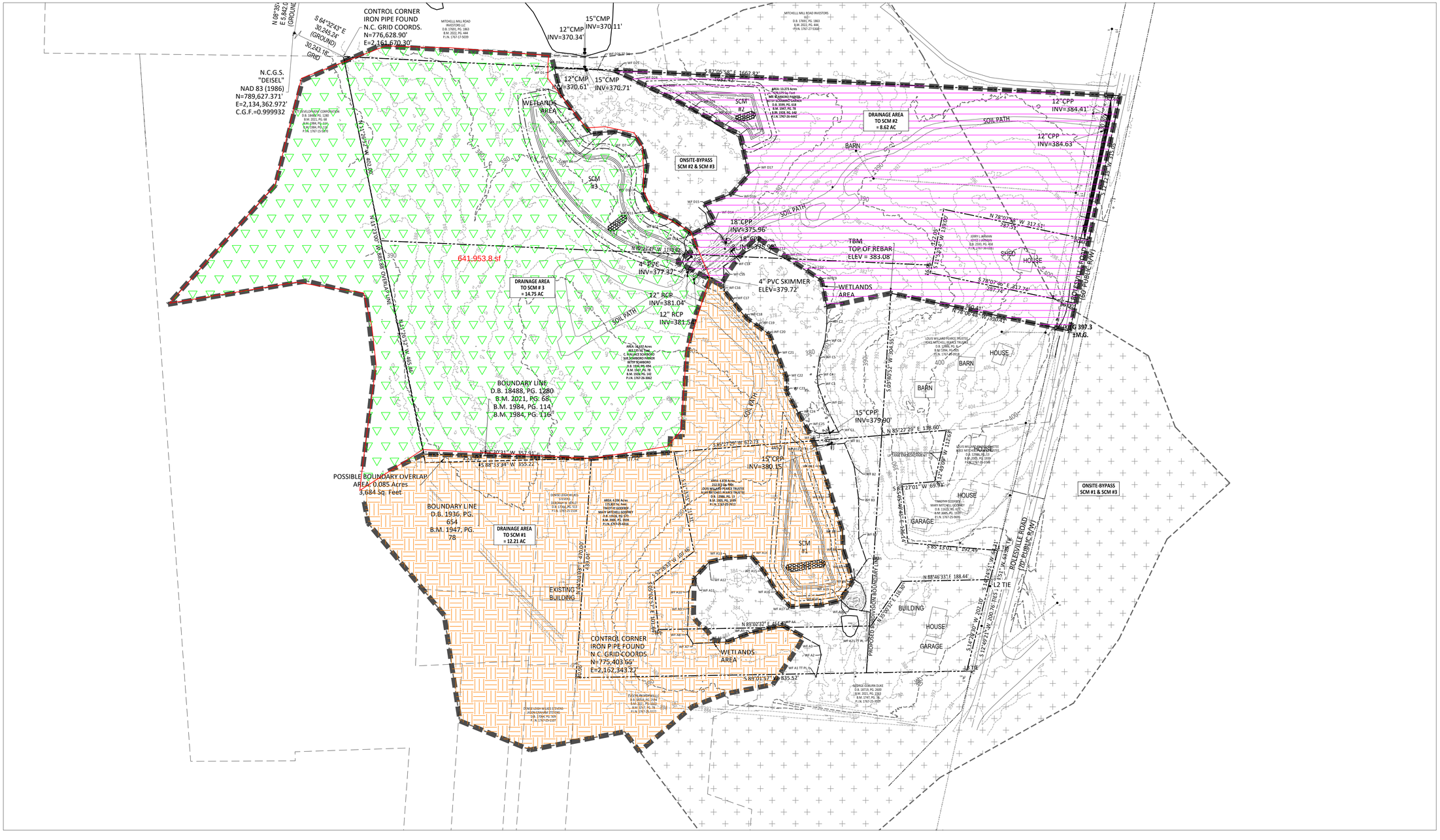
SHEET NO.:

6.1

North Carolina 811 Call Before You Dig

*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
http://nc811.org/remoteticketentry.htm

V:\2021\R210017 - Tucker Wilkins Tract\CAD\Civil Sheets\C7.0 ROLESVILLE RD IMPROVEMENTS.dwg


CONTROL CORNER
IRON PIPE FOUND
N.C. GRID COORDS.
N=776,628.90'
E=2,161,670.30'
N.C.G.S.
"DEISEL"
NAD 83 (1986)
N=789,627.371'
E=2,134,362.972'
C.G.F.=0.999932
S 64°32'43" E
30,245.24'
(GROUND)
30,243.18'
(GRID)
12"CMP
INV=370.34'
15"CMP
INV=370.11'
12"CMP
INV=370.61'
15"CMP
INV=370.71'
WETLANDS
AREA
SCM
#2
SCM
#3
SCM
#1
ONSITE-BYPASS
SCM #2 & SCM #3
DRAINAGE AREA
TO SCM #2
= 8.62 AC
12"CPP
INV=384.41'
12"CPP
INV=384.63'
SOIL PATH
BARN
18"CPP
INV=375.96'
18"CPP
INV=375.96'
TBM
TOP OF REBAR
ELEV = 383.08'
641,953.8 sf
4" PVC
INV=377.37'
4" PVC SKIMMER
ELEV=379.72'
DRAINAGE AREA
TO SCM # 3
= 14.75 AC
12" RCP
INV=381.04'
12" RCP
INV=381.5'
WETLANDS
AREA
SHED
HOUSE
BARN
HOUSE
BOUNDARY LINE
D.B. 18488, PG. 1280
B.M. 2021, PG. 68
B.M. 1984, PG. 114
B.M. 1984, PG. 116
15"CPP
INV=379.90'
15"CPP
INV=380.15'
POSSIBLE BOUNDARY OVERLAP
AREA: 0.085 Acres
3,684 Sq. Feet
BOUNDARY LINE
D.B. 1936, PG.
654
B.M. 1947, PG.
78
DRAINAGE AREA
TO SCM #1
= 12.21 AC
EXISTING
BUILDING
CONTROL CORNER
IRON PIPE FOUND
N.C. GRID COORDS.
N=775,403.65'
E=2,162,343.27'
WETLANDS
AREA
HOUSE
GARAGE
BUILDING
HOUSE
GARAGE
ROLESVILLE ROAD
(70' PUBLIC R/W)
ONSITE-BYPASS
SCM #1 & SCM #3
PROPOSED SUBDIVISION BOUNDARY LINE
L2 TIE
L1 TIE
S 89°01'57" W 835.52'
N 88°46'33" E 188.44'
S 85°15'01" E 192.45'
S 85°27'01" W 69.94'
N 85°27'29" E 138.60'
S 85°27'29" W 67.73'
N 88°30'31" W 357.91'
S 88°33'34" W 355.22'
N 17°05'57" W 402.00'
N 17°53'57" W 385.88'
S 34°25'57" W 465.80'
S 05°26'03" W 107.46'
S 05°26'03" W 270.00'
N 89°02'33" E 164.45'
S 89°58'58" E 1662.82'
N 78°07'46" W 312.51'
S 78°07'46" E 317.74'
N 78°06'48" W 300.41'
S 63°40'53" W 304.55'
S 14°20'40" W 203.17'
S 12°49'21" W 200.76'
S 45°25'14" W 6.21'
S 45°26'02" E 16.30'
S 45°26'02" E 16.30'
N 89°58'58" E 16.30'
N 89°58'58" E 16.30'
N 89°58'58