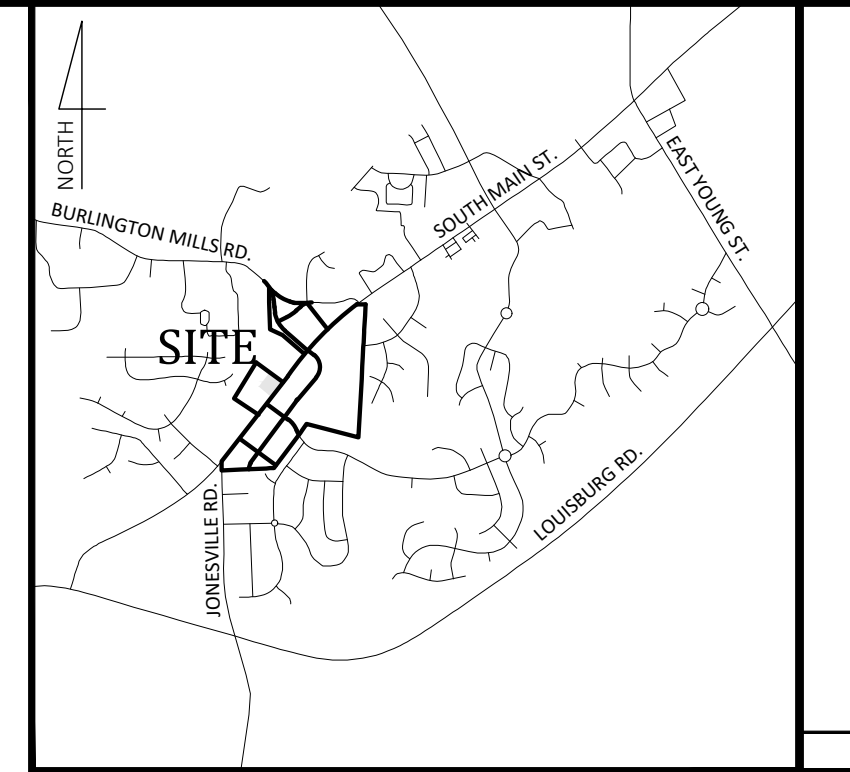


7ELEVEN AT WALLBROOK (LOT 11)

SITE DEVELOPMENT PLAN - SDP 23-04

US-401 Business / S. Main Street ~ Town of Rolesville ~ Wake County ~ North Carolina



- Final Drawing - Issued for Permit Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
2	11-JUNE-23	REVISED PER TOR REVIEW COMMENTS
1	11-MAY-23	ISSUED FOR PERMIT REVIEW

V3-SDP-23-04

V2 - SDP-23-04

Engineer
Ark Consulting Group, PLLC
2755 Charles Blvd - Suite B
Greenville, NC 27858
(252) 558-0888
Contact: Bryan Fagundus, PE
bryan@arkconsultinggroup.com

Developer
Wallbrook CStore, LLC
801 East Blvd.
Charlotte, NC 28203
(704) 561-5200
Contact: Nick Carroll
ncarroll@csere.com

Owner
Wallbrook Landco, LLC
3 Keel St, Ste 2
Wrightsville Beach, NC 28480
(704) 621-6430
Contact: Austin Williams
awilliams@csere.com

Parking Requirements:

PARKING REQUIRED: RETAIL SALES AND SERVICES

BICYCLE PARKING: 1 / 5000 SF = 4730 / 5000	1 SPACE
MINIMUM: 2.5 / 1000 SF = 4730 / 1000 * 2.5	12 SPACES
MAXIMUM: 7.5 / 1000 SF = 4730 / 1000 * 7.5	36 SPACES

TOTAL REQUIRED PARKING: 12 SPACES

REQUIRED HANDICAP PARKING: 1 SPACES

PARKING PROVIDED: 33 SPACES (INCL. 2 H/C)
4 BICYCLE PARKS

General Notes:

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- THIS PROPERTY IS LOCATED WITHIN ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM) 3720175800K, EFFECTIVE DATE JULY 19, 2022.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES.
- THIS PROJECT DISTURBS MORE THAN 1/2 ACRE FOR PURPOSES OF A COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE. EROSION & SEDIMENTATION CONTROL PLAN APPROVAL IS REQUIRED.
- NCDOT DRIVEWAY PERMIT APPROVAL IS COMPLETED FOR THIS PROJECT. REFERENCE NCDOT PERMIT NUMBER D051-092-22-00049.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE FOR COMMERCIAL DEVELOPMENT.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- SITE SHALL MEET ALL RELATED ACCESSIBILITY CODE REQUIREMENTS.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED ALTA/NSPS LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC DATED 3/28/2020, AND ATTACHED TO THIS DRAWING SET FOR REFERENCE.
- UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM MAPS ON RECORD. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.
- REFER TO "WALLBROOK PRELIMINARY PLAN" PR 21-04 REV FOR OPEN SPACE CALCULATIONS AND REQUIREMENTS FOR THE WALLBROOK DEVELOPMENT

Site Data

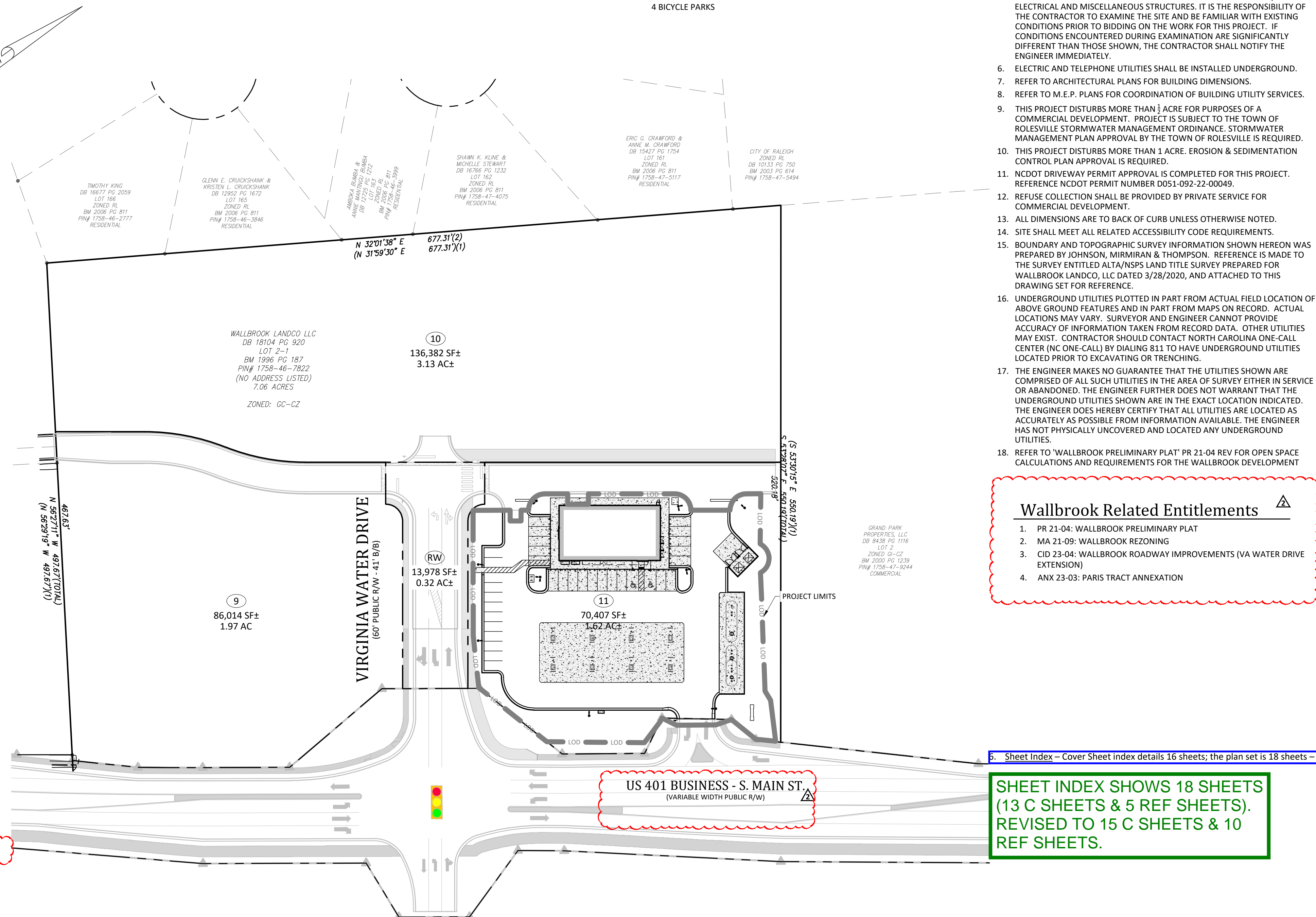
WAKE COUNTY PIN:	1758-46-7822
REAL ESTATE ID:	224130
CURRENT ZONING:	GC-CZ
TOTAL ACREAGE IN SITE:	1.62 AC
TOTAL ACREAGE IN PROJECT LIMITS:	1.31 AC
DISTURBED ACREAGE:	1.31 AC
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE:	NON-RESIDENTIAL / FUEL SALES / RETAIL
BUILDING FLOOR AREA:	4730 SF
BUILDING LOT COVERAGE:	0% EXIST., 6.72% PROPOSED
BUILDING HEIGHT:	21'5" (1 STORY)
TOTAL NUMBER OF PARKING SPACES REQUIRED:	12 SPACES (INCL. 1 H/C) + 1 BICYCLE SPACE
TOTAL NUMBER OF PROPOSED PARKING SPACES:	33 SPACES (INCL. 2 H/C) + 4 BICYCLE SPACES
TOTAL SQ. FEET OF EXIST. IMPERVIOUS AREA:	0 SF
TOTAL SQ. FEET OF PROP. IMPERVIOUS AREA:	51,557 SF (73.10%)
DEVELOPMENT STANDARDS:	LDO
REFERENCES:	D.B. 12634, PG. 2473 M.B. 1996, PG. 187 ###S. MAIN STREET
ADDRESS:	

Vicinity Map
NOT TO SCALE



Legend

- | EXISTING | PROPOSED |
|---------------------------------|----------|
| ● FOUND MONUMENT AS NOTED | |
| ○ SET IRON PIN | |
| △ NCGS MONUMENT | |
| * DIMENSION POINT (NOTHING SET) | |
| ■ PROPERTY LINE | |
| R/W RIGHT OF WAY | |
| C&G CURB AND GUTTER | |
| CAV CABLE TV PEDESTAL | |
| DI DROP INLET | |
| ELEC ELECTRIC BOX | |
| EM ELECTRIC METER | |
| F/O FIBER OPTIC | |
| FH FIRE HYDRANT | |
| GV GAS VALVE | |
| HB HAND BOX | |
| LP LIGHT POLE | |
| PP POWER POLE | |
| W GUY WIRE | |
| RCP REINFORCED CONCRETE PIPE | |
| S.F. SQUARE FEET (AREA) | |
| SIGN | |
| TRAFFIC SIGNAL POLE | |
| SANITARY SEWER MANHOLE | |
| SANITARY SEWER FORCE MAIN VALVE | |
| STORM DRAIN MANHOLE | |
| STORM DRAIN CATCH BASIN | |
| TELEPHONE PEDESTAL | |
| TRAFFIC BOX | |
| WATER BOX | |
| WM WATER METER | |
| WMH WATER MANHOLE | |
| WV WATER VALVE | |
| WELL | |
| PEDESTRIAN X-WALK POLE | |
| ELECTRIC LINE | |
| SANITARY SEWER FORCE MAIN | |
| FIBER OPTIC LINE | |
| GAS LINE | |
| OVERHEAD ELECTRIC LINE | |
| SANITARY SEWER LINE | |
| TELEPHONE LINE | |
| CABLE TV LINE | |
| WATER LINE | |
| FIRE LINE | |
| 8" WATER LINE | |
| 12" WATER LINE | |
| SPILL CURB | |
| FENCE | |
| RIPARIAN BUFFER | |
| TREELINE | |
| MAJOR CONTOUR (5') | |
| MINOR CONTOUR (1') | |
| TREE PROTECTION FENCE | |
| SILT FENCE | |
| CONCRETE SIDEWALK | |
| ACCESS AND UTILITY EASEMENT | |
| TREE PRESERVATION AREA | |
| OPEN SPACE AREA | |
| TOD DRAINAGE AREA | |
| SKIMMER BASIN DRAINAGE AREA | |



Wallbrook Related Entitlements

- PR 21-04: WALLBROOK PRELIMINARY PLAN
- MA 21-09: WALLBROOK REZONING
- CID 23-04: WALLBROOK ROADWAY IMPROVEMENTS (VA WATER DRIVE EXTENSION)
- ANX 23-03: PARIS TRACT ANNEXATION

SHEET INDEX SHOWS 18 SHEETS (13 C SHEETS & 5 REF SHEETS). REVISED TO 15 C SHEETS & 10 REF SHEETS.

SHEET INDEX

#	TITLE
C0.1	COVER - OVERALL SITE PLAN
C1.0	EROSION CONTROL PLAN - Ph. 1
C1.1	EROSION CONTROL PLAN - Ph. 2
C1.2	EROSION CONTROL NOTES
C1.3	EROSION CONTROL DETAILS
C2.0	SITE PLAN
C3.0	UTILITY PLAN
C4.0	GRADING PLAN
C5.0	REQUIRED VEGETATION PLAN
C6.0	DETAILS
C6.1	DETAILS
C6.2	DETAILS
C6.3	DETAILS
REF	SURVEY - JOHNSON, MIRMIRAN, & THOMPSON (1 SHEET)
REF	ARCHITECTURAL BUILDING ELEVATIONS - BUFSTUDIO (3 SHEETS)
REF	SITE LIGHTING PLAN - BUFSTUDIO (1 SHEET)

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S-

STORMWATER MGMT. S-

FLOOD STUDY S-

DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE _____

COVER - OVERALL SITE PLAN

7ELEVEN AT WALLBROOK (LOT 11)

Town of Rolesville Project No. SDP 23-04

US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PI 139

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS

2755-B Charles Blvd
Greenville, NC 27858
(252) 558-0888
www.arkconsultinggroup.com

Final Drawing
11-MAY-23
6/1/2023



APPROVED FOR COMPLIANCE

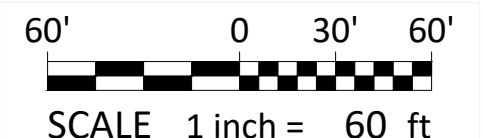
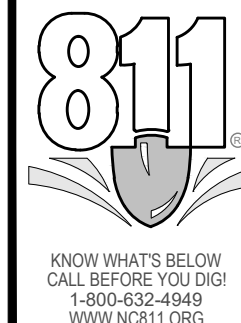
Case # _____ Project _____
By: _____ Date _____

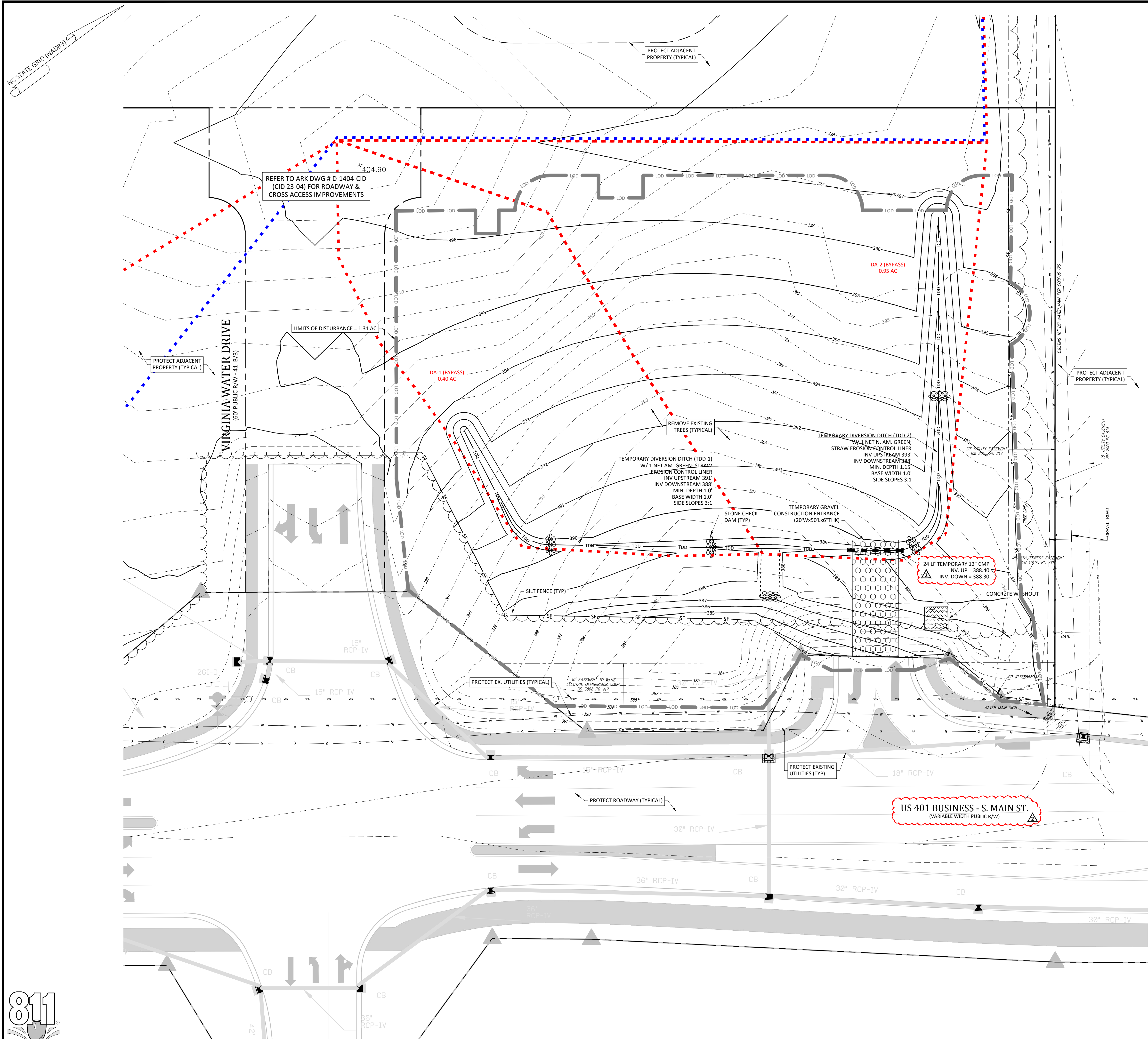
These plans have been approved for compliance with the Town Code of Ordinance, LDO, and Standard Specifications and Construction Details, subject to statements & conditions hereby incorporated by reference.

Project Manager: BCF
Drawn By: DLC/TN
Checked By: TN
Project Number: 22049
Drawing Number: D-1404-SDP

C0.1

Date: May 1, 2023





- ### Demolition Notes:
- CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE-CALL CENTER (NC 811) BY DIALING 811 OR 1-800-632-4949 AT LEAST 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY OR DIGGING AND HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
 - THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
 - EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - ALL DEMOLITION WASTE AND DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 - THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
 - ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
 - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE MCDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
 - CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL REMOVE EXISTING VEGETATION AND IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE UNLESS NOTED OTHERWISE.
 - TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.

- ### Erosion Control Provisions:
- NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING WAKE COUNTY WATERSHED MANAGEMENT OF THE DATE THAT THE LAND DISTURBING ACTIVITY WILL BEGIN.
 - LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MAY NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY THE ENGINEER.
 - SCHEDULING OF A PRE-CONSTRUCTION CONFERENCE WITH THE WAKE COUNTY WATERSHED MANAGER, JEEVAN NEUPANE (P. 919-819-8907) PRIOR TO INITIATING LAND DISTURBING ACTIVITIES IS REQUIRED. FOR INSPECTION CALL 919-819-8907. 48 HOUR NOTICE IS REQUIRED.
 - INSTALL TREE PROTECTION FENCING AROUND ALL AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS SHOWN ON PLANS.
 - PROVIDE 20' X 50' X 6" STONE CONSTRUCTION ENTRANCES AS SHOWN ON PLAN.
 - SEED OR OTHERWISE PROVIDE GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL EXPOSED SLOPES WITHIN 7 DAYS OF COMPLETION OF ANY PHASE OF GRADING ON PERIMETER AREAS AND SLOPES STEEPER THAN 3:1. ALL OTHER AREAS SHALL BE STABILIZED WITHIN 14 DAYS.
 - CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH MAJOR STORM EVENT. FAILURE TO KEEP ALL EROSION CONTROL DEVICES IN PROPER WORKING ORDER MAY RESULT IN A STOP WORK ORDER OR CIVIL PENALTIES UP TO \$5000.00 PER DAY OF VIOLATION.
 - THE ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.
 - ACCEPTANCE AND APPROVAL OF THIS PLAN IS CONDITIONED UPON YOUR COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS, REGULATION AND RULES. IN ADDITION LOCAL CITY AND COUNTY ORDINANCES OR RULES MAY ALSO APPLY TO THIS LAND DISTURBING ACTIVITY. APPROVAL BY THE COUNTY DOES NOT SUPERSEDE ANY OTHER PERMIT OR APPROVAL.
 - PLEASE BE ADVISED OF THE RULES TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TAR RIVER BASINS. THESE RULES ARE ENFORCED BY THE DIVISION OF WATER RESOURCES (DWR). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THESE RULES TO YOUR PROJECT TO THE REGIONAL WATER QUALITY SUPERVISOR, RALEIGH REGIONAL OFFICE AT (919) 791-4200.

- ### Construction Sequence:
- EROSION AND SEDIMENT CONTROL (E&S) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR.
 - CALL WAKE COUNTY WATERSHED MANAGER JEEVAN NEUPANE AT (919) 819-8907 A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR NOTIFICATION OF PROJECT START UP.
 - ANY DEWATERING ON THE SITE SHALL BE DONE THROUGH A SILT BAG THAT IS CONSTANTLY MONITORED.
 - INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
 - CALL WATERSHED MANAGER, JEEVAN NEUPANE FOR AN ONSITE INSPECTION TO OBTAIN A CERTIFICATE OF COMPLIANCE.
 - BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. INSTALL TEMPORARY SKIMMER SEDIMENT BASINS. ALONG WITH TEMPORARY DIVERSION DITCHES THAT SHALL BE INSTALLED TO ENSURE AS MUCH FLOW AS POSSIBLE IS DIRECTED TO THE BASINS.
 - AS ROUGH GRADING CONTINUES, DEVICES SHALL BE MAINTAINED AND CLEANED OF SEDIMENT. SKIMMER SEDIMENT BASINS TO BE ABANDONED SHALL BE REMOVED AS FOLLOWS: DEWATER THROUGH SILT BAG, CLEAN SEDIMENT, REMOVE BAFFLES, BACKFILL BASIN AND STABILIZE IMMEDIATELY. DEWATERING OPERATIONS THROUGH SILT BAGS SHALL BE MONITORED CONTINUOUSLY.
 - STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAME.
 - WHEN ROUGH GRADING IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WATERSHED MANAGER JEEVAN NEUPANE FOR INSPECTION.
 - IF SITE IS APPROVED, MAINTAIN TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISPERSERS, SHOULD NOW BE INSTALLED.
 - WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR FINAL SITE INSPECTION BY THE WATERSHED MANAGER, JEEVAN NEUPANE. OBTAIN CERTIFICATE OF COMPLETION.

