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**SURVEY NOTES:**

- THE FOLLOWING INFORMATION WAS USED FOR THE EXISTING SURVEY:
  - COORDINATE SYSTEM: NORTH CAROLINA STATE PLANE FOOT
  - PROJECT HORIZONTAL DATUM: NAD 83/2011
  - VERTICAL DATUM: NAVD 88
  - COORDINATE UNITS: US SURVEY FEET
  - VERTICAL UNITS: US SURVEY FEET
- PROPERTY BOUNDARY SHOWN AS PROVIDED BY MSS LAND CONSULTANTS, DATED 03/07/2023.
- TOPOGRAPHIC SURVEY SHOWN AS PROVIDED BY WITHERSRAVENEL, DATED 04/11/2024.
- WETLANDS, STREAMS, AND RIPARIAN BUFFERS SHOWN AS PROVIDED BY WITHERSRAVENEL ENVIRONMENTAL DEPARTMENT, DATED 01/12/2023, AND APPROVED BY USACE ON 09/28/2023 (SAW-2023-01242) AND NCDWR ON 08/28/2023 (NBRRO #23-170V2).
- TREE SURVEY SHOWN AS PROVIDED BY WITHERSRAVENEL, DATED 12/23/2023.
- PROPERTY DOES FALL WITHIN FEMA FLOODPLAIN PER FEMA FIRM 3720176800K, EFFECTIVE DATE 07/19/2022, AND 3720176600K, EFFECTIVE DATE 07/19/2022.
- NO DETERMINATION HAS BEEN MADE BY THE SURVEYOR AS TO THE FOLLOWING: UNDERGROUND STORAGE FACILITIES, UNDERGROUND UTILITIES, GRAVES, CEMETERIES, BURIAL GROUNDS, HAZARDOUS WASTE DEPOSITS OR MATERIALS.
- THE UNDERGROUND UTILITIES SHOWN HEREON WERE MARKED BY WITHERSRAVENEL ON 03/05/2024 AND THOSE MARKS WERE FIELD LOCATED BY WITHERSRAVENEL ON 03/05/2024. THE ACCURACY OF THE FIELD MARKED UNDERGROUND UTILITIES IS ± 24" INCHES, UNLESS OTHERWISE INDICATED. THE DEPTH OF THESE UTILITIES IS UNKNOWN, UNLESS OTHERWISE INDICATED.
- SURVEY CONTROL POINTS PROVIDED IN NC STATE PLANE COORDINATES. ALL PROPOSED COORDINATES ARE GROUND COORDINATES. THE CONTRACTOR'S SURVEYOR IS RESPONSIBLE FOR ANY CONVERSIONS NEEDED FOR THE STAKEOUT OF THE PROPOSED GROUND COORDINATES SHOWN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ADDITIONAL CONTROLS THAT MAY BE NEEDED THROUGHOUT THE PROJECT.

**GENERAL NOTES:**

- WORK ON THIS PROJECT SHALL CONFORM TO THE LATEST NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS, GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS AT THE TIME OF PLAN APPROVAL. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS OR PLANS, THE MOST STRINGENT SHALL GOVERN, UNLESS OTHERWISE NOTED IN THESE PLANS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING, WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND APPROVAL BY OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK AND EXPENSE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH MUNICIPAL, COUNTY AND STATE REGULATIONS, AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OSHA ACT.
- THE CONTRACTOR SHALL CALL "911" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC AND PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE UNDERGROUND UTILITIES. ALL UTILITIES AND FACILITIES ARE NOT NECESSARILY SHOWN. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE MAY BE REQUIRED.
- ANY UTILITIES AND EXISTING SITE ELEMENTS (I.E. SIGNS, ROADWAYS, PATHS, STRUCTURES, NATURAL VEGETATION, OTHER EXISTING PROPERTY ITEMS, ETC.) DAMAGED DURING THE PROJECT BY THE CONTRACTOR'S WORKERS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER, UTILITY OWNER, REGULATORY AGENCY, AND ENGINEER.
- CONTRACTOR SHALL MAKE EVERY EFFORT TO PRESERVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A NORTH CAROLINA LICENSED LAND SURVEYOR SHALL REPLACE, AT THE CONTRACTOR'S EXPENSE, PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES DESTROYED BY THE CONTRACTOR.
- CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM DISTURBANCE TO THE OWNER, ADJACENT PROPERTIES AND THE PUBLIC. CONTRACTOR SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL REGULATORY AGENCIES ON PROJECT CONTROL PLANS.
- ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN AN UNOBSTRUCTED, CLEAN CONDITION, MUD AND DUST-FREE.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EXECUTED EASEMENTS ON THE JOB SITE AT ALL TIMES.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS, ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.
- WETLANDS SHOWN WILL HAVE DEED RESTRICTION AND SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE) OR NC DIVISION OF COASTAL MANAGEMENT (DCM) OR NC DIVISION OF WATER RESOURCES (DWR), AS APPLICABLE.
- ANY WETLANDS THAT ARE TEMPORARILY IMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO PRE-CONSTRUCTION GRADE AND SEEDED WITH A WETLAND SEED MIX IN ACCORDANCE WITH THE SEDIMENT & EROSION CONTROL PLAN.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL PAVEMENT MARKING MATERIALS SHALL ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.
- ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE AND ADA STANDARDS FOR ACCESSIBLE DESIGN.
- WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES, UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL EXPANSION CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5', UNLESS OTHERWISE SHOWN ON PLANS. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
- TESTING OF MATERIAL REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LAB AND THE PAYMENT OF EACH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENT OF THE NCDOT AND MUNICIPAL SPECIFICATIONS.

**DEMOLITION NOTES:**

- CONTRACTOR SHALL COORDINATE WITH THE OWNER AND UTILITY OWNER TO PROPERLY MAINTAIN, REMOVE OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SURROUNDING NEIGHBORS ABOUT ANY POTENTIAL INTERRUPTION TO SERVICE OF ANY KIND.
- EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- SAW CUTS OF EXISTING PAVEMENTS, CURBS, GUTTERS AND SIDEWALKS SHALL PRODUCE A NEAT VERTICAL EDGE.
- ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
- ALL PERMITS REQUIRED FOR THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PRIOR TO THE START OF DEMOLITION ACTIVITIES.

**STORM DRAINAGE NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF ROLESVILLE STANDARDS AND NCDOT STANDARD SPECIFICATIONS AND DETAILS.
- ALL PUBLIC STORM DRAINAGE FRAMES, GRATES, AND HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH TOWN OF ROLESVILLE AND NCDOT STANDARDS.
- RIM ELEVATION GIVEN FOR CATCH BASIN (CB) IS TOP OF CURB, YARD INLET (YI) IS OPENING INVERT FOR SLAB TOP, DROP INLET (DI) IS TOP OF GRATE AND JUNCTION BOX (JB) IS TOP OF RIM.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING, BUT NOT LIMITED TO THE HORIZONTAL AND VERTICAL LOCATION OF STRUCTURES AND UTILITIES CROSSING THE STORM SEWER PIPE.

- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER DRAINAGE SYSTEM.
- ALL STORM SEWER PIPE SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE (RCP), UNLESS OTHERWISE NOTED.
- IF THERE ARE DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS RELATED TO WHERE THE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER. AFTER NOTIFICATION TO ENGINEER AND OWNER, THE CONTRACTOR SHALL PERFORM THE AGREED UPON FIELD ADJUSTMENTS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
- ALL STORM SEWER PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC BEARING AREAS, UNLESS APPROVED BY AUTHORITIES HAVING JURISDICTION.
- ALL STORM SEWER PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC BEARING AREAS.
- THE STORM PIPE LENGTHS AS SHOWN ON THE DRAWINGS REPRESENTS THE DISTANCE FROM CENTER TO CENTER OF THE RESPECTIVE STRUCTURES.
- STORM SEWER UTILITY STRUCTURE TABLES ARE AVAILABLE UPON REQUEST.

**GRADING NOTES:**

- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL MAINTAIN DRAINAGE DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES, ROADWAYS, AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFERS AND WETLANDS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER IN WRITING OF ANY DISCREPANCIES OR CONCERNS.
- ALL SOILS USED FOR BACKFILL SHALL BE FREE OF UNSATISFACTORY MATERIALS INCLUDING ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION AND OTHER DELETERIOUS MATTER. ROCK OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION SHALL NOT BE PLACED IN THE IN THE FINAL LIFT (MINIMUM OF 6 INCHES). UNSATISFACTORY MATERIALS ALSO INCLUDE REUSE OF FILL AND REFUSE DEBRIS DERIVED FROM ANY SOURCE. REFER TO FINAL GEOTECHNICAL REPORT FOR ANY SPECIAL FILL MATERIAL REQUIRED FOR THIS PROJECT. IF ANY, THE CONTRACTOR SHALL CONSULT WITH THE SITE GEOTECHNICAL ENGINEER PRIOR TO BACKFILL PLACEMENT TO VERIFY BACKFILL MEETS PROJECT REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
- MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL MEET THE REQUIREMENTS OF THE PROJECT GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT TO THE OWNER AND PROJECT GEOTECHNICAL ENGINEER THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A NORTH CAROLINA CERTIFIED MATERIALS TESTING LABORATORY AND CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA REPRESENTING THE LABORATORY.
- ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- RETAINING SYSTEMS PROVIDING A CUMULATIVE VERTICAL RELIEF GREATER THAN FOUR FEET (4') IN HEIGHT WITHIN A HORIZONTAL SEPARATION DISTANCE OF 50 FEET OR LESS, INCLUDING RETAINING WALLS OR MECHANICALLY STABILIZED EARTH WALLS, SHALL BE DESIGNED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED DESIGN PROFESSIONAL. RETAINING WALL SYSTEMS SHALL MEET THE REQUIREMENTS OF THE NC BUILDING CODE AND LOCAL JURISDICTION.
- CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS REQUIRED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION RELATED TO BLASTING AND SAFETY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. DEWATERING SHALL BE INCIDENTAL TO GRADING OPERATIONS.
- MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. SEE GROUND COVER REQUIREMENTS WITHIN THESE PLANS OR CONSULT THE MUNICIPAL EROSION CONTROL SPECIALIST.
- THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND ELECTRIC UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES UNLESS OTHERWISE SHOWN ON THE PLANS.
- BEFORE ANY EARTHWORK COMMENCES, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- ZONE 1 NEUSE RIPARIAN BUFFER SHALL NOT BE DISTURBED DURING CONSTRUCTION, UNLESS OTHERWISE NOTED. ZONE 1 NEUSE RIPARIAN BUFFER SHALL EXTEND 30' FROM TOP OF BANK AS SHOWN ON THE PLANS. ZONE 2 NEUSE RIPARIAN BUFFER SHALL BE CLEARED AND GRUBBED IN THE AREAS SHOWN ON THE PLANS. ZONE 2 NEUSE RIPARIAN BUFFER SHALL EXTEND 20' INLAND FROM THE ZONE 1 NEUSE RIPARIAN PERIMETER (50' FROM TOP OF BANK). CONSTRUCTION ACTIVITY SHALL BE KEPT AT A MINIMUM IN THIS AREA. ALL TREES WITHIN ZONE 2 NEUSE RIPARIAN BUFFER SHALL BE FELLE AWAY FROM ZONE 1 NEUSE RIPARIAN BUFFER.
- THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER AND UPON COMPLETION OF THE EARTHWORK ACTIVITIES THE OWNER AND JURISDICTION MUST BE PROVIDED WITH A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTION TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND ITS PROPER PLACEMENT.
- REFERENCE STRUCTURAL DRAWINGS, SPECIFICATIONS, GEOTECHNICAL REPORT, AND/OR DIRECTIVES PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION.
- ALL PROPOSED SLOPES SHALL BE GRADED TO 3:1 OR FLATTER UNLESS OTHERWISE NOTED.

