

ZONING CONDITIONS FOR THE MERRITT RESERVE

REZ-24-01

PINS 1758-92-8330 (PORTION OF), 1768-23-6815 AND 1768-32-8863 (PORTION OF)

- 1. REFER TO THE ASSOCIATED CONCEPT PLAN WITH REZ-24-01, APPROVED ON 11/07.
2. NO SINGLE TOWNHOUSE BUILDING SHALL CONTAIN MORE THAN SIX UNITS.
3. CONSTRUCTION OF THE ON-SITE AMENITIES SHALL BE COMPLETED ON OR BEFORE THE ISSUANCE OF THE CERTIFICATE OF COMPLIANCE/OCCUPANCY FOR THE 300TH UNIT.
4. THIS WILL BE AN AGE-RESTRICTED DEVELOPMENT LIMITED TO RESIDENTS AGED 55 AND OLDER IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR AGE RESTRICTED HOUSING ESTABLISHED BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
5. NO MORE THAN 505 UNITS WILL BE PERMITTED FOR THE DEVELOPMENT WITH THE MAXIMUM NUMBER OF ATTACHED UNITS LIMITED TO 278.
6. THE FOLLOWING USES ARE PROHIBITED IN THE PORTION OF THE SITE TO BE ZONED GENERAL COMMERCIAL DISTRICT: TATTOO ESTABLISHMENT, VAPE AND TOBACCO STORE, VEHICLE RENTAL, AND SALES.
7. THE FOLLOWING USES ARE PROHIBITED IN THE PORTION OF THE SITE TO BE ZONED RESIDENTIAL MEDIUM DENSITY: TELECOMMUNICATIONS TOWER
8. THE DEVELOPER SHALL INSTALL A TYPE 2 BUFFER IN THE SOUTHWEST CORNER OF THE PROPERTY AS SHOWN ON EXHIBIT B WITH REZ-24-01, APPROVED ON 11/07.
9. ONE (1) BUILDING CONSISTING OF TWO (2) TOWNHOME UNITS SHALL BE DEVELOPED AND DONATED AS PART OF HEROES FOR HOME OR SIMILAR ORGANIZATION PROVIDING HOMES TO VETERANS. DEVELOPER SHALL BE ENTITLED TO A WAIVER OF ALL TOWN OF ROLESVILLE PERMIT FEES FOR THESE UNITS.
10. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:

- A) AT LEAST ONE (1) SINGLE OR DOUBLE CAR GARAGE;
B) ALL GARAGE DOORS SHALL HAVE WINDOWS;
C) GROUND FLOOR ELEVATION AT THE FRONT DOOR SHALL BE MINIMUM OF 12" ABOVE AVERAGE GRADE ACROSS THE FRONT FAÇADE OF THE HOUSE.
D) IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKE/BOARD AND BATTEN;
E) ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL COPPER OR WOOD;
F) ALL WINDOWS ON FRONT FAÇADE SHALL HAVE SHUTTERS OR WINDOW TRIM;
G) NO SINGLE-FAMILY DETACHED HOME SHALL BE CONSTRUCTED WITH A FRONT ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE HOME ON EITHER SIDE OF IT OR DIRECTLY ACROSS FROM IT; AND
H) A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.

11. ALL TOWNHOUSE DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:

- A) ONE (1) SINGLE OR DOUBLE CAR GARAGE
B) IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKE/BOARD AND BATTEN;
C) ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD;
D) NO TOWNHOUSE SHALL BE PAINTED A COLOR THAT IS IDENTICAL TO THE HOME ADJACENT ON EITHER SIDE OF IT; AND A VARIED PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.

12. A HOMEOWNERS ASSOCIATION (HOA) SHALL BE ESTABLISHED IN ACCORDANCE WITH THE ROLESVILLE LAND DEVELOPMENT ORDINANCE. HOA DOCUMENTS MUST BE RECORDED WITH THE FINAL PLAT.

13. GARBAGE AND PET WASTE RECEPTACLES IN OPEN SPACE AREAS TO BE MAINTAINED BY THE HOA.

14. CONSTRUCTION DOCUMENTS FOR THE PROPERTY TO INCLUDE ON-LOT GRADING INCLUDING (I) PROPOSED FINISHED FLOOR ELEVATIONS. (II) 4-CORNER FINISHED-PAD SPOT ELEVATIONS. (III) 1-FOOT CONTOURS OF THE PROPOSED GRADES, (IV) PROPOSED HIGH POINT(S), (V) PROPOSED SWALE DIRECTIONS, SPOT ELEVATIONS, AND SLOPES AT NOT LESS THAN 1% AND (VI) OTHER INFORMATION AS NECESSARY TO DEMONSTRATE FUTURE FEASIBILITY OF COMPLIANCE WITH SECTION R401.3 OF THE NC RESIDENTIAL CODE.

15. THE DEVELOPER SHALL DESIGN AND CONSTRUCT A PUBLIC GREENWAY ALONG THE SOUTHERN PROPERTY BOUNDARY ADJACENT TO WITHIN THE PROPOSED SEWER EASEMENT AS SHOWN ON EXHIBIT C. ADDITIONAL DEDICATION OF A 40' GREENWAY EASEMENT ALONG THE LILES FAMILY, LLC PROPERTY WILL BE FINALIZED AND DEDICATED TO THE TOWN ONCE THE APPROVAL HAS BEEN GRANTED BY THE TOWN OF ROLESVILLE FOR THE FUTURE GREENWAY CONNECTION WITH THE EXTENSION OF FOWLER ROAD.

Table with 2 columns: OVERALL SITE DATA and values. Includes PIN, DEED BOOK AND PAGE #, ZONING, TOTAL TRACT ACREAGE, WATERSHED, TOWNSHIP, RIVER BASIN, EXISTING USAGE, PROPOSED USAGE, STREAM CLASS, EXISTING TREE COVERAGE, EXISTING IMPERVIOUS, PROPOSED IMPERVIOUS, DENSITY, FEMA FLOOD MAP, SINGLE FAMILY DETACHED, ATTACHED UNITS, OPEN SPACE, MINIMUM BUILDING SETBACKS, and 40' SINGLE FAMILY ATTACHED DWELLINGS.

Table with 2 columns: MINIMUM BUILDING SETBACKS and REQUIRED ATTACHED. Includes FRONT SETBACK, SIDE SETBACK, REAR SETBACK, CORNER SIDE, PROVIDED DETACHED, and PROPOSED AND REQUIRED 2 PARKING SPOTS PER UNIT.

NOTE: PARKING CALCULATIONS FOR THE MAIL KIOSK WILL BE PROVIDED AND DONE WITH CD SUBMITTAL

RALEIGH WATER CONDITIONS:

THE FOLLOWING MUST BE COMPLETED PRIOR TO APPROVAL OF CONSTRUCTION DRAWINGS:

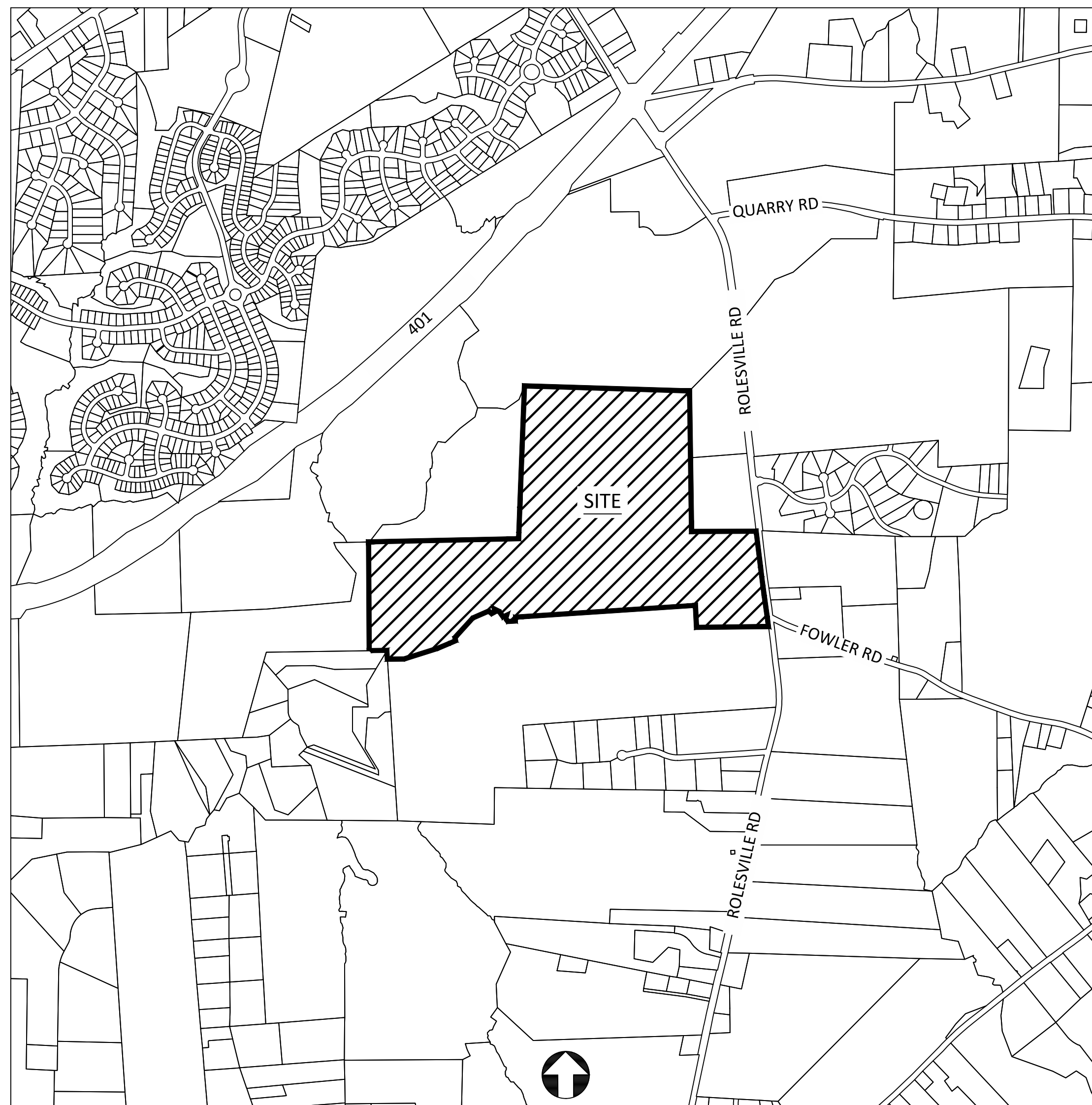
- 1. A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH THE PUBLIC UTILITIES DESIGN MANUAL SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL.
2. A WATER MODEL IN COMPLIANCE WITH THE PUBLIC UTILITIES DESIGN MANUAL SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL.
3. A DEED SHALL BE RECORDED WITH RALEIGH'S DEED TEMPLATE FOR ALL NECESSARY OFFSITE CITY OF RALEIGH SANITARY SEWER EASEMENTS TO ACCOMMODATE FUTURE SEWER LINE CONSTRUCTION.

PROJECT NARRATIVE

THIS PROJECT IS LOCATED IN ROLESVILLE, NORTH CAROLINA ASIDE THE ROLESVILLE ROAD FOWLER ROAD INTERSECTION. IT DRAINS TO TRIBUTARIES OF HARRIS BRANCH WHICH IS PART OF THE NEUSE RIVER BASIN. THE PROJECT CONSIST OF THREE SEPARATE PARCELS WITH A TOTAL PROJECT AREA OF THE PROJECT IS 152.278 AC. THE PROJECT IS ZONED FOR HIGH DENSITY, RESIDENTIAL AND GENERAL COMMERCIAL WITH A RESIDENTIAL DENSITY OF +/- 3 UNITS AN ACRE.

GENERAL NOTES:

- 1. CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.
3. ALL BOUNDARY AND FIELD TOPOGRAPHY PROVIDED BY CMP PROFESSIONAL LAND SURVEYOR, PL.
4. THE ZONING ENTITLEMENTS ACHIEVED/FACILITATING THIS PRELIM PLAT IS REZ-24-01, APPROVED 11-7-2024 BY TOWN BOARD.
5. OPEN SPACE LOTS AND SCM'S WILL BE OWNED AND MAINTAINED BY HOA.
6. ALL PROPOSED STREETS WILL BE DEDICATED TO TOWN AND THUS OWNED AND MAINTAINED BY TOWN.
7. ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
8. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.
9. ALL CONDITIONS OF SUP 19-01 AND MA 19-02 R&PUD ARE APPLICABLE AND WILL BE MET.
10. SIGNS REQUIRE A SEPARATE SIGN PACKAGE TO BE APPROVED BY THE TOWN.