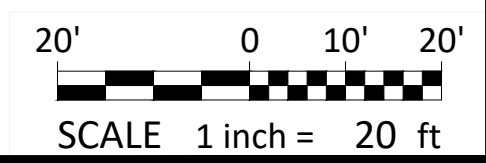
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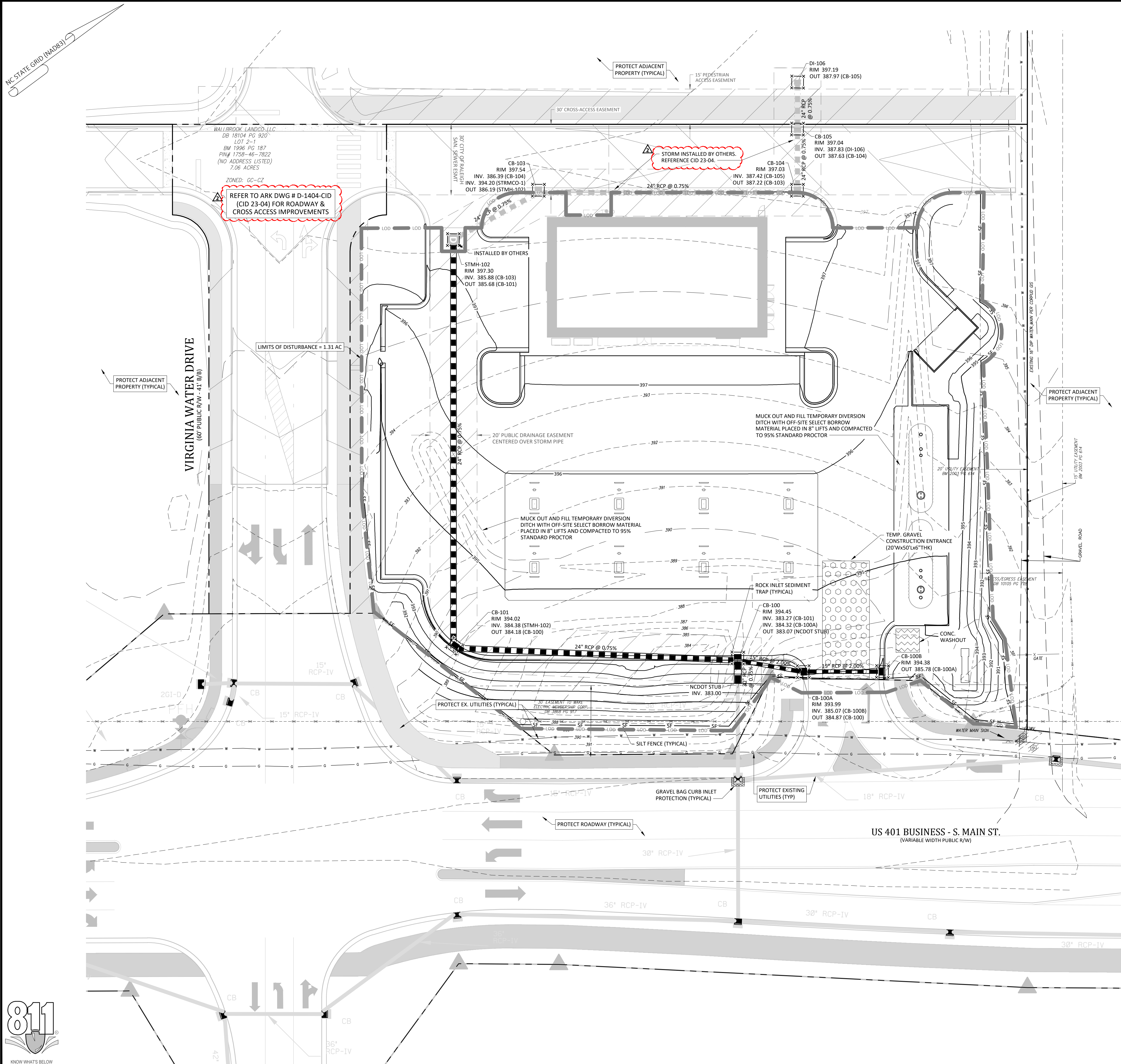
EROSION CONTROL PLAN - PH. 1
7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

REVISIONS:	DATE	DESCRIPTION
2	1-JUNE-23	REVISED PER TOR REVIEW COMMENTS
1	1-MAY-23	ISSUED FOR PERMIT REVIEW

Project Manager: BCF
 Drawn By: DLC/TN
 Checked By: TN
 Project Number: 22049
 Drawing Number: D-1404-SDP

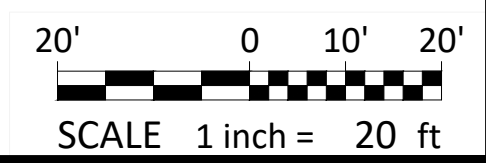
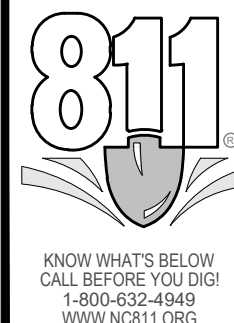
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 Date: May 1, 2023





REFER TO ARK DWG # D-1404-CID (CID 23-04) FOR ROADWAY & CROSS ACCESS IMPROVEMENTS

STORM INSTALLED BY OTHERS. REFERENCE CID 23-04.



- Final Drawing -
Issued for Permit
Review Purposes Only

#	DATE	DESCRIPTION
2	11-JUNE-23	REVISED PER TOR REVIEW COMMENTS
1	11-MAY-23	ISSUED FOR PERMIT REVIEW



EROSION CONTROL PLAN - PH. 2
7ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 1398
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Charlotte, NC 28205
(754) 558-0888
www.arkconsultinggroup.com

6/1/2023

Project Manager: BCF
Drawn By: DLC/TN
Checked By: TN
Project Number: 22049
Drawing Number: D-1404-SDP

C1.1
Date: May 1, 2023

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity.

GROUND STABILIZATION SPECIFICATION

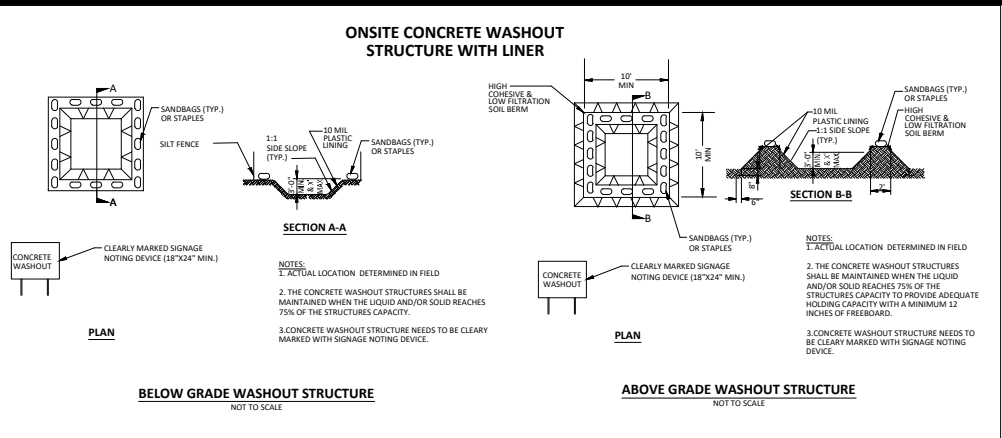
Table with 2 columns: Temporary Stabilization and Permanent Stabilization.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.

EQUIPMENT AND VEHICLE MAINTENANCE

- 1. Maintain vehicles and equipment to prevent discharge of fluids.



CONCRETE WASHOUTS

- 1. Do not discharge concrete or cement slurry from the site.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- 1. Never bury or burn waste. Place litter and debris in approved waste containers.

PAINT AND OTHER LIQUID WASTE

- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.

PORTABLE TOILETS

- 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.

EARTHEN STOCKPILE MANAGEMENT

- 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.

HERBICIDES, PESTICIDES AND RODENTICIDES

- 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.

HAZARDOUS AND TOXIC WASTE

- 1. Create designated hazardous waste collection areas on-site.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Table with 3 columns: Inspect, Frequency (during normal business hours), and Inspection records must include.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

Table with 2 columns: Item to Document and Documentation Requirements.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

Table with 2 columns: Occurrence and Reporting Timeframes (After Discovery) and Other Requirements.

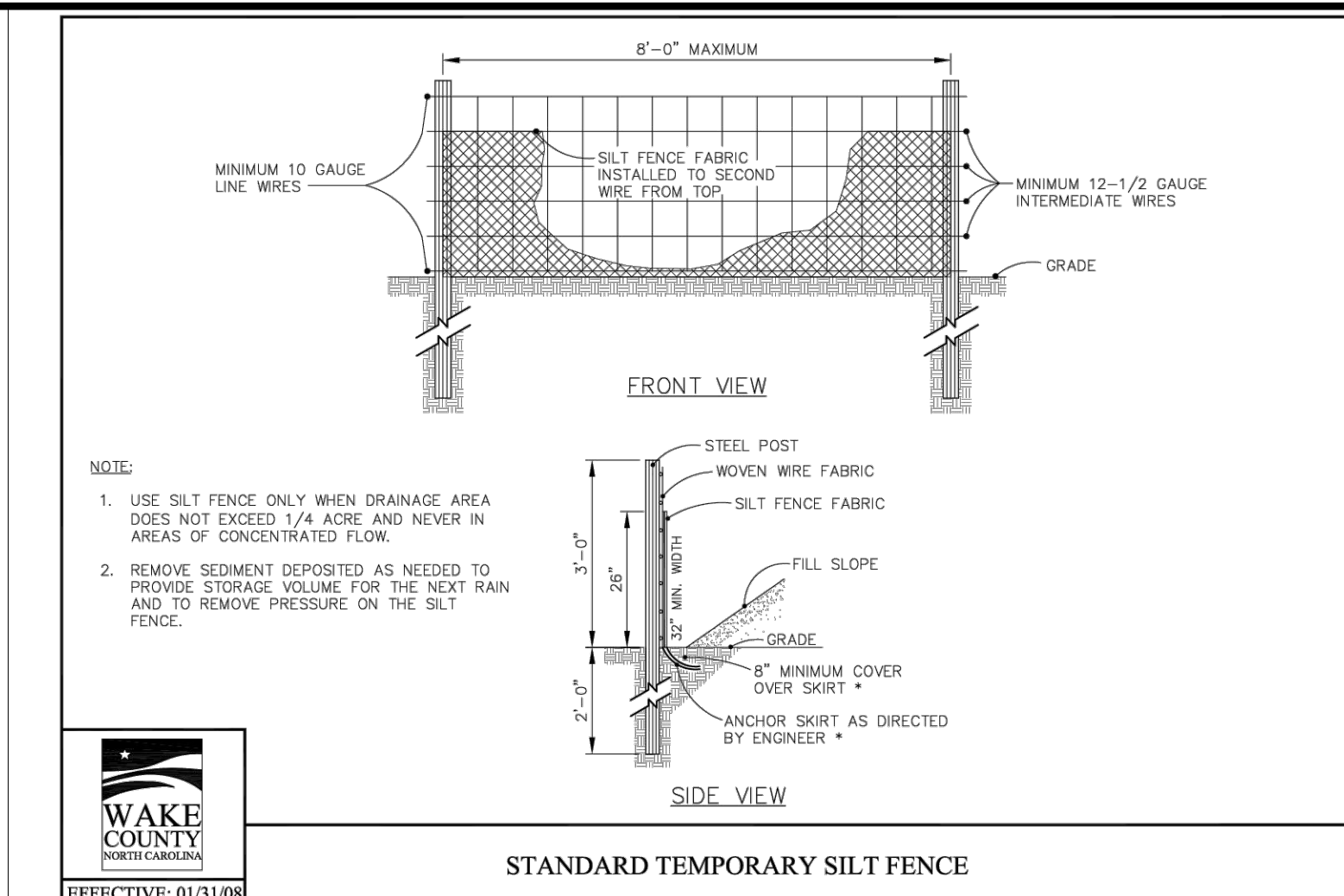
NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

Seeding Specifications. Includes WAKE COUNTY Environmental Services logo, project details, Design Criteria, Maintenance Requirements, Seedbed Preparation, and Seeding Schedule.

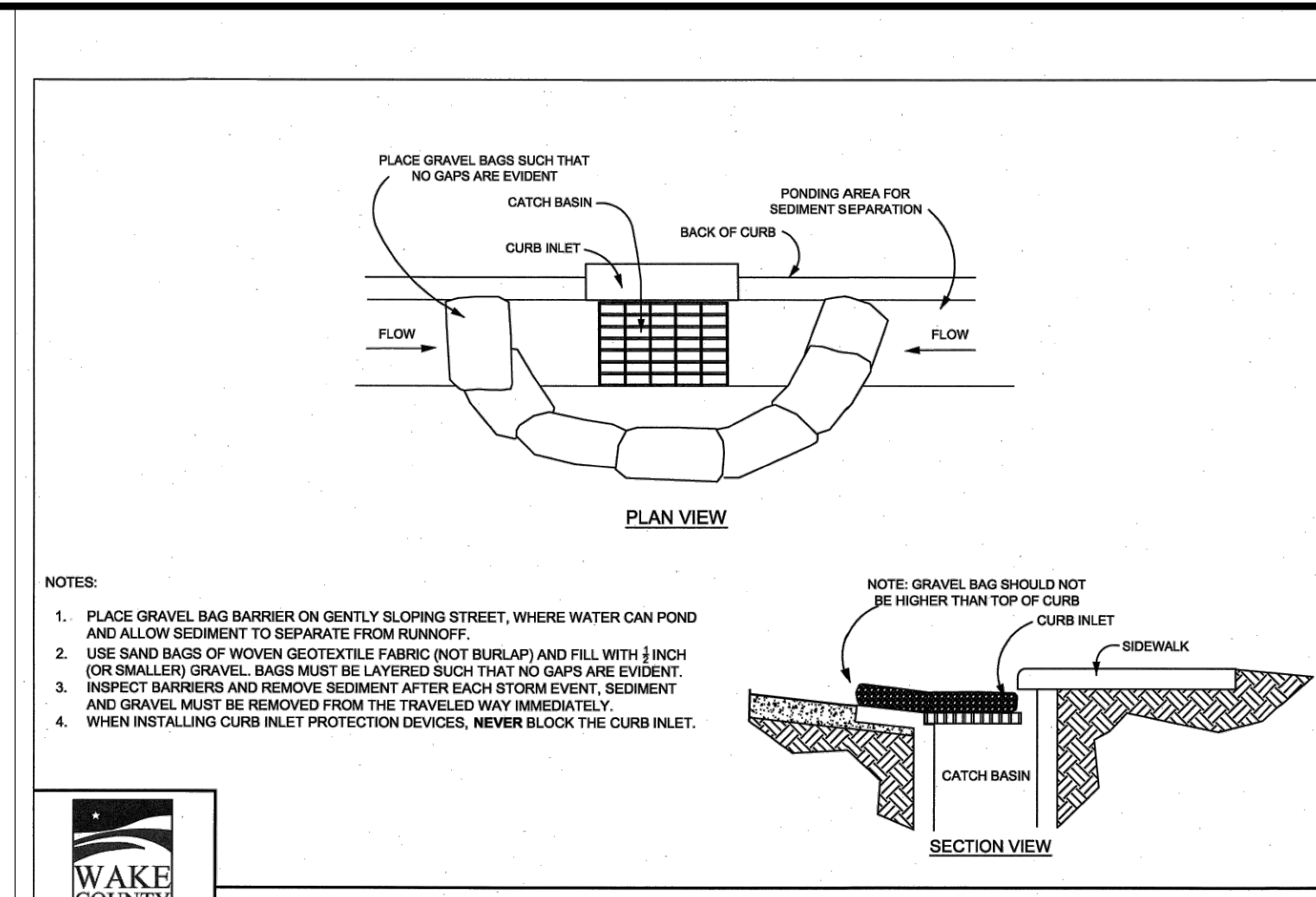
EROSION CONTROL NOTES. Includes 7ELEVEN AT WALLBROOK (LOT 11) title, project location, and a detailed Seeding Schedule table.

Project Manager: BCF, Drawn By: DLT/TN, Checked By: TN, Project Number: 22049, Drawing Number: D-1404-SDP. Includes ARK CONSULTING logo and a circular seal.

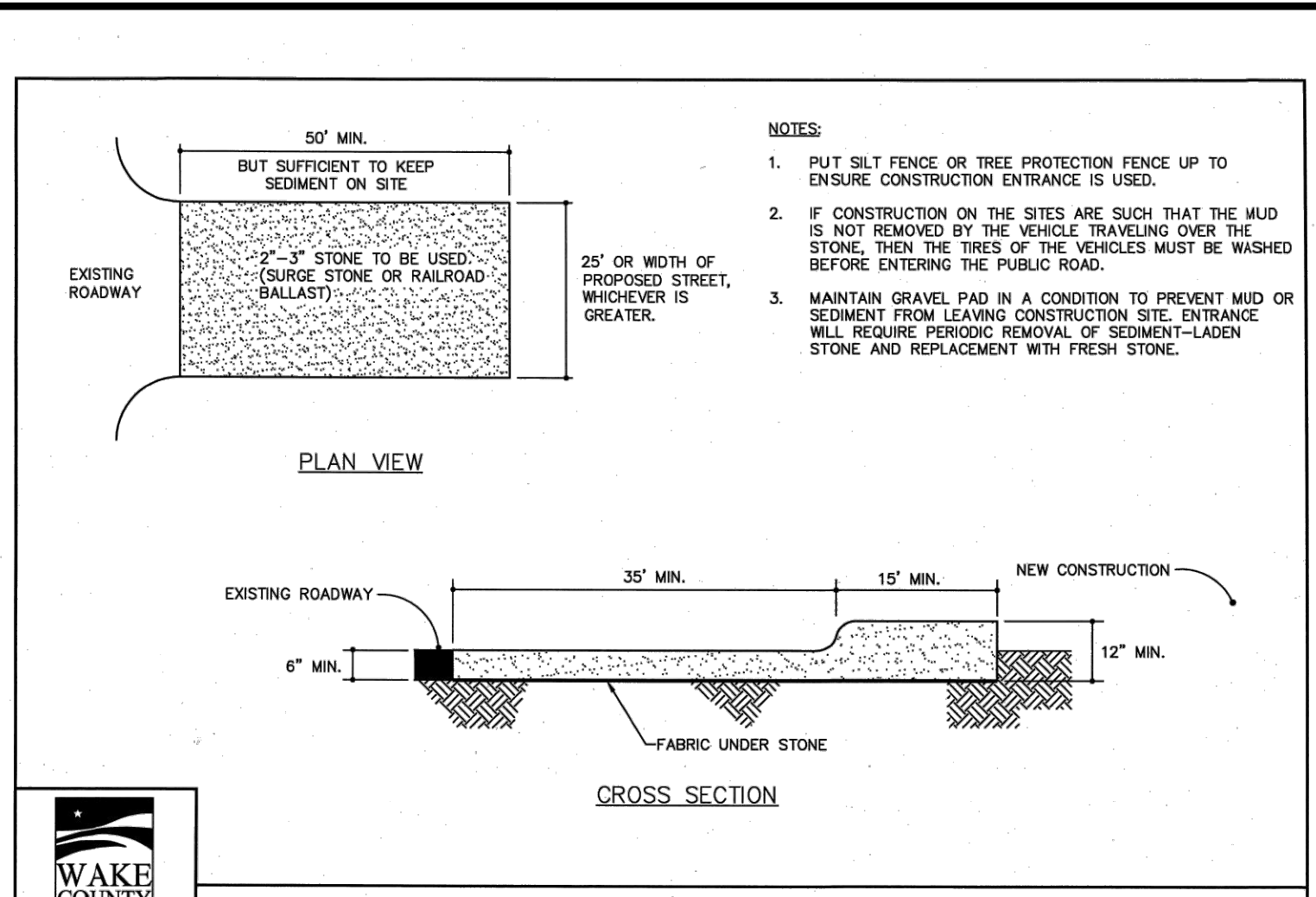
Vertical sidebar containing project title '7ELEVEN AT WALLBROOK (LOT 11)', location 'Town of Rolesville Project No. SDP 23-04', and various revision and drawing information.



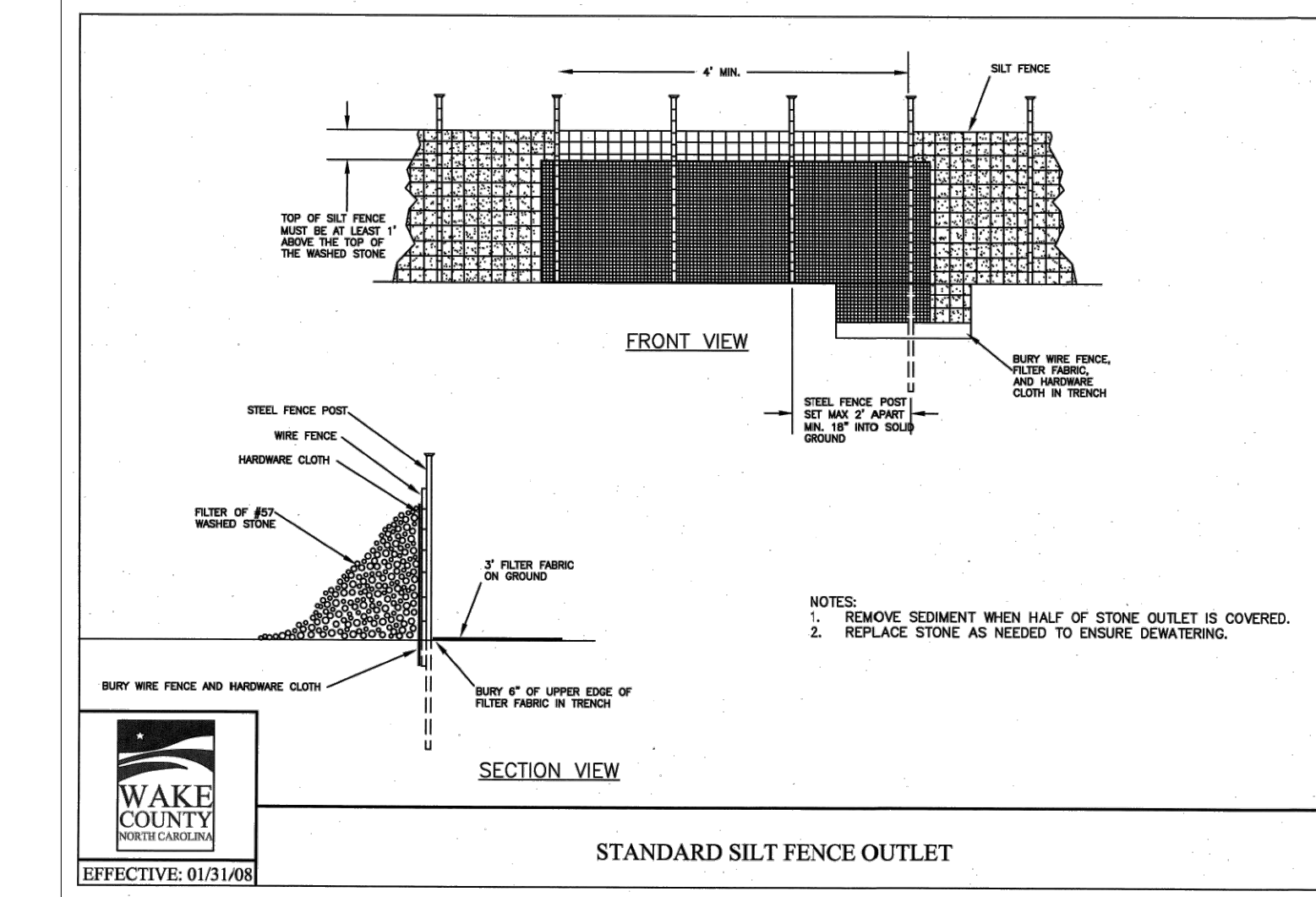
STANDARD TEMPORARY SILT FENCE
EFFECTIVE: 01/31/08