**GENERAL LANDSCAPE NOTES:**

- THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED UTILITY LOCATIONS. SEE UTILITY NOTES FOR ADDITIONAL INFORMATION.
- NO CHANGES TO ANY ASPECT OF APPROVED PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY, ENGINEER, LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND BALLED AND BURLAPPED (B&B) SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- ALL PLANTS ARE TO BE FULLY WARRANTED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
- PLANTING SHALL BE INSTALLED DURING THE IDEAL SEASON BASED ON THE TYPE OF PLANT.
- ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
- THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- NO PLANTINGS SHALL BE REQUIRED WHEN A PRESERVED WETLAND OR REQUIRED RIPARIAN BUFFER EXISTS WITHIN A REQUIRED BUFFER YARD.
- EXISTING SIGNIFICANT VEGETATION THAT IS PRESERVED WITHIN ANY REQUIRED BUFFER YARD SHALL BE CREDITED TOWARD STANDARDS FOR THE TYPE OF BUFFER REQUIRED AT THE TIME OF MUNICIPAL APPROVALS. IF EXISTING VEGETATION DOES NOT FULLY MEET THE STANDARDS FOR THE TYPE OF BUFFER REQUIRED, SUPPLEMENTAL VEGETATION AND/OR SITE FEATURES (INCLUDING FENCES) SHALL BE PLANTED OR INSTALLED WITHIN THE REQUIRED BUFFER AREA TO MEET MINIMUM STANDARDS.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- ALL PLANTING AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND/OR ENGINEER OF ANY GRADING DISCREPANCIES OR CONCERNS.

- ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
- ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2-3 INCHES, UNLESS INDICATED OTHERWISE. MULCH SHALL BE AS SELECTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- FINISH OFF 2-4 FOOT CLEAR ZONE AROUND TREES WITH A 2-3-INCH LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.
- MIXED GROUND COVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN ODD GROUPINGS AND LOCATED AS REQUIRED TO PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE DIRECTED.
- ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED ONLY TO THE NECESSARY BRANCHES IN ORDER TO SATISFY SHED AND CLEARANCE REQUIREMENTS WHILE MAINTAINING THE INTEGRITY OF THE TREES.
- THE SITE SHALL BE STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
- ANY PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON, QUANTITY AND SIZE TO MEET PLAN SPECIFICATIONS.

**TREE PROTECTION NOTES:**

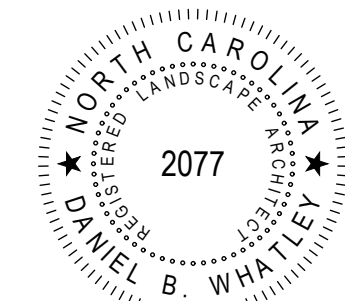
- ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH TREE PROTECTION FENCE AS INDICATED ON THE PLANS TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT THE END OF THE PROJECT.
- NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT USE, SOIL OR DEBRIS REMOVAL OR STOCKPILING; TRENCING; OR DISPOSAL OF ANY LIQUIDS.
- APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
- NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
- IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
- TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

**UTILITIES NOTES:**

- GENERALLY, FILL MATERIAL SHALL BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- ALL NECESSARY INSPECTIONS, CERTIFICATIONS, AND TESTING REQUIRED BY CODES AND UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF TESTING SERVICES AND COORDINATION WITH UTILITY OWNER.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS SHOWN.
- THE CONTRACTOR SHALL REPORT, IN WRITING ANY UTILITY CONFLICTS TO THE ENGINEER IMMEDIATELY UPON DISCOVERING CONFLICTS.
- THE SANITARY SEWER PIPE LENGTHS AS SHOWN ON THE DRAWINGS REPRESENTS THE DISTANCE FROM CENTER TO CENTER OF THE RESPECTIVE STRUCTURES.
- PRIOR TO UTILITY RELOCATION, REMOVAL OR ABANDONMENT, THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY PROVIDERS, LOCAL MUNICIPALITY, AND NCDOT.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 5 FEET MEASURED FROM FINISHED GRADE IN TRAFFIC AREAS TO THE PIPE CROWN UNLESS DUCTILE IRON PIPE IS PROVIDED IN CLASS 1 BEDDING WHERE MINIMUM COVER SHALL BE THREE FEET.
- THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR INSTALLATION OF ALL PROPOSED POWER AND COMMUNICATION LINES AND ASSOCIATED APPURTENANCES.

**CITY OF RALEIGH STANDARD UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL ¾" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR [FOG@RALEIGHNC.GOV](mailto:FOG@RALEIGHNC.GOV) FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEE THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT [CROSS.CONNECTION@RALEIGHNC.GOV](mailto:CROSS.CONNECTION@RALEIGHNC.GOV) FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

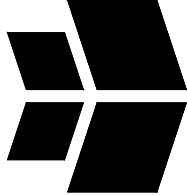


INITIAL PLAN DATE: 03/05/2025  
REVISIONS:  
1 - 04/30/2025 WR  
TOWN COMMENT REVISIONS

MUN. PROJ. NUMBER SDP-25-02  
WR JOB NUMBER 23-0045  
DRN: WR DGN: WR CKD: WR

**GENERAL NOTES**

**L0.01**





(UNLESS OTHERWISE DENOTED)

POSED

## EASEMENT ABBREVIATION LEGEND

UE	PUBLIC UTILITY EASEMENT
DE	PUBLIC DRAINAGE EASEMENT
VWDE	PUBLIC VARIABLE WIDTH DRAINAGE EASEMENT
GE	PUBLIC GREENWAY EASEMENT
CORSE	CITY OF RALEIGH SANITARY SEWER EASEMENT
PCSAFE	PRIVATE STORMWATER CONTROL STRUCTURE AND ACCESS EASEMENT
PDE	PRIVATE DRAINAGE EASEMENT
PWMAE	PRIVATE WALL MAINTENANCE ACCESS EASEMENT



INITIAL PLAN DATE: 03/05/2025  
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1 - 04/30/2025 WR  
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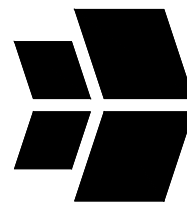
MUNI. PROJ. NUMBER	SDP-25-02
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## GENERAL NOTES & LEGEND

## L0.02



1225 CRESCENT GREEN DRIVE,  
SUITE 250  
CARY, NC 27518



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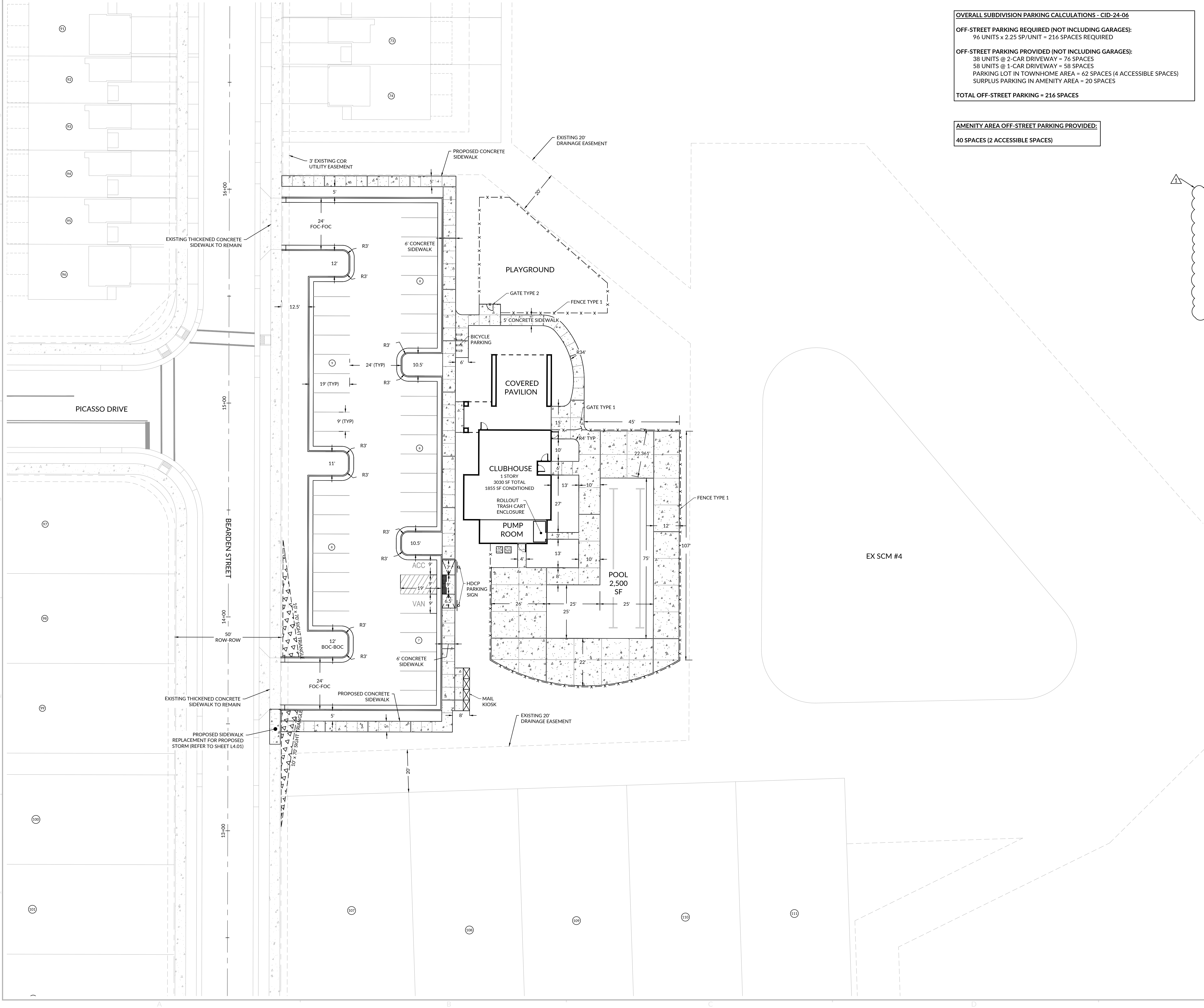
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J:\2024\04\05\045\045-Final-WithersRavenel\Assemblies\045-Drawing\045-ClubhouseAmenity-Sect L2.01-Amenity 200 Plotting Thursday, May 1, 2025 4:52:29 PM - MANSSELL



OVERALL SUBDIVISION PARKING CALCULATIONS - CID-24-06

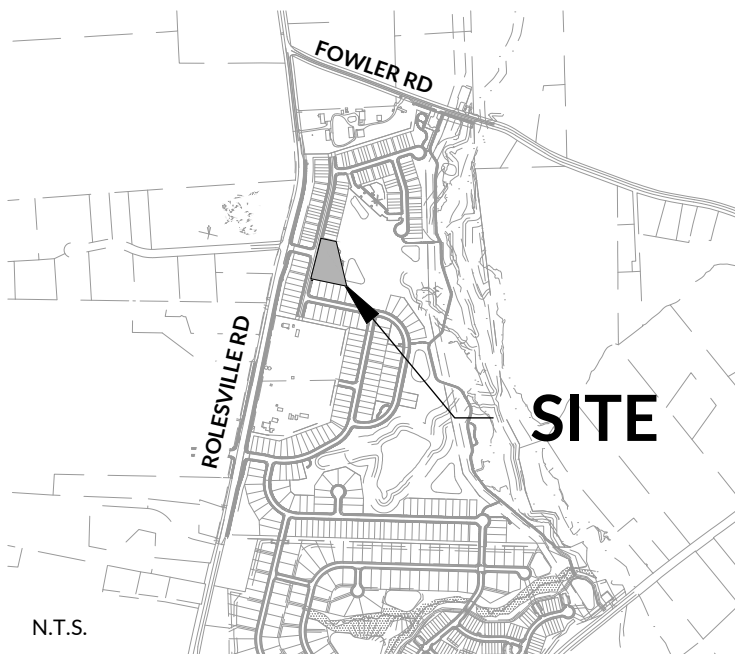
OFF-STREET PARKING REQUIRED (NOT INCLUDING GARAGES):  
96 UNITS x 2.25 SP/UNIT = 216 SPACES REQUIRED

OFF-STREET PARKING PROVIDED (NOT INCLUDING GARAGES):  
38 UNITS @ 2-CAR DRIVEWAY = 76 SPACES  
58 UNITS @ 1-CAR DRIVEWAY = 58 SPACES  
PARKING LOT IN TOWNHOME AREA = 62 SPACES (4 ACCESSIBLE SPACES)  
SURPLUS PARKING IN AMENITY AREA = 20 SPACES

TOTAL OFF-STREET PARKING = 216 SPACES

AMENITY AREA OFF-STREET PARKING PROVIDED:

40 SPACES (2 ACCESSIBLE SPACES)

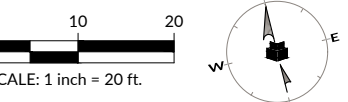
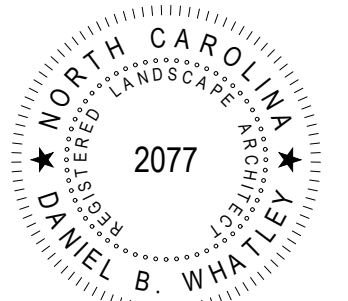


SITE PLAN LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVING
	CONTROL JOINT PAVING
	EXPANSION JOINT PAVING
	FENCE 1
	GATE TYPE 1
	GATE TYPE 2
	SIGN

SITE DEVELOPMENT PLAN  
BROADMOOR  
CLUBHOUSE AMENITY

Bearden Street (Broadmoor Subdivision) | ROLESVILLE, NC 27587 | WAKE COUNTY



INITIAL PLAN DATE: 03/05/2025  
REVISIONS:  
1 - 04/30/2025 WR  
TOWN COMMENT REVISIONS

MUNL PROJ NUMBER SDP-25-02  
WR JOB NUMBER 23-0045  
DRN: WR DGN: WR CKD: WR

SITE PLAN

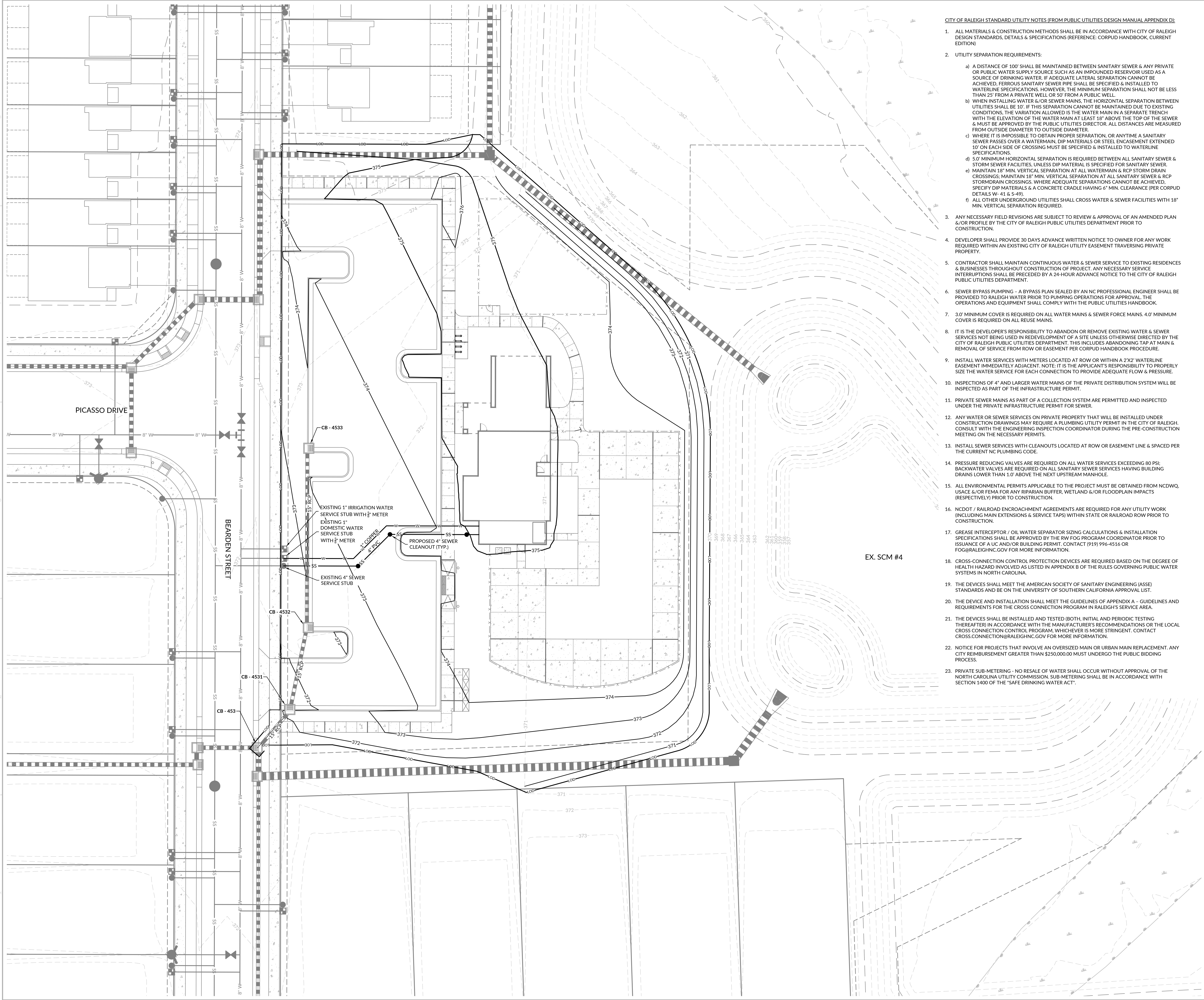
L2.01

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PULTEGROUP  
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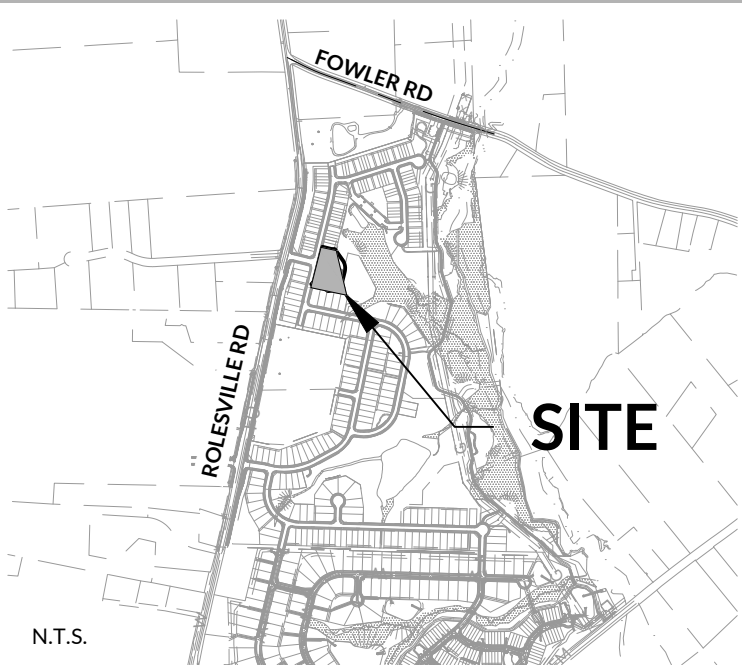


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CITY OF RALEIGH STANDARD UTILITY NOTES (FROM PUBLIC UTILITIES DESIGN MANUAL, APPENDIX D):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
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- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
- PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
- ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
- INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- PRIVATE SUB-METERING - NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".



PROPOSED UTILITIES LEGEND	
SYMBOL	DESCRIPTION
SS	SANITARY SEWER PIPE
W	WATER MAIN
	FIRE HYDRANT ASSEMBLY
	SEWER CLEANOUT
	SEWER MANHOLE
	WATER METER
	WATER VALVE

- ADDITIONAL UTILITY NOTES
- WHERE DISCHARGE TO THE STORM SEWER IS NOT POSSIBLE AND A SWIMMING POOL IS CONNECTED TO THE SANITARY SEWER SYSTEM FOR THE PURPOSES OF DRAINING OR FLUSHING THE POOL/FOUNTAIN OR BACKWASHING THE FILTERS, THE DRAINAGE SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE TO THE SANITARY SEWER DOES NOT EXCEED 50 GPM.

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CARY, NC 27518

SITE DEVELOPMENT PLAN  
**BROADMOOR CLUBHOUSE AMENITY**  
Bearden Street (Broadmoor Subdivision) | ROLESVILLE, NC 27587 | WAKE COUNTY

2077  
DANIEL B. WHITLEY

0 10 20  
SCALE: 1 inch = 20 ft.

INITIAL PLAN DATE: 03/05/2025  
REVISIONS:  
1 - 04/30/2025 WR  
TOWN COMMENT REVISIONS

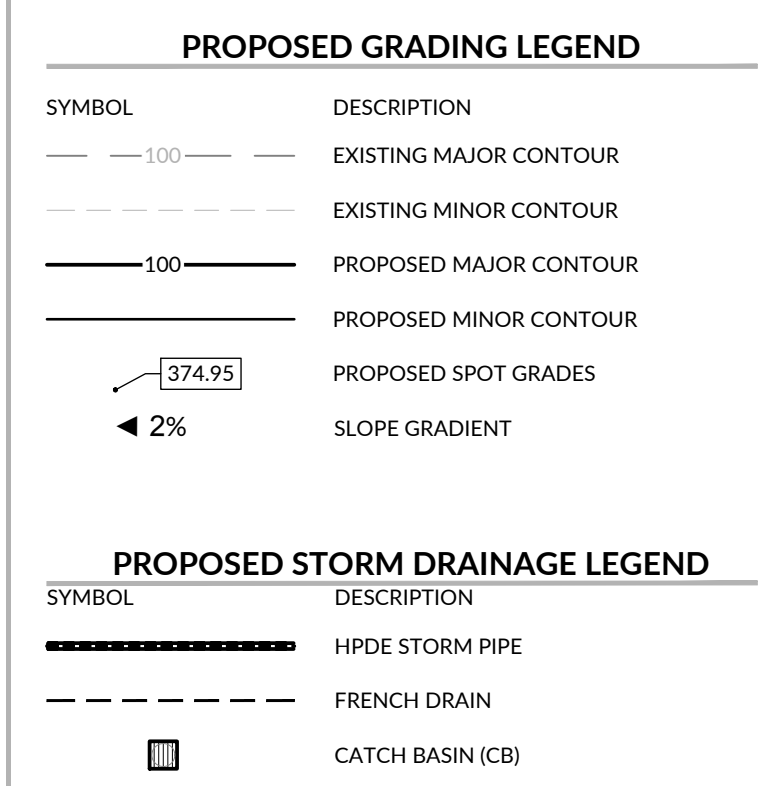
MUNICIPAL PROJ. NUMBER SDP-25-02  
WR JOB NUMBER 23-0045  
DWG. NO. DWG. NO. DWG. NO.

**UTILITY PLAN**  
**L3.01**

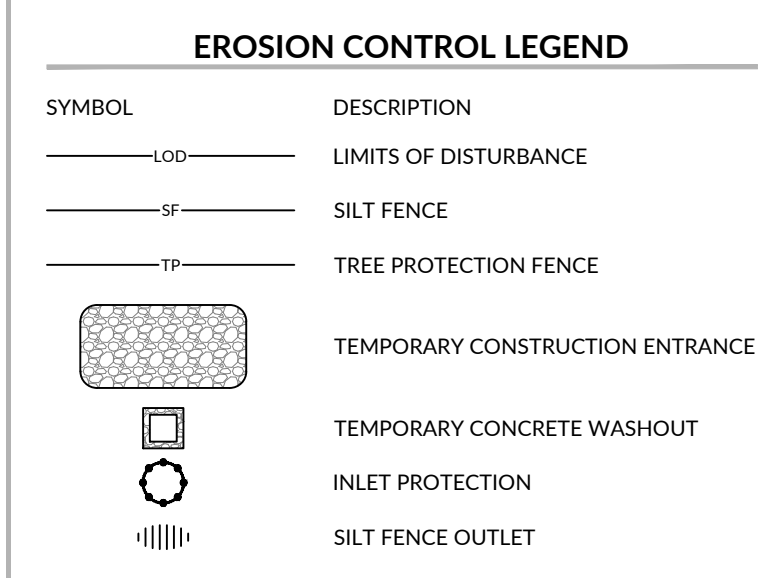
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EROSION CONTROL NOTES:

1. RECEIVING WATERSHED: BUFFALO CREEK
2. TOTAL LIMITS OF CONSTRUCTION/LIMITS OF DISTURBANCE = 73 ACRES.
3. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL STANDARDS AND PRACTICES PRESCRIBED BY THE STATE OF NORTH CAROLINA AND WAKE COUNTY. WHERE STANDARDS AND PRACTICES CONFLICT, THE MORE STRINGENT SHALL APPLY.
4. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM THE TOWN OF ROLESVILLE, NCDWR, USACE, AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLANDS, AND/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
5. NCDOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK OR GRADING (INCLUDING EXTENSIONS) WITHIN STATE RIGHT-OF-WAY PRIOR TO CONSTRUCTION.
6. THIS PROJECT SHALL BE SUBJECT TO MONITORING REQUIREMENTS IN ACCORDANCE WITH SECTION II.B(3) OF THE MOST RECENT NCDENR-DEMUR GENERAL PERMIT NCG 01000.
7. THE CONTRACTOR SHALL FAITHFULLY MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO ENSURE THAT NO SILT LEAVES THE PROJECT SITE AND ENTERS ANY NATURAL STREAM OR WATERWAY AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
8. THE CONTRACTOR IS TO CONDUCT A WEEKLY SITE INSPECTION, AFTER EACH RAINFALL EVENT IN EXCESS OF 1-INCH AND PERFORM ANY NECESSARY MAINTENANCE.
9. ANY AREA DISTURBANCES BY THE CONTRACTOR NOT SHOWN ON THE CONSTRUCTION DRAWINGS ARE TO BE PERMITTED THROUGH THE APPROPRIATE PERMITTING AGENCY.
10. PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICE OR STRUCTURE.
11. ALL SLOPES 3:1 OR GREATER SHALL BE LINED WITH EROSION CONTROL MATTING.
12. NPDES GROUND COVER REQUIREMENTS SHALL BE FOLLOWED IN ADDITION TO STANDARD NCDENR EROSION CONTROL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A PERMANENT STAND OF VEGETATION ON ALL DISTURBED AREAS AND MEETING ALL NPDES FINAL STABILIZATION REQUIREMENTS.
13. PROVIDE A ROLLED EROSION CONTROL PRODUCT (RCEP) TO STABILIZE DISTURBED DITCHES IF ANY SIGNS OF SCOURING OR EVIDENT, EVEN IF NO RCEP HAS BEEN SHOWN ON THE CONSTRUCTION DRAWINGS.
14. NO STOCK OR WASTE PILES ARE ALLOWED WITHIN 50' OF STREAMS OR DRAINAGE STRUCTURES.
15. WHERE DEWATERING OF TRENCHES, PITS, AND OTHER EXCAVATIONS BECOMES NECESSARY THE DISCHARGE MUST BE DIVERTED TO A SEDIMENT FILTER BAG BEFORE BEING DISCHARGED TO THE GROUND.
16. ADEQUATE EROSION CONTROL MEASURES MUST BE INSTALLED, MAINTAINED, AND ADJUSTED AS NEEDED DURING THE DEMOLITION OR CLEARING AND GRUBBING PHASES AS WELL AS THROUGHOUT THE LIFE OF THE PROJECT AND UNTIL PERMANENT VEGETATION IS ESTABLISHED.
17. IN INSTANCES WHERE THE DIFFERENCE IN HEIGHT OF EMERGENCY SPILLWAY AND BOTTOM ELEVATION OF A POND IS GREATER THAN 5 FEET, DOUBLE-HEIGHT BAFFLES ARE REQUIRED.
18. CONCRETE WASHOUTS SHOWN FOR CURB & GUTTER AND SIDEWALK USE ONLY.
19. EXISTING TEMPORARY SEDIMENT BASIN SHALL BE REPAIRED/MAINTAINED AS NECESSARY TO MEET REQUIREMENTS OF THIS PROJECT.
20. SCM FOREBAYS SHALL NOT BE REQUIRED WHILE SCM IS ACTING AS AN EROSION CONTROL DEVICE.
21. VELOCITY DISSIPATORS SHALL BE INSTALLED AT THE END OF EACH FENCE AND SHALL HAVE A FILTER FABRIC UNDERLINER.
22. THE CONTRACTOR SHALL INSTALL TEMPORARY DIVERSION BERMS ROUTING CONSTRUCTION RUNOFF TO APPROPRIATELY SIZED SLOPE DRAINS WITH INLET/OUTLET PROTECTION WHEREVER NECESSARY OR AS REQUIRED BY WAKE COUNTY AT TOP OF SLOPES DURING/AFTER SLOPE FORMATION TO PREVENT SLOPE EROSION.

CONSTRUCTION SEQUENCE (STAGE 1):

1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH WAKE COUNTY ENVIRONMENTAL SERVICES. OBTAIN A LAND DISTURBING PERMIT.
2. INSTALL GRAVEL CONSTRUCTION PAD, SILT FENCE, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. CALL WAKE COUNTY ENVIRONMENTAL SERVICES TO SCHEDULE AN ONSITE INSPECTION TO OBTAIN A CERTIFICATE OF COMPLIANCE. PERMITTED LAND DISTURBING ACTIVITIES MAY NOT BEGIN UNTIL ALL MEASURES ARE IN PLACE AND A CERTIFICATE OF COMPLIANCE HAS BEEN RECEIVED.
5. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
6. MOVE TO STAGE 2 EROSION CONTROL.

CONSTRUCTION SEQUENCE (STAGE 2):

1. MAINTAIN STAGE 1 EROSION CONTROL DEVICES.
2. INSTALL STORM SEWER AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.  
2.1. EXCAVATE TRENCH, INSTALL SECTIONS OF PIPE, BACKFILL AND STABILIZE GROUND DISTURBANCE WITHIN A WORKING DAY.
3. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDEED AREAS PER GROUND STABILIZATION TIME FRAMES.
4. ADDITIONAL SILT FENCE SHALL BE PROVIDED ALONG THE CURBLINE ONCE INSTALLED, AS REQUIRED BY WAKE COUNTY.
5. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WAKE COUNTY ENVIRONMENTAL SERVICES FOR AN INSPECTION.
6. IF SITE IS APPROVED, REMOVE SILT FENCE, INLET PROTECTION, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS.
7. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE WAKE COUNTY ENVIRONMENTAL SERVICES. OBTAIN A CERTIFICATE OF COMPLETION.

MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAP DEVICES WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.
3. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES APPROXIMATELY 6-INCHES DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
4. INLET PROTECTION DEVICES SHALL BE INSPECTED AFTER EVERY RAINFALL EVENT. DAMAGED SILT FENCE SHALL BE REPLACED AND GRAVEL SHALL BE CLEANED OR REPLACED WHEN INLET NO LONGER DRAINS PROPERLY.
5. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEED AS NECESSARY, AND MULCHED ACCORDING TO THE SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.

TOPSOIL WASTE NOTE:

1. EXCESS TOPSOIL/MATERIAL SHALL BE HAULED OFFSITE UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE. IF OWNER DECIDES TO KEEP EXCESS TOPSOIL/MATERIAL ON SITE, COORDINATION WITH OWNER'S REPRESENTATIVE AND TOWN OF WAKE COUNTY EROSION CONTROL STAFF WILL TAKE PLACE BEFORE EXCESS TOPSOIL/MATERIAL IS PLACED.

WAKE COUNTY STOCKPILE MAINTENANCE REQUIREMENTS:

1. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
2. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
3. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
4. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF SLOPE (WHERE PRACTICAL).
5. STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.

SEED BED PREPARATION:

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, WITH STOCKPILED TOPSOIL. CONTRACTOR SHALL RESERVE SUFFICIENT TOPSOIL FOR SEEDBED PREPARATION.
2. RIP THE ENTIRE AREA TO 6 INCH DEPTH.
3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPER-PHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW\*).
5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND IS LESS THAN 60% ESTABLISHED, THE ENTIRE AREA SHALL BE RESEEDD ACCORDING TO SPECIFICATIONS USING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
9. CONSULT A CONSERVATION INSPECTOR ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

\*APPLY:

AGRICULTURAL LIMESTONE	2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER	1,000 LB/ACRE - 10-10-10
SUPER-PHOSPHATE	500 LB/ACRE - 20% ANALYSIS
MULCH	2 TONS/ACRE - SMALL GRAIN STRAW
ANCHOR	ASPHALT EMULSION @ 300 GALS/ACRE

SEEDING AND MULCHING:

SEEDING AND MULCHING SHALL BE CARRIED OUT IMMEDIATELY BEHIND CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

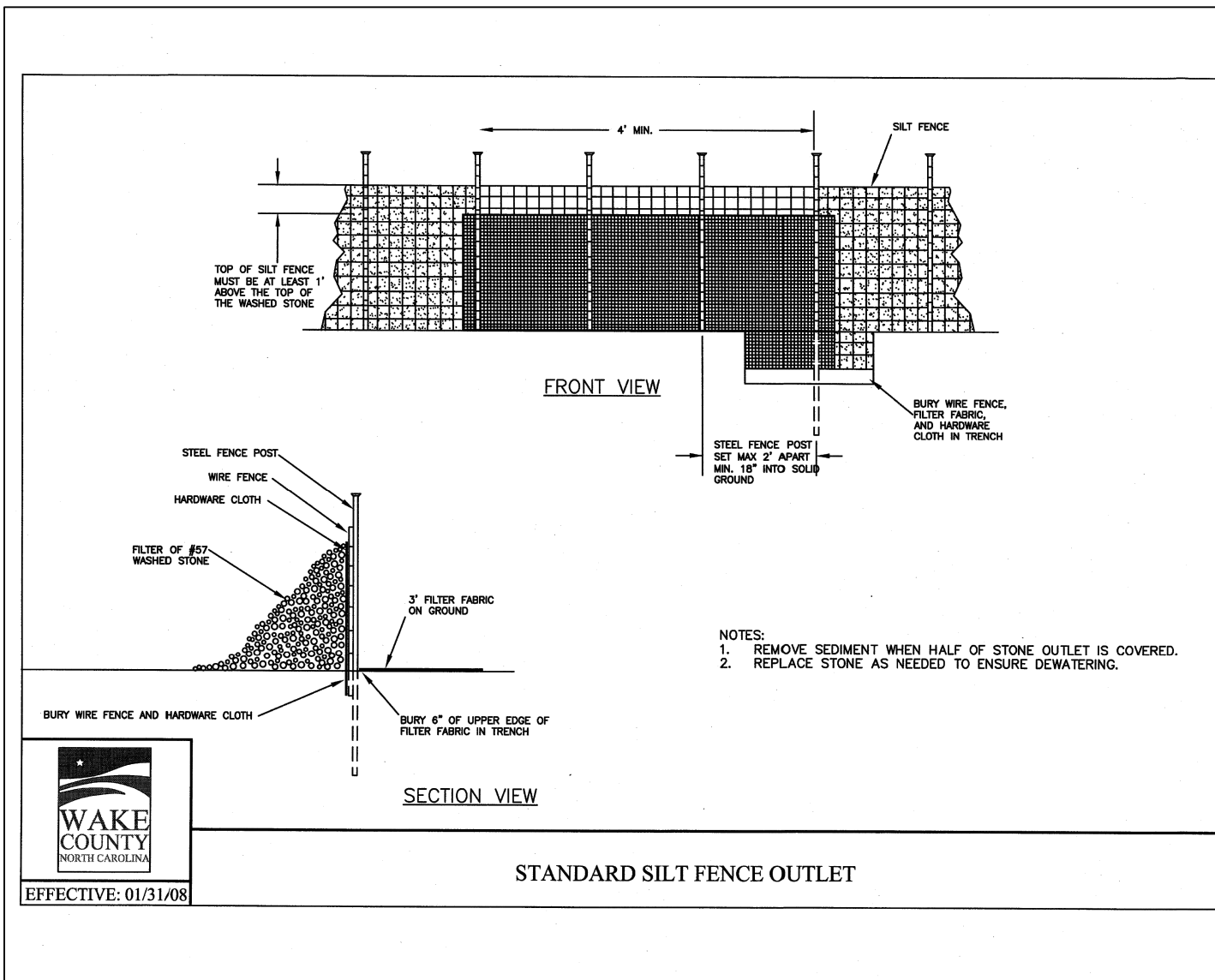
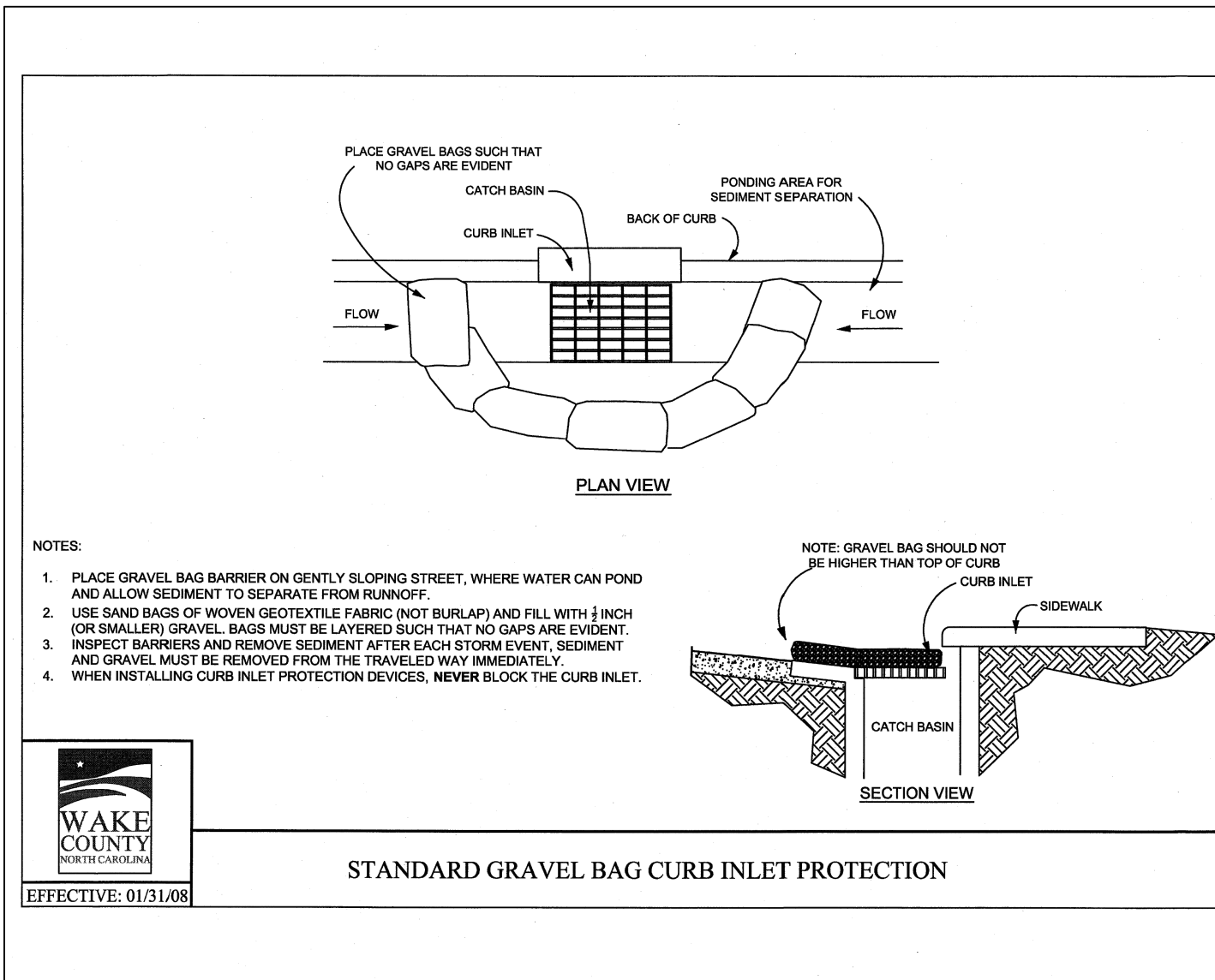
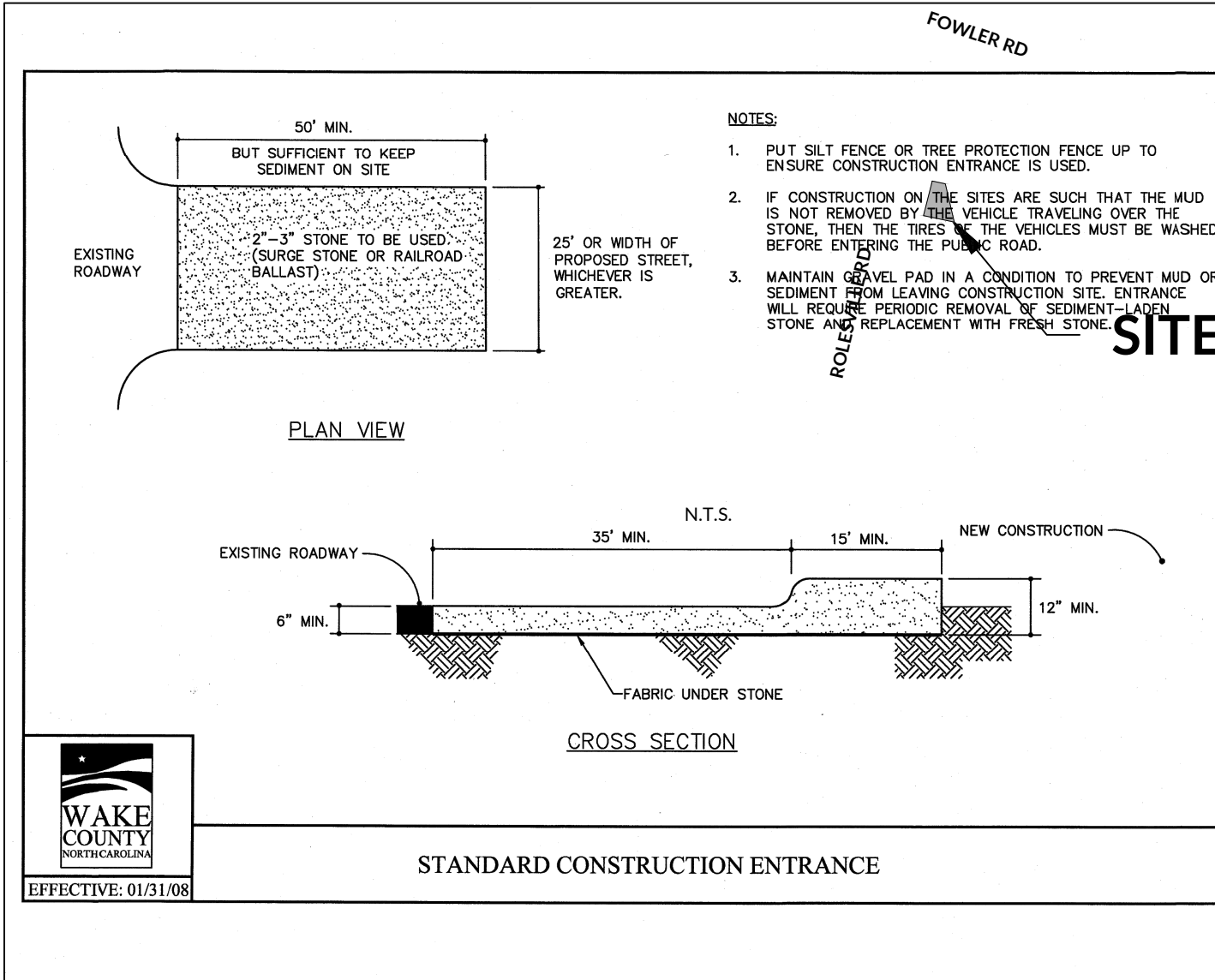
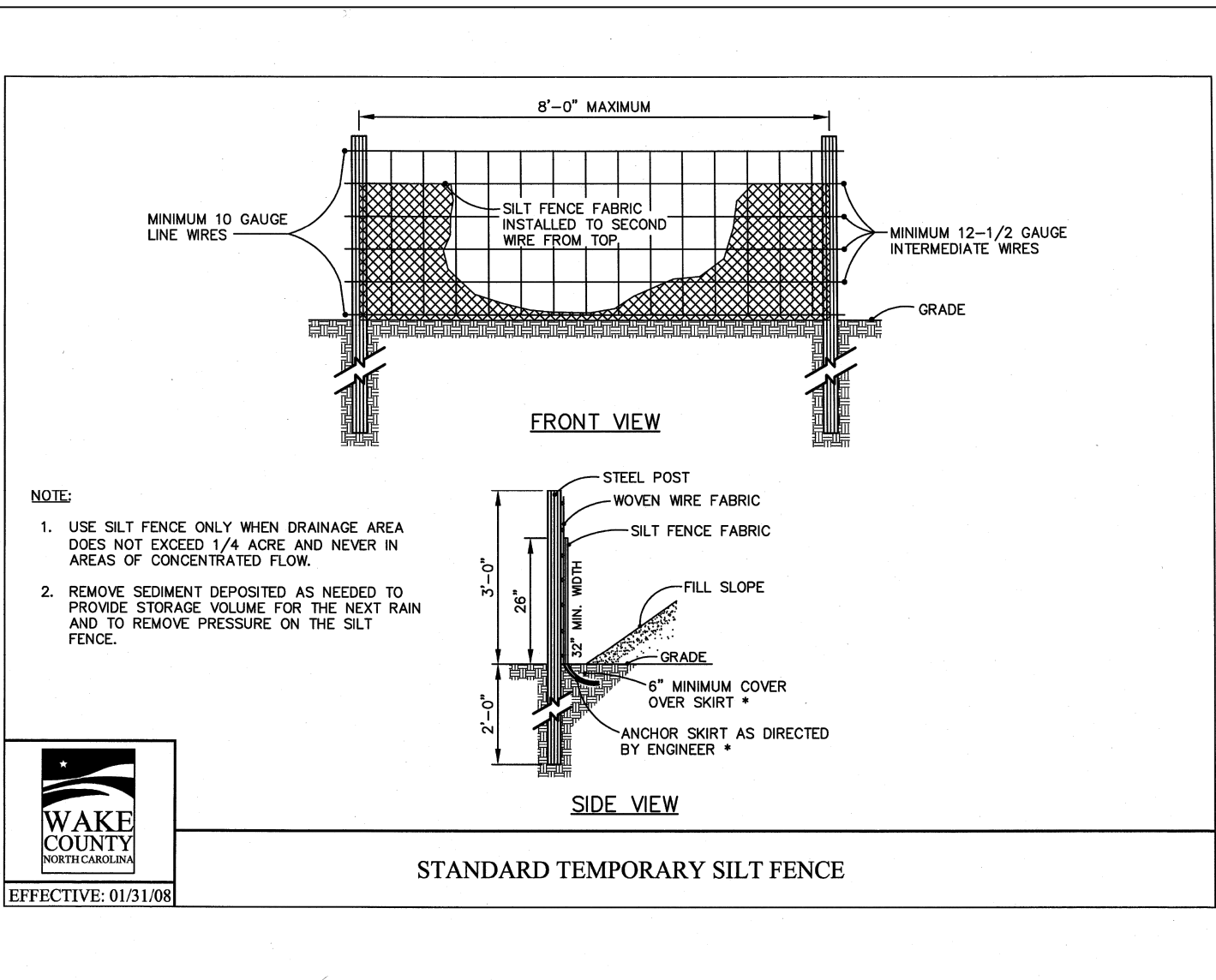
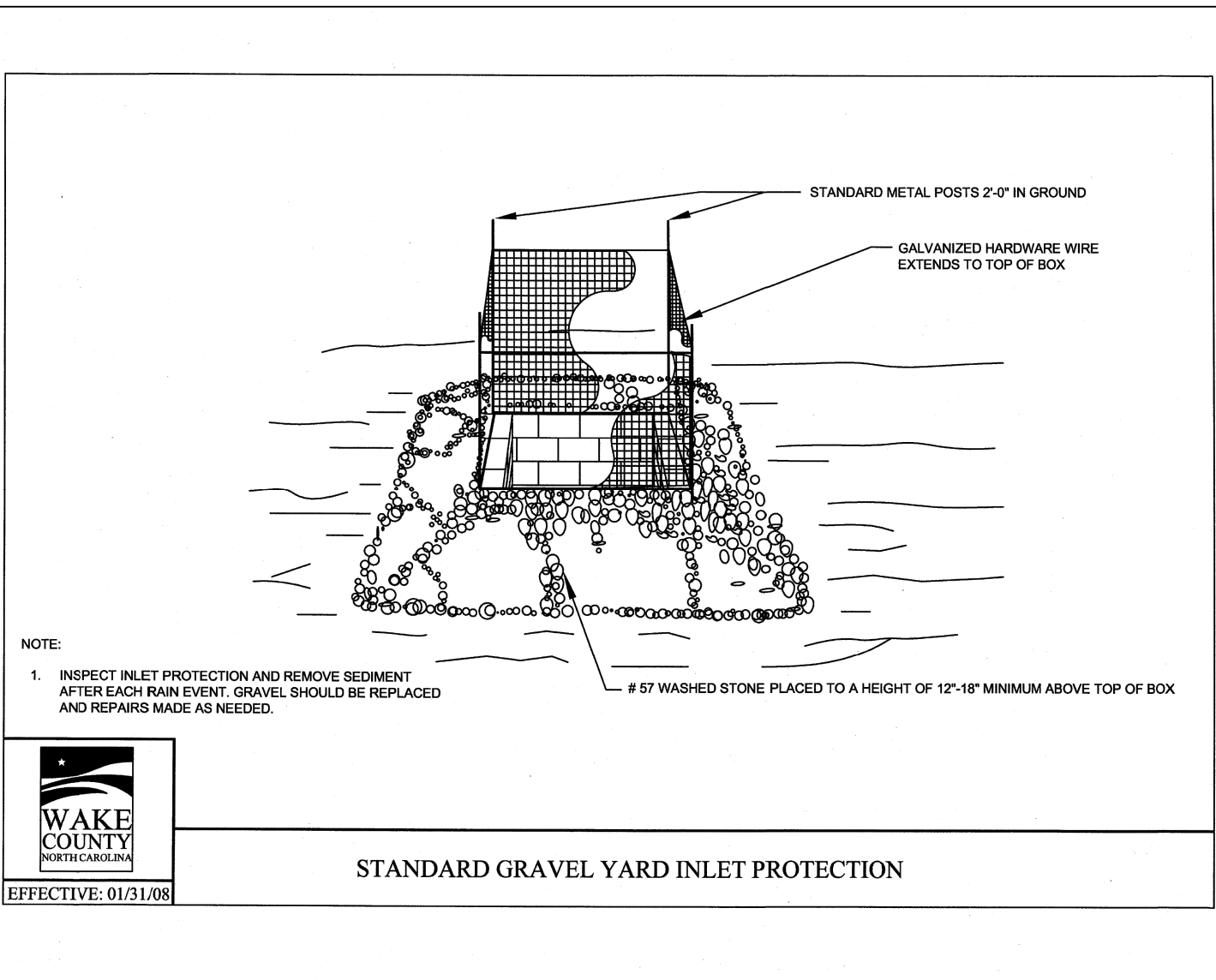
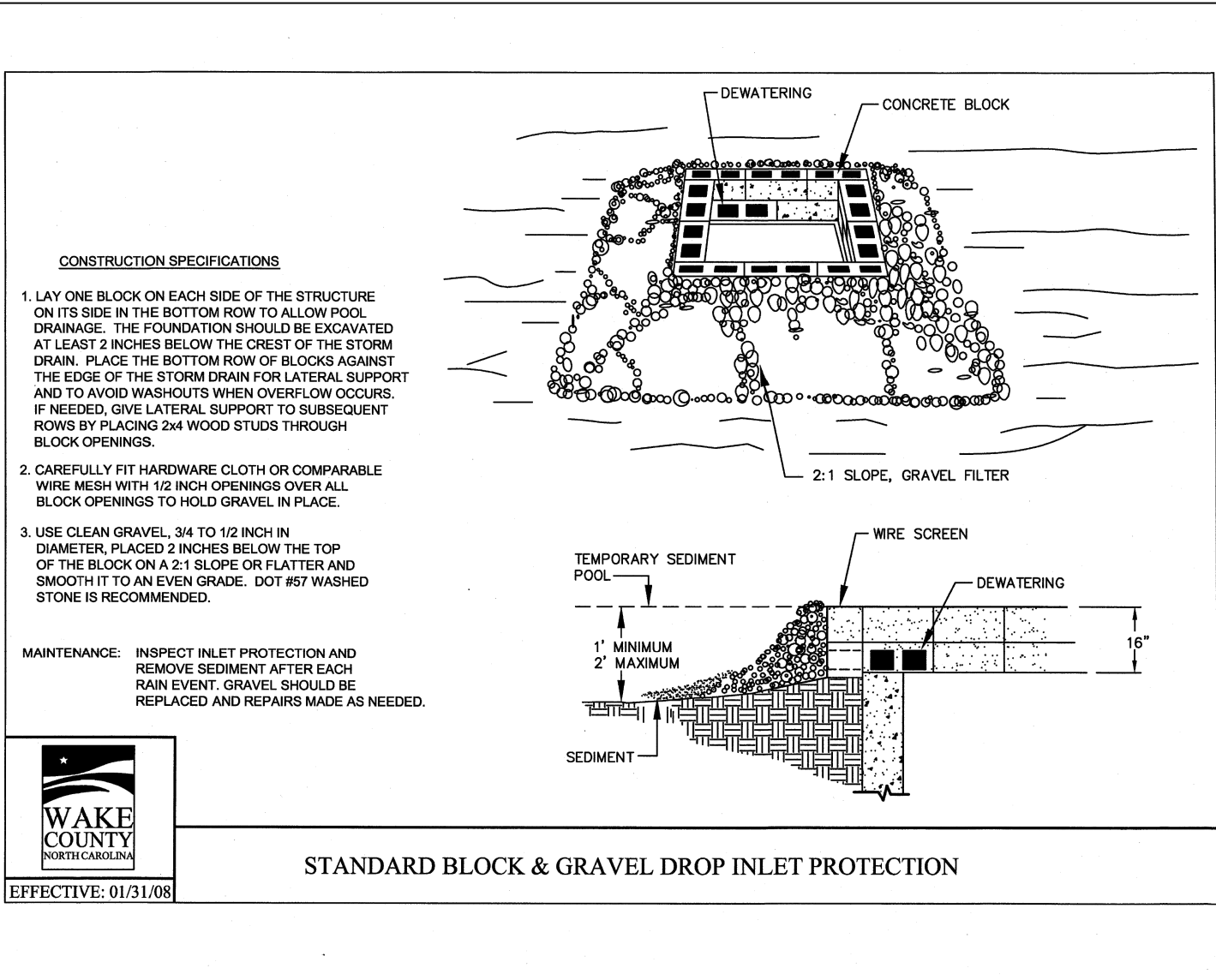
SHOULDERS, SIDE DITCHES, SLOPES (3:1 MAX.)			
DATE	TYPE	PLANTING/ACRE	
AUG 15 - NOV 1	TALL FESCUE	300 LBS.	
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS.	
MAR 1 - APR 15	TALL FESCUE	300 LBS.	
APR 15 - JUNE 30	HULLED COMMON BERMUDA GRASS	25 LBS.	
JULY 15 - AUG 15	TALL FESCUE AND *** BROWN TOP MILLET OR *** SORGHUM-SUDAN HYBRIDS	35 LBS.	

SLOPES (3:1 TO 2:1)			
DATE	TYPE	PLANTING/ACRE	
MAR 1 - APR 15	ADD TALL FESCUE AND	120 LBS.	
MAR 1 - JUNE 30	ADD WEEPING LOVE GRASS OR	10 LBS.	
MAR 1 - JUNE 30	ADD HULLED COMMON BERMUDA GRASS	25 LBS.	
JUNE 1 - SEP 1	*** TALL FESCUE AND *** BROWN TOP MILLET OR *** SORGHUM-SUDAN HYBRIDS	120 LBS. 35 LBS. 30 LBS.	
SEP 1 - MAR 1	TALL FESCUE	120 LBS.	
NOV 1 - MAR 1	ADD ABRUZZI RYE	25 LBS.	

\*\*\*TEMPORARY - RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW OVER 12 INCHES IN HEIGHT BEFORE MOWING. OTHERWISE FESCUE MAY BE SHADED OUT.

A CONSERVATION ENGINEER OR SOIL CONSERVATION SERVICE SHALL BE CONSULTED FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDEED AREAS. THE ABOVE VEGETATION RATES ARE THOSE WHICH DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE. ANY VARIATION FROM THIS LIST SHALL BE PRE-APPROVED BY THE TOWN.

GROUND STABILIZATION CHART		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
DIKES, SWALES, DITCHES, AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH.
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERIMETERS AND HQW ZONES.



WithersRavenel

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1225 CRESCENT GREEN DRIVE, SUITE 250  
CARY, NC 27518

SITE DEVELOPMENT PLAN

BROADMOOR CLUBHOUSE AMENITY

Bearden Street (Broadmoor Subdivision) | ROLESVILLE, NC 27587 | WAKE COUNTY

INITIAL PLAN DATE: 03/05/2025  
REVISIONS:  
1 - 04/30/2025 WR  
TOWN COMMENT REVISIONS

MUNI PROJ NUMBER SDP-25-02  
WR JOB NUMBER 23-0045  
DRN WR DGN WR CRD WR

EROSION CONTROL NOTES & DETAILS

L4.20

our people

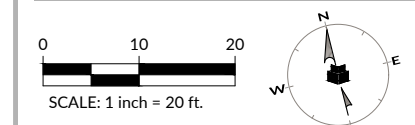
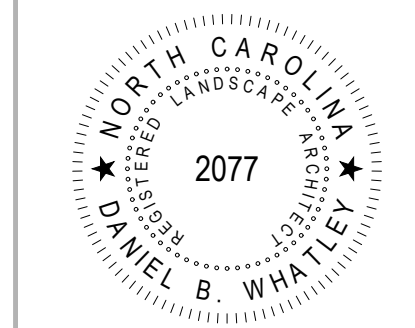
your success

EST. 1993





SYMBOL	CODE	BOTANICAL NAME
<b>TREES</b>		
	AR	Acer rubrum
	CC	Cercis canadensis
	CV	Chionanthus virginicus
	NS	Nysa sylvatica
	PC	Pistacia chinensis
	PO	Platanus occidentalis
	QP	Quercus phellos
	TD	Taxodium distichum
	UA	Ulmus americana
<b>SHRUBS</b>		
	AG	Abelia x grandiflora
	HQ	Hydrangea quercifolia
	IC	Ilex cornuta 'Needlepoint'
	IG	Ilex glabra 'Shamrock'
	IVO	Ilex vomitoria
	IVR	Itea virginica



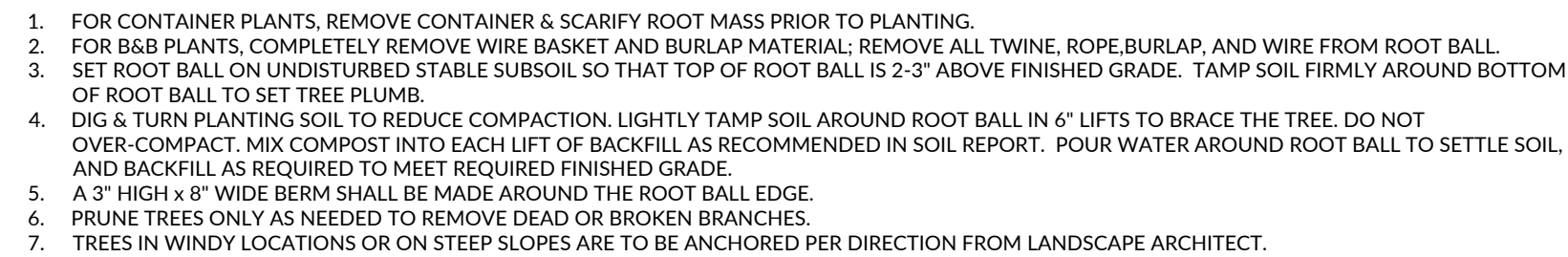
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MUNI. PROJ. NUMBER	SDP-25-02
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DRN: WR	DGN: WR CKD: WR

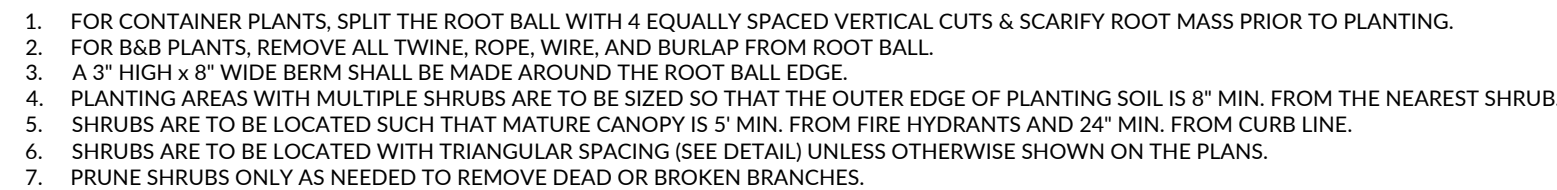
## AMENITY LANDSCAPE PLAN

## L5.01

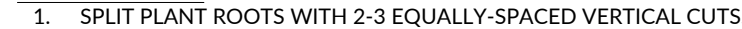




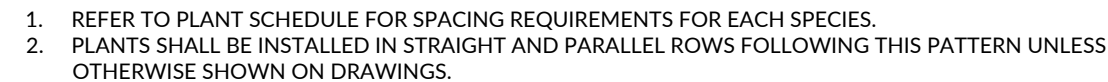
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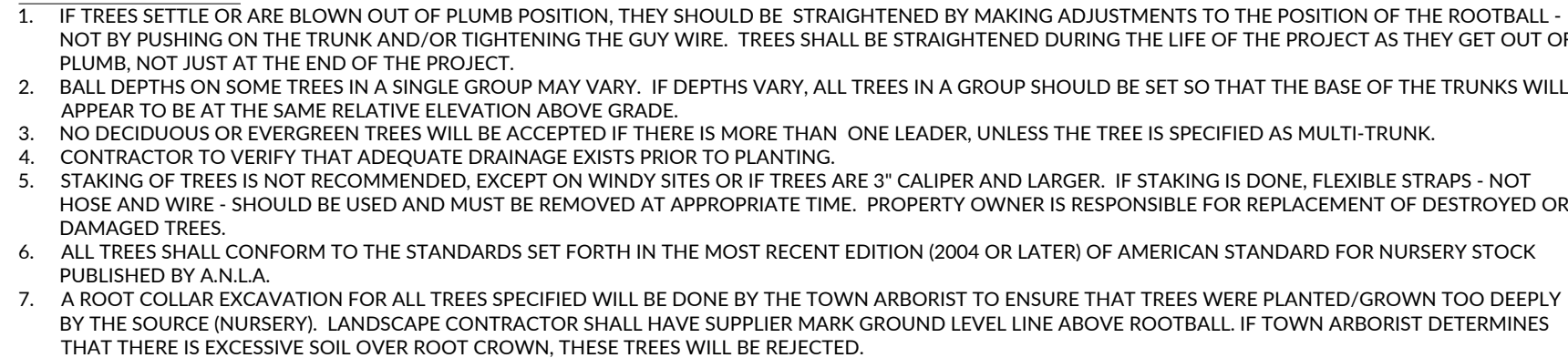
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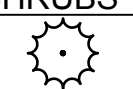
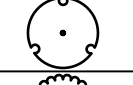
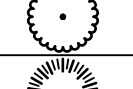
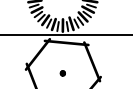
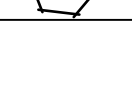


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SCALE: 1/4" = 1'-0"



SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>TREES</b>					
	CC	Cercis canadensis / Eastern Redbud Multi-trunk	6' Ht.	B&B	8
	UA	Ulmus americana / American Elm	3" CAL., 12' HT MIN	B&B	6
<b>SHRUBS</b>					
	AG	Abelia x grandiflora / Glossy Abelia	24" HT. MIN.	CONT.	15
	HQ	Hydrangea quercifolia / Oakleaf Hydrangea	7 gal.	CONT.	10
	IG	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	24" HT. MIN.	CONT.	70
	IVO	Ilex vomitoria / Yaupon Holly	24" HT. MIN.	CONT.	65
	IVR	Itea virginica / Virginia Sweetspire	24" HT. MIN.	CONT.	17

1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST-FREE.

1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST-FREE.
2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z600.1. REGARDLESS OF TREE, GROWTH AND B&B SPECIFICATIONS, PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
5. ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
6. [PLANTING SHALL FOLLOW NCDOT STANDARD SPECIFICATIONS AS OUTLINED IN SECTION 1670. PLANTING SEASON IS OCTOBER 15 - MARCH 15, UNLESS OTHERWISE NOTED OR APPROVED BY NCDOT ENGINEER.] ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF 8&8 SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
7. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATIONS) THAT ARE NEARBY, LIST AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
8. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS. THE CONTRACTOR, NO SUBSTITUTIONS SHALL BE MAINTAINED LIST AT THE NURSERY WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
9. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, DRIVEWAYS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO INSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE PRIOR TO

11. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION.

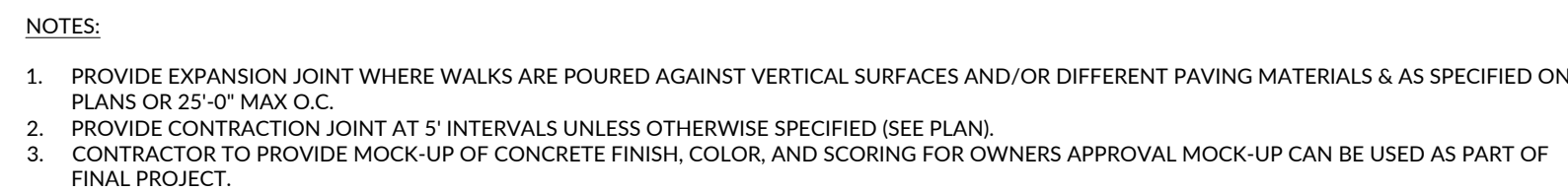
11. LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC DRAINAGE INFORMATION.
12. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER LANDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
13. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN DESIGNER-GRADE, DOUBLE SHREDDED MULCH. NO PIN STRAW IS PERMITTED. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
14. FINISH OFF 2'4" CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.

1. ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH 6' TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT THE END OF THE PROJECT.

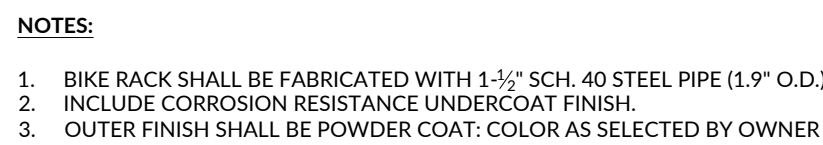
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2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARCHITECT: ALTERATION OR DISTURBANCE EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR DEBRIS; TRENCHING; OR DISPOSAL OF ANY LIQUIDS.
3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARCHITECT. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARCHITECT FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
7. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.
8. UTILITIES NOTES:
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.
10. EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
11. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
12. MINIMUM TRENCH WIDTH AT THE TOP OF THE PIPE SHALL BE 18" GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE.
13. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

15. ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT WILL BE PROTECTED BY BOLLARDS.
16. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
17. THE LOCATIONS OF EXISTING STORM SEWER STRUCTURES SHOWN ON THESE PLANS ARE APPROXIMATE. WHERE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
18. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY RIGHTS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY RIGHTS, MONUMENTS, AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR.
19. CONTRACTOR SHALL CLEAR AND GRAB ALL UTILITY EASEMENTS, AS DIRECTED BY THE OWNER, TO INSTALL NEW UTILITIES. ON ROADWAY RIGHT-OF-WAYS, THE CONTRACTOR SHALL ONLY REMOVE THE TREES MARKED ON THE PLANS AND SHALL MAKE EVERY EFFORT DURING CONSTRUCTION TO PROTECT THE TREES THAT WILL NOT BE REMOVED.
20. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN ALL NECESSARY EROSION CONTROL MEASURES WHETHER OR NOT SHOWN ON THE PLANS TO PROTECT ADJACENT CREEKS, RIVERS, ROADWAYS, ETC. FROM SILTATION AND EROSION.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK. THERE WILL BE NO ADDITIONAL OR SEPARATE PAY ITEM FOR THIS WORK. UNLESS SPECIFICALLY CALLED OUT IN THE BID FORM, ANY RELOCATION OF EXISTING UTILITIES MUST BE COORDINATED WITH THE AFFECTED UTILITY COMPANY.
22. THE CONTRACTOR SHALL SUPPORT ALL UTILITY POLES AS NECESSARY. THE CONTRACTOR SHALL COORDINATE UTILITY POLE SUPPORT WITH THE APPROPRIATE UTILITY COMPANIES.





## SECTION



## SECTION



NOTES	
1.	COLOR: BLACK
2.	DETAIL SPECIFICS MAY DEVIATE BASED ON FENCE PRODUCT SELECTED BY CONTRACTOR. THIS DETAIL PROVIDES DESIGN INTENT ONLY.
3.	FENCE HEIGHT AND COLOR SHALL REMAIN AS SPECIFIED



## SECTION



## SECTION



## SECTION



