

Comment #1 - Please add note(s) where appropriate to express that Open Space lots and SCM's will be owned and maintained by HOA.

Response: Note has been added as general note 6.

Comment #2 - Please add note(s) where appropriate to express that all proposed streets will be dedicated to Town and thus owned and maintained by Town.

Response: Note has been added as general note 7.

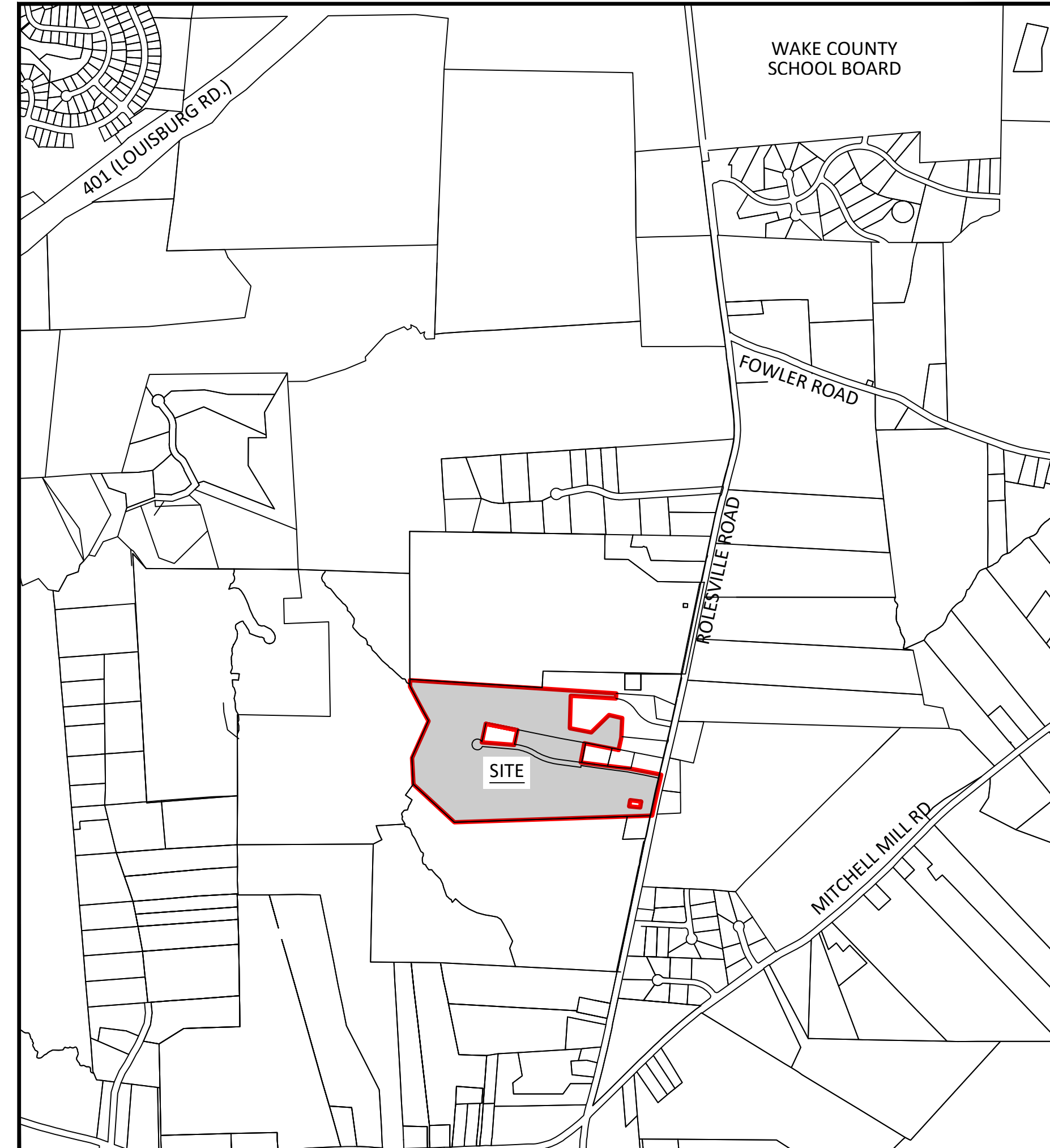
PRELIMINARY SUBDIVISION PLAT FOR THE PRESERVE AT MOODY FARM

SITUATED AT
0 ROLESVILLE ROAD AND 0
AMAZON TRAIL

WAKE COUNTY, NORTH CAROLINA

PROPERTY OWNER:	HOLLINGSWORTH, W.C., JR. AND HOLLINGSWORTH, LAURA W. P.O. BOX 61 LOUISBURG NC 27549-0061 PIN: 1767284925 AND MOODY, BENNY LAWRENCE AND MOODY, JEFFREY LYNN 1716 ROLESVILLE RD, WAKE FOREST NC 27587-9677 PIN: 1767284304
DEVELOPER:	CARUSO HOMES CONTACT: CHISTY BECK 206 HIGH HOUSE RD STE 205 CARY, NC 27513 919-678-5698
SURVEYOR:	WITHERS RAVENEL CONTACT: MATT TIMLIN 115 MACKENAN DRIVE CARY, NC 27511 919-469-3340
BUFFER/WETLAND:	WITHERS RAVENEL CONTACT: TROY BEASLEY CARY, NC 27511 919-469-3340

SHEET INDEX	
CVR	COVER SHEET