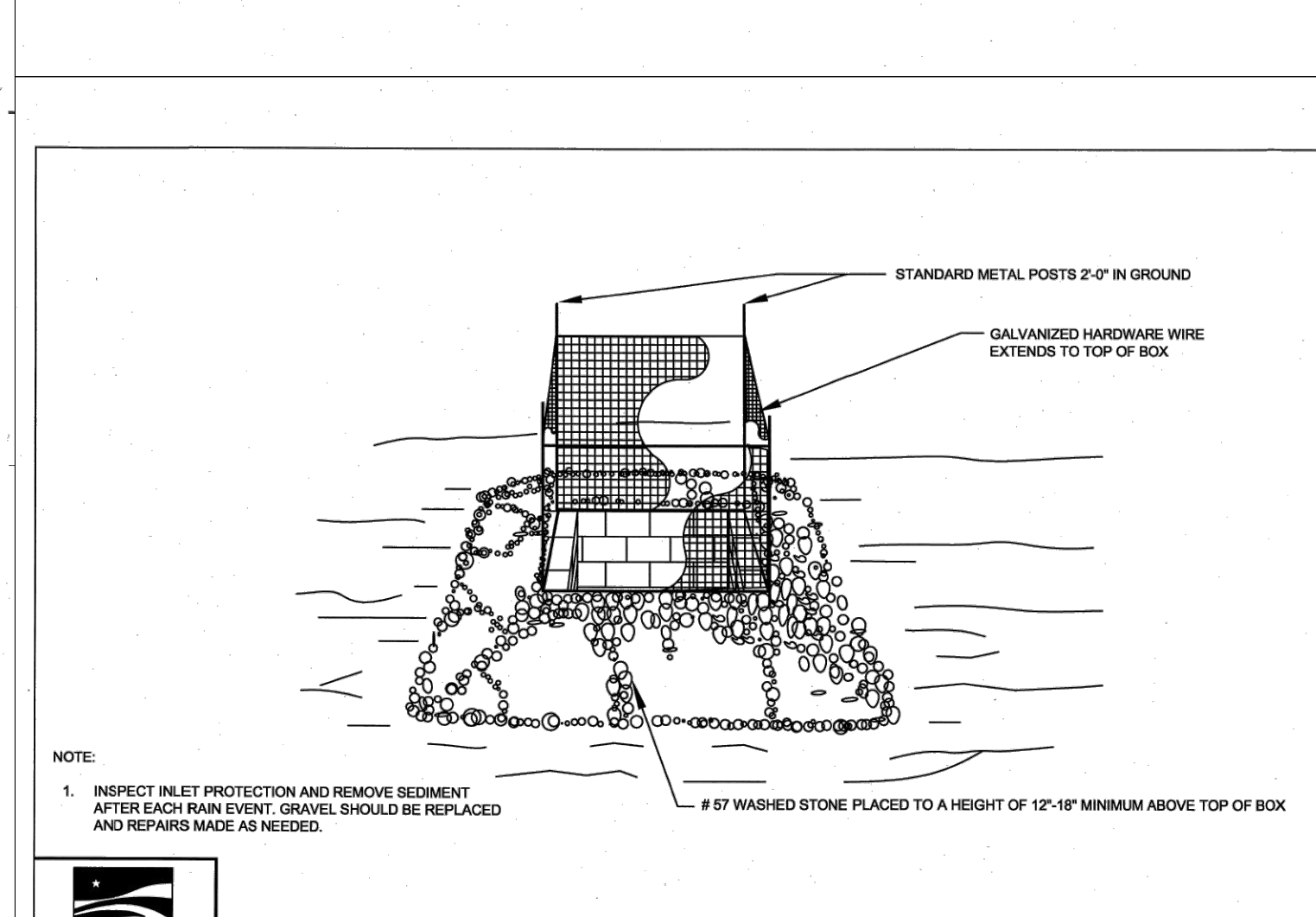
STANDARD GRAVEL BAG CURB INLET PROTECTION
EFFECTIVE: 01/31/08



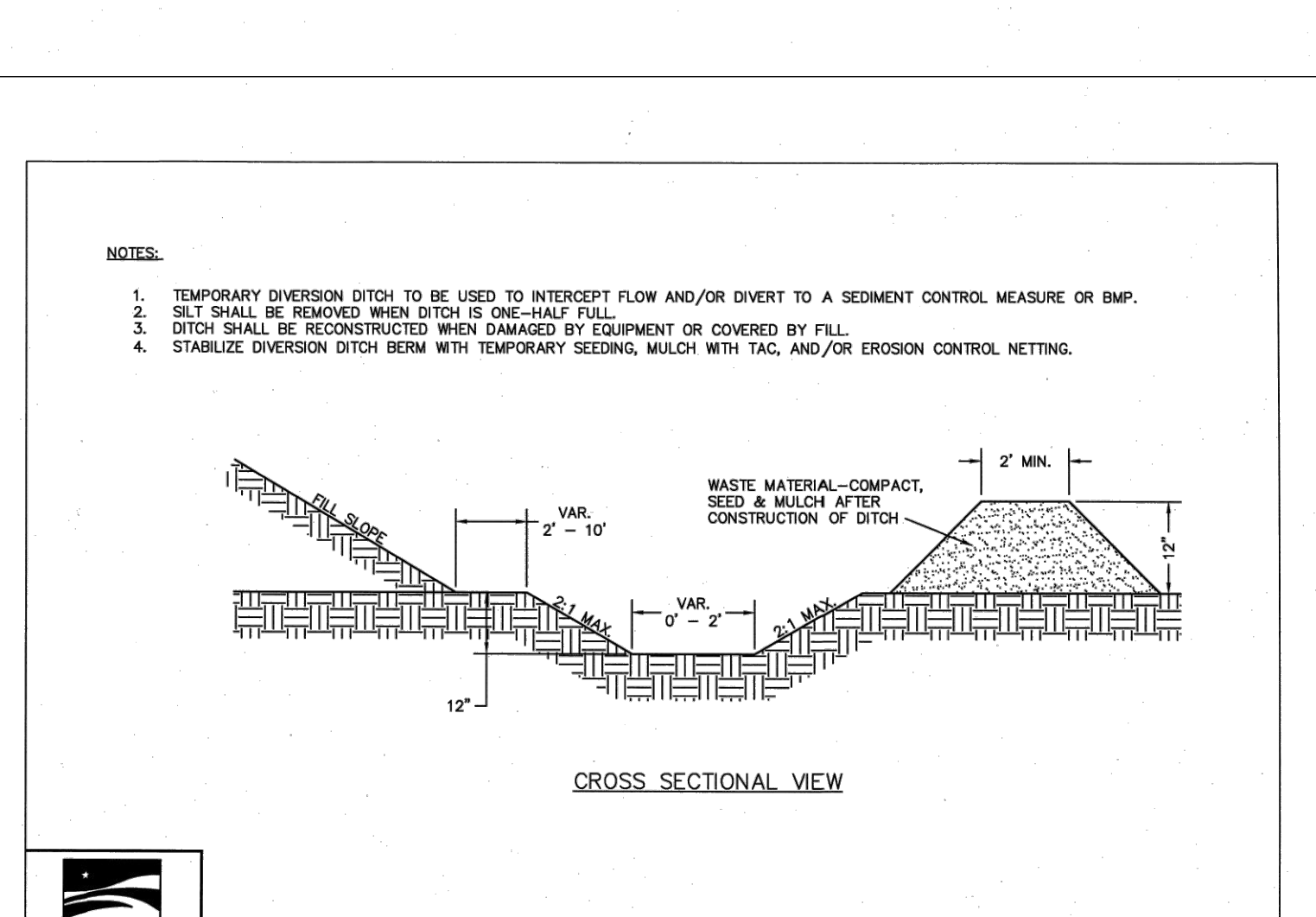
STANDARD CONSTRUCTION ENTRANCE
EFFECTIVE: 01/31/08



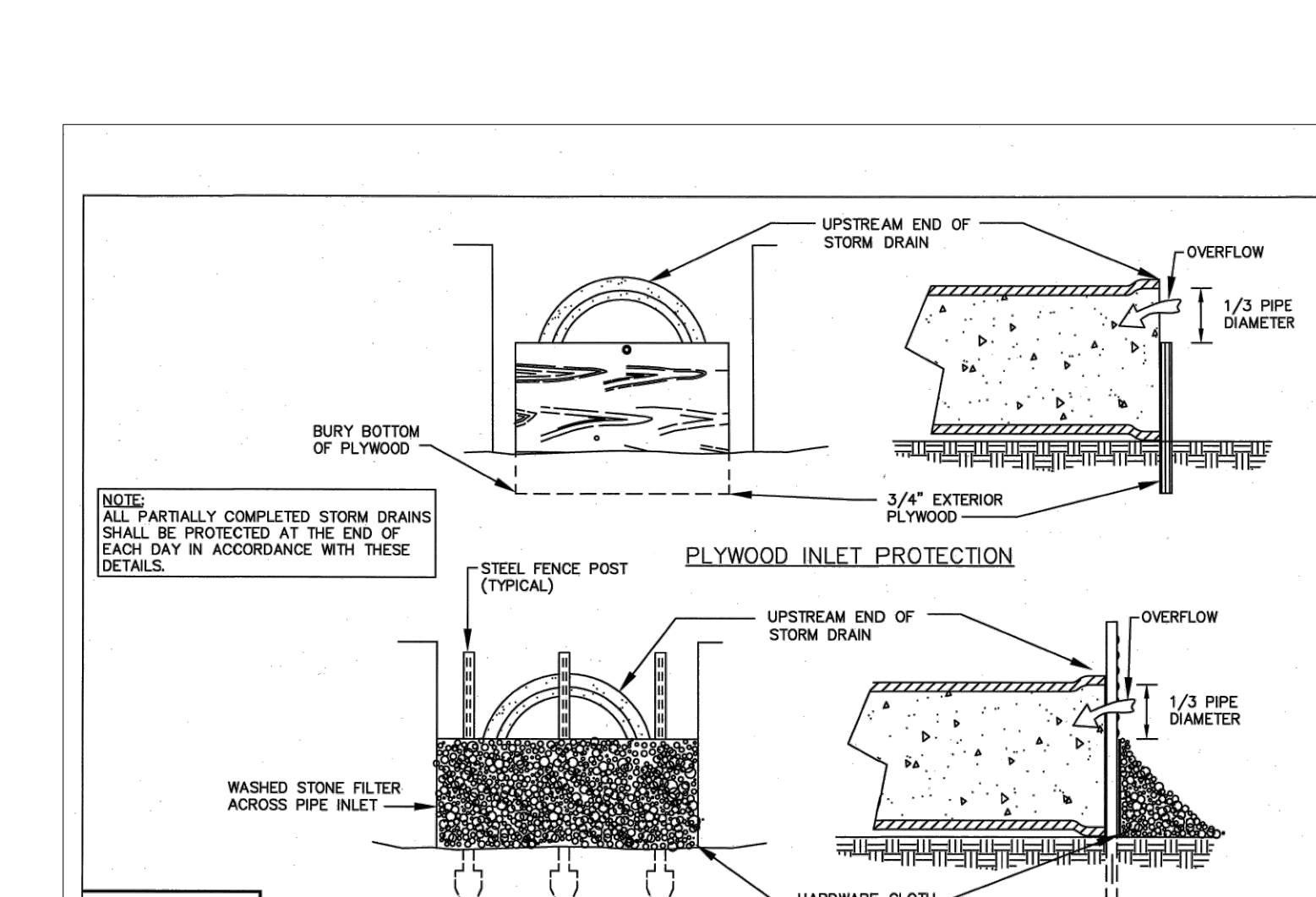
STANDARD SILT FENCE OUTLET
EFFECTIVE: 01/31/08



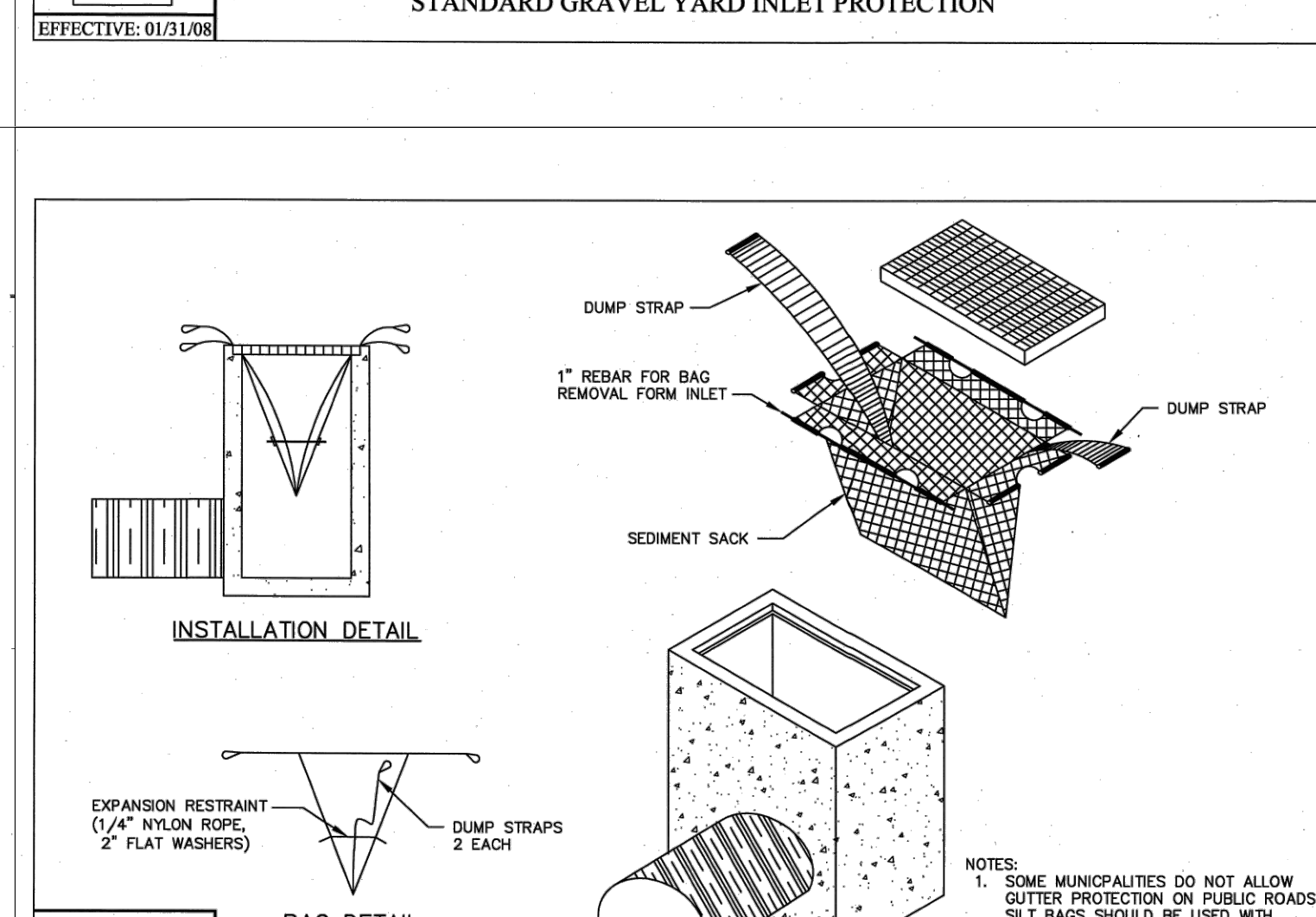
STANDARD GRAVEL YARD INLET PROTECTION
EFFECTIVE: 01/31/08



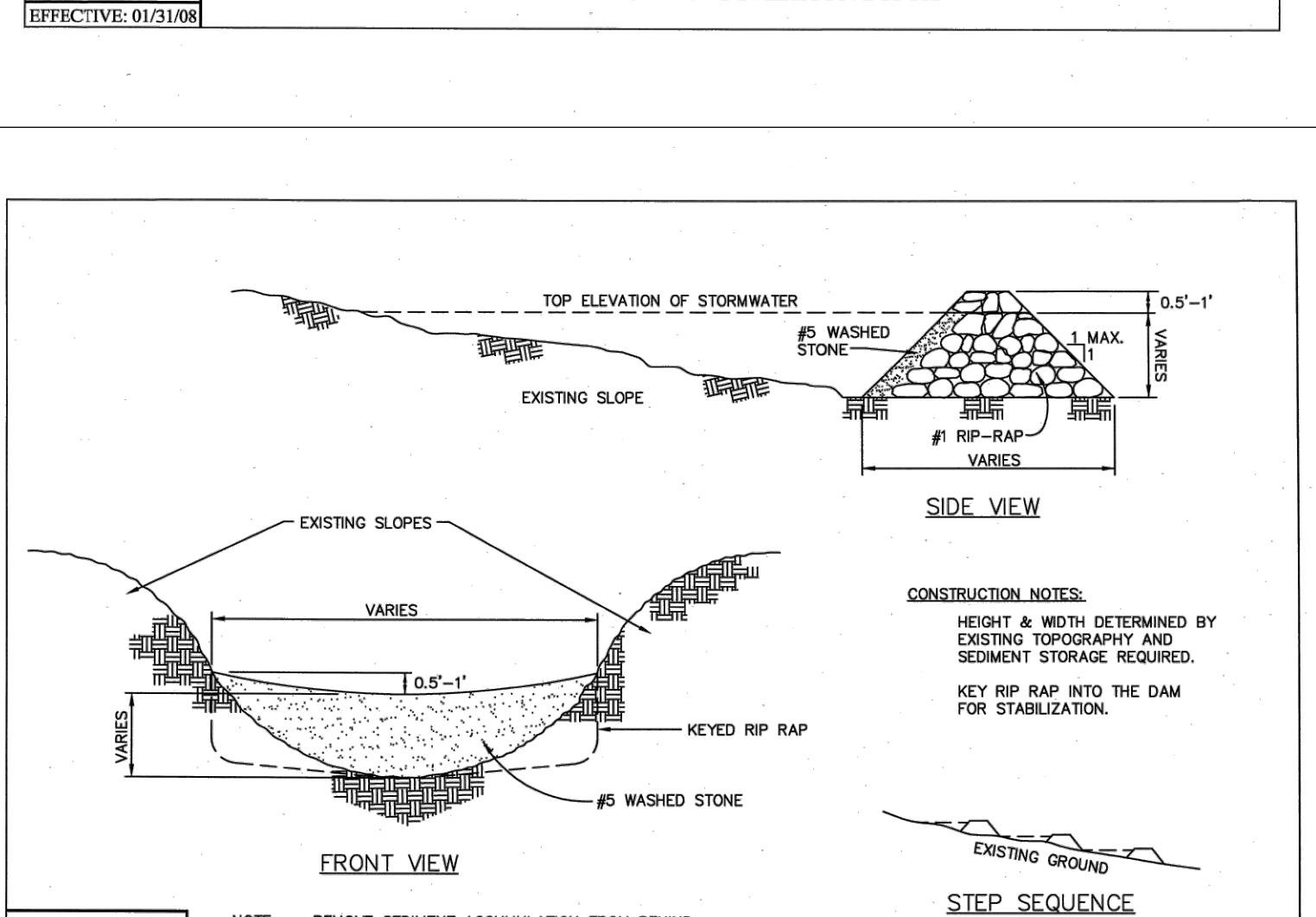
STANDARD TEMPORARY DIVERSION DITCH
EFFECTIVE: 01/31/08



STANDARD PIPE INLET PROTECTION (PLYWOOD & STONE)
EFFECTIVE: 01/31/08



STANDARD SILT BAG - INLET SEDIMENT CONTROL DEVICE
EFFECTIVE: 01/31/08



STANDARD CHECK DAM
EFFECTIVE: 01/31/08

Vegetated Swale Design
Project: Wallbrook
Location: Rolesville, Wake County, NC

Device ID	Device Type	Add'l Flow (cfs)	Disturbed Area (AC)	Tc (min)	Intensity (in/hr)*	Qreq C	Up Invert	Down Invert	Length (ft)	Base Width (ft)	Left Slope (x:1)	Right Slope (x:1)	Flow Depth (ft)	Manning's n	Slope (ft/ft)	Wetted Area (sf)	Wetted Perimeter (ft)	Hydraulic Radius (ft)	Velocity (ft/s)	Qa (cfs)	Qa>Qreq?	τ (lbs/ft ²)	Liner Type	Allowable Shear Stress, τ (lbs/ft ²)	
TDD-1	Temporary Diversion	0	0.40	5	7.18	0.5	1.44	391	388	160	1	3	3	0.91	0.020	0.01875	3.41	7.27	0.47	0.42	1.44	Yes	1.067145505	N. Am. Green; Straw; 1 nets	1.55
TDD-2	Temporary Diversion	0	0.95	5	7.18	0.5	3.41	393	388	200	1	3	3	1.12	0.020	0.02500	4.85	7.40	0.66	0.70	3.41	Yes	1.741047289	N. Am. Green; Straw; 1 nets	1.55

*NOAA Atlas 14, NEUSE 2 NE Station, 10-yr 5-min duration intensity

- Final Drawing -
Issued for Permit Review Purposes Only

2 | 1-JUNE-23 | REVISED PER FOR REVIEW COMMENTS
1 | 1-MAY-23 | ISSUED FOR PERMIT REVIEW

REVISIONS:

CROSLAND SOUTHEAST
ELEVEN

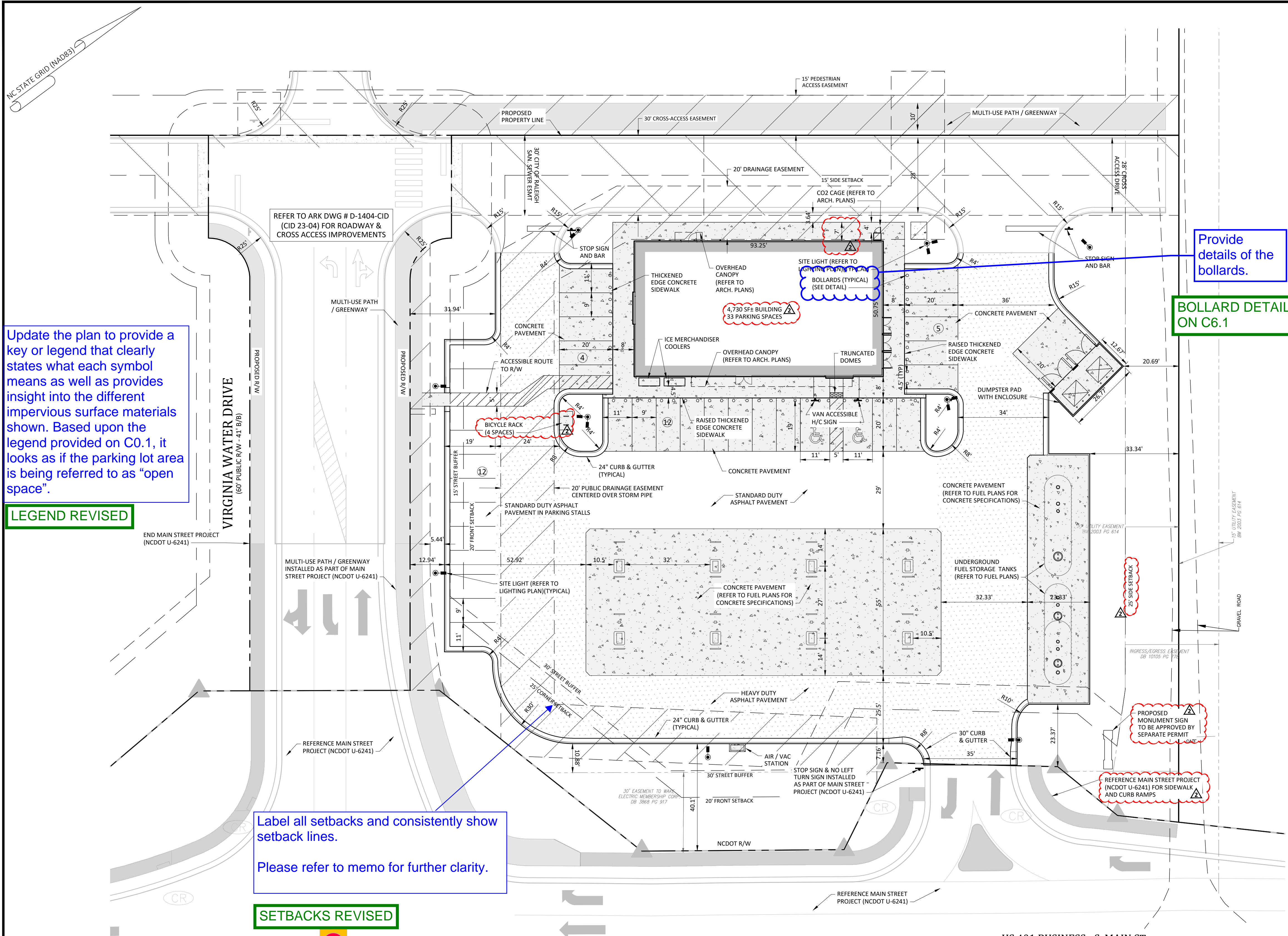
EROSION CONTROL DETAILS
7ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd
Cary, NC 27513
(919) 558-8888
www.arkconsultinggroup.com

6/1/2023

Project Manager: BCF
Drawn By: DLC/TN
Checked By: TN
Project Number: 22049
Drawing Number: D-1404-SDP

C1.3
Date: May 1, 2023



- ### General Notes:
- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - ALTA/NSPS LAND TITLE SURVEY, PREPARED BY JOHNSON, MIRMIRAN & THOMPSON FOR WALLBROOK LANDCO, LLC, DATED REVISED MARCH 28, 2020
 - "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION - 7 ELEVEN AT WALLBROOK" PREPARED BY NV5 ENGINEERS AND CONSULTANTS, INC., DATED JULY 11, 2022
 - "REVISED WALLBROOK DEVELOPMENT TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED AUGUST 11, 2020
 - ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
 - THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
 - THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
 - THESE PLANS ARE BASED ON INFORMATION PROVIDED TO ARK CONSULTING GROUP, PLLC BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARK CONSULTING GROUP, PLLC IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER ONSITE FEATURES.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS AND GRADES NOT SHOWN ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB & GUTTER. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONNECTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
 - THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR IS THE ENGINEER RESPONSIBLE FOR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

Impervious Area Calculations

SITE LIMITED TO 85% IMPERVIOUS AREA AS ACCOUNTED FOR IN THE WALLBROOK STORMWATER MASTER PLAN

PROPOSED BUILDING IMPERVIOUS AREA:	4730 SF
PROPOSED TRANSPORTATION IMPERVIOUS AREA:	46827 SF
PROPOSED TOTAL IMPERVIOUS AREA:	51557 SF
TOTAL SITE AREA:	70567 SF
ALLOWABLE IMPERVIOUS AREA (85%):	59982 SF
PROPOSED IMPERVIOUS PERCENTAGE:	73.06 %

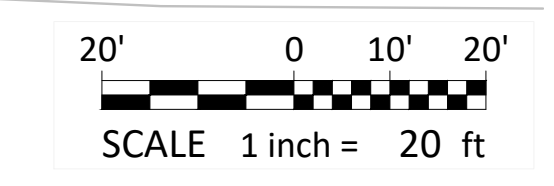
All non-residential developments shall provide at least four (4) pedestrian amenities per LDO Section 6.8.4.B.2. Pedestrian amenities shall be constructed of materials like the principal building materials and shall have direct access to public sidewalk network.

LDO 3.1.3 / Table 3.1.3 - On Cover Sheet, add required Building Setbacks to the Site Data Table, and in drawing (Sheet C2.0, others?) revise or add/show, and label (key or Legend) setback lines, including/ specifically:
 a. Revise/Increase Line weight (darkness) of 15' side setback/northeast side; it is lighter than other lines.
 b. Revise the 25' "corner" setback to be portion of the Front Building Setback. As defined, a "Corner" setback, "extends the full width of a site on the corner side, the depth of which is the minimum horizontal distance between the corner side property line and a line parallel thereto on the site." The corner setback is the setback along the secondary frontage, in this case, Virginia Water Drive. The LDO should express the intent of "corner" building setback as "side street" - this will be addressed in a future Text Amendment.
 c. As just mentioned, Revise the 20' front building setback to parallel the entire front property line, including the diagonal area currently labeled as "25' corner setback".
 d. Revise rear building setback to be 35' - currently drawn incorrectly as a 15' side yard setback.
 e. With all 4 setback lines at correct dimensions and in correct places, ensure complete building envelope is drawn (correctly).

LDO 6.2.4.6.C - On Sheet C2.0, revise to demonstrate compliance with the Outdoor display and storage standards; it appears there are ice Vending machines and areas for outdoor display of (various TBD) items. If no outdoor storage or display of items is proposed, add a clear NOTE on plan sheet, and violation of this Note in the future once built will be a Zoning violation.