VICINITY MAP SCALE: 1"=1000'

CONSTRUCTION DRAWINGS FOR MERRITT RESERVE

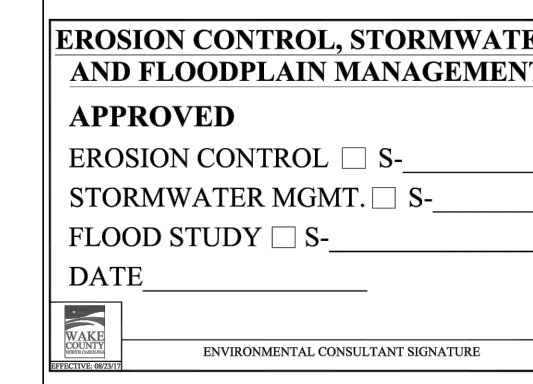
SITUATED AT

1224 ROLESVILLE ROAD

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PROJECT NUMBER = CID-25-XX

Sheet List Table with columns: Sheet Number, Sheet Title. Lists sheets G-001 to LP-500 including COVER, Phasing Plan, Lot Area per Phase, General Notes, Schedule, Existing Conditions, Demolition Plan, Erosion Control Phase 1 Stage 1 Overall, etc.



Once water and sewer design is complete, please email me for the public water and sewer permit numbers.

Modifications are still in process to address some utility comments as well as value engineer some of the utilities.

The blocks have been added to all sheets that have utilities shown.

The public water and sewer permit blocks should be included on all the utility sheets and the plan/profile sheets.

Public Sewer Collection / Extension System and Public Water Distribution / Extension System. Includes City of Raleigh Public Utilities Department Permit # and construction methods used for the project.

ATTENTION CONTRACTORS:

THE CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND / OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

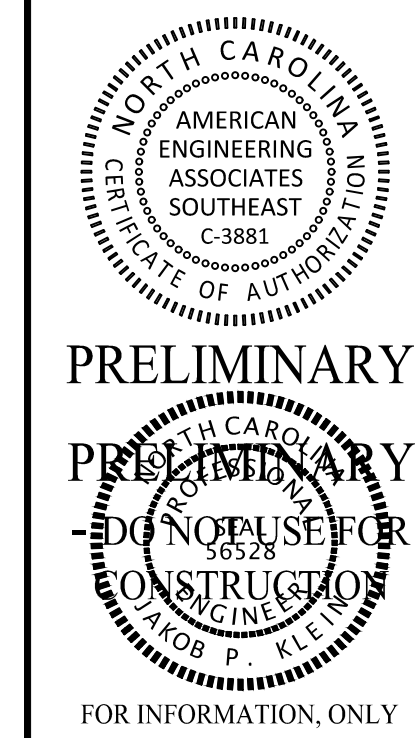
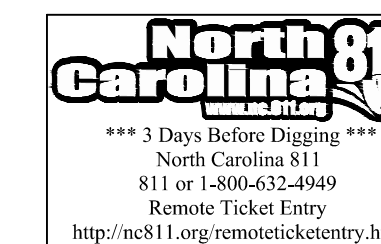
FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER AND SEWER FACILITIES NOT INSPECTED AT THE TIME OF THE NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOB SITE, OR ANY OTHER VIOLATION OF THE CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

Please use the most recent Attn: Contractors note. THIS HAS BEEN UPDATED

Please include the Raleigh public improvements table for merger towns on the cover sheet. THIS HAS BEEN UPDATED

Table with 2 columns: PROPERTY OWNER and SURVEYOR. Lists owners like William Merritt & Kathy Llamas, Wesley and Roxey Wilkins, Edward and Linda Self, James and Sue Merritt, Gunz/Rogers Property, Liles Family Property, and surveyor CMP Professional Landscape, PL.



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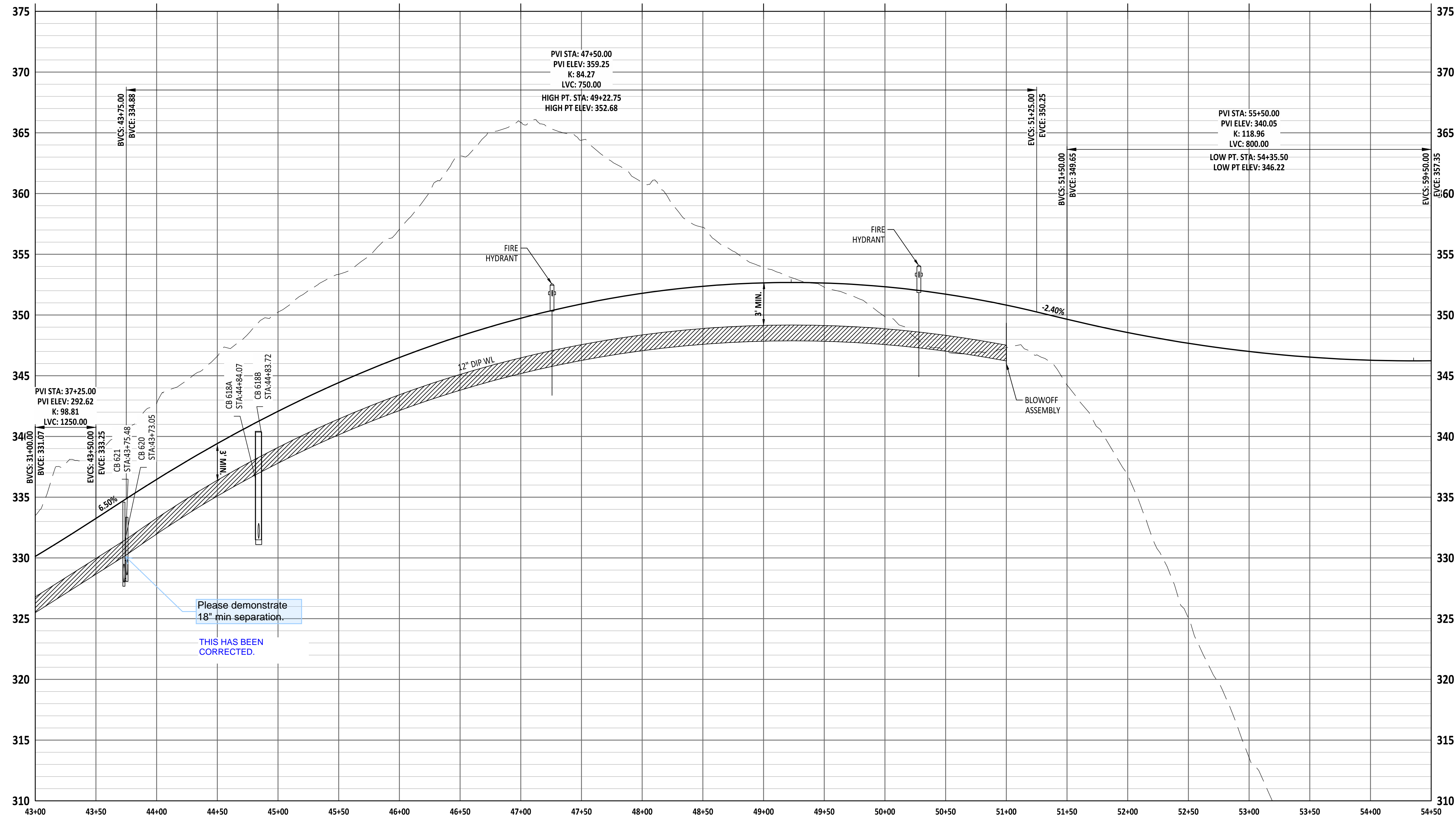
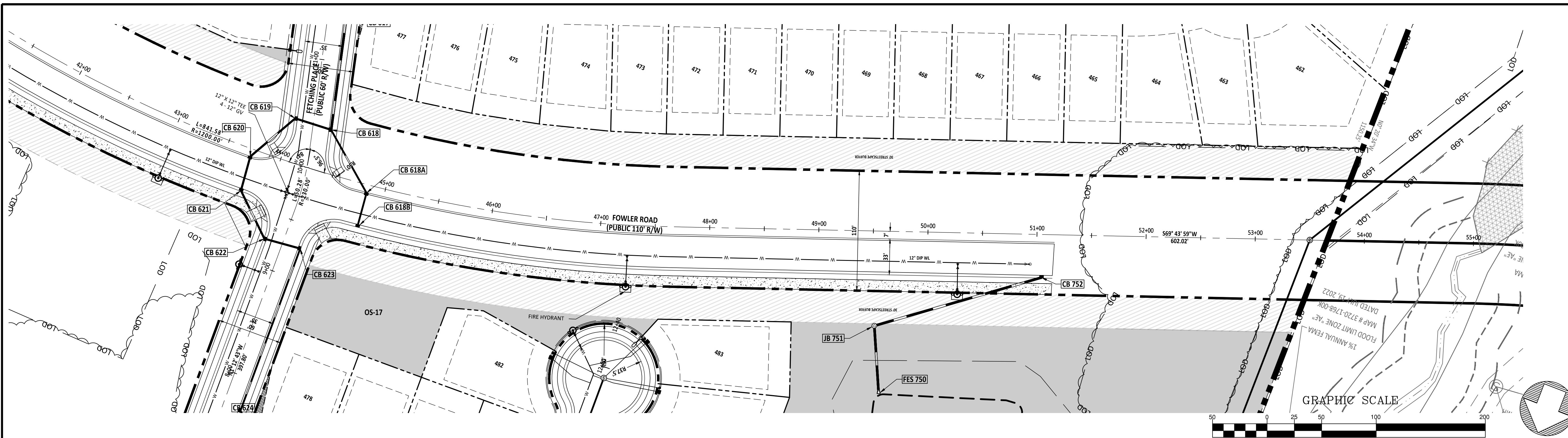
Table with columns: NO., DATE, REVISION. Contains a grid for tracking revisions.

STIPULATION FOR REUSE THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

MERRITT RESERVE COVER ROLESVILLE RD WAKE COUNTY NC 27312

Table with columns: JOB NUMBER, CHECKED BY, DRAWN BY, DATE. Values: 23-0004, BH, DH/RC/SM/GE/MA/LL/JB, 05/01/2025

COVER SHEET TITLE: G-001 SHEET NO.: G-001



NO.	DATE	REVISION:

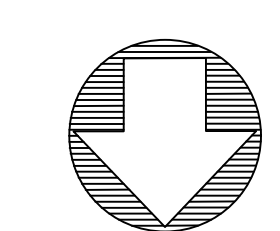
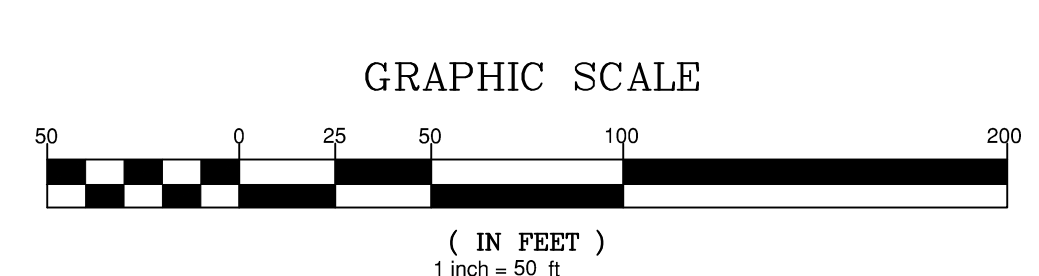
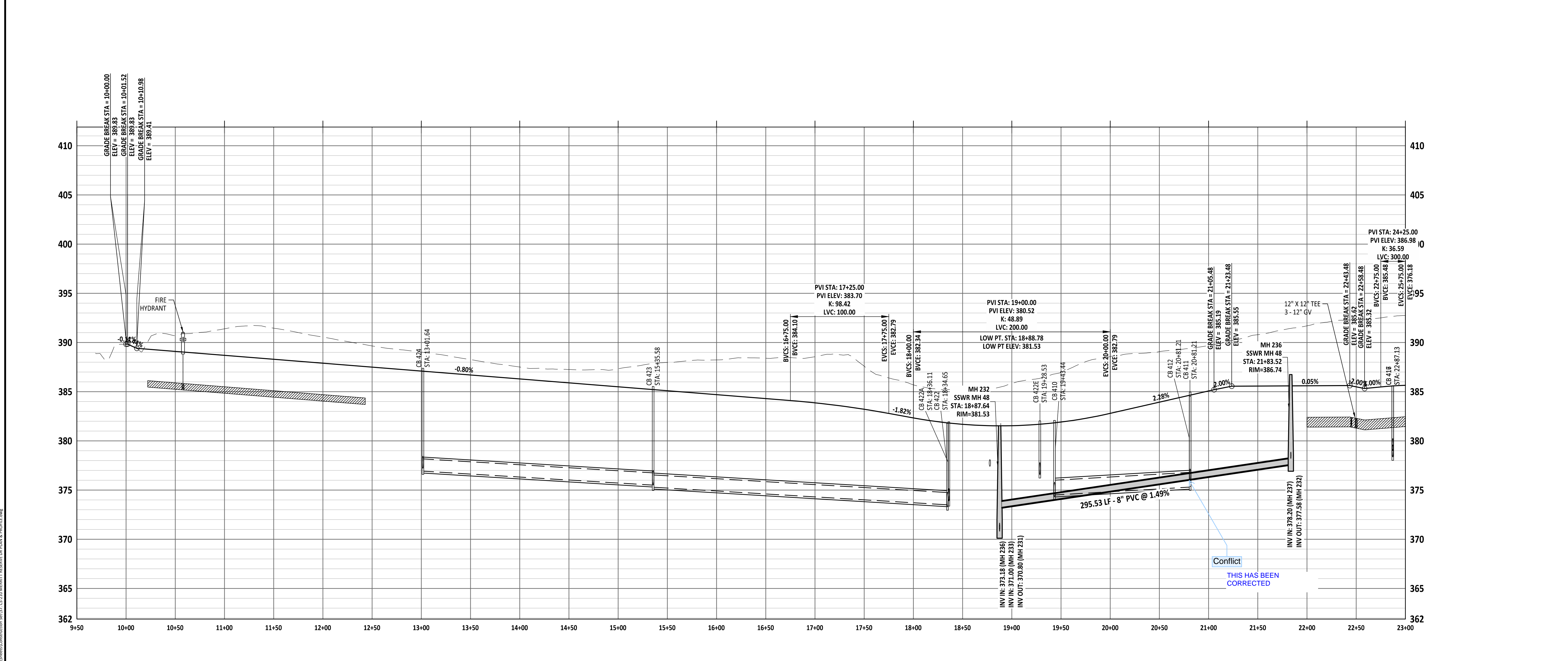
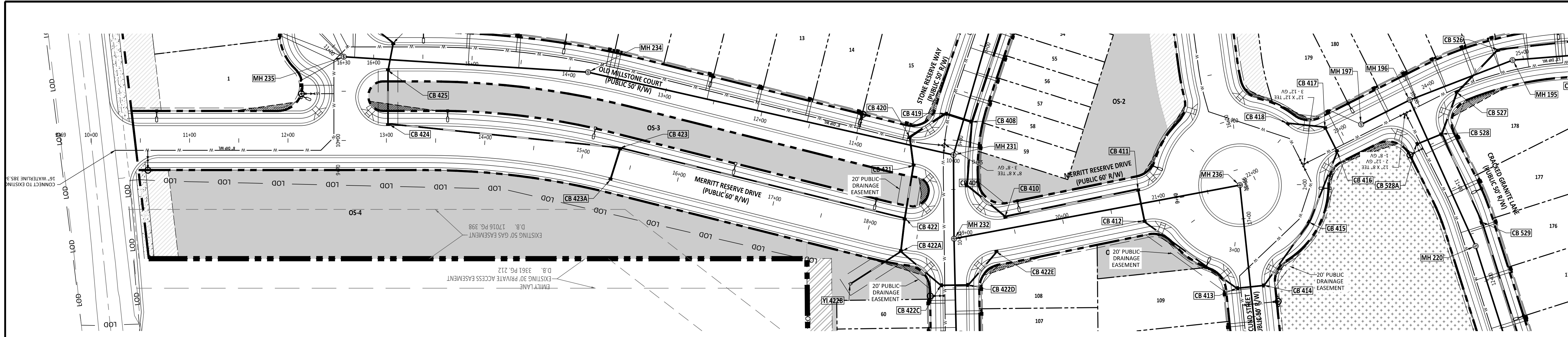
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**MERRITT RESERVE
FOWLER ROAD PLAN &
PROFILE**
ROLESVILLE RD
WAKE COUNTY NC 27312

JOB NUMBER:	23-0004
CHECKED BY:	BH
DRAWN BY:	DH/RC/SM/GE/MA/LL/JB
DATE:	05/01/2025
SHEET TITLE:	FOWLER ROAD PLAN & PROFILE
SHEET NO.:	CS-203



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2025-05-01



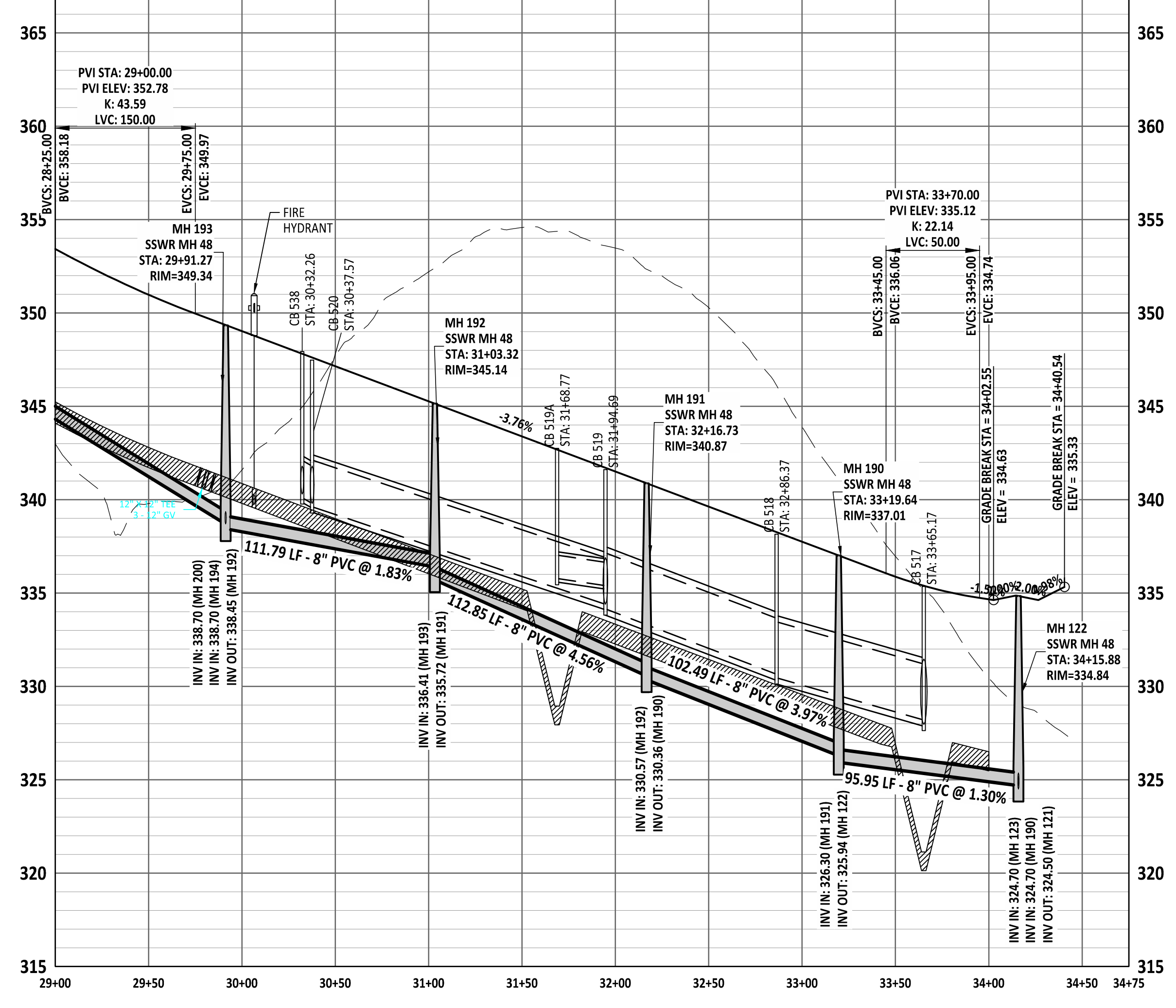
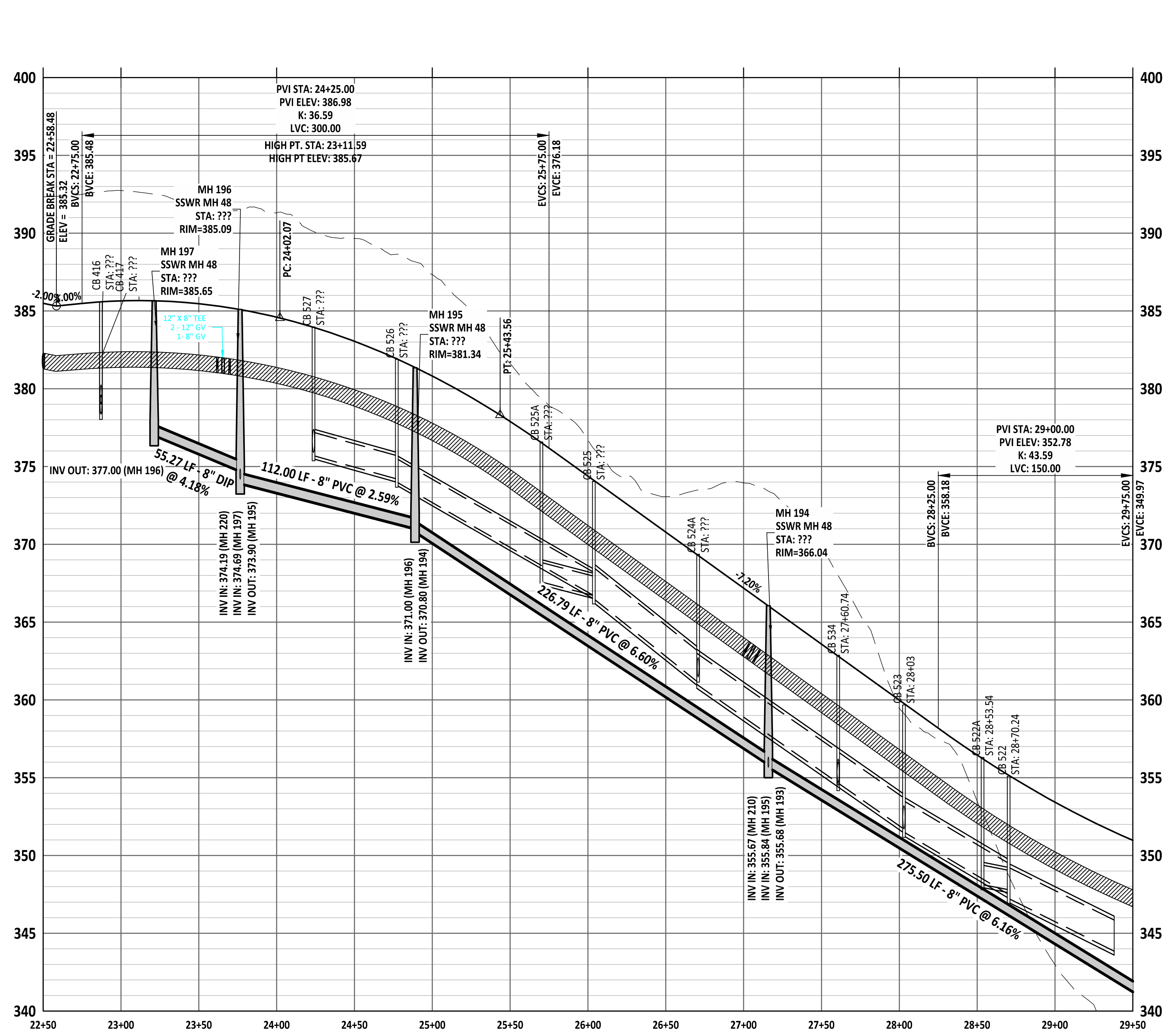
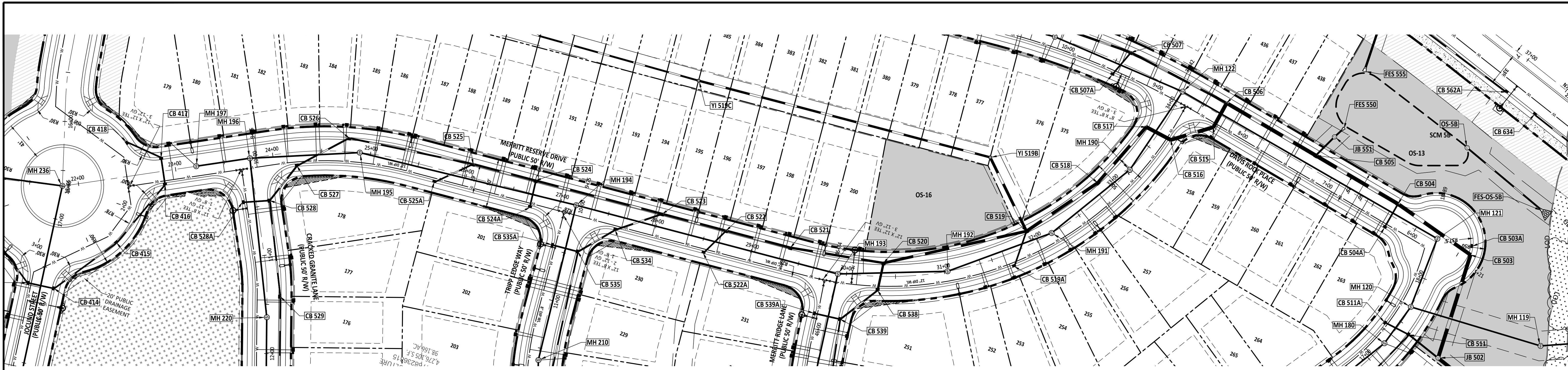
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**MERRITT RESERVE
 MERRITT RESERVE DR
 PLAN & PROFILE
 ROLESVILLE RD
 WAKE COUNTY NC 27312**