1.0	OVERALL EXISTING CONDITIONS
2.0	OVERALL SITE PLAN
2.1	PHASING PLAN
2.2	OPEN SPACE AND LAND USE PLAN
2.3	PROJECT DETAILS
2.4-2.6	SITE PLAN (50 SCALE)
3.0	OVERALL UTILITIES
3.1-3.3	UTILITY SHEETS (50 SCALE)
4.0	OVERALL DRAINAGE
4.1-4.3	DRAINAGE SHEETS (50 SCALE)
5.0	PRELIMINARY DRAINAGE AREA SCM MAP
L1	LANDSCAPE PLAN
L2	BUFFER PLAN
L3	PLANTING NOTES AND DETAILS
MA	APPROVED WITH MA 21-05 BY TOWN BOARD OF COMMISSIONERS



VICINITY MAP
SCALE: 1"=1000'

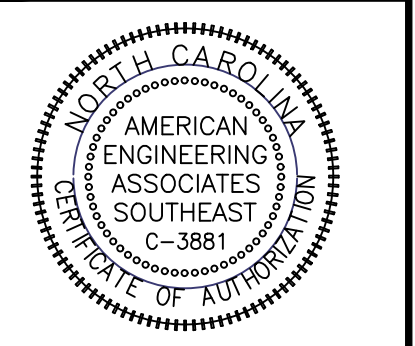
THESE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING DRAWINGS AND THE STANDARD SPECIFICATIONS OF THE CITY OF RALEIGH, WAKE COUNTY, TOWN OF ROLESVILLE AND NCDOT.

- GENERAL NOTES:
- CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.
 - ALL BOUNDARY AND FIELD TOPOGRAPHY PROVIDED BY WITHERS & RAVENEL.
 - THE ZONING ENTITLEMENTS ACHIEVED/FACILITATING THIS PRELIM PLAT IS MA 21-05, APPROVED 12-7-2021 AS TOWN BOARD AGENDA ITEM B.2 ON THE CONSENT AGENDA; IT INCLUDES 5 CONDITIONS AND A CONCEPT PLAN DRAWING.
 - PLEASE SEE "APPROVED WITH MA 21-05 BY TOWN BOARD OF COMMISSIONERS" IS NUMBER 7.0.