THERE ARE ICE MERCHANDISER COOLERS AT THE FRONT OF THE STORE.
 TOTAL LENGTH = 12'. 12'/93' = 12.9% OF FACADE.
 12.9% < 25%
 EXTENDS 3.03' FROM BUILDING, LEAVING AN EFFECTIVE SIDEWALK WIDTH OF 4.97'.

BUILDING SETBACKS ADDED TO SITE DATA TABLE. SETBACKS REVISED



- Final Drawing - Issued for Permit Review Purposes Only
 REVISIONS:
 2 | 11-JUNE-23 | REVISED PER TOR REVIEW COMMENTS
 1 | 11-MAY-23 | ISSUED FOR PERMIT REVIEW
 # | DATE | DESCRIPTION

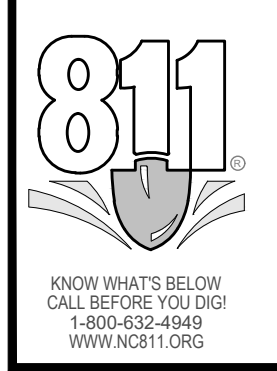
CROSLAND SOUTHEAST
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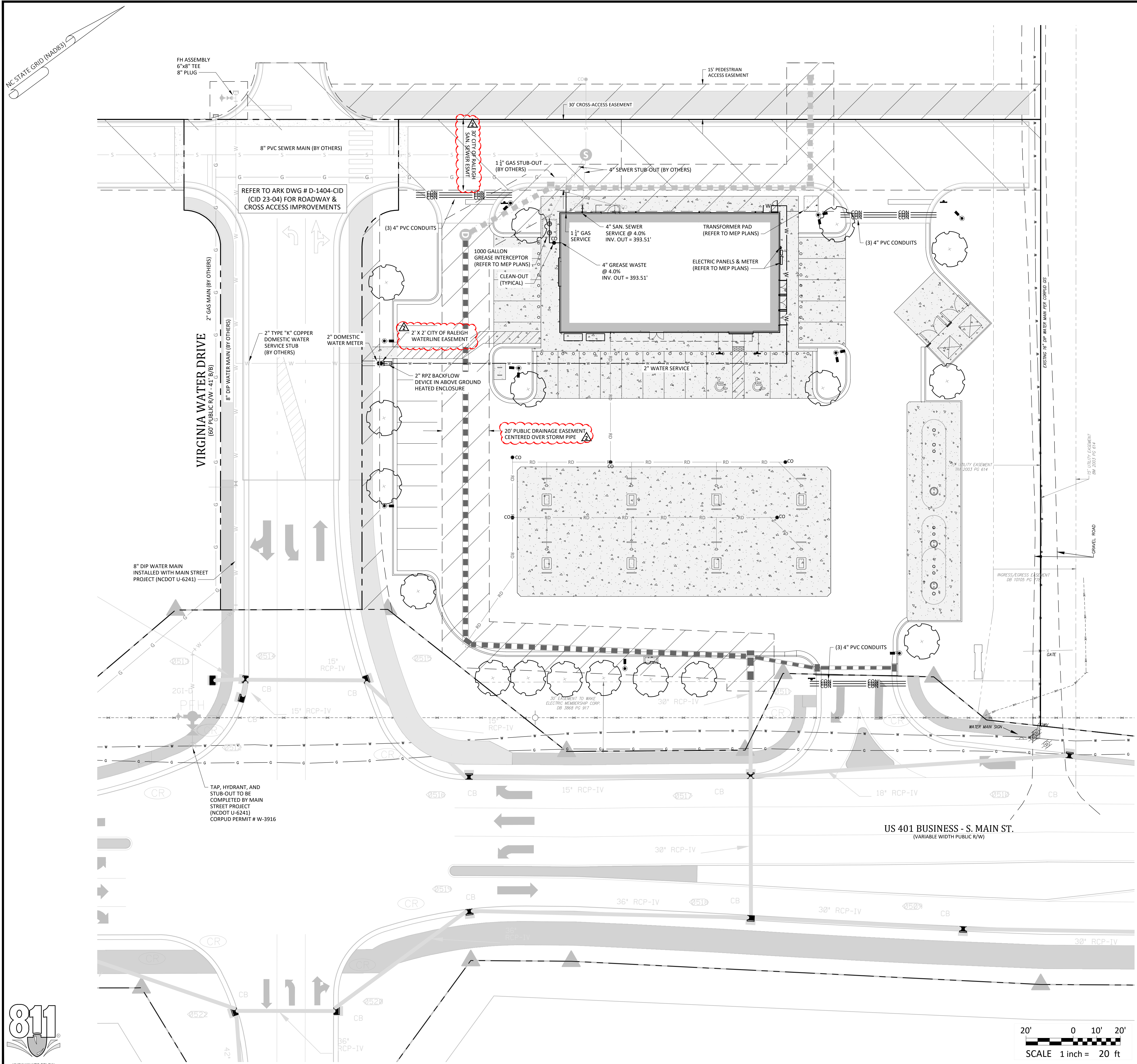
SITE PLAN
7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P1-139
ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS
 2755-B Charles Blvd
 #100
 Raleigh, NC 27608
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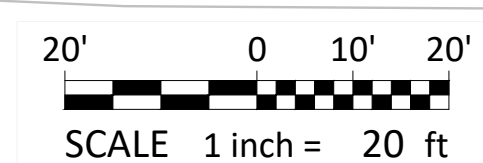
C2.0
 Date: May 1, 2023





CORPUD Standard Utility Notes:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BEFORE CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- THE PROPOSED 2" RPZ SHALL BE APPROVED BY CROSS.CONNECTION@RALEIGHNC.GOV PRIOR TO ISSUANCE OF THE UTILITY CONNECTION PERMIT.
- THE PROPOSED GREASE INTERCEPTOR SHALL BE APPROVED BY FOG@RALEIGHNC.GOV PRIOR TO ISSUANCE OF THE UTILITY CONNECTION PERMIT.



ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.
 Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
 Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

- Final Drawing -
Issued for Permit
Review Purposes Only

#	DATE	DESCRIPTION
2	11-JUNE-23	REVISED PER TOR REVIEW COMMENTS
1	11-MAY-23	ISSUED FOR PERMIT REVIEW

REVISIONS:

UTILITY PLAN

7ELEVEN AT WALLBROOK (LOT 11)

Town of Rolesville Project No. SDP 23-04

US 401 Business / S. Main Street & Virginia Water Drive

Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 1398

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS

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77536
(757) 558-0888
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Project Manager: BCF

Drawn By: DLC/TN

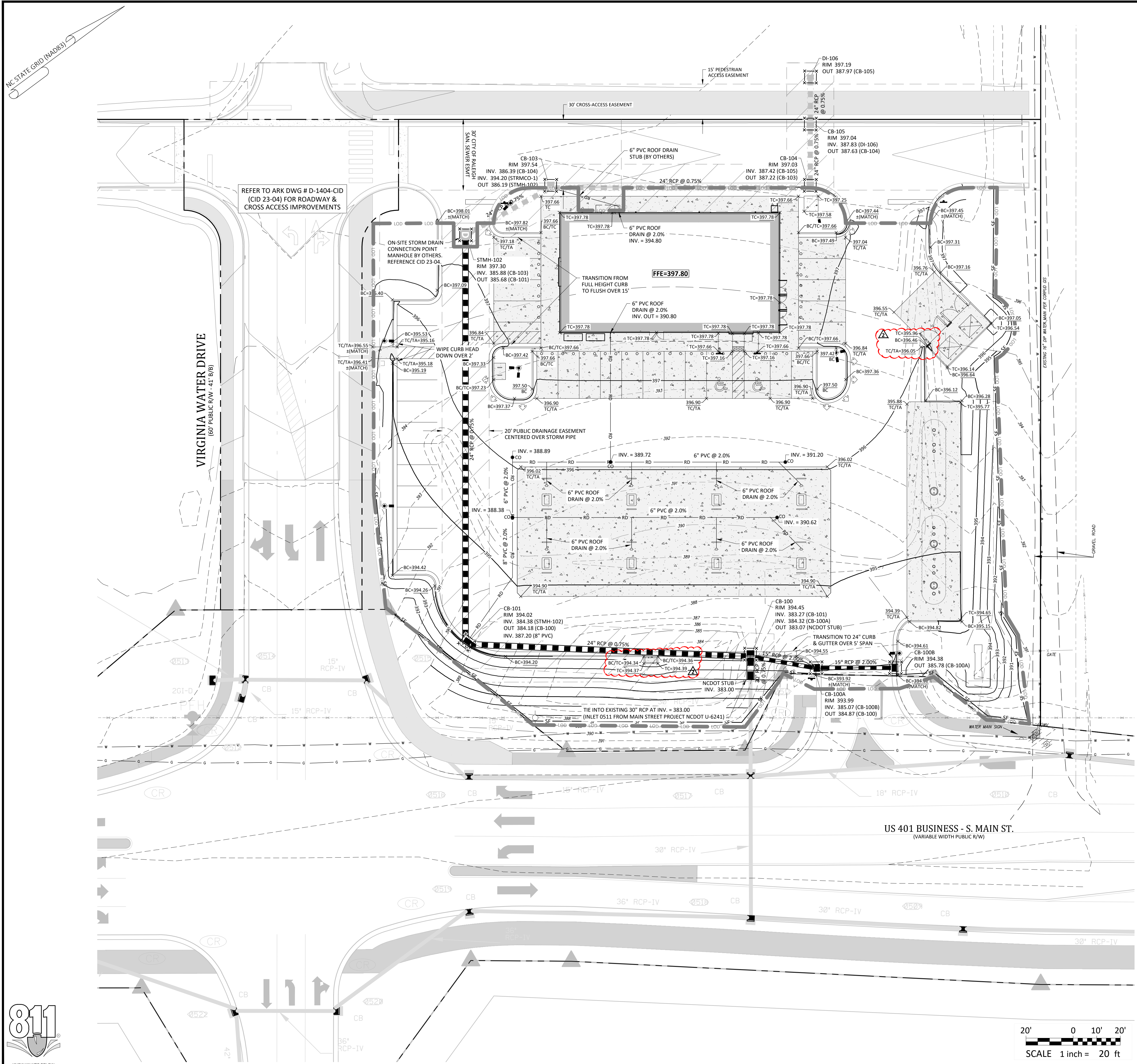
Checked By: TN

Project Number: 22049

Drawing Number: D-1404-SDP

C3.0

Date: May 1, 2023



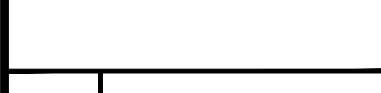
Grading Notes:

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET.
- SITE CONTRACTOR TO GRADE ALL AREAS WITHIN THE LIMITS OF DISTURBANCE FROM BUILDING TO PROPERTY LINES AND TO EDGE OF PAVEMENT ON STREET SIDES, INCLUDING ROW.
- TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS, PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL TOP SOIL TO A DEPTH OF 4" MINIMUM AND REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- INSTALL TEMPORARY TURF REINFORCEMENT MATTING ON ALL SLOPES STEEPER THAN 3:1. MATTING SHALL BE CONTECH LANDLOK C2 OR EQUAL.
- REFER TO CIVIL DETAILS FOR PAVEMENT IN PARKING AND DRIVE AREAS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED OF 3,500 PSI CONCRETE AND SHALL HAVE TOOLED CONTROL JOINTS PER THE JOINT SPACING REFERENCED ON THE PLAN.
- MATERIALS SELECTED FOR USE AS STRUCTURAL FILL SHALL BE FREE OF VEGETABLE MATTER, WASTE CONSTRUCTION DEBRIS, AND OTHER DELETERIOUS MATERIALS. THE MATERIAL SHALL NOT CONTAIN ROCKS HAVING A DIAMETER OVER 3 INCHES.
- SOILS REPRESENTED BY THEIR USCS GROUP SYMBOLS WILL TYPICALLY BE SUITABLE FOR USE AS STRUCTURAL FILL: (ML), (CL), (SM), AND (SC).
- THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF LOW PERMEABILITY SOILS CAN BE USED AS COVER: (SW), (SP), (SP-SM), AND (SP-SC).
- THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF NON-EXPANSIVE SOILS CAN BE USED AS COVER: (MH) AND (CH).
- THE FOLLOWING SOIL TYPES ARE CONSIDERED UNSUITABLE: (OL), (OH), AND (PI).
- ALL STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). ADDITIONALLY, THE IN-PLACE MAXIMUM DRY DENSITY OF STRUCTURAL FILL SHOULD BE NO LESS THAN 90 PCF.
- THE UPPER 12" OF BUILDING FLOOR SLAB SUBGRADES SHALL BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698).
- FILL PLACEMENT IN PAVEMENT AREAS SHALL BE PERFORMED IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.
- SUITABLE FILL MATERIAL SHALL BE PLACED IN 8" LIFTS AND COMPACTED BY MECHANICAL MEANS. PROOFROLLING WITH RUBBER TIERED, HEAVILY LOADED VEHICLES MAY BE DESIRABLE AT INTERVALS OF APPROXIMATELY 2 VERTICAL FEET TO BIND THE LIFTS TOGETHER AND TO SEAL THE SURFACE OF THE COMPACTED AREAS.
- ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADE COMPACTIONS SHALL BE INTERMEDIATELY TESTED THROUGHOUT FILL PLACEMENT OPERATIONS AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS DESCRIBED ABOVE.
- WHERE REQUIRED, PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED, AS REQUIRED, TO MATCH PROPOSED GRADES.
- SITE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR OFF SITE MATERIAL SOURCES AND / OR DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO OWNER PRIOR TO INITIATING WORK.
- UNLESS INDICATED OTHERWISE, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SOIL TIGHT JOINTS.
- SITE CONTRACTOR SHALL INSTALL BUILDING ROOF DRAINS TO WITHIN 2" OF THE BUILDING EXTERIOR WALL, CAP AND PROVIDE ABOVE GROUND MARKER FOR LOCATION PURPOSES. GENERAL CONTRACTOR IS RESPONSIBLE FOR TIE-INS OF BUILDING DOWNSPOUTS TO SITE ROOF DRAINAGE PIPING.

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
2	11-JUNE-23	REVISED PER TOR REVIEW COMMENTS
1	11-MAY-23	ISSUED FOR PERMIT REVIEW



GRADING PLAN
7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

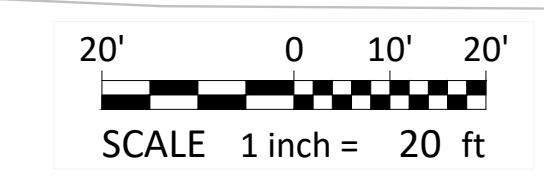
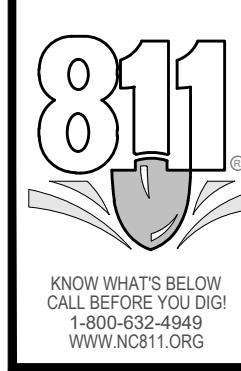
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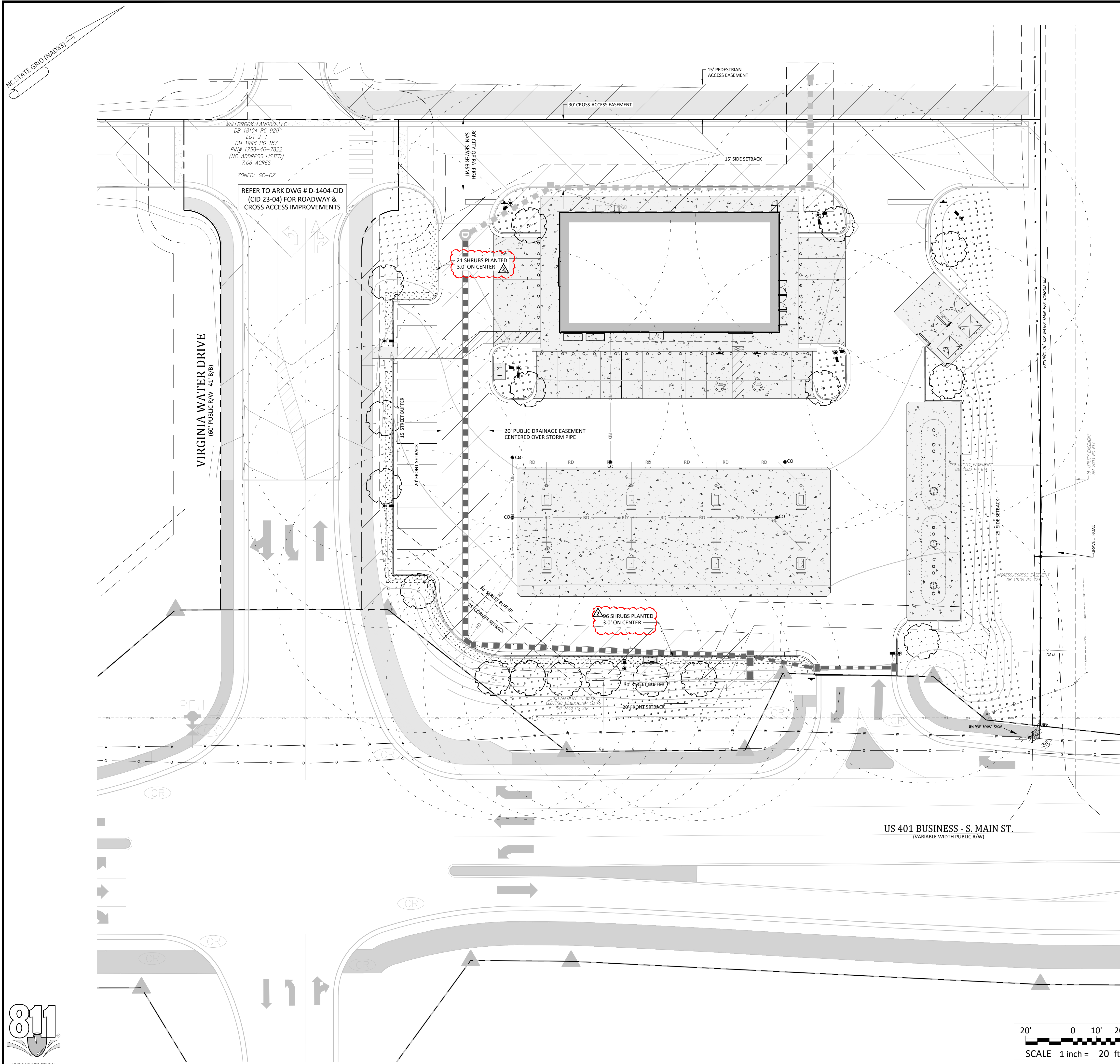
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Final Drawing
 6/1/2023

Project Manager: BCF
 Drawn By: DLC/TN
 Checked By: TN
 Project Number: 22049
 Drawing Number: D-1404-SDP

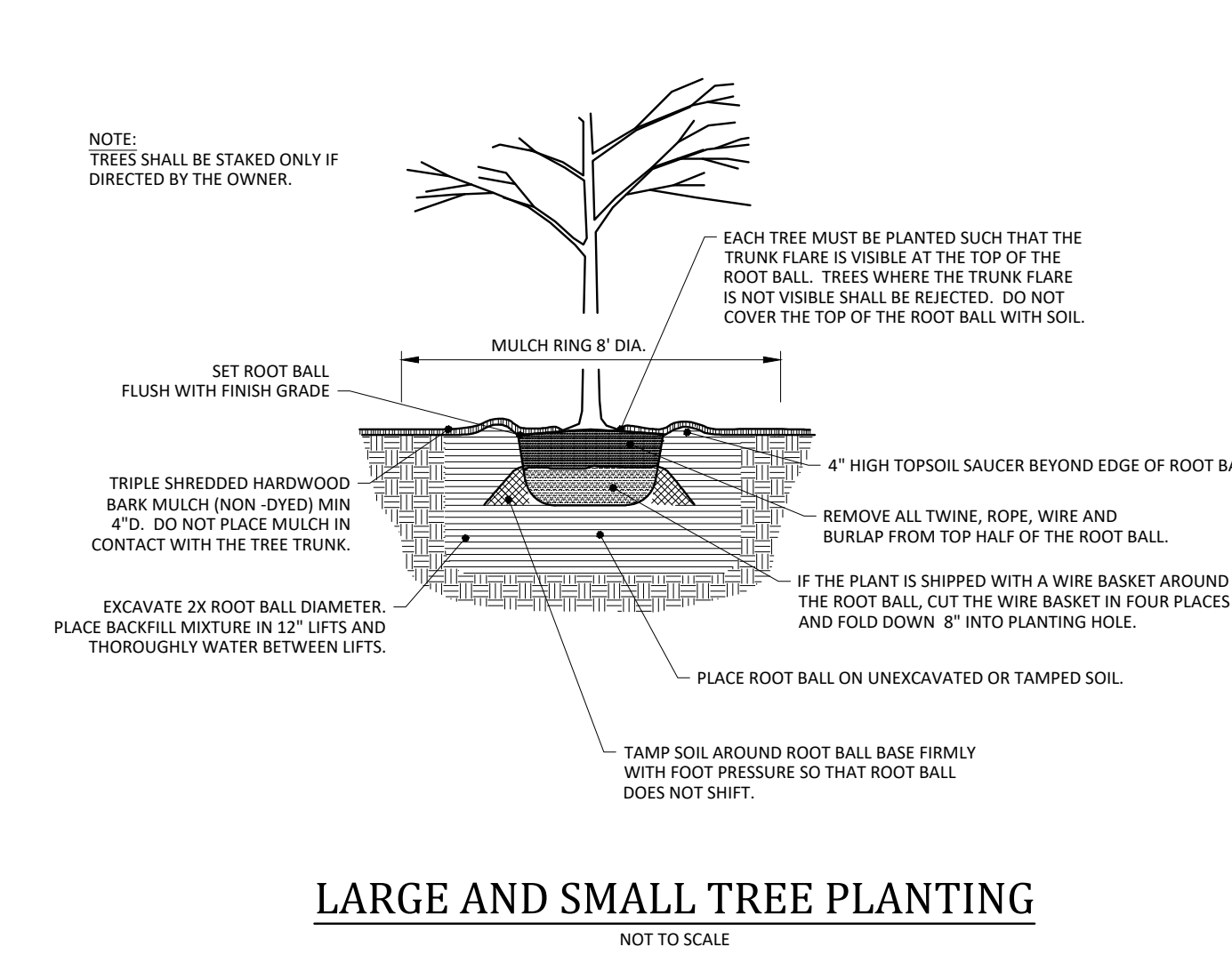
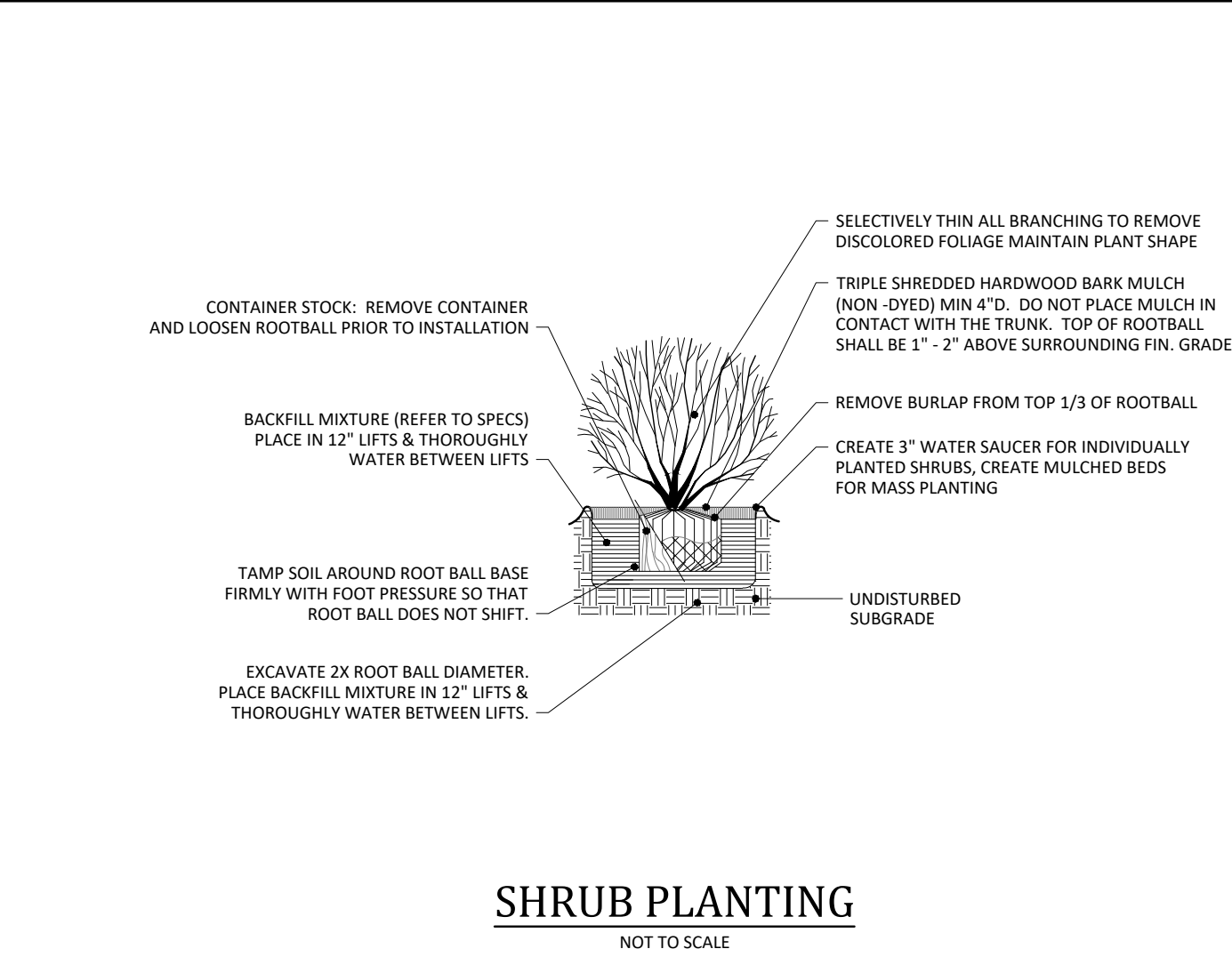
C4.0
 Date: May 1, 2023