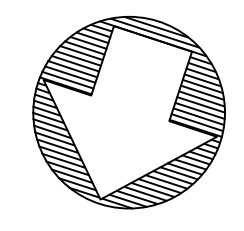
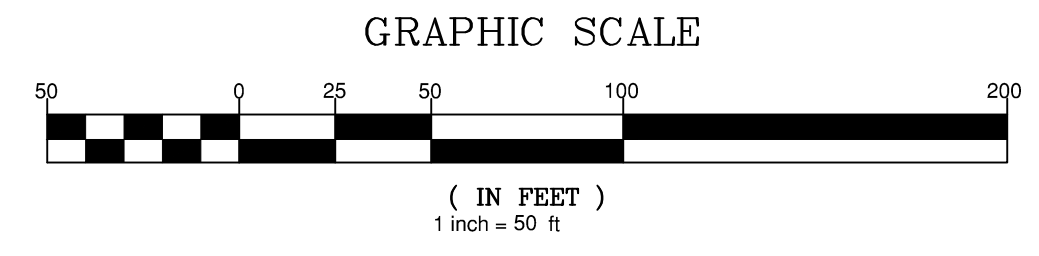
JOB NUMBER:	23-0004
CHECKED BY:	BH
DRAWN BY:	DH/RC/SM/GE/MA/LU/B
DATE:	05/01/2025
SHEET TITLE:	MERRITT RESERVE DR PLAN & PROFILE
SHEET NO.:	CS-210





See other comments. Please provide 2/10 drop between inverts, demonstrate 18" min separation for all water/storm or sewer/storm crossings, please provide MH dia and increase dia based on depth and please call out the proper sewer pipe material based on installation depth. This comment is applicable for the remainder of the plan/profile sheets.

THIS HAS BEEN CORRECTED IN THE CURRENT PROFILE SHEETS



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MERRITT RESERVE DR PLAN & PROFILE
ROLESVILLE RD
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004
CHECKED BY: BH
DRAWN BY: DH/RC/SM/GE/MA/LL/JB
DATE: 05/01/2025
SHEET TITLE:
MERRITT RESERVE DR PLAN & PROFILE
SHEET NO.: **CS-211**



STANDARD UTILITY NOTES:

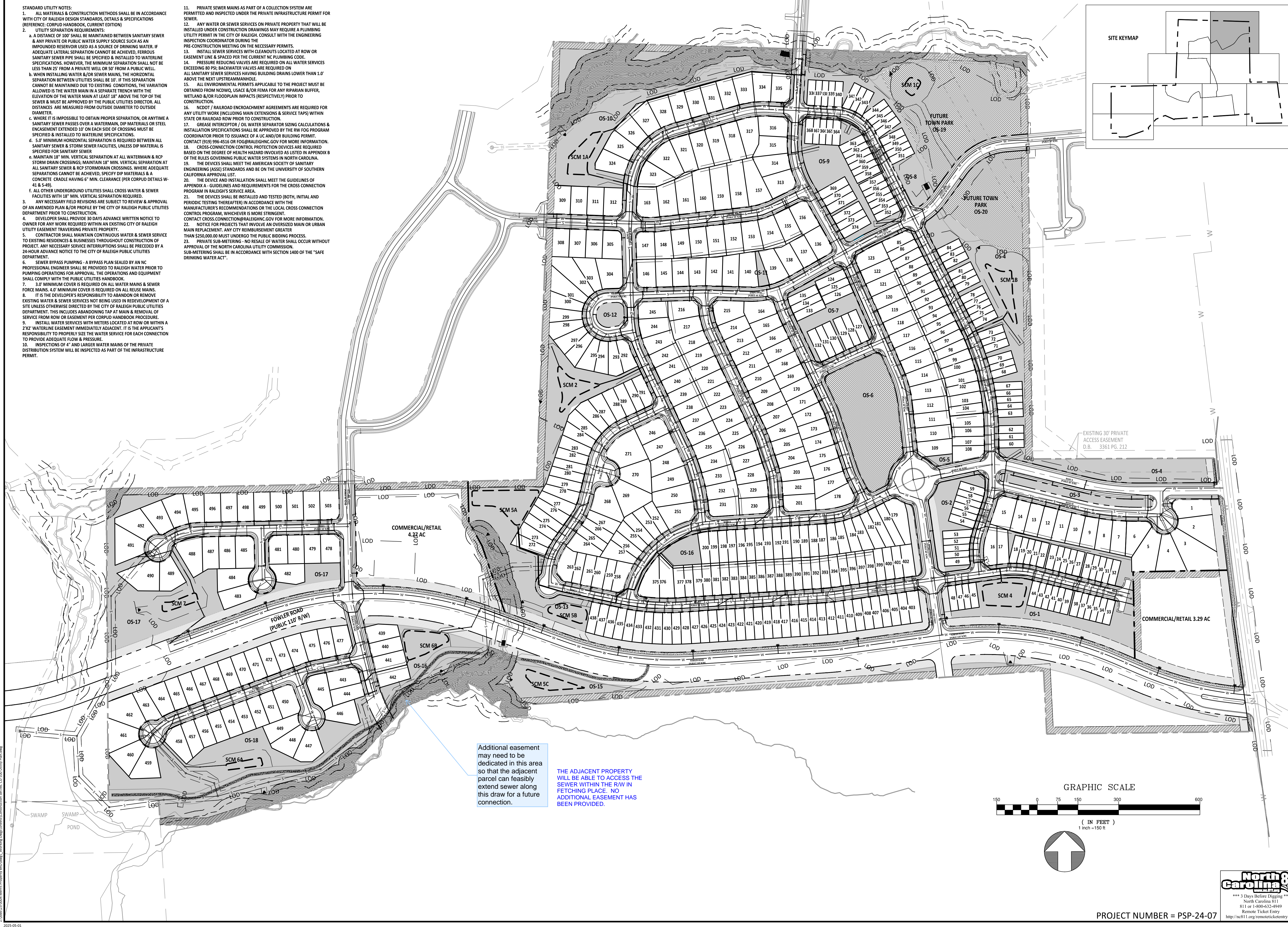
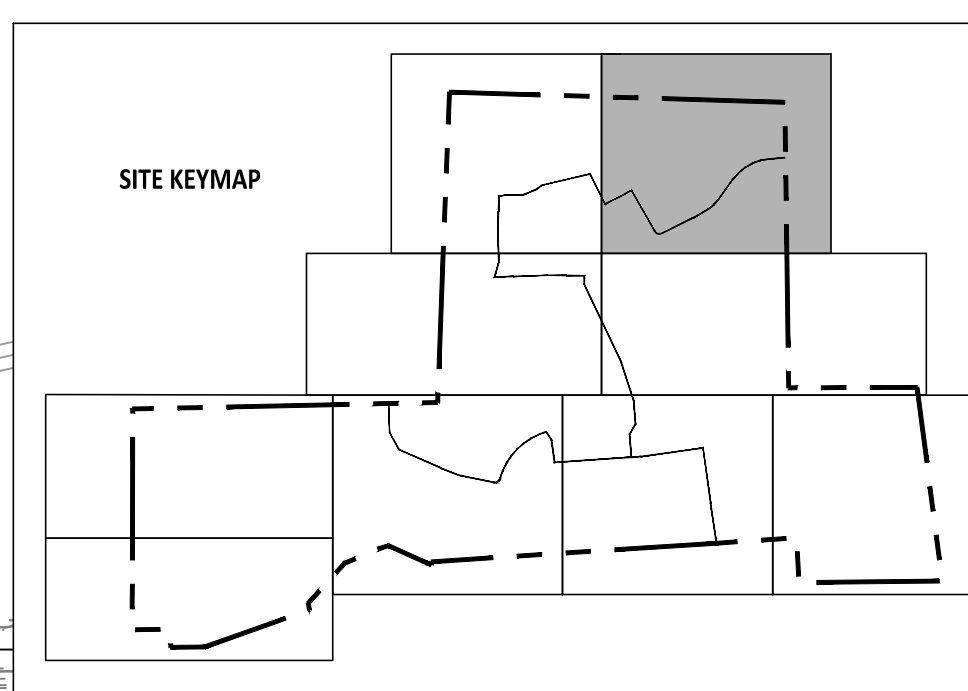
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:**
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPROTECTED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR 5' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO CONSTRAINTS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
- PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER.
- ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
- INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MAINLINE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWRQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION CONTROL PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- PRIVATE SUB-METERING - NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".

NO.	DATE	REVISION

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

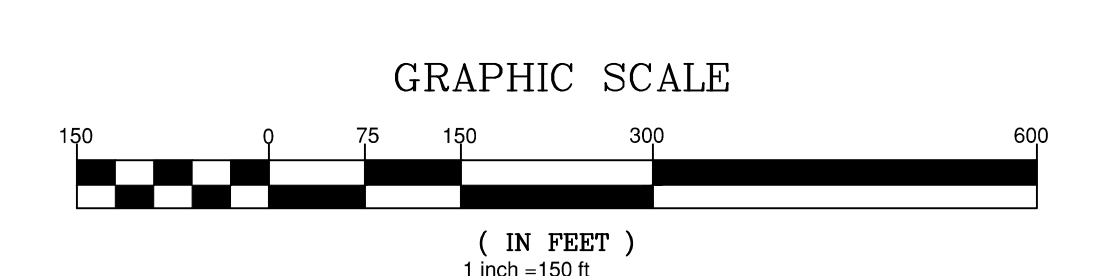
MERRITT RESERVE
UTILITY PLAN OVERALL
 ROLESVILLE RD
 WAKE COUNTY NC 27312

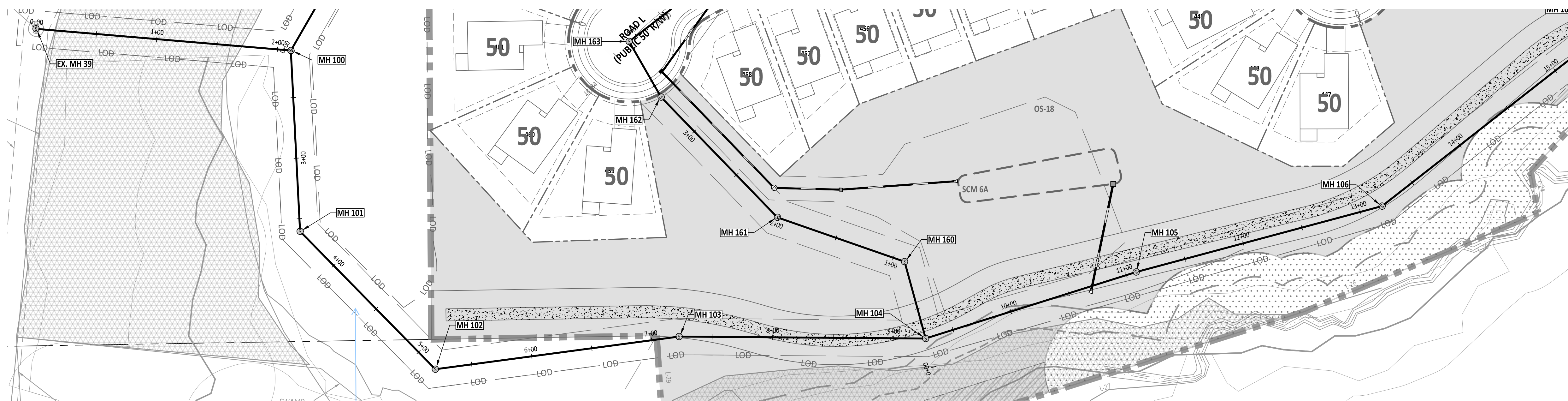
JOB NUMBER: 23-0004
 CHECKED BY: BH
 DRAWN BY: DH/RC/SM/GE/MA/LL/JB
 DATE: 05/01/2025
 SHEET TITLE:
UTILITY PLAN OVERALL
 SHEET NO.:
CU-100



Additional easement may need to be dedicated in this area so that the adjacent parcel can feasibly extend sewer along this draw for a future connection.

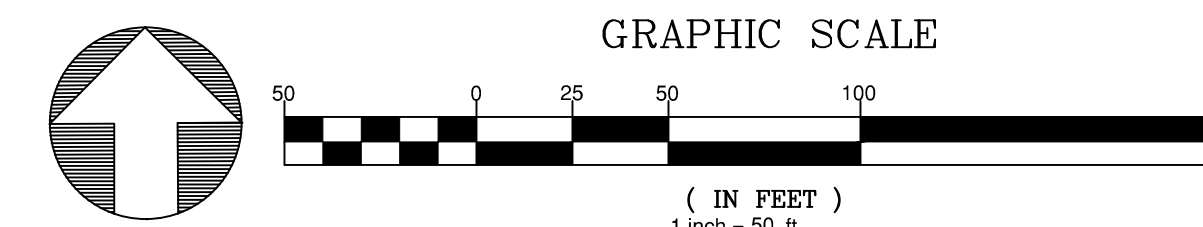
THE ADJACENT PROPERTY WILL BE ABLE TO ACCESS THE SEWER WITHIN THE R/W IN FETCHING PLACE. NO ADDITIONAL EASEMENT HAS BEEN PROVIDED.



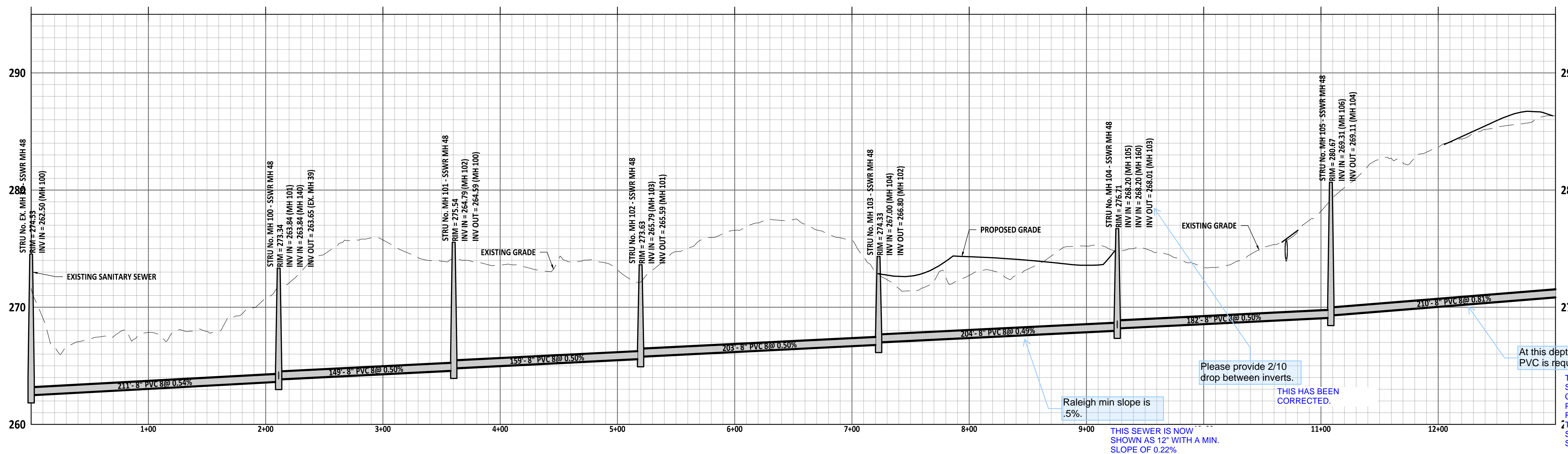


These offsite easements must be recorded prior to CD approval.

NOTED.



EX. MH# 39 TO MH# 105



Raleigh min slope is .5%

Please provide 2/10 drop between inverts.

THIS HAS BEEN CORRECTED.

At this depth SDR 26 PVC is required.

THIS WILL BE CORRECTED SEPARATELY. WE ARE CURRENTLY GOING THROUGH POSSIBLE LAYOUT CHANGES TO REDUCE COST OF THE PROJECT. THE MATERIAL AND MANHOLE SIZES WILL BE UPDATED WHEN SEWER DESIGN IS FINALIZED.

NO.	DATE	REVISION:

STIPULATION FOR REUSE
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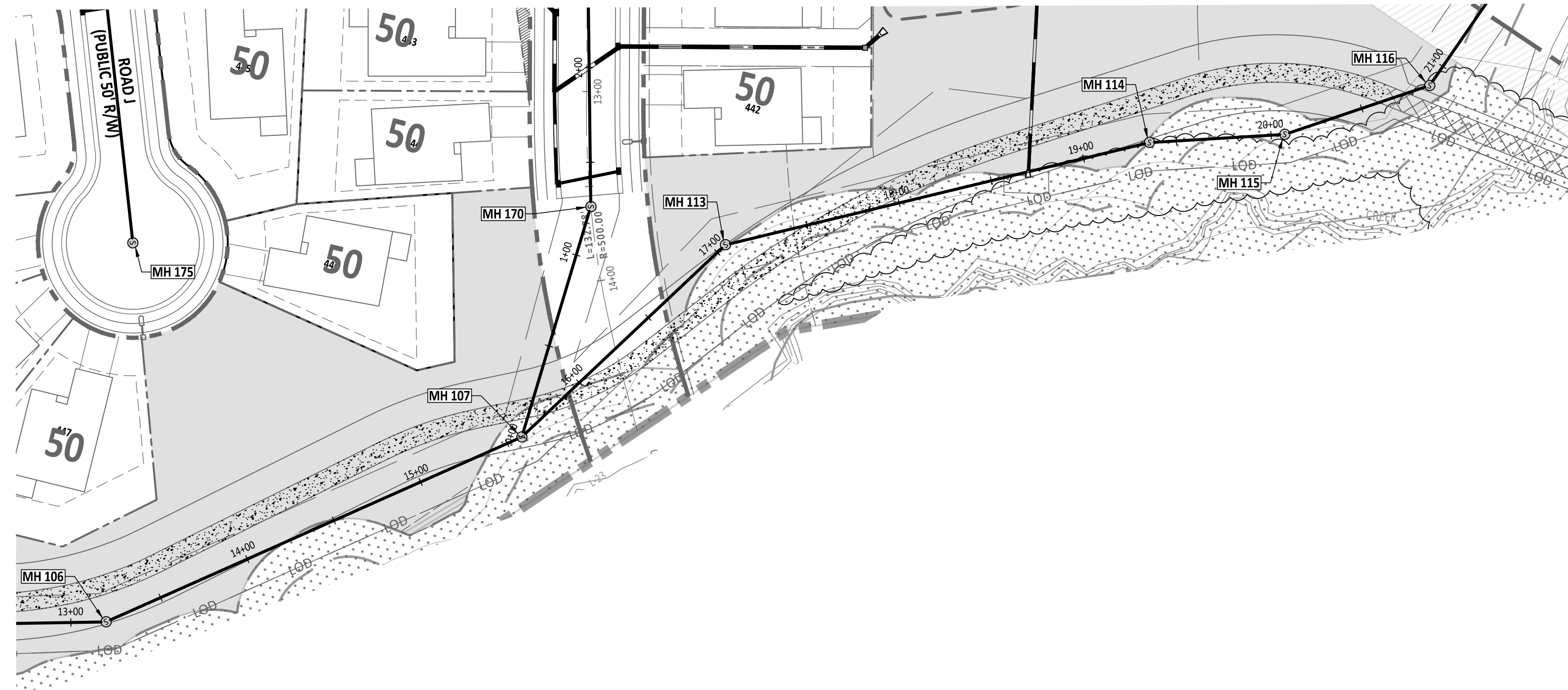
MERRITT RESERVE
CU-200 PLAN & PROFILE
 ROLESVILLE RD
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004
 CHECKED BY: BH
 DRAWN BY: DH/RC/SM/GE/MA/LLJ/B
 DATE: 04/14/2025
 SHEET TITLE:

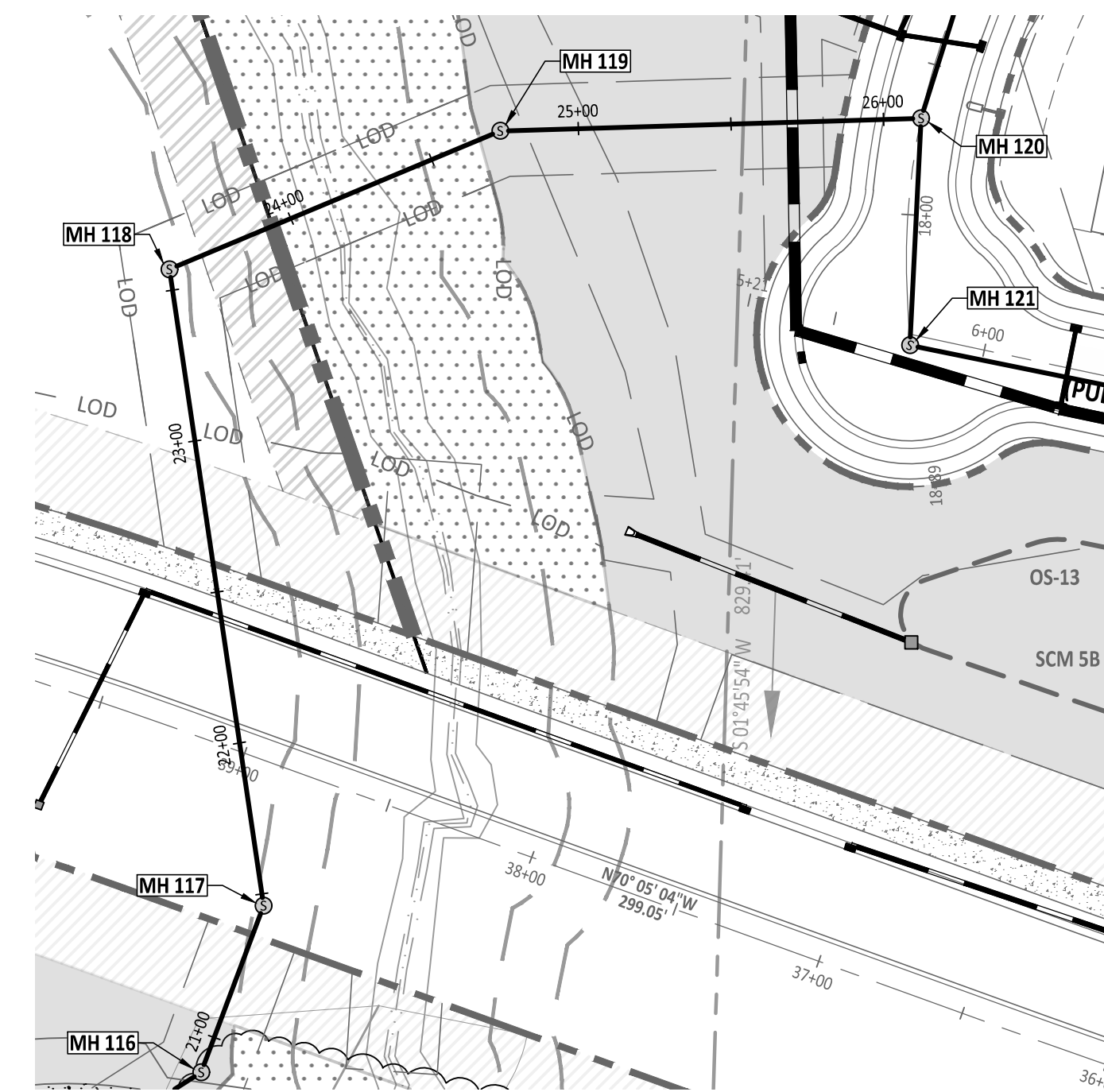
CU-200 PLAN & PROFILE

SHEET NO.: ---

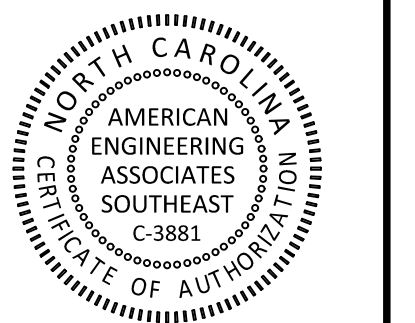
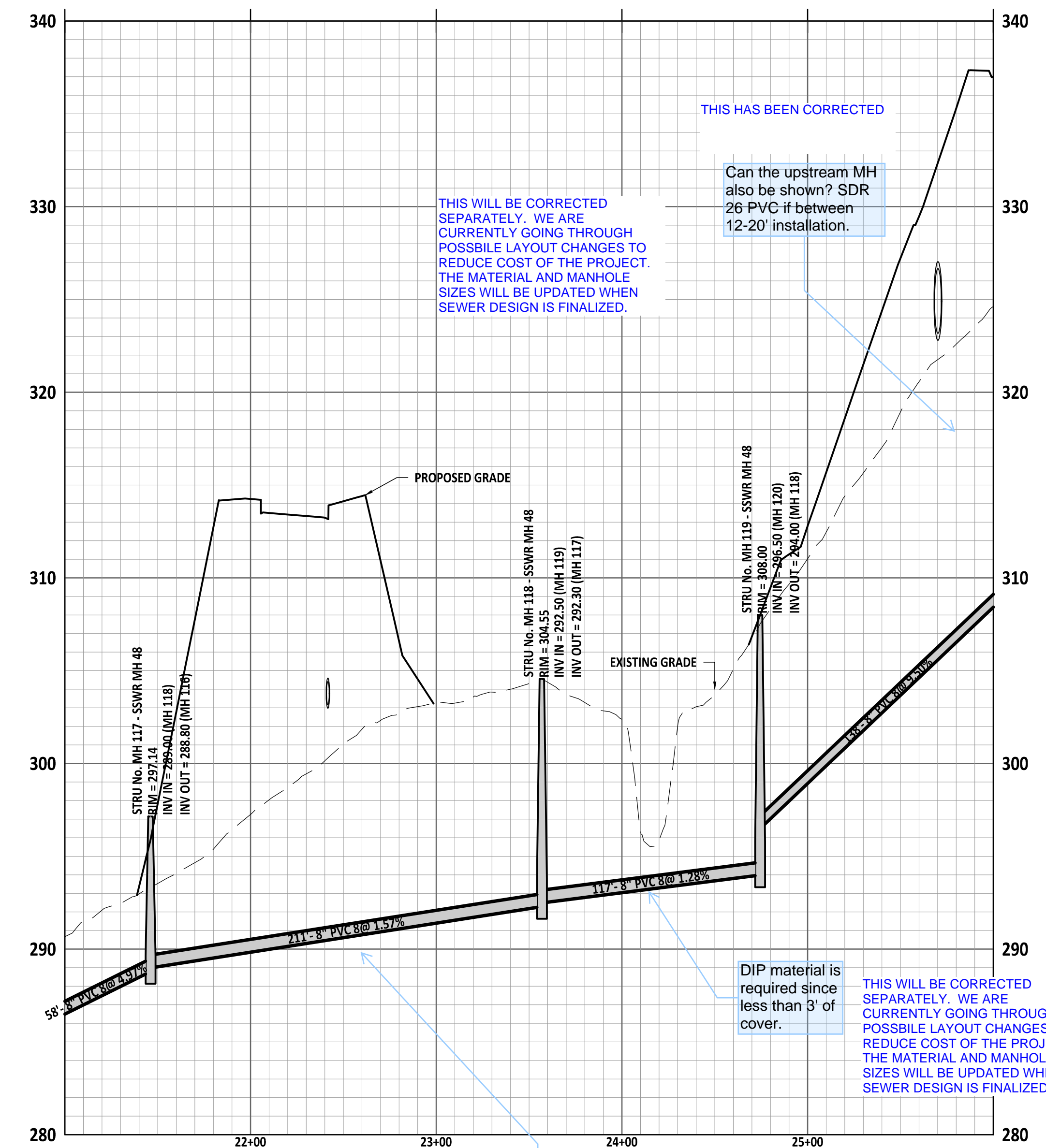
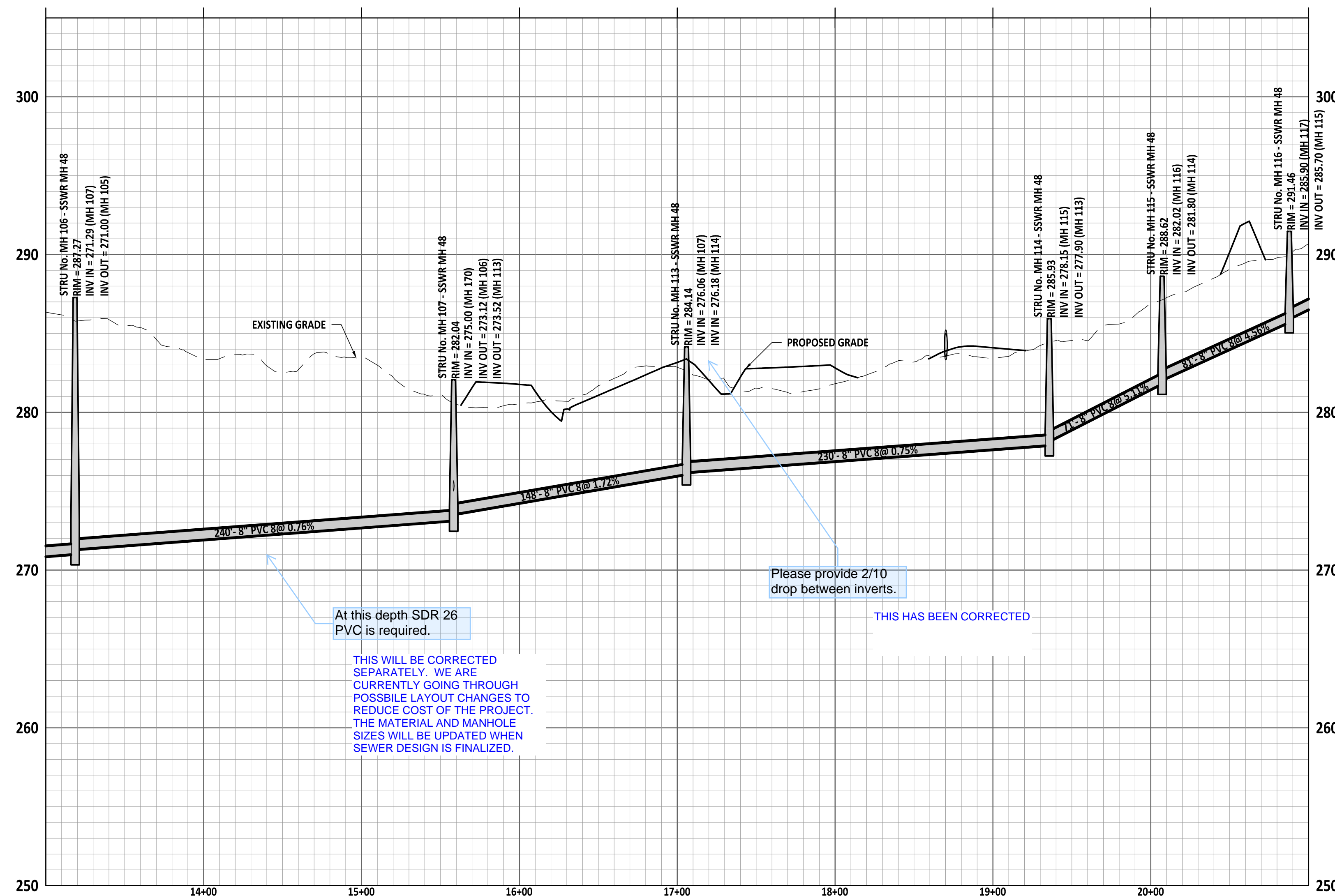
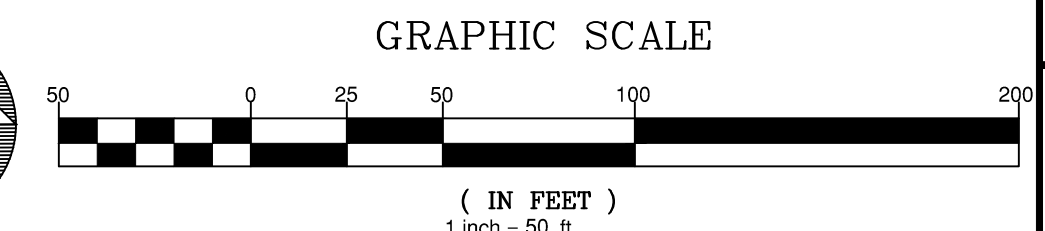
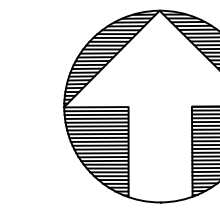




MH# 106 TO MH# 116



MH# 117 TO MH# 119



PRELIMINARY
PRELIMINARY
 NOT FOR USE FOR
 CONSTRUCTION
 FOR INFORMATION ONLY

NO.	DATE	REVISION:

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MERRITT RESERVE
CU-201 PLAN & PROFILE
 ROLESVILLE RD
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004
 CHECKED BY: BH
 DRAWN BY: DH/RC/SM/GE/MA/LL/JB
 DATE: 04/14/2025
 SHEET TITLE:

CU-201 PLAN & PROFILE

SHEET NO.: ---

THIS WILL BE CORRECTED SEPARATELY. WE ARE CURRENTLY GOING THROUGH POSSIBLE LAYOUT CHANGES TO REDUCE COST OF THE PROJECT. THE MATERIAL AND MANHOLE SIZES WILL BE UPDATED WHEN SEWER DESIGN IS FINALIZED.

Must be DIP material at this depth. In fact, this main should also be installed within a casing at this depth for future maintenance.