ZONING CONDITIONS (CASE # MA-21-05)

- PERMITTED USE LIMITED TO "DWELLING - SINGLE FAMILY."
- ALL DWELLINGS TO BE CONSTRUCTED ON RAISED FOUNDATIONS WITH CRAWLSPACES. NO ON-SLAB CONSTRUCTION.
- DEVELOPMENT TO INCORPORATE A PUBLIC GREENWAY AS SHOWN ON THE SKETCH PLAN INCORPORATING OPTION 2 TOGETHER WITH WAYFINDING SIGNAGE AND CONSTRUCTION OF A 10' OFF-SITE MULTI-USE PATH ALONG WOOLLYN PARK DRIVE, CONNECTING THIS GREENWAY TO THE PROPOSED KALAS FALLS GREENWAY.
- PRIOR TO COMPLETION OF THE ON-SITE GREENWAY, A 6' SOLID BOARD FENCE SHALL BE ERECTED ALONG THE PROPERTY BOUNDARY LINE FRONTING THE EASTERN TERMINUS OF THE GREENWAY AND BORDERING THE SHORE PROPERTY (PIN: 1767-38-1953).
- ON-SITE CONSTRUCTION SHALL NOT COMMENCE UNTIL THE KALAS FALLS ROLESVILLE ROAD WIDENING PROJECT IS COMPLETE.

NOTE:
TA 20-01 WAS ADAPTED 9-15-20, PERMITTING THE " DWELLING- SINGLE FAMILY DETACHED" USE IN THE R-3 DISTRICT, AND ESTABLISHED: MINIMUM LOT AREA OF 10,000 SF; MINIMUM LOT WIDTH 65'; FRONT YARD SETBACK OF 25'; SIDE YARD SETBACK OF 10'; CORNER YARD SETBACK OF 15'; REAR YARD SETBACK OF 25'



PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION
1	10-24-2022	TRC 1ST RESPONSES

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

THE PRESERVE
AT
MOODY FARM
ROLESVILLE ROAD
WAKE COUNTY, NC

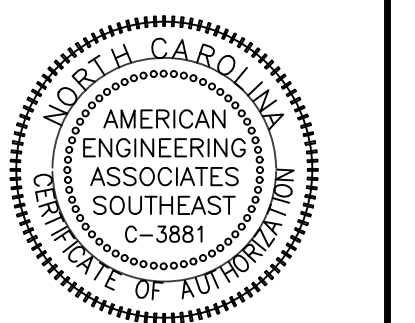
JOB NUMBER: 21-002
CHECKED BY: JRH
DRAWN BY: EDS
DATE: 01-04-2022

SHEET TITLE:

COVER

SHEET NO.:
CVR





PRELIMINARY

FOR INFORMATION, ONLY

SITE INFORMATION	
OWNER	HOLLINGSWORTH, W.C., JR. AND HOLLINGSWORTH, LAURA W. P.O. BOX 61 LOUISBURG NC 27549-0061 AND MOODY, BENNY LAWRENCE AND MOODY, JEFFREY LYNN 1716 ROLESVILLE RD, WAKE FOREST NC 27587-9677
REAL ESTATE ID	0048383 AND 0048422
PIN NUMBERS	1767284925 AND 1767284304
DEED BOOK	DB:017552 PG:02100 AND DB:014297 PG:01583
DEEDED ACREAGE	51.78 AC
EXISTING ZONING	R-3 CZ
TOTAL PROJECT ACREAGE	49.92 AC
GOVERNMENTAL USE	0.48 AC
AREA IN LOTS	24.38 AC
AREA IN ROW	6.54 AC
EXISTING ROW	0.27 AC
DEDICATED ROW	0.14 AC
TOTAL LOTS	82
MIN LOT SIZE	10,000 SF
MIN LOT WIDTH	65'
FRONT SETBACK	25'
REAR SETBACK	25'
SIDE SETBACK	10'
CORNER SETBACK	25'
DENSITY	1.6 UNIT/AC.
OPEN SPACE REQ.	10% / 5 AC.
OPEN SPACE PROVIDED	37% / 18.81 AC
ACTIVE REQUIRED	2.5 AC (50% OF 5 AC)
ACTIVE SHOWN	2.7 AC (PLAY FIELD)
LF OF PUBLIC STREETS	5,531 LF