- ### Bufferyard Notes:
1. SITE DATA:
 - A. PROVIDED VEGETATION FOR LOT:
 - LARGE TREES: 17 PROVIDED
 - B. REQUIRED STREET VEGETATION:
 - LARGE TREES: S. MAIN STREET = 260 LF / 40' * 1 TREE = 6.5 TREES (7 PROVIDED)
 - VIRGINIA WATER DRIVE = 170 LF / 40' * 1 TREE = 4.25 TREES (4 PROVIDED)
 - C. REQUIRED SCREENING VEGETATION: NONE
 - D. REQUIRED VEGETATION LOCATED IN EASEMENTS: NONE
 2. NOTES:
 - A. MINIMUM PLANT SIZES SHALL BE IN ACCORDANCE WITH THE SECTION 6.2.4.3 OF THE LDO AS FOLLOWS:

PLANTING MATERIAL TYPE	MINIMUM PLANTING SIZE
1. LARGE (CANOPY) TREE	8" (HEIGHT AND 2" CALIPER
2. SMALL/MEDIUM (UNDERSTORY) TREE	8" (HEIGHT) AND 1" CALIPER
3. SHRUB	24" (HEIGHT) - EVERGREEN 18" (HEIGHT) - DECIDUOUS
 - B. NO PORTION OF ANY PARKING SPACE SHALL BE LOCATED MORE THAN SIXTY (60) FEET FROM AN ON-SITE LARGE (CANOPY) TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE CLOSEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE IN ACCORDANCE WITH SECTION 6.2.4.4 OF THE LDO.
 - C. DUMPSTER/COMPACTOR SHALL BE SCREENED ON 3 SIDES IN ACCORDANCE WITH SECTION 6.2.4.6 OF THE LDO.
 - D. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN SANITARY SEWER, WATERLINE OR ELECTRIC EASEMENTS WITHOUT THE TOWN AND EASEMENT HOLDER APPROVAL.
 - E. ALL MULTI-STEM TREES SHALL HAVE AT LEAST THREE STALKS WITH A MINIMUM CALIPER OF 2.5" IN ACCORDANCE WITH SECTION 6.2.4.7 OF THE LDO.
 - F. LANDSCAPING SHALL BE COMPLIANT WITH LDO SECTION 6.2.4
 - G. MINIMUM OF 3 FEET CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE BUILDING CODE.
 - H. PLANTINGS WITHIN THE R/W ARE TO BE INSTALLED AS PART OF THE MAIN STREET PROJECT (NCDOT U-6241). SEE STANTEC PLAN SHEET L-4.
 - I. REFER TO WALLBROOK PRELIMINARY PLAT (PR 21-04 REV) FOR VEGETATION PRESERVATION IN THIS AREA.
- CONTRACTOR SHALL PLACE WEED MATTING AND METAL EDGING LOCATED AT THE BACK OF CURB AROUND ALL MULCH BEDS**



- ### Vegetation Legend:
- PROPOSED LARGE TREE (CANOPY)
TOTAL QUANTITY = 17
CALIPER = 3"
HEIGHT = 12"
MATURE HEIGHT = 50' - 80'
COMMON NAME: RED MAPLE
BOTANICAL NAME: ACER RUBRUM
 - PROPOSED SHRUB(S)
TOTAL QUANTITY = 117
HEIGHT = 24"
MATURE HEIGHT = 24" - 36"
COMMON NAME = GREY OWL EASTERN RED CEDAR
BOTANICAL NAME = JUNIPERUS VIRGINIANA 'GREY OWL'
 - PROPOSED SOD
TOTAL QUANTITY = 11,060 SF

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REQUIRED VEGETATION PLAN

7ELEVEN AT WALLBROOK (LOT 11)

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Project Manager: BCF

Drawn By: DLC/TN

Checked By: TN

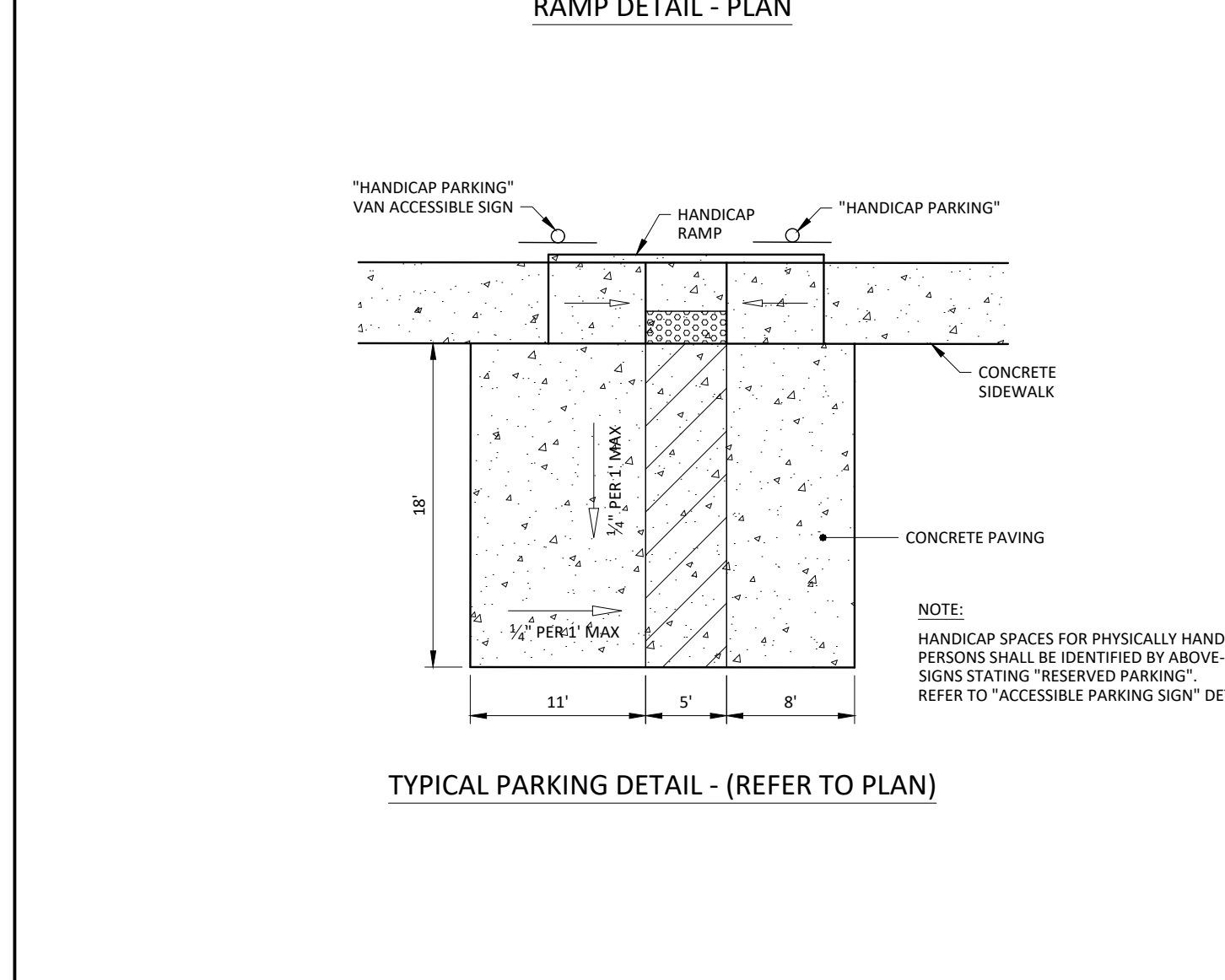
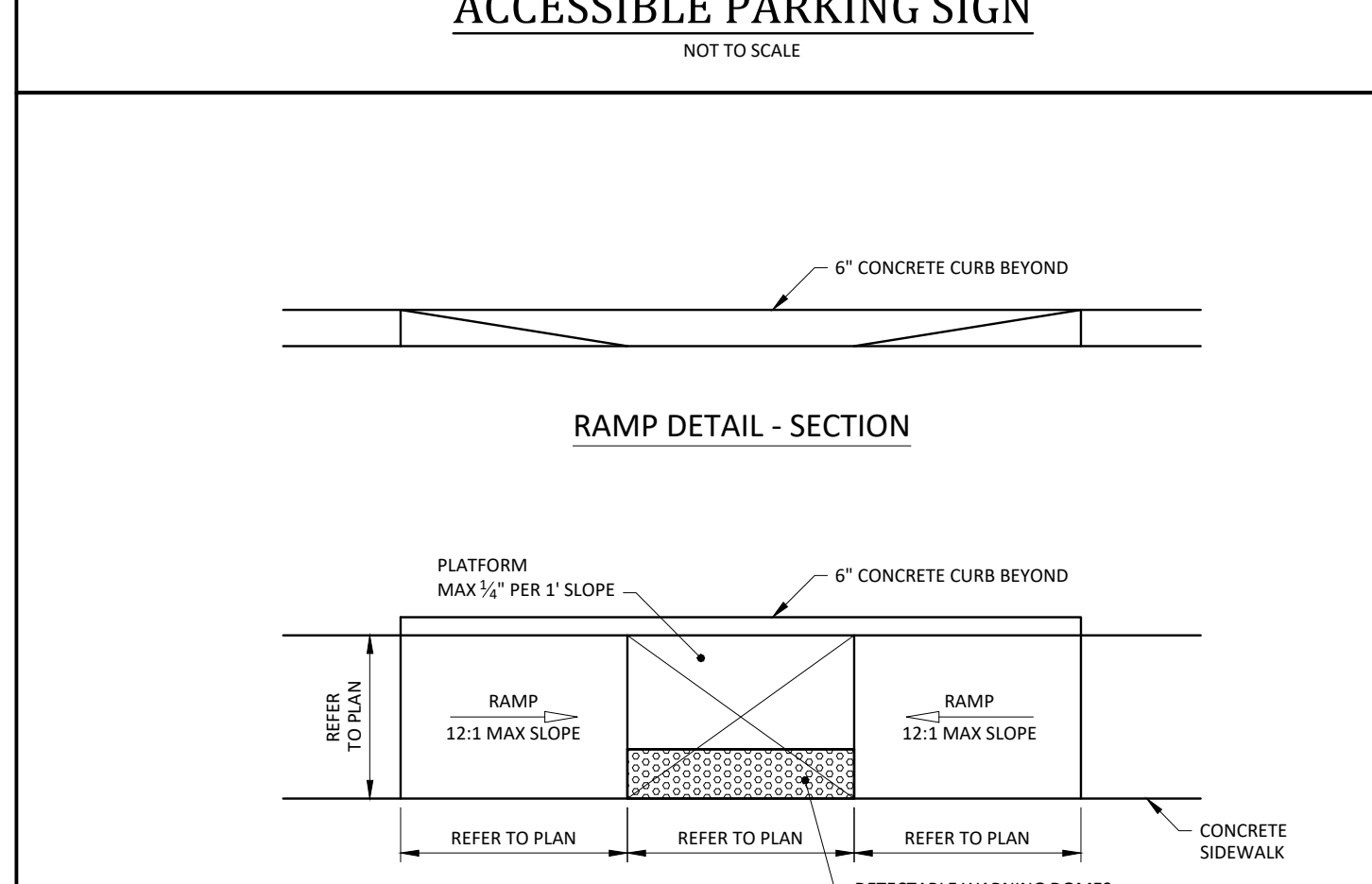
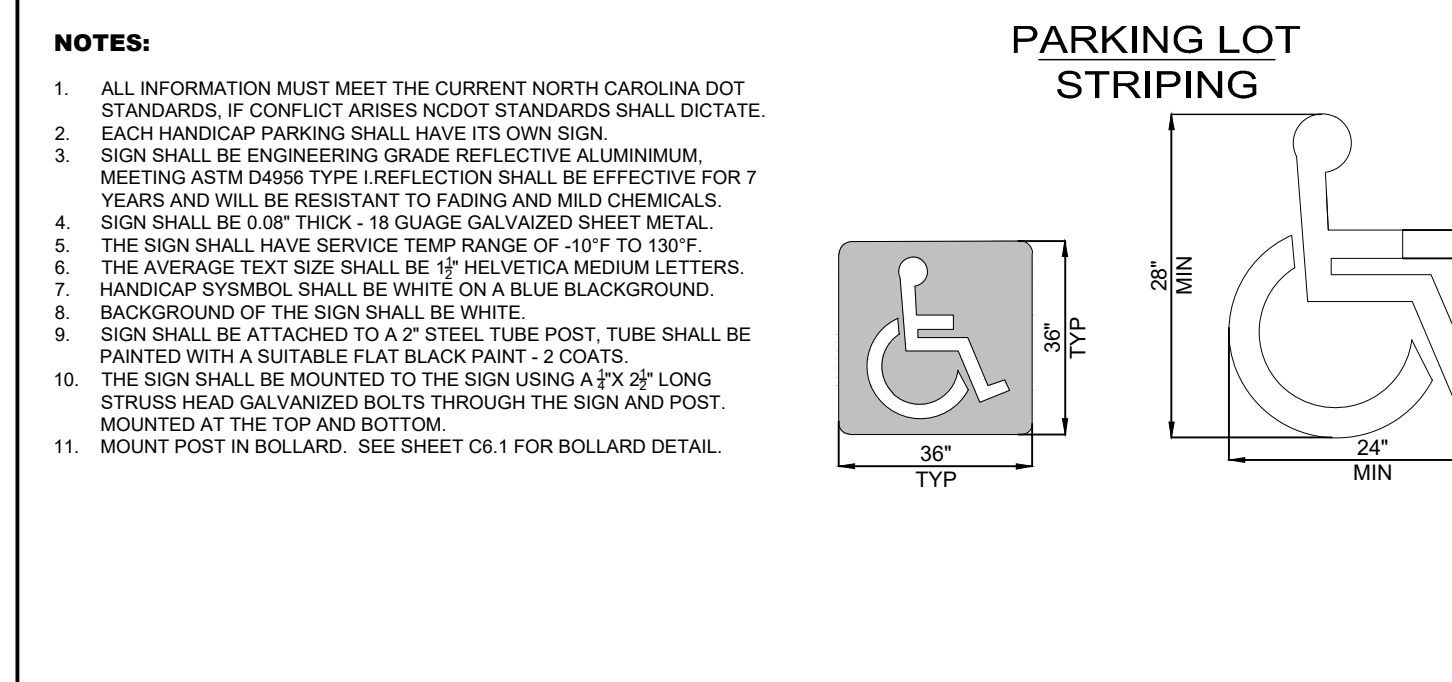
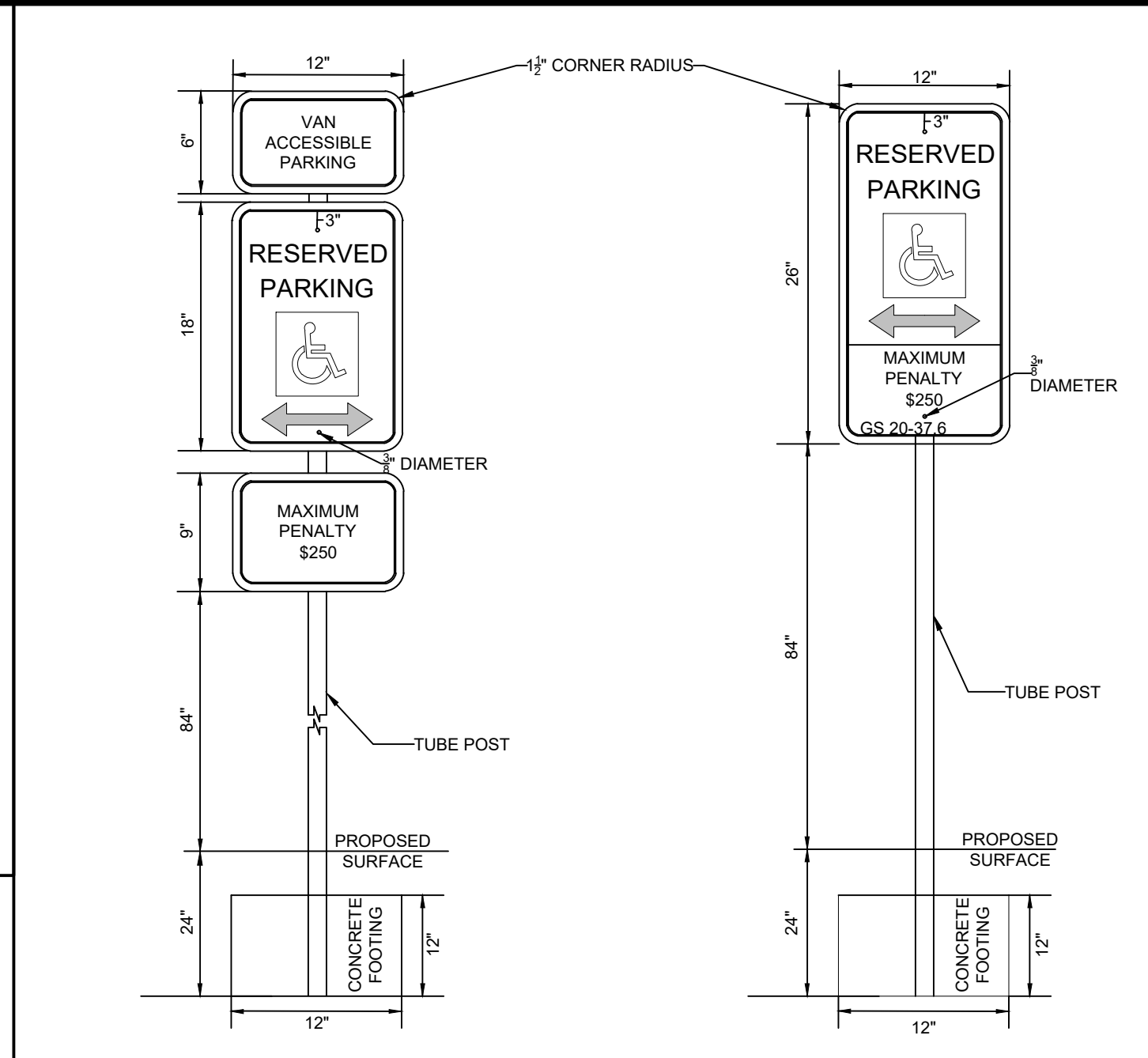
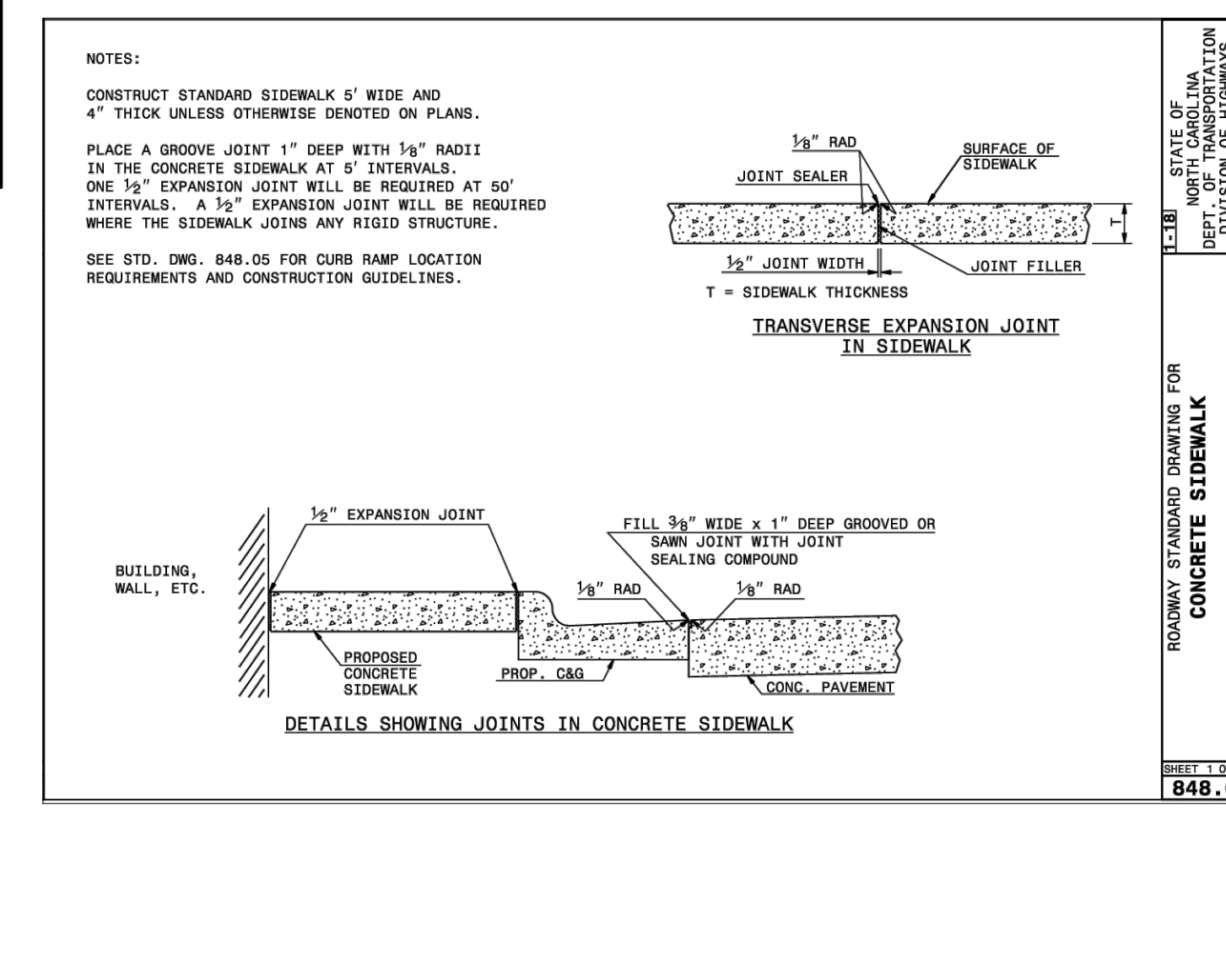
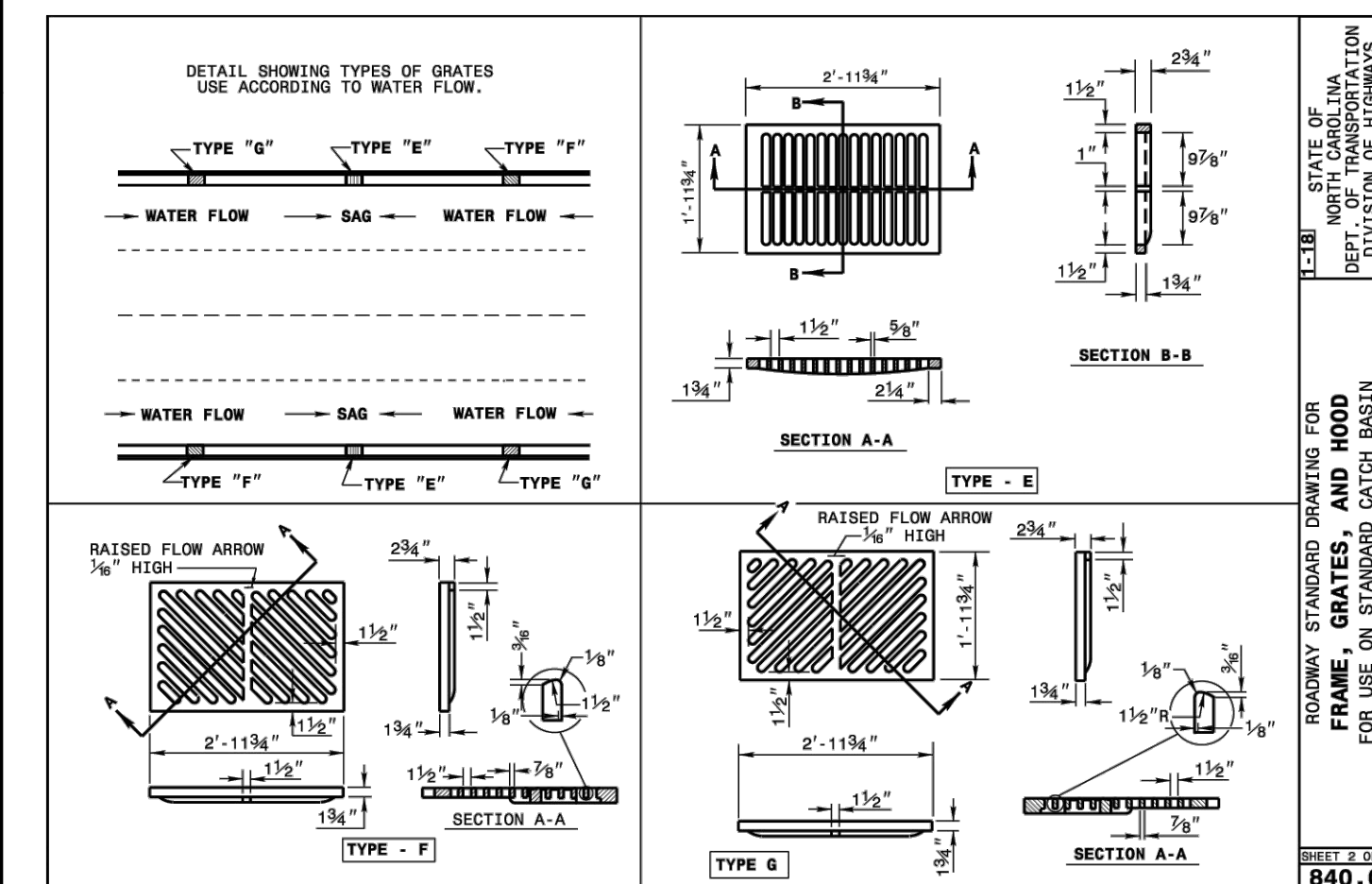
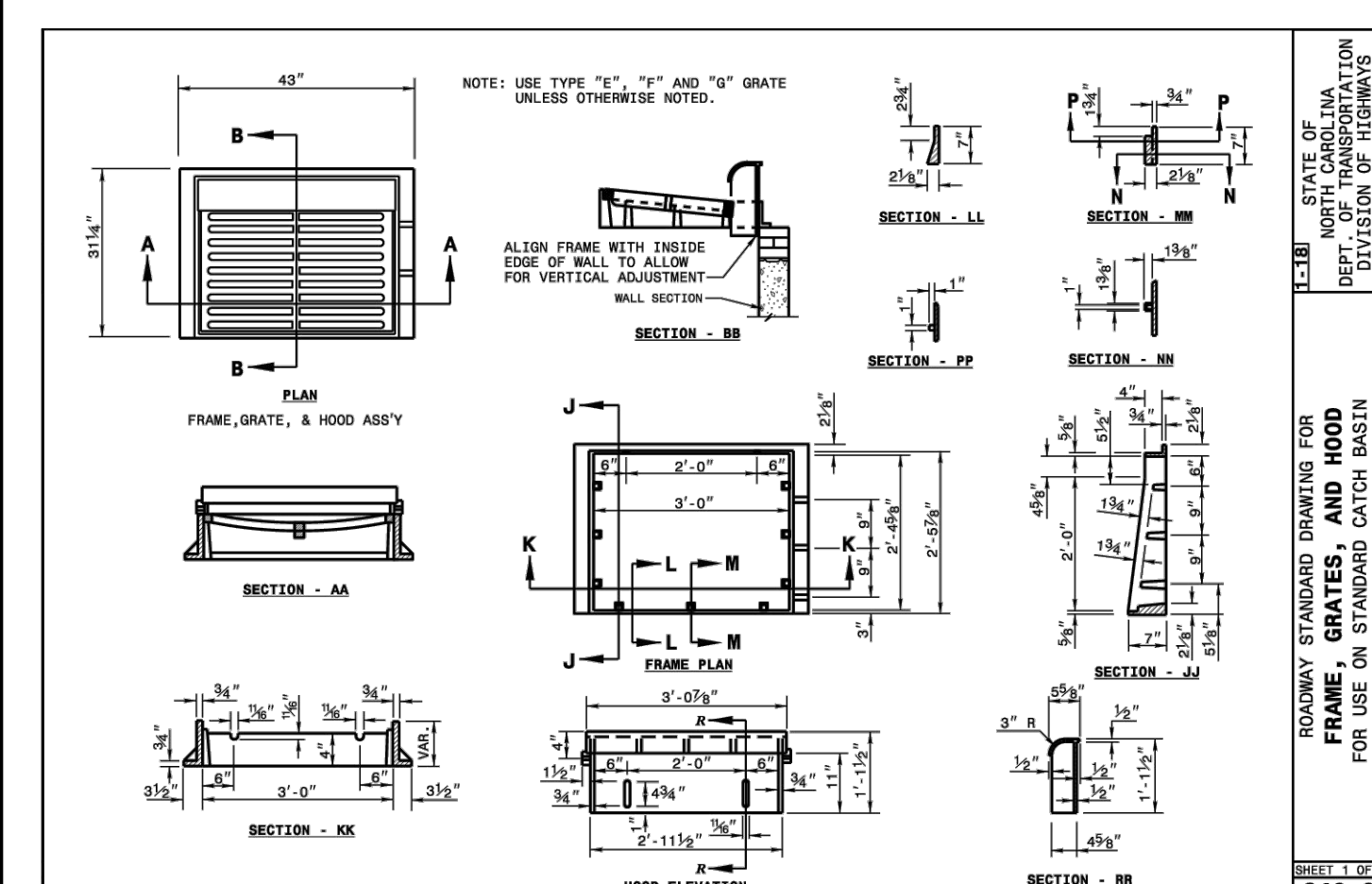
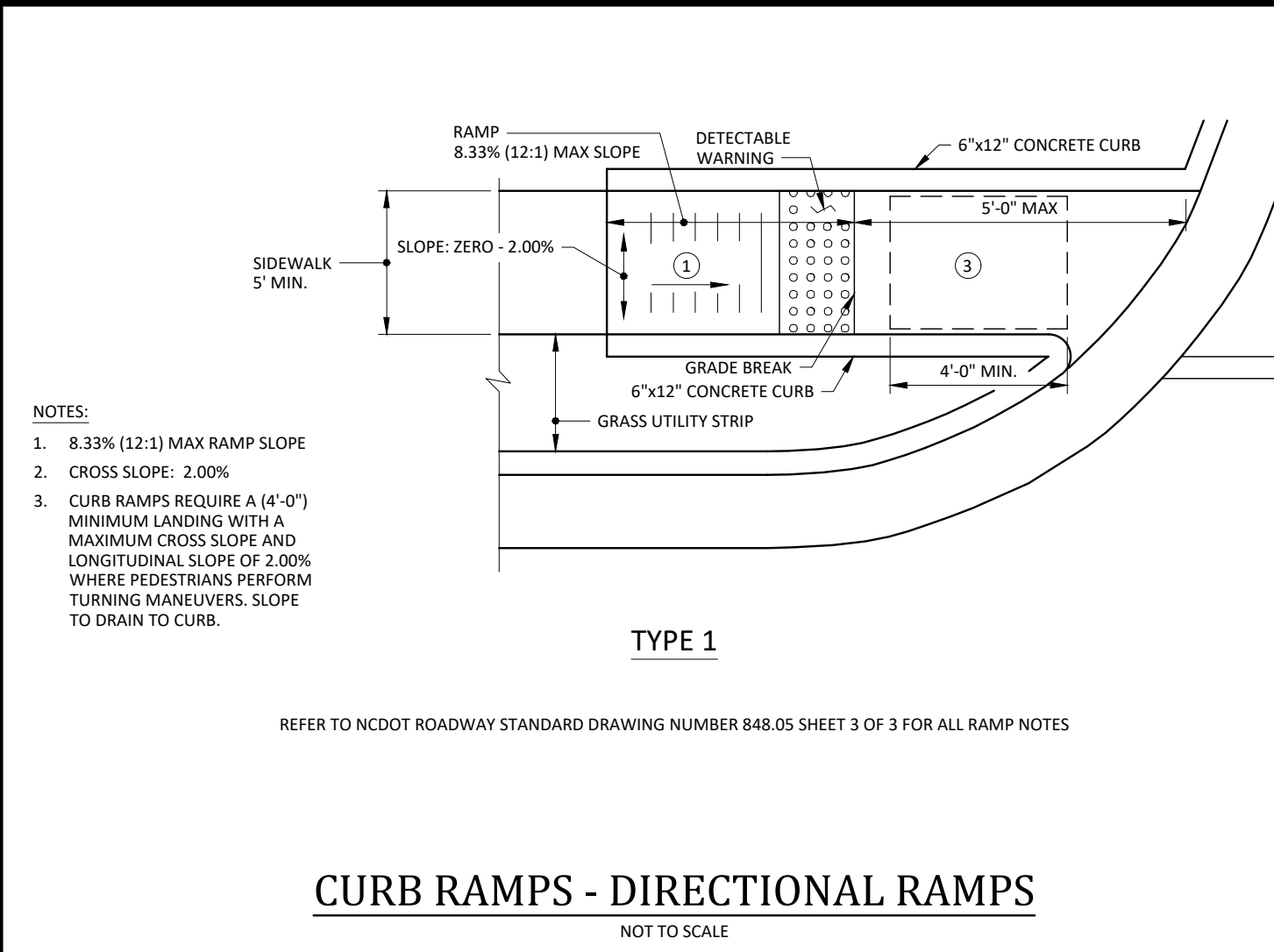
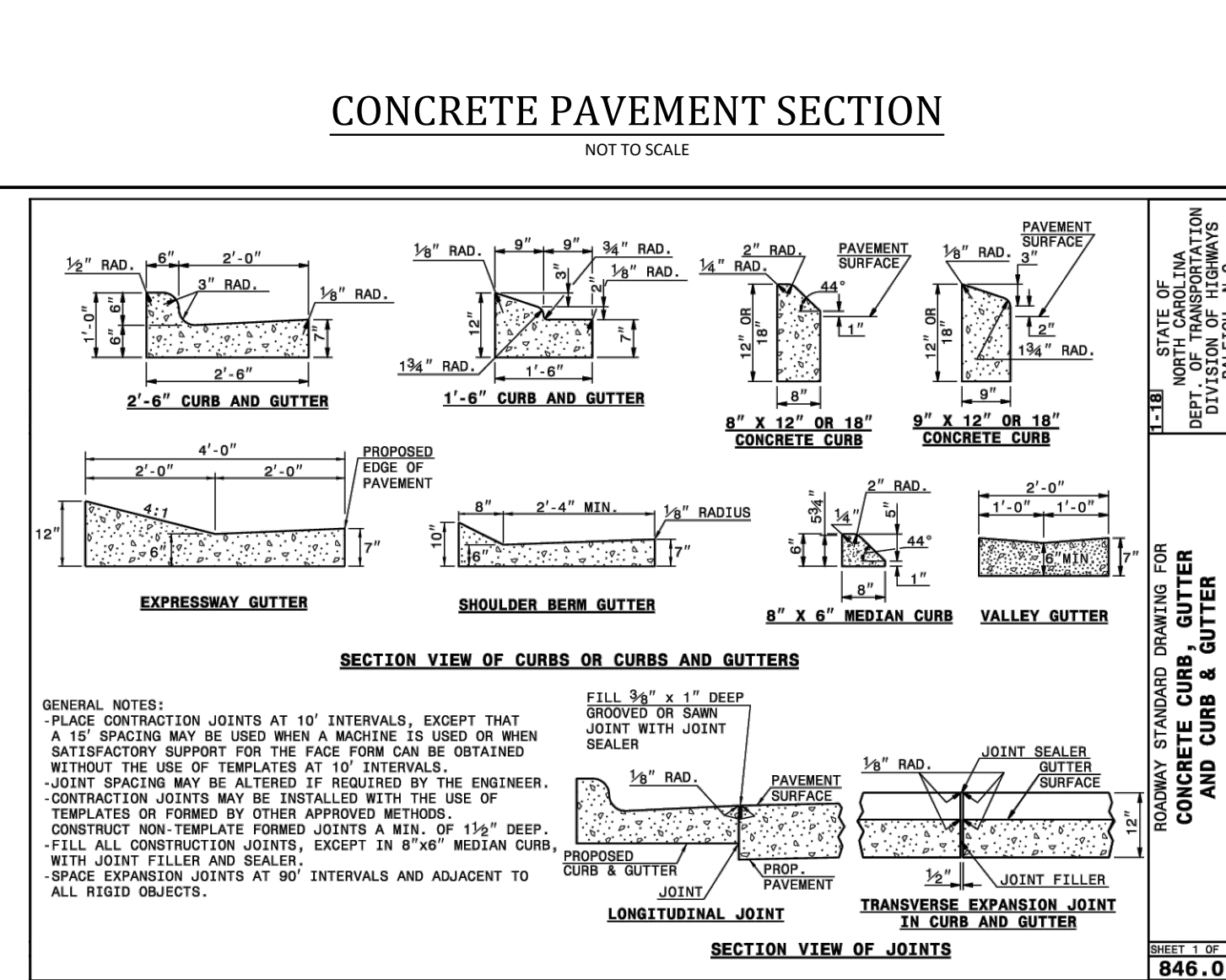
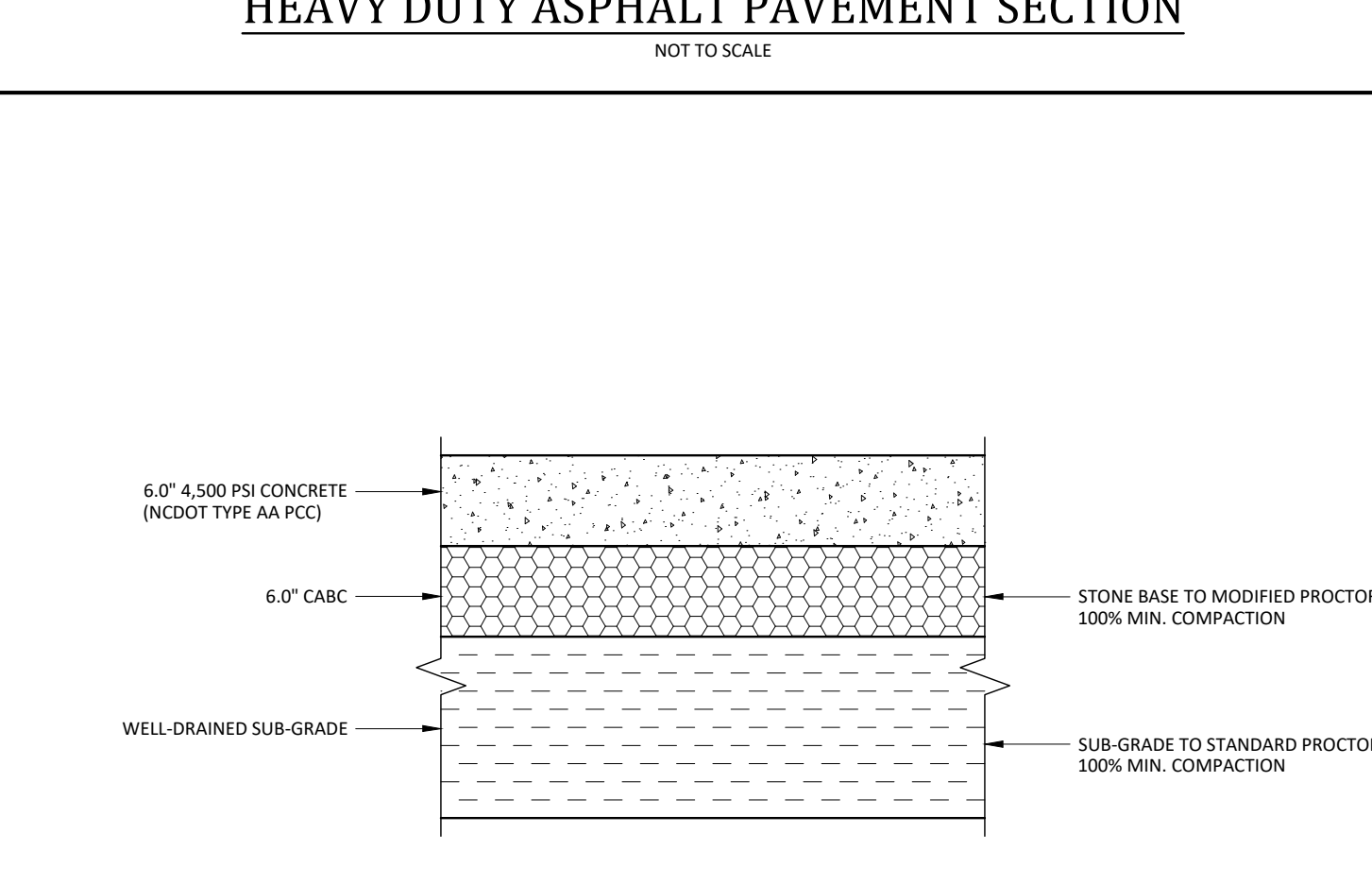
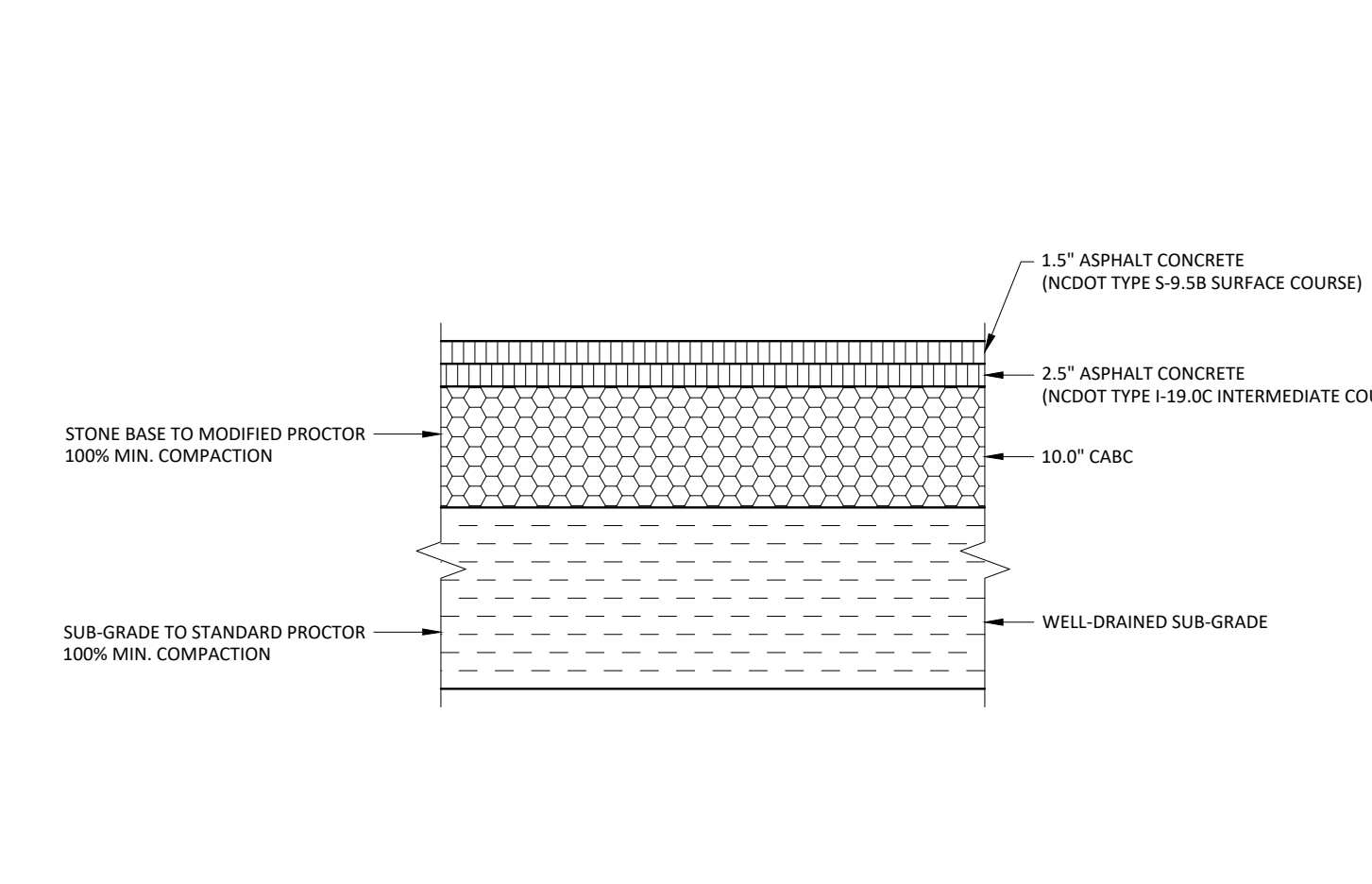
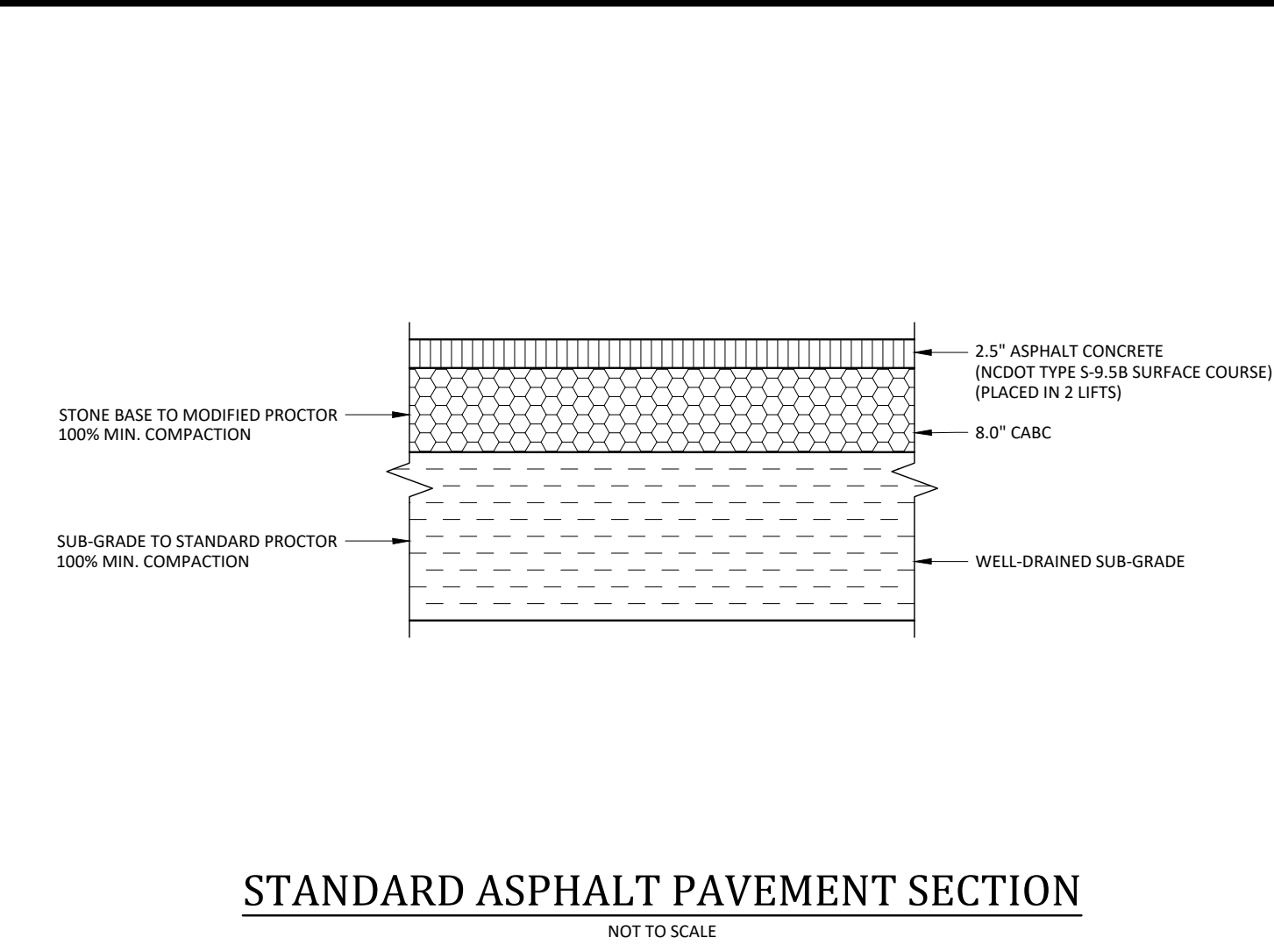
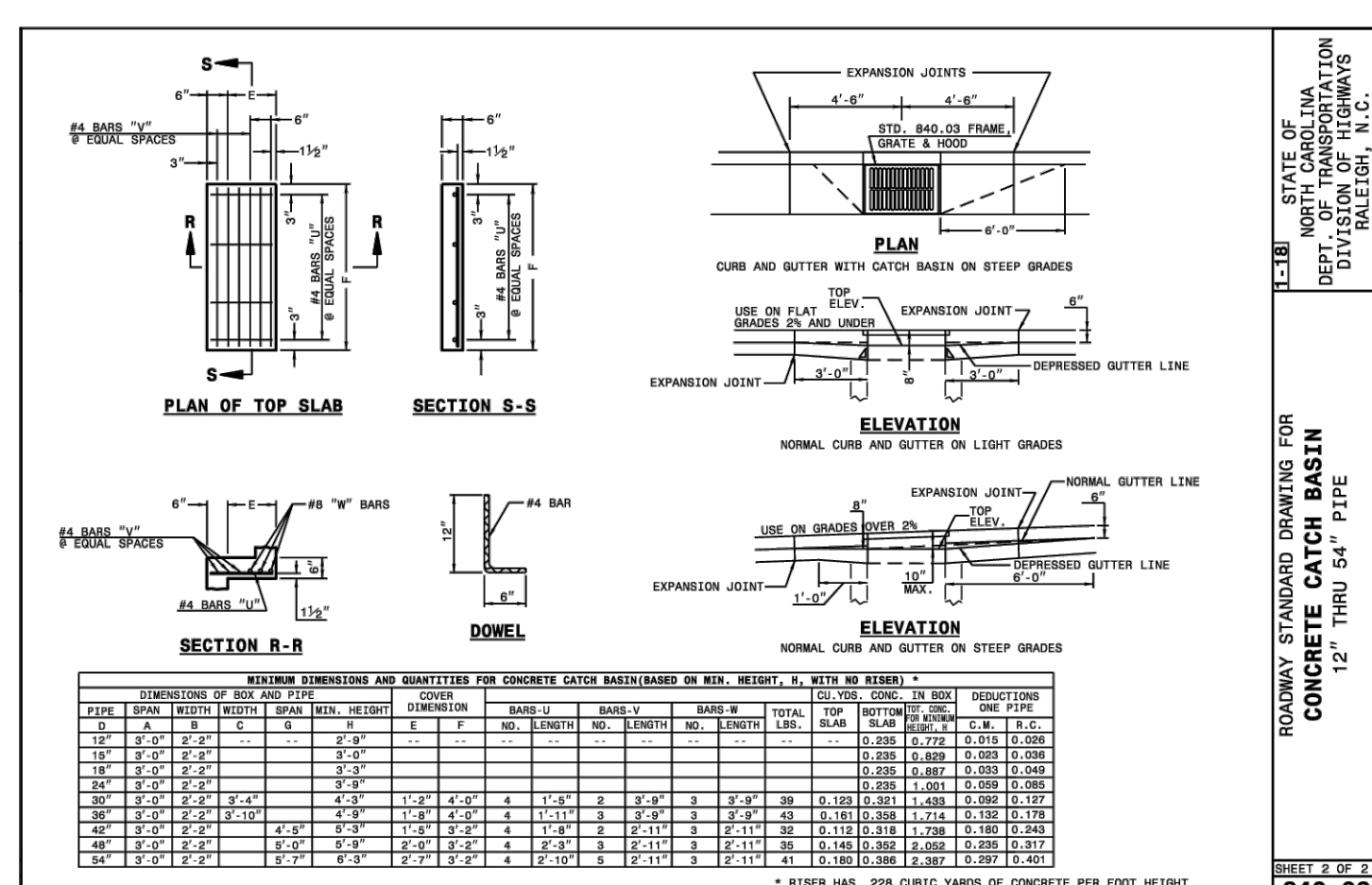
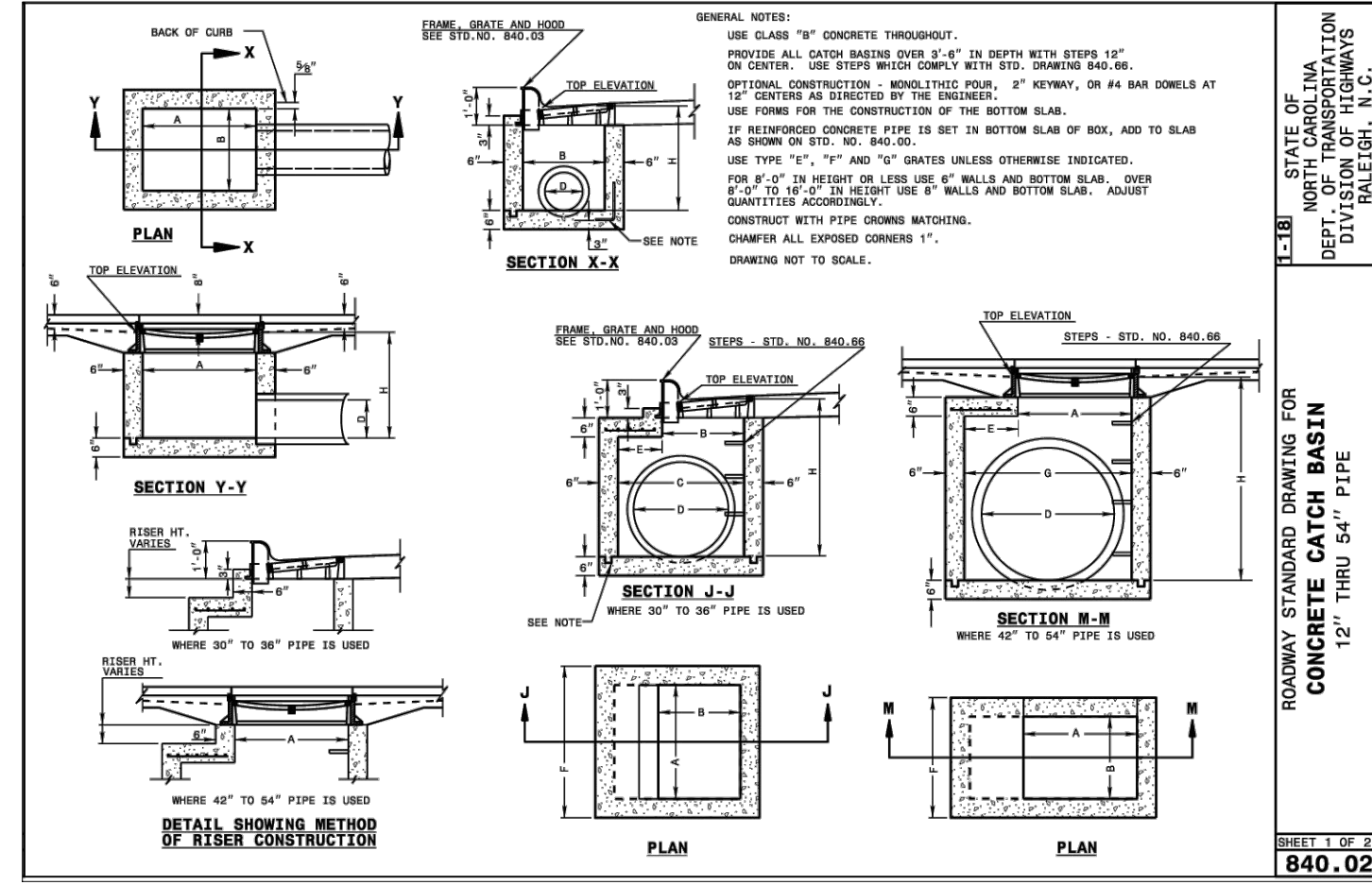
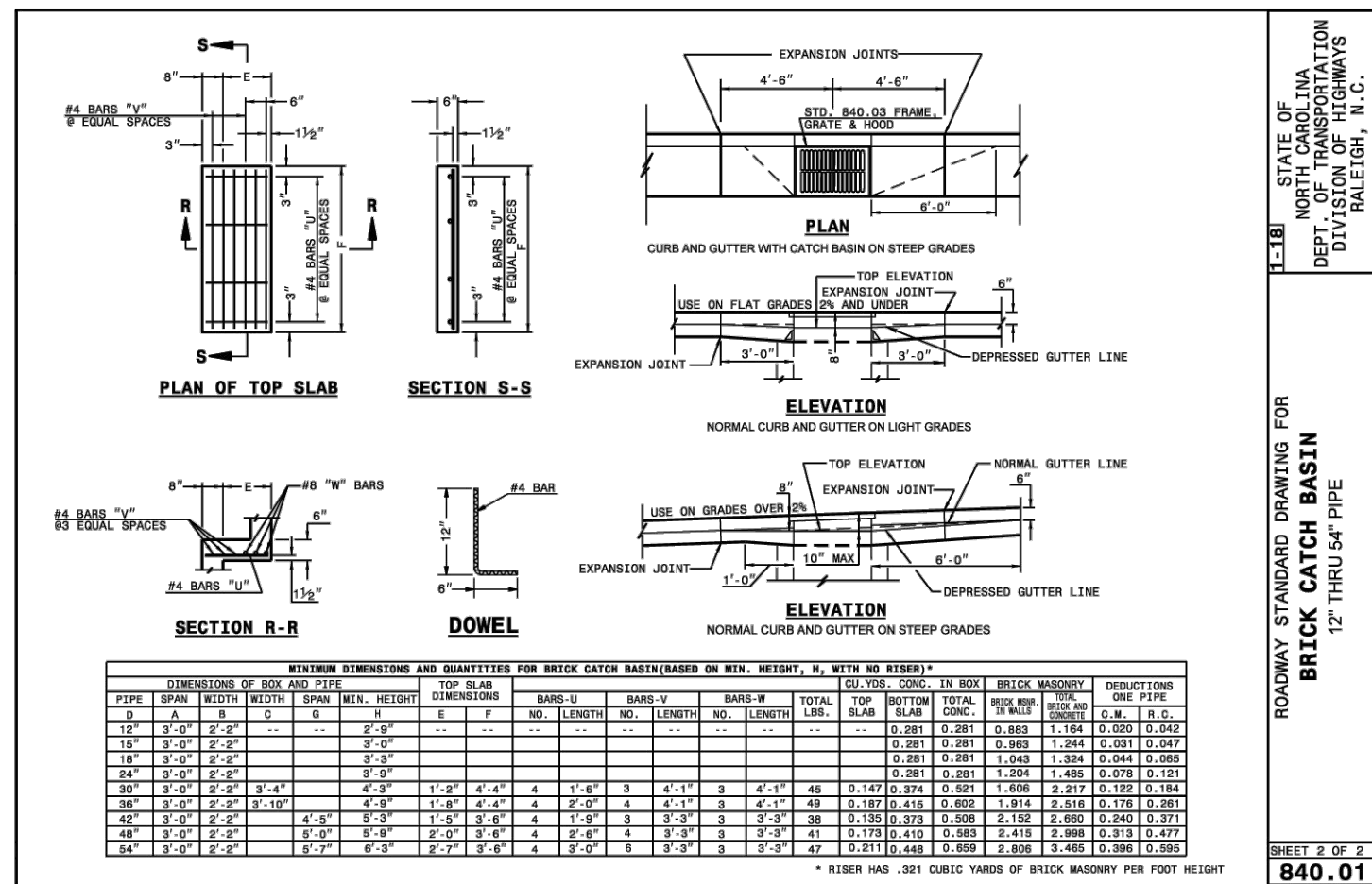
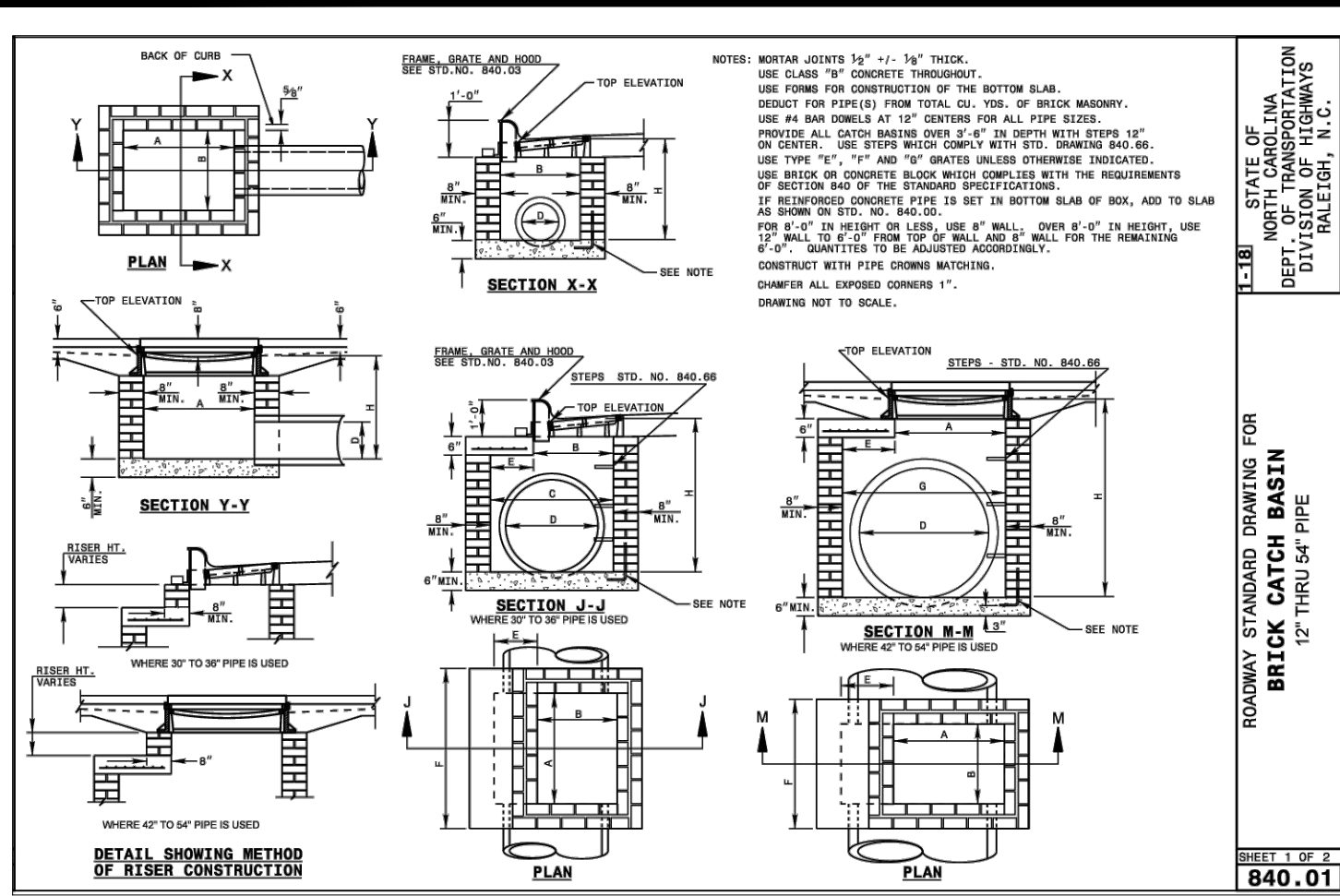
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Drawing Number: D-1404-SDP