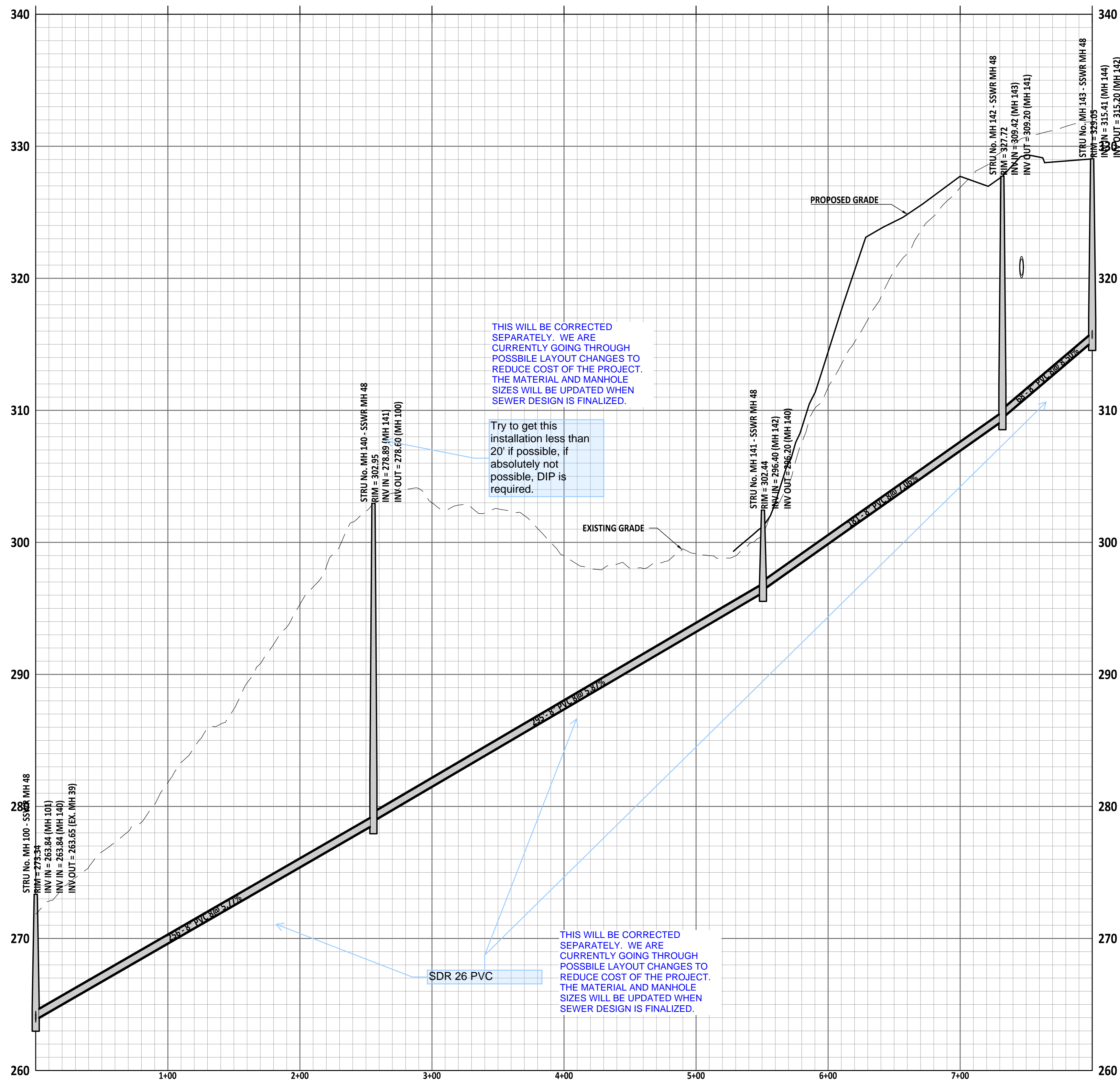
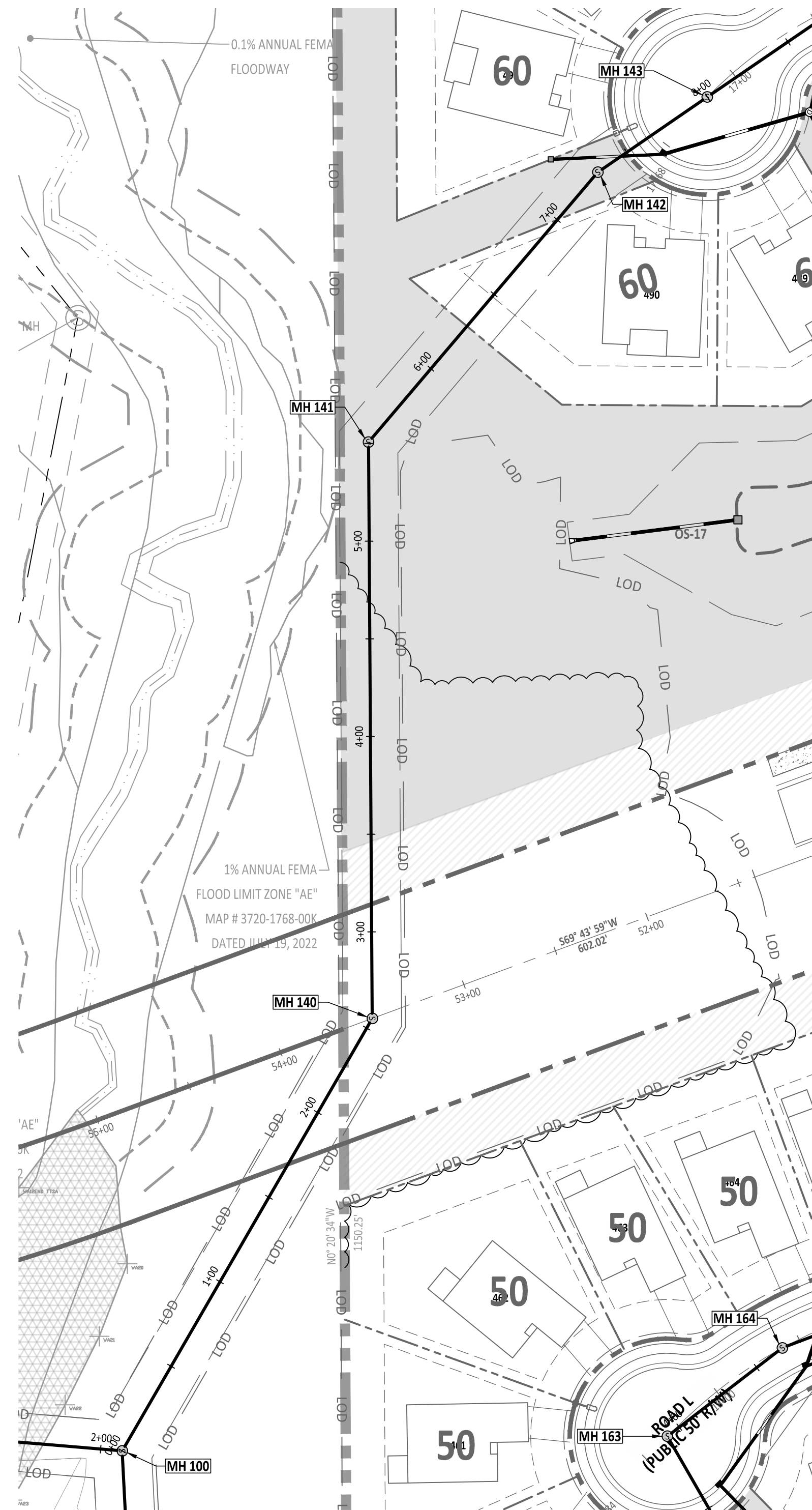
PROJECT NUMBER = PSP-24-07



Please call out all MH dia. If more than 12' installation depth, MHs must be 5' dia. If greater than 20' MHs must be 6' dia.

THIS WILL BE CORRECTED SEPARATELY. WE ARE CURRENTLY GOING THROUGH POSSIBLE LAYOUT CHANGES TO REDUCE COST OF THE PROJECT. THE MATERIAL AND MANHOLE SIZES WILL BE UPDATED WHEN SEWER DESIGN IS FINALIZED.

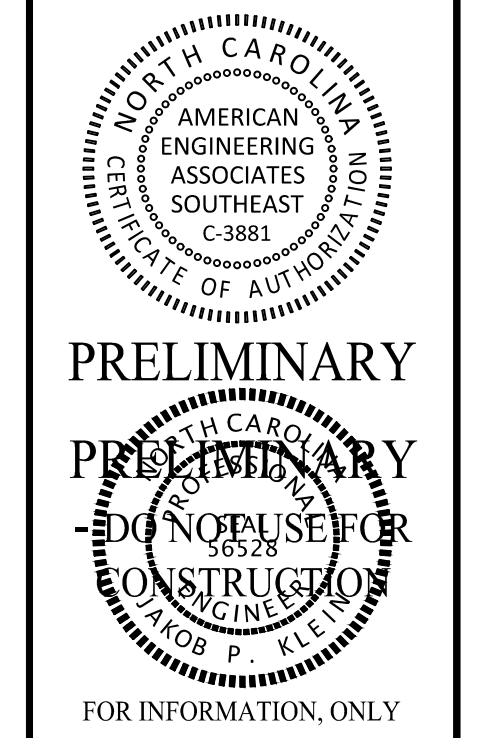
MH# 100 TO MH# 143



THIS WILL BE CORRECTED SEPARATELY. WE ARE CURRENTLY GOING THROUGH POSSIBLE LAYOUT CHANGES TO REDUCE COST OF THE PROJECT. THE MATERIAL AND MANHOLE SIZES WILL BE UPDATED WHEN SEWER DESIGN IS FINALIZED.

Try to get this installation less than 20' if possible, if absolutely not possible, DIP is required.

THIS WILL BE CORRECTED SEPARATELY. WE ARE CURRENTLY GOING THROUGH POSSIBLE LAYOUT CHANGES TO REDUCE COST OF THE PROJECT. THE MATERIAL AND MANHOLE SIZES WILL BE UPDATED WHEN SEWER DESIGN IS FINALIZED.



NO.	DATE	REVISION

STIPULATION FOR REUSE
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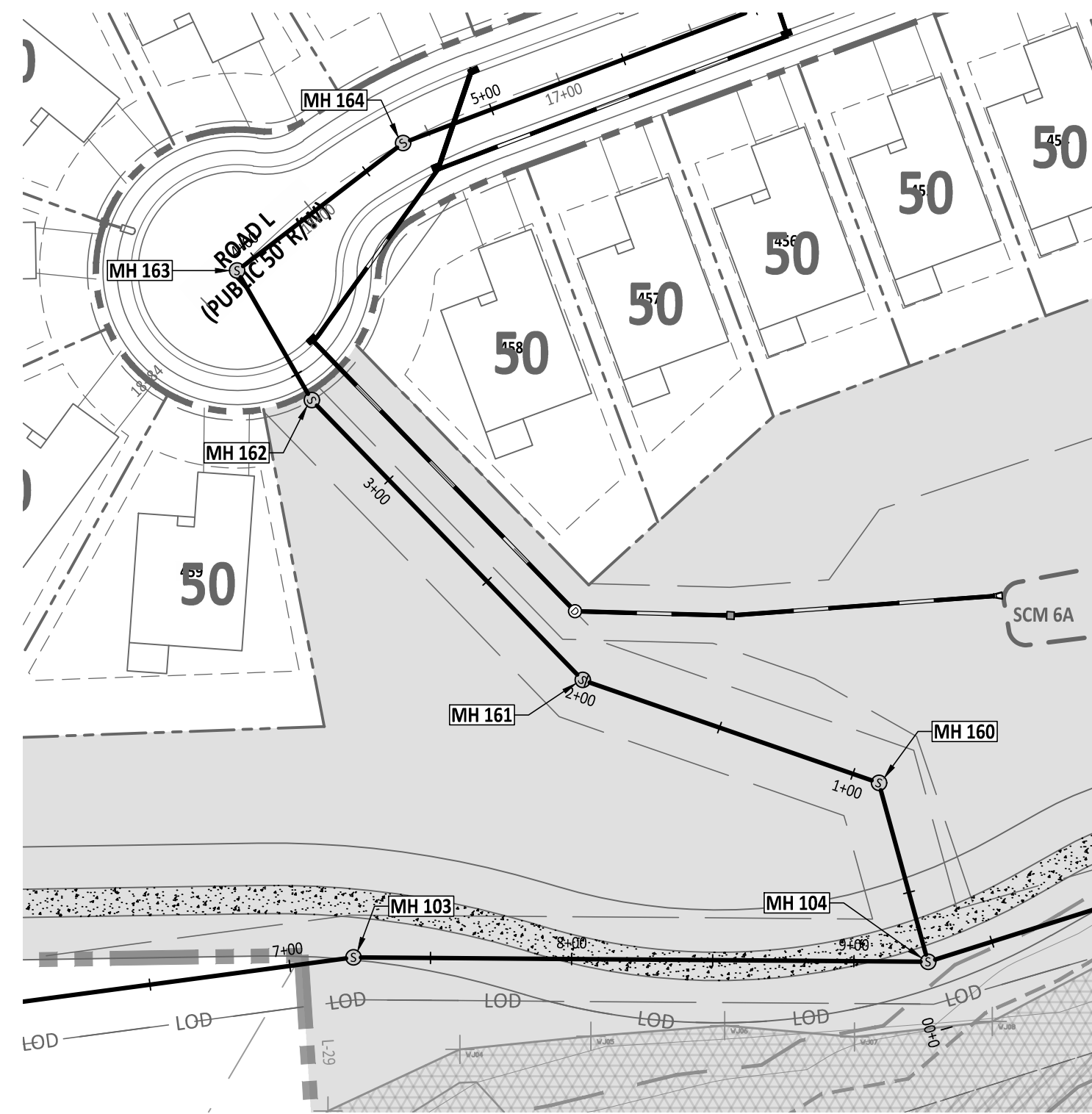
MERRITT RESERVE
CU-202 PLAN & PROFILE
 ROLESVILLE RD
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004
 CHECKED BY: BH
 DRAWN BY: DH/RC/SM/GE/MA/LL/JB
 DATE: 04/14/2025
 SHEET TITLE:
CU-202 PLAN & PROFILE
 SHEET NO.: ---

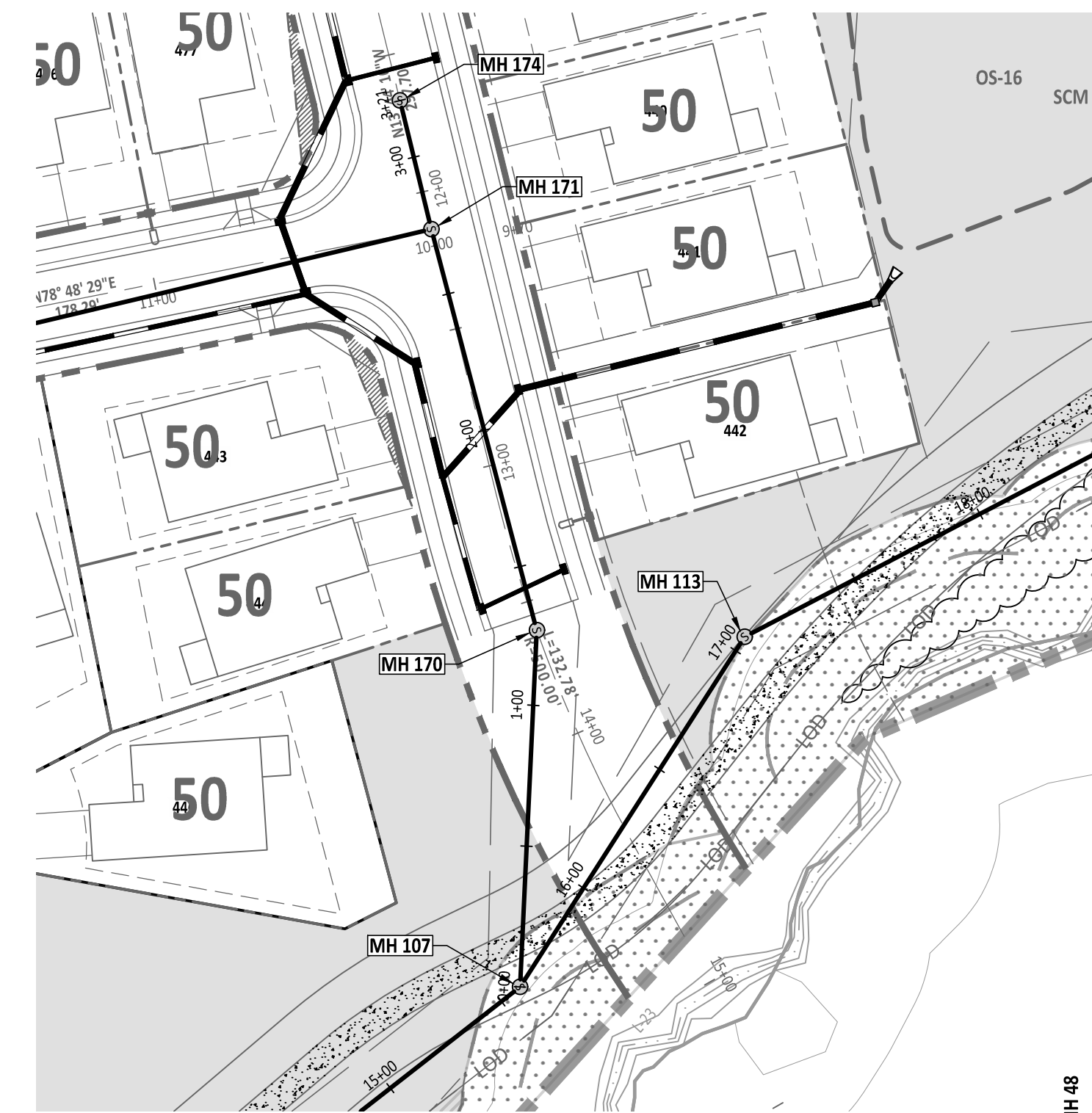


PROJECT NUMBER = PSP-24-07

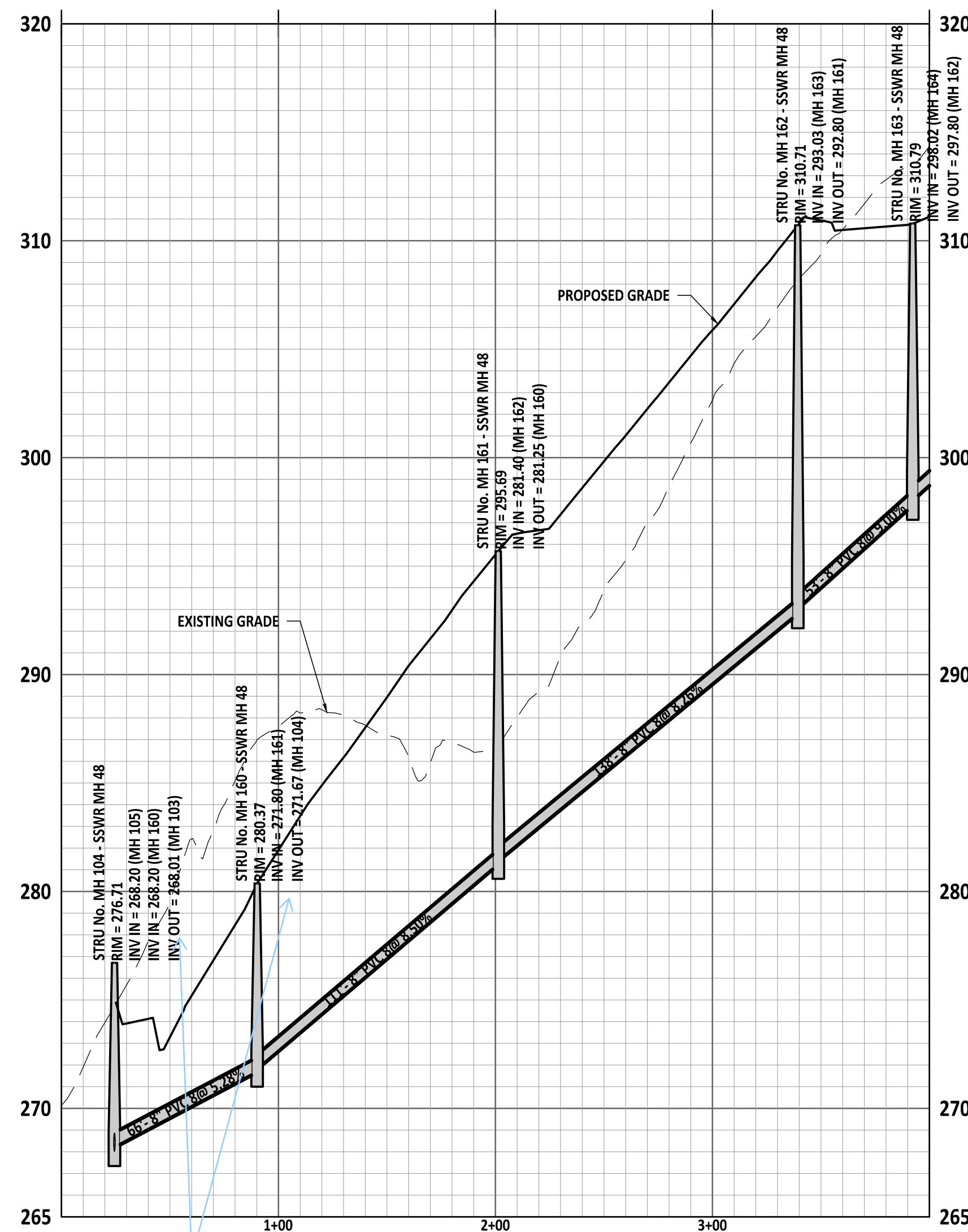
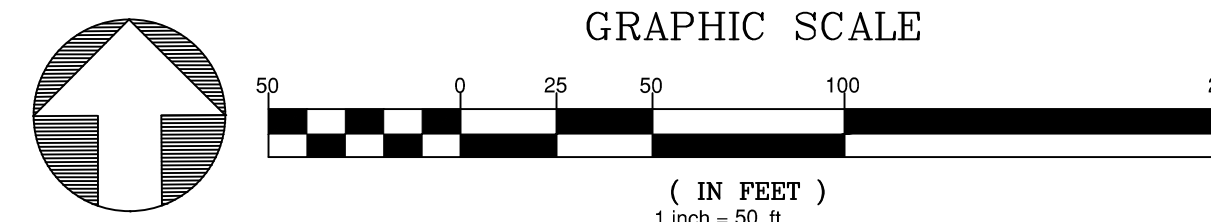
Z:\In\13.0008.Merritt Reserve\BDD\A\Working\Drawings\Construction Set\CU-202 PLAN & PROFILE.dwg 2025-04-23



MH# 104 TO MH# 163



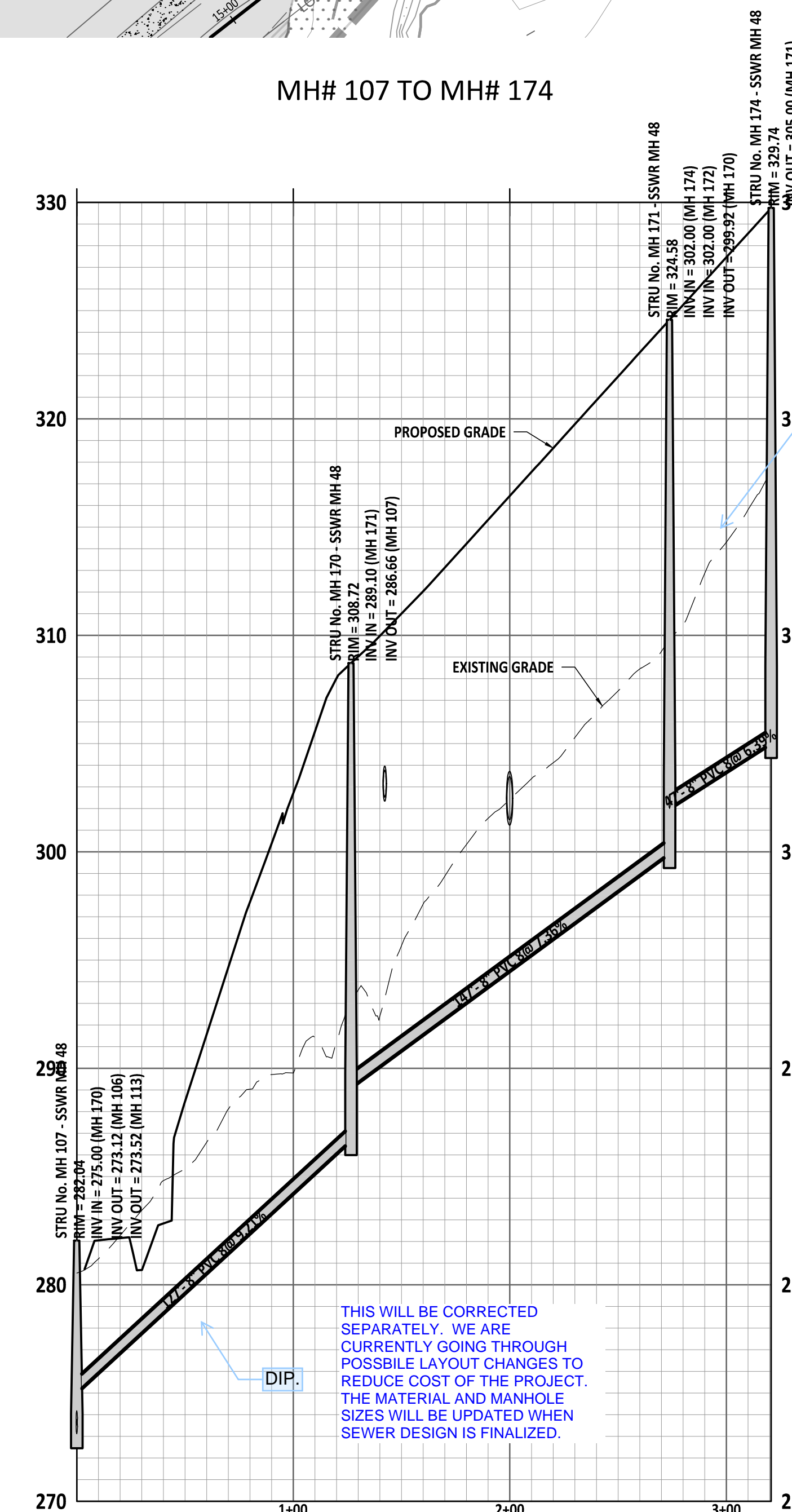
MH# 107 TO MH# 174



SDR 26 PVC if installation depth exceeds 12'.

THIS WILL BE CORRECTED SEPARATELY. WE ARE CURRENTLY GOING THROUGH POSSIBLE LAYOUT CHANGES TO REDUCE COST OF THE PROJECT. THE MATERIAL AND MANHOLE SIZES WILL BE UPDATED WHEN SEWER DESIGN IS FINALIZED.

Please provide 2/10 drop between inverts. THIS HAS BEEN CORRECTED



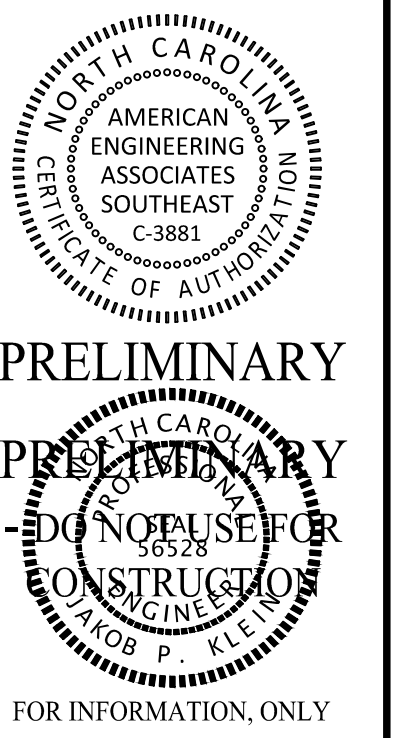
This sewer is uncomfortably deep for installation within a roadway...this will be greatly problematic for future maintenance. You'll need to demonstrate that no other design alternatives for sewer installation are feasible for Raleigh to allow this...

THIS WILL BE CORRECTED SEPARATELY. WE ARE CURRENTLY GOING THROUGH POSSIBLE LAYOUT CHANGES TO REDUCE COST OF THE PROJECT. THE MATERIAL AND MANHOLE SIZES WILL BE UPDATED WHEN SEWER DESIGN IS FINALIZED.

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PROJECT NUMBER = PSP-24-07



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MERRITT RESERVE
CU-203 PLAN & PROFILE
ROLESVILLE RD
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004
CHECKED BY: BH
DRAWN BY: DH/RC/SM/GE/MA/LL/JB
DATE: 04/14/2025
SHEET TITLE:

CU-203 PLAN & PROFILE

SHEET NO.: ---