- NOTES
- EXISTING BUILDINGS TO BE REMOVED
 - SCM'S ARE SHOWN FOR LOCATION ONLY. FINAL EROSION CONTROL PLAN WILL CALCULATE CORRECT SCM SIZES
 - SEWER ACCESS FROM ADJACENT DEVELOPMENT TO BE DETERMINED UPON FINAL LAYOUT
 - ALL EXISTING PONDS ARE TO BE REMOVED

SITE LEGEND	
	OPEN SPACE
	EXISTING WETLANDS
	10' GREENWAY TRAIL
	MAIL KIOSK
	LOT LINES
	PROPOSED ROW
	PROPOSED EOP
	PROPOSED CENTERLINE
	PROPOSED CURB OF CURB
	50' NEUSE RIPARIAN BUFFER
	BUFFER ZONE 1 AND 2
	TOP OF CREEK
	PROPOSED SCM
	PROPOSED FENCE
	SIGHT TRIANGLE

NO. DATE REVISION
1 10-24-2022 TRC LIST RESPONSES

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THE PRESERVE
AT
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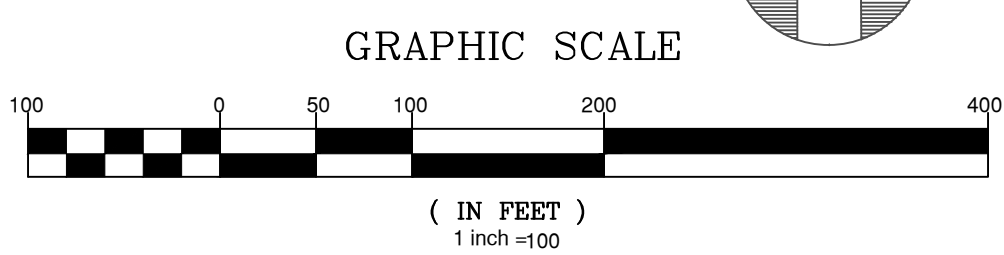
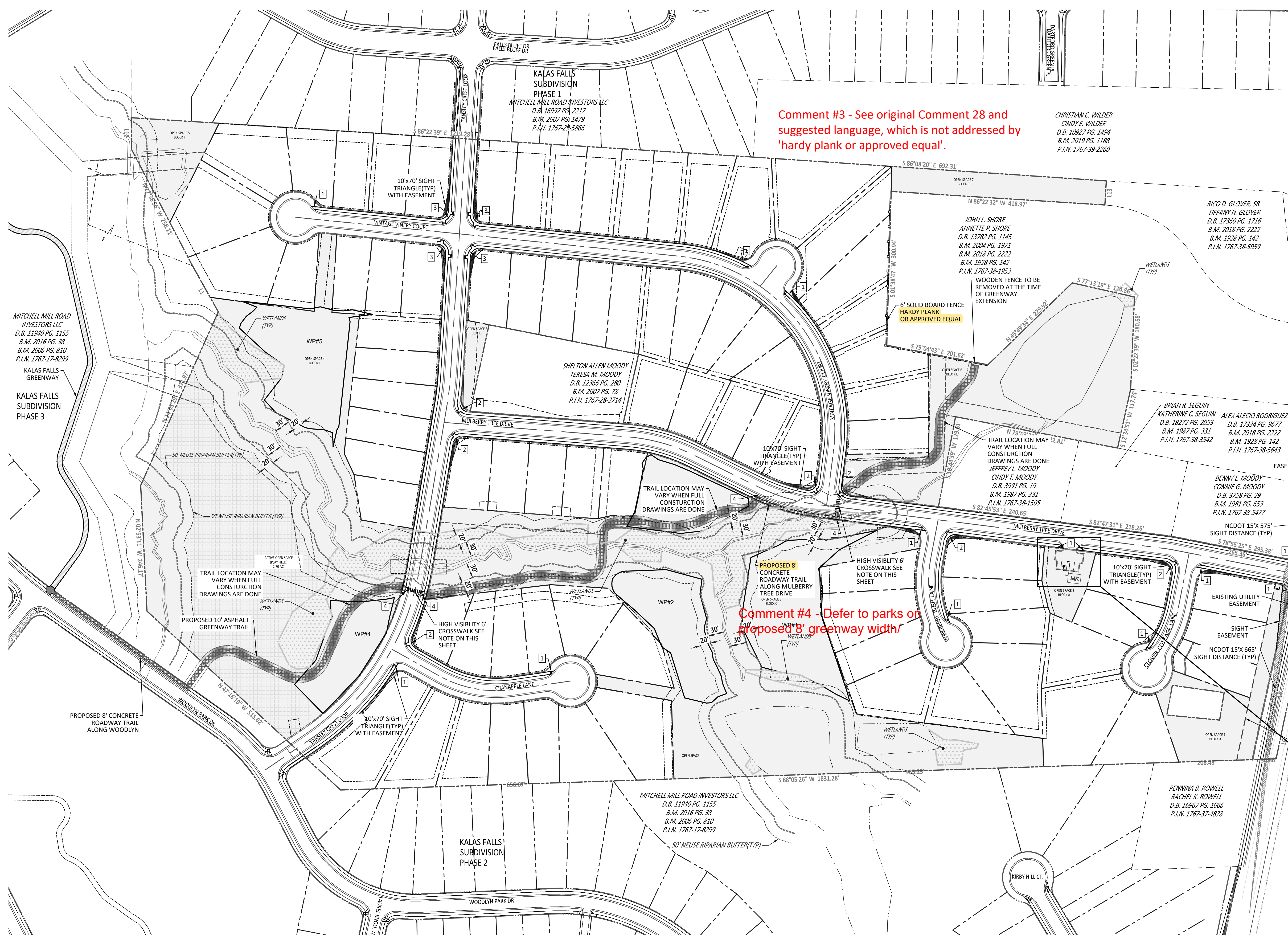
JOB NUMBER: 21-002
CHECKED BY: JRH
DRAWN BY: EDS
DATE: 01-04-2022
SHEET TITLE:

OVERALL
SITE PLAN

SHEET NO.:
2.0

Comment #3 - See original Comment 28 and suggested language, which is not addressed by 'hardy plank or approved equal'.

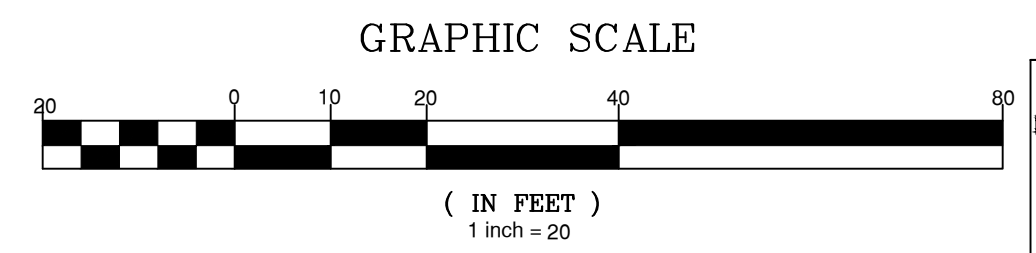
Comment #4 - Defer to parks on proposed 8' greenway width/



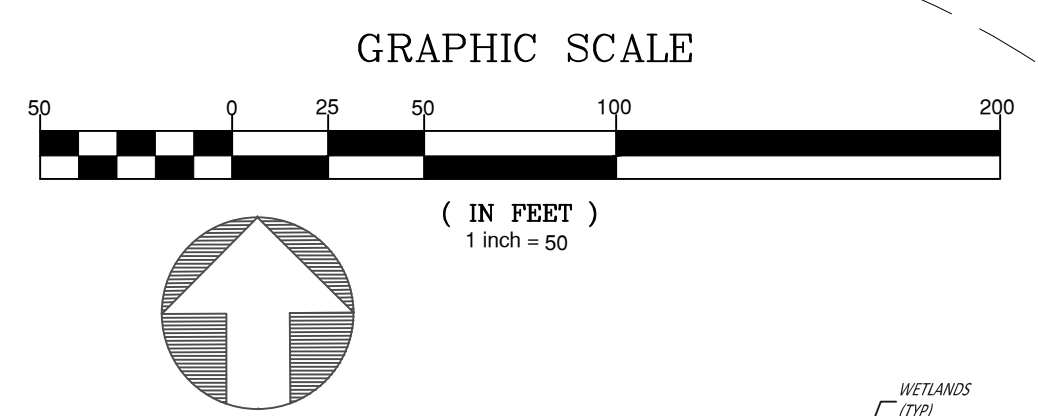
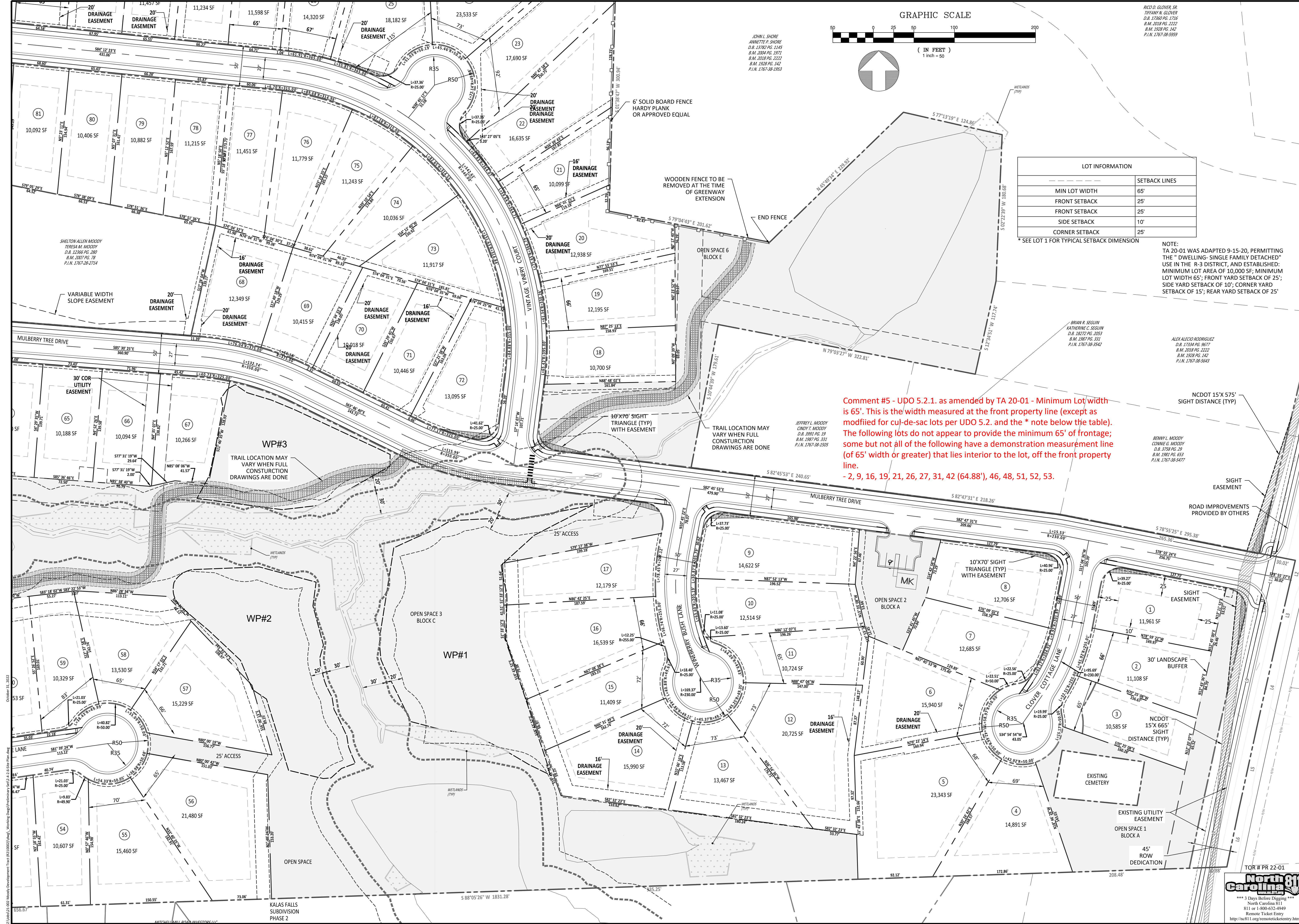
OPEN SPACE AREA	
OPEN SPACE ID	AREA
OPEN SPACE 1	27,618.61 SQ.FT / 0.63 AC
OPEN SPACE 2	10,948.31 SQ.FT / 0.25 AC
OPEN SPACE 3	307,966.02 SQ.FT / 7.07 AC
OPEN SPACE 4	308,915.69 SQ.FT / 7.09 AC
OPEN SPACE 5	19,503.67 SQ.FT / 0.45 AC
OPEN SPACE 6	103,461.21 / 2.38 AC.
OPEN SPACE 7	20,167.06 SQ.FT / 0.46 AC
OPEN SPACE 8	5,374.43 SQ.FT / 0.12 AC

- NOTE:
- STANDARD CROSSWALKS ARE TO BE 8' WHITE. W11-2 WITH W16-7P SIGNS WITH FLUORESCENT YELLOW-GREEN SHEETING. SEE 2.3 FOR HI-VISIBILITY CROSSWALK DETAIL.
 - GREENWAY TRAIL IS TO BE DESIGNED USING CONCRETE ALONG THE ROADWAYS AND ASPHALT ALONG ALL OTHER LOCATIONS

- CURB RAMP TYPE 1 MODIFIED
- CURB RAMP TYPE 3 MODIFIED INSTALLATION IN A RADIUS
- CURB RAMP TYPE 5A
- CURB RAMP TYPE 3



TOR # PR 22-01
North Carolina 811
*** 3 Days Before Digging ***
North Carolina 811
811 or 1-800-632-4949
Remote Ticket Entry
<http://nc811.org/remoteticketentry.htm>

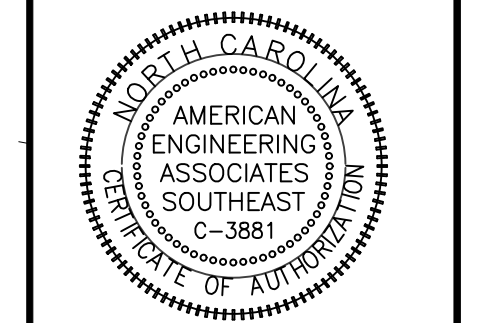


LOT INFORMATION	
MIN LOT WIDTH	65'
FRONT SETBACK	25'
FRONT SETBACK	25'
SIDE SETBACK	10'
CORNER SETBACK	25'

* SEE LOT 1 FOR TYPICAL SETBACK DIMENSION

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Comment #5 - UDO 5.2.1. as amended by TA 20-01 - Minimum Lot width is 65'. This is the width measured at the front property line (except as modified for cul-de-sac lots per UDO 5.2. and the * note below the table). The following lots do not appear to provide the minimum 65' of frontage; some but not all of the following have a demonstration measurement line (of 65' width or greater) that lies interior to the lot, off the front property line.
- 2, 9, 16, 19, 21, 26, 27, 31, 42 (64.88'), 46, 48, 51, 52, 53.



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THE PRESERVE AT MOODY FARM
ROLESVILLE ROAD
WAKE COUNTY, NC

JOB NUMBER:	21-002
CHECKED BY:	JRH
DRAWN BY:	EDS
DATE:	01-04-2022
SHEET TITLE:	SITE PLAN (50 SCALE)
SHEET NO.:	2.4