C5.0

Date: May 1, 2023





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CROSLAND SOUTHEAST
ELEVEN

DETAILS

7ELEVEN AT WALLBROOK (LOT 11)

Town of Rolesville Project No. SDP 23-04

US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129

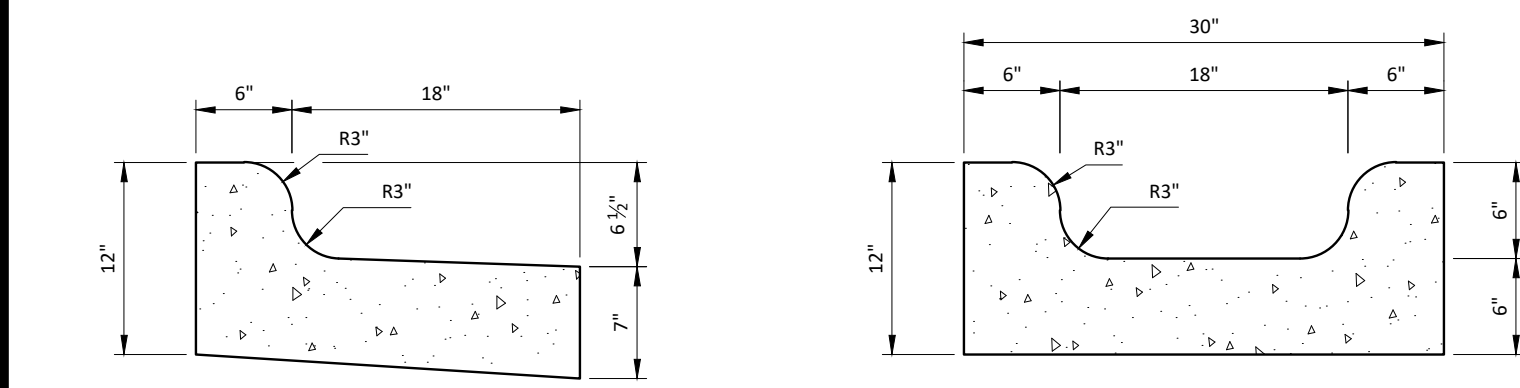
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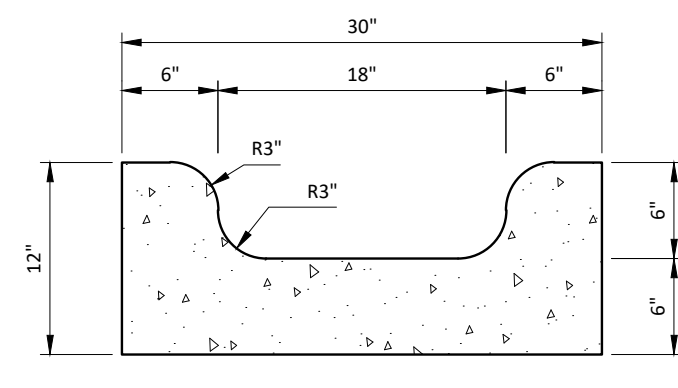
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C6.0

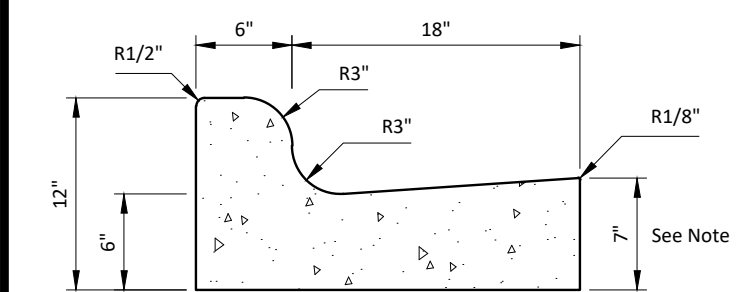
Date: May 1, 2023



24" CONCRETE CURB AND GUTTER - SPILL

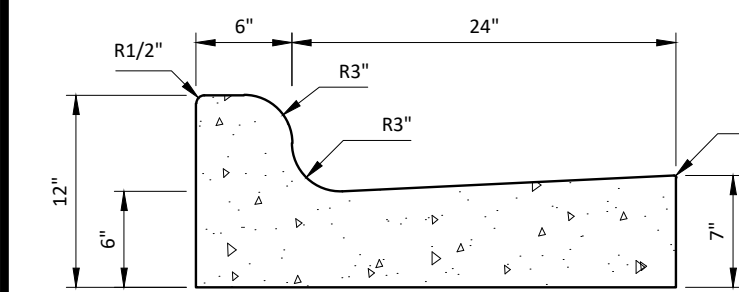


SPECIAL GUTTER

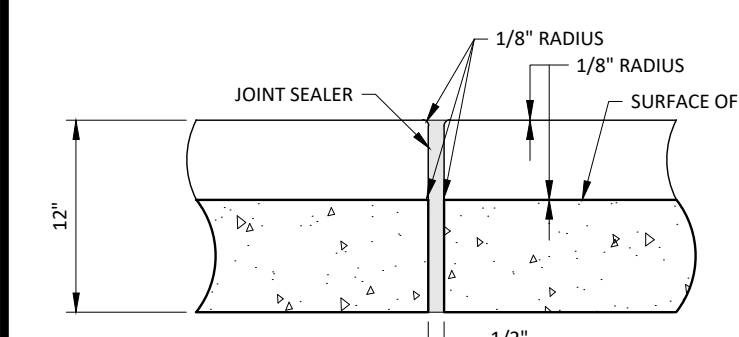


24" CONCRETE CURB AND GUTTER

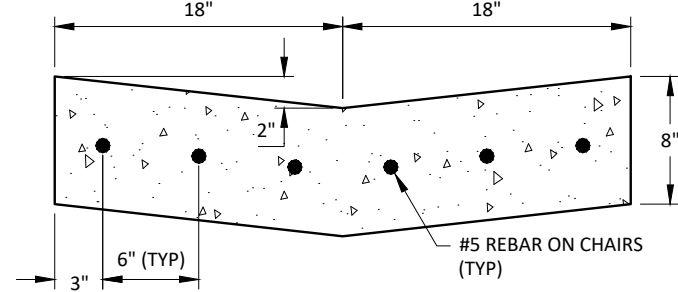
- GENERAL NOTES:
- CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS, EXCEPT THAT A 15' SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10' INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 - CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS, WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE OBTAINED.
 - ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
 - EXPANSION JOINTS SHALL BE SPACED AT 90' INTERVALS, AND ADJACENT TO ALL RIGID OBJECTS.
 - ALL CURB AND GUTTERS ARE TO BE POURED WITH CLASS "A" CONCRETE (3000 PSI)
 - FLEXIBLE FORMS ARE TO BE USED WHEN RADI IS LESS THAN 200.



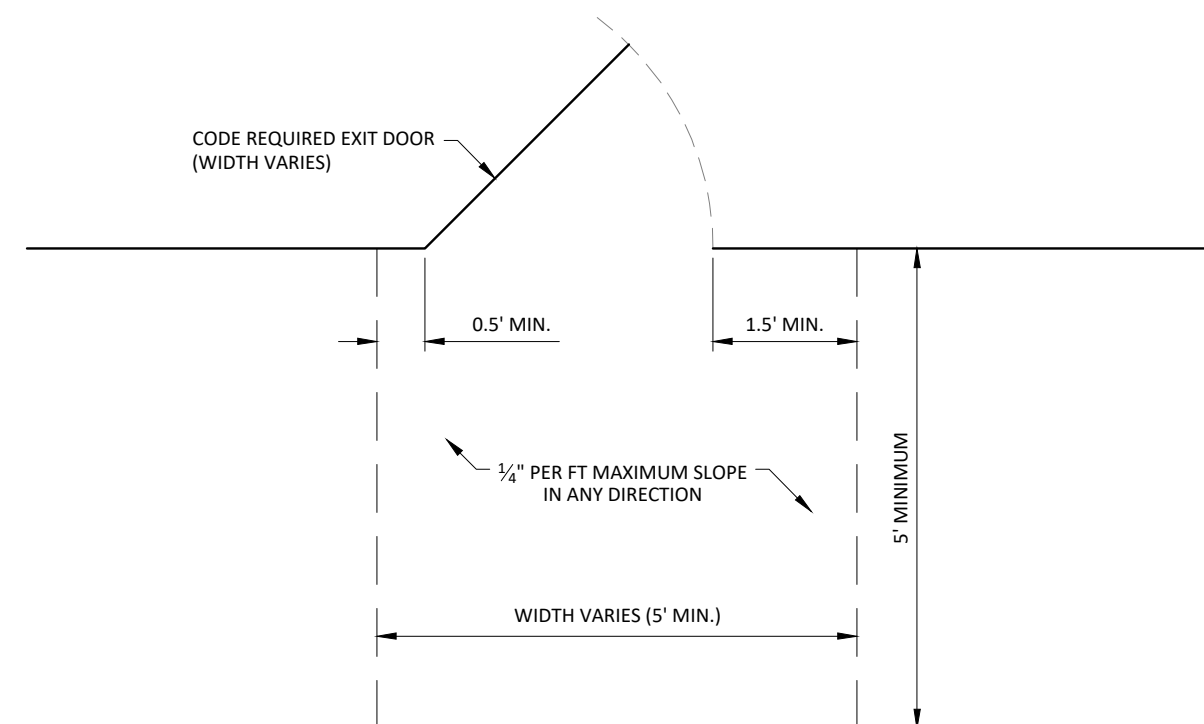
30" CONCRETE CURB AND GUTTER



CURB AND GUTTER DETAIL



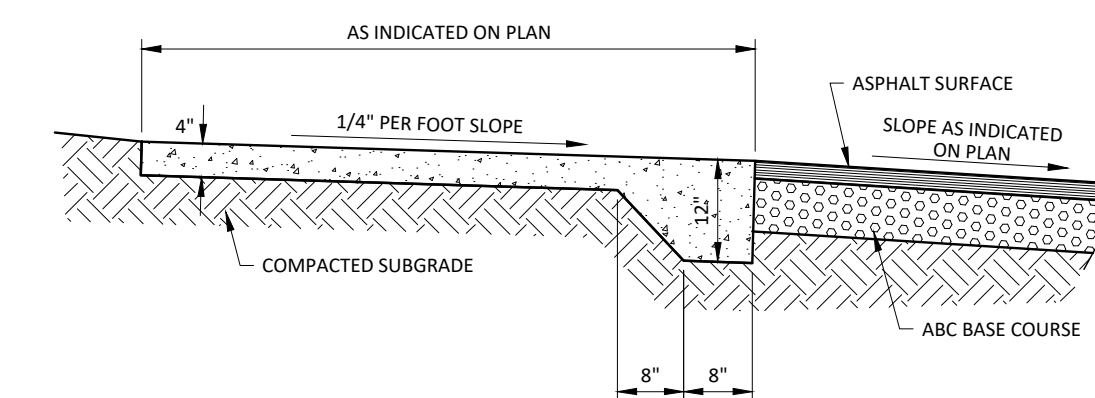
CONCRETE VALLEY GUTTER



*REFER TO ARCHITECTURAL DRAWING(S) FOR REQUIRED EXIT DOOR LOCATION(S)

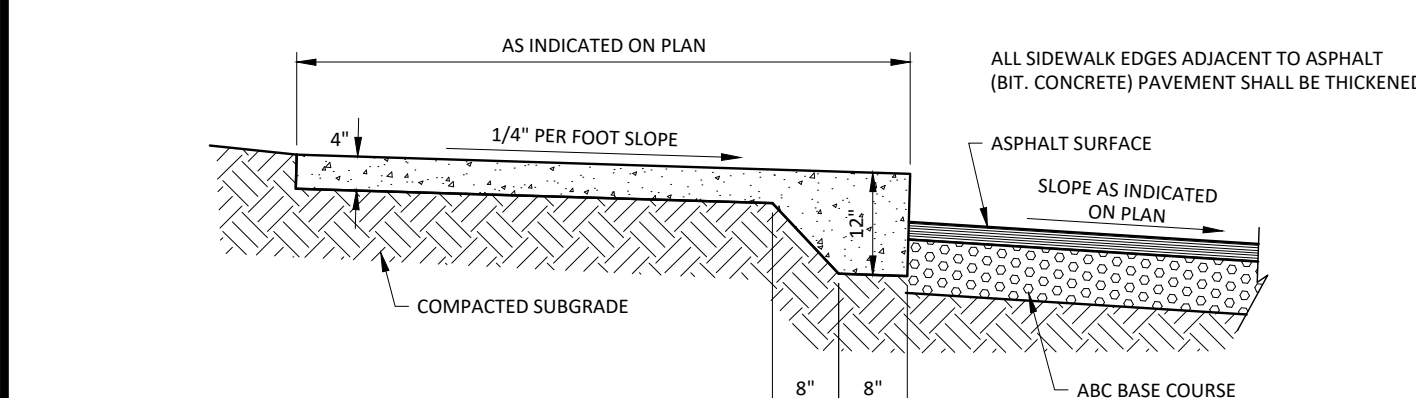
REQUIRED BUILDING EXIT DOOR ACCESSIBLE GRADES

NOT TO SCALE



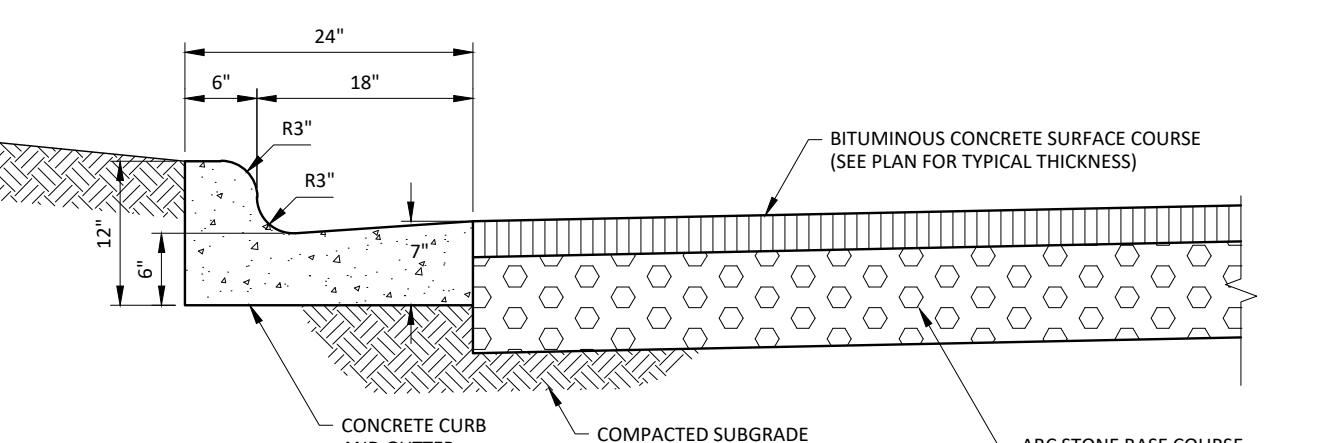
THICKENED EDGE CONCRETE WALK

NOT TO SCALE



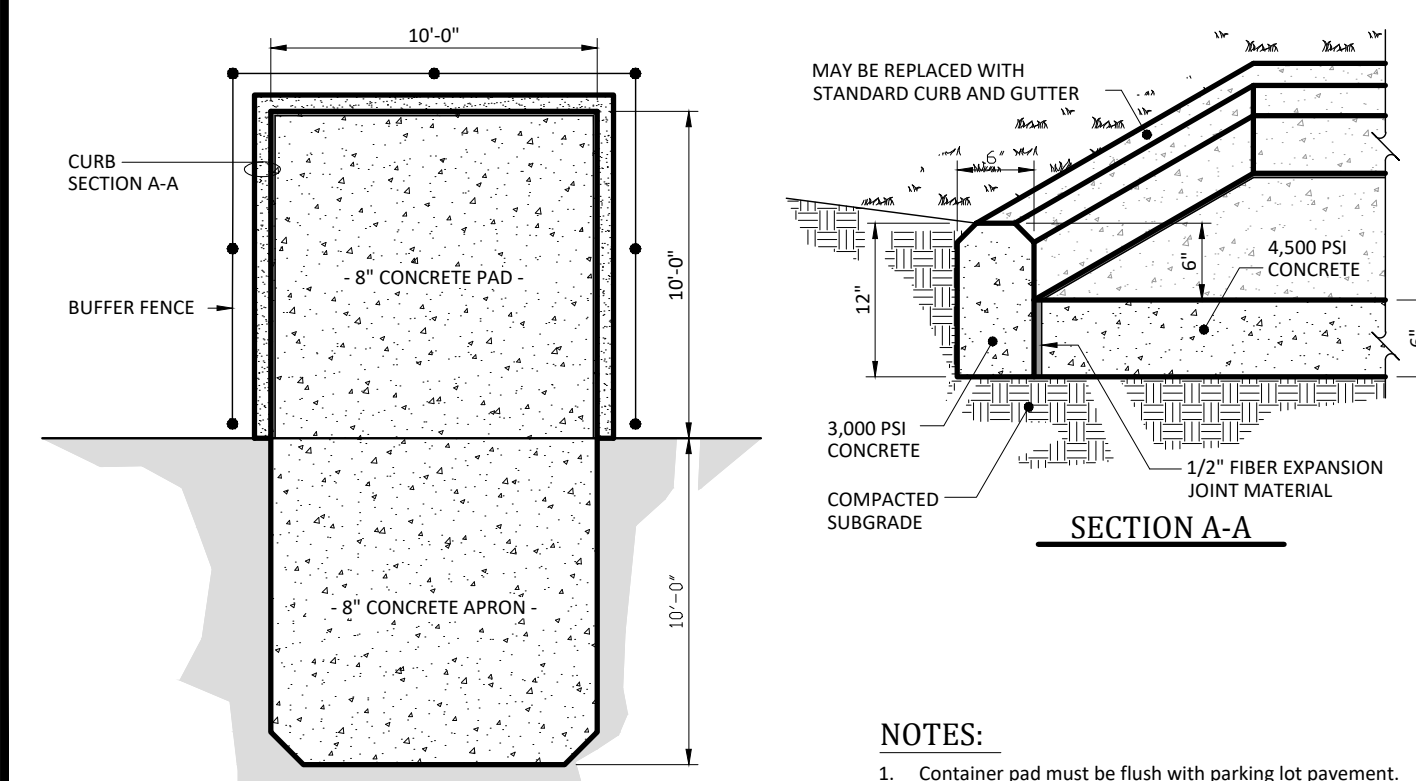
RAISED THICKENED EDGE CONCRETE WALK

NOT TO SCALE



CURB AND GUTTER AND PAVEMENT DETAIL

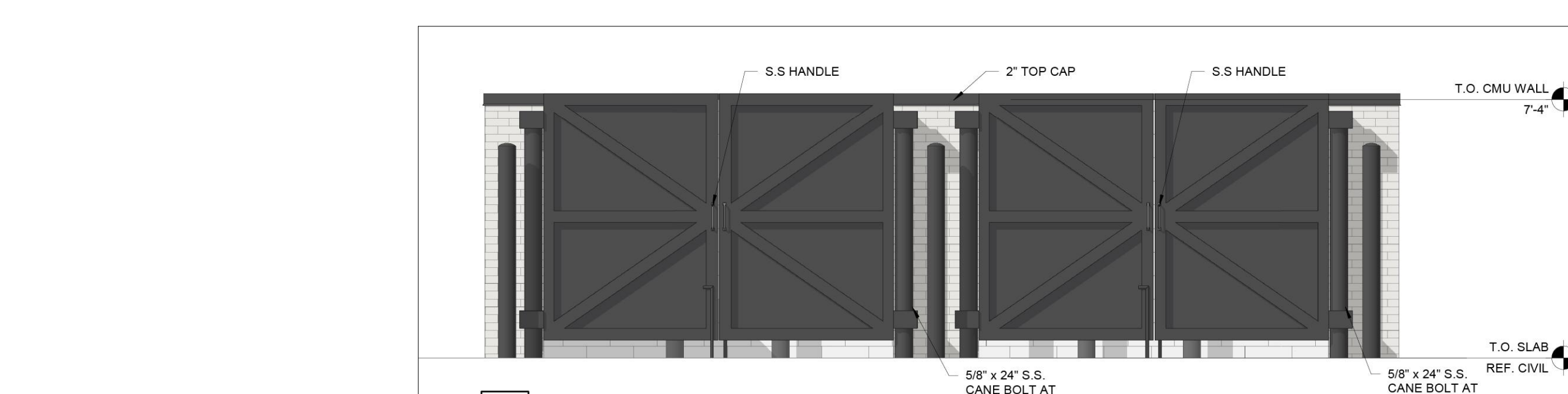
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DUMPSTER PAD

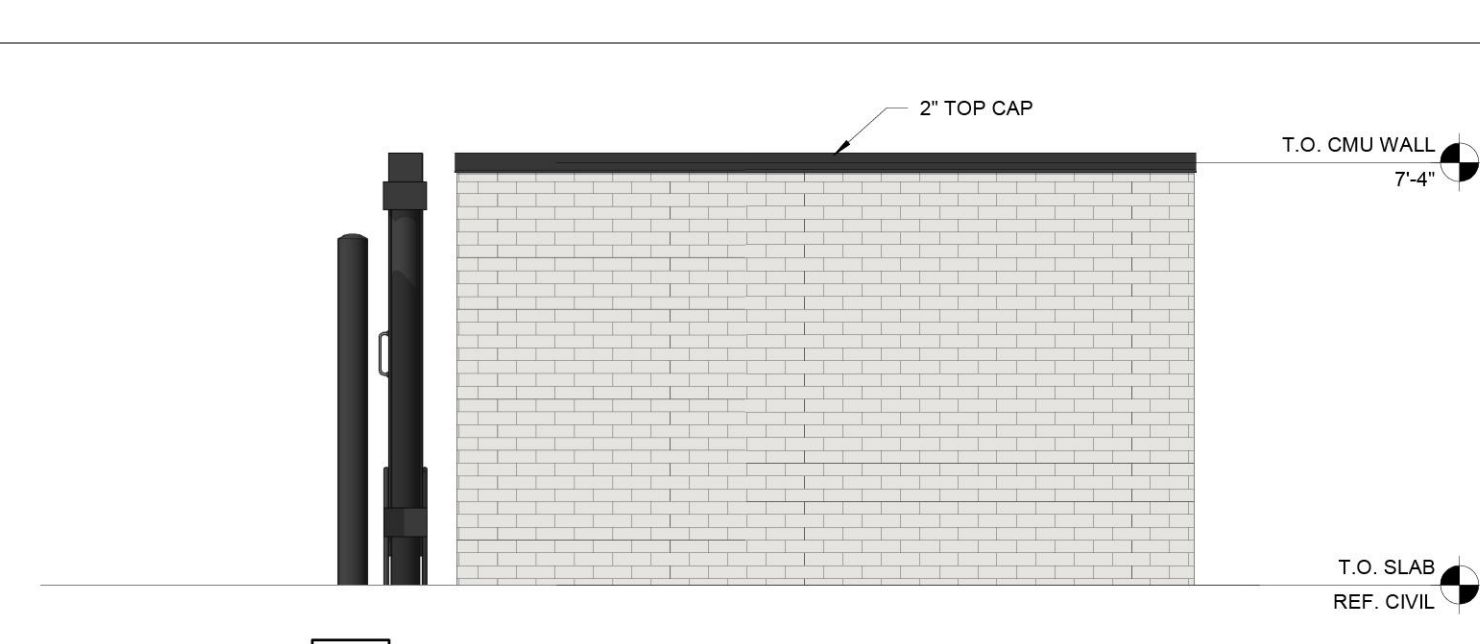
NOT TO SCALE

- NOTES:
- Container pad must be flush with parking lot pavement.



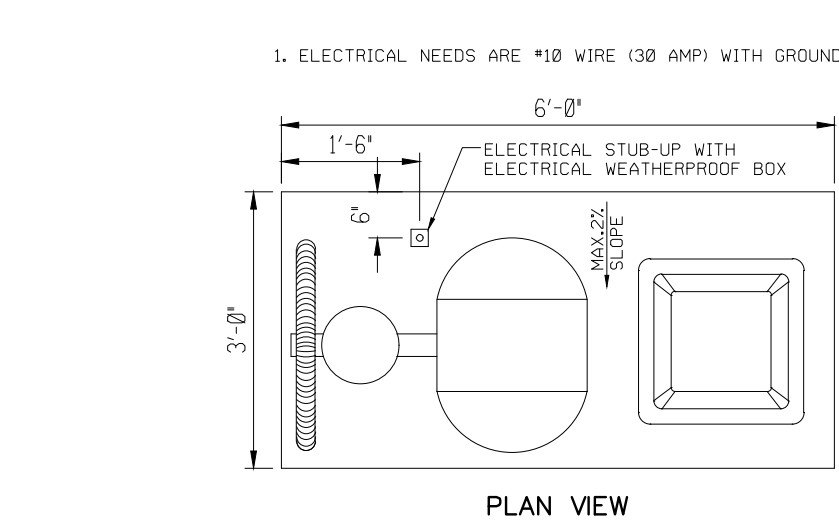
5 FRONT DUMPSTER ENCLOSURE ELEVATION

3/8" = 1'-0"

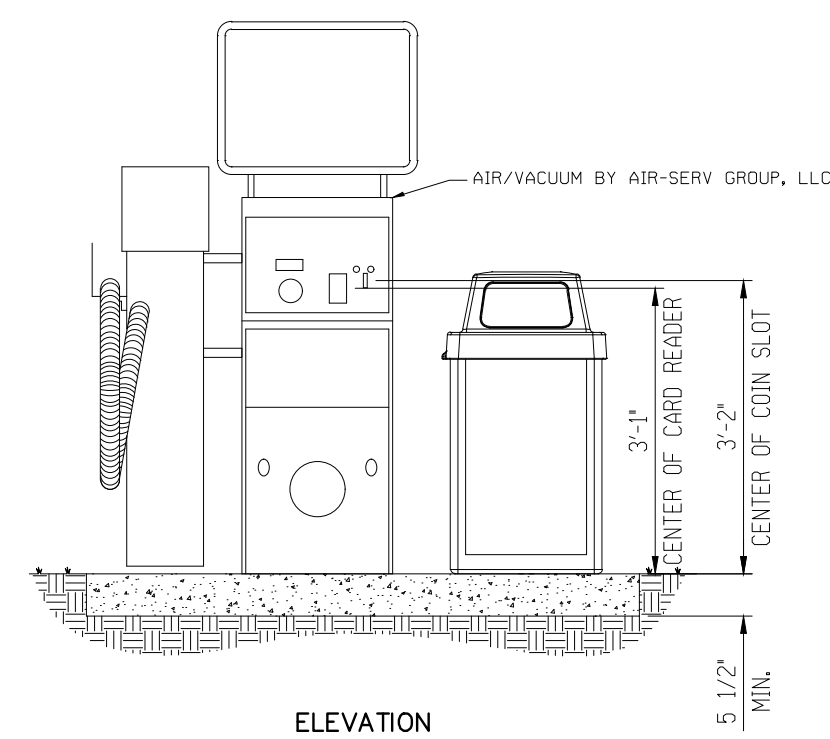


6 SIDE DUMPSTER ENCLOSURE ELEVATION

3/8" = 1'-0"



PLAN VIEW



ELEVATION

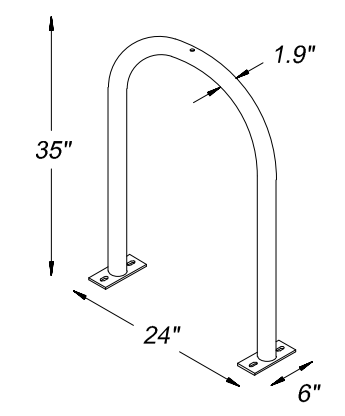
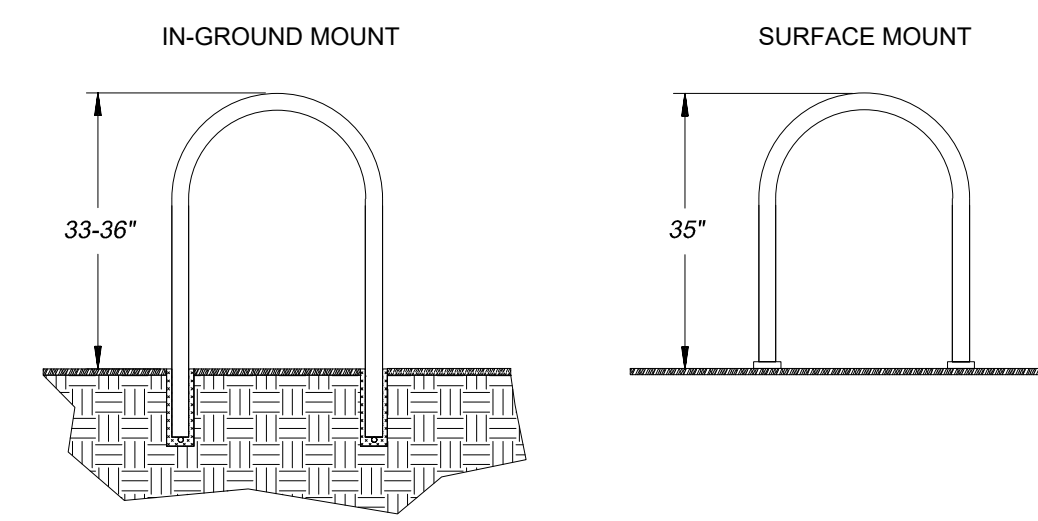
AIR - VAC MACHINE

NOT TO SCALE

- DESIGNER NOTE:
- CALIFORNIA SITES REQUIRE AIR/WATER AND THAT THERE BE A FREE OPTION THROUGH THE REMOTE SYSTEM.
 - DESIGNER TO SEPARATE THE VACUUM SERVICE AT CAR WASH LOCATIONS IF TWO PLACEMENTS ARE AVAILABLE, OPTION TO PROVIDE AIR/WATER/VACUUM THROUGH THE SAME MACHINE IF NECESSARY.

- NOTE:
- MAXIMUM 2 PERCENT GRADE SLOPE EACH WAY REQUIRED FOR AMERICANS WITH DISABILITIES ACT.

GC TO PROVIDE CONCRETE SLAB AND UTILITIES. AIR SERV TO PROVIDE EQUIPMENT AND MAKE FINAL CONNECTIONS.



STANDARD BIKE RACK

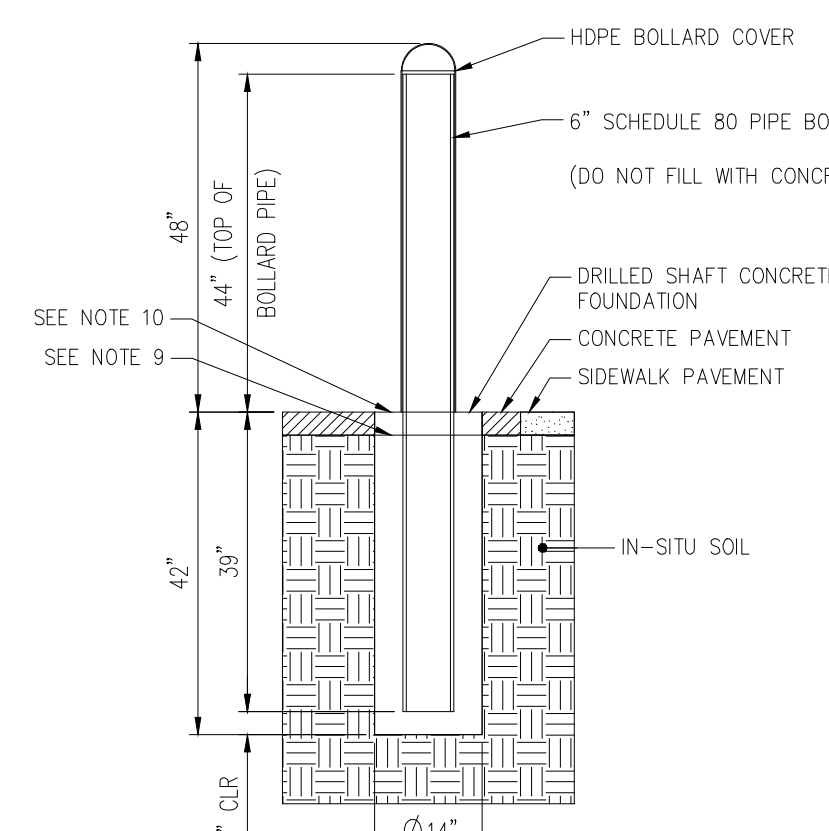
BIKE RACK INSTALLATION:
SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.
IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
1	11/14/23	ISSUED FOR PERMIT REVIEW
2	11/14/23	REVISED PER FOR REVIEW COMMENTS
3	11/14/23	ISSUED FOR PERMIT REVIEW

B-20.03

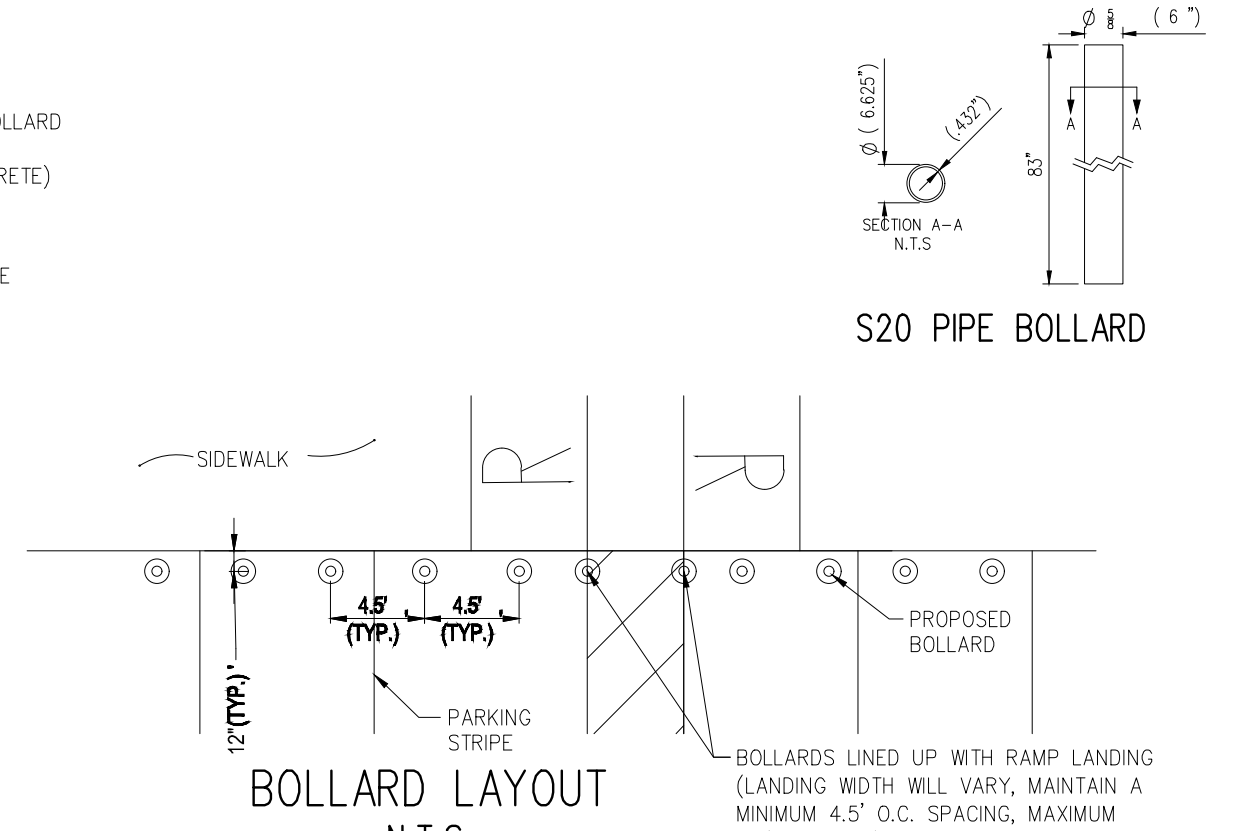
- GENERAL NOTES:
- MAXIMUM BOLLARD SPACING IS 5' ON CENTER.
 - CONCRETE TO BE 4,000 PSI MIN. UNCONFINED COMPRESSIVE STRENGTH.
 - REINFORCING STEEL CONFORMS TO ASTM A615 GRADE 60.
 - BOLLARD PIPE IS ASTM A53, TYPE E, GRADE B OR A500 GRADE B/C.
 - PROVIDE HIGH-DENSITY POLYETHYLENE (HDPE) BOLLARD COVER, COVER TO BE IDEALSHIELD (OR APPROVED EQUAL) 1/8" THICK, BROWN (PO-6" PIPE FIT, DOME TOP, 48" TALL).
 - DO NOT FILL BOLLARD PIPE WITH CONCRETE, TEMPORARILY SEAL BOTTOM AS NECESSARY TO PREVENT CONCRETE INTRUSION WHILE POURING.
 - USE SONOTUBE IN SANDY OR OTHER SOILS THAT MIGHT CAVE IN.
 - DIMENSIONS IN PARENTHESIS ARE NOMINAL.
 - COLD JOINT ACCEPTABLE. THIS LINE FOR NEW INSTALLATIONS IN MONOLITHIC POUR CONCRETE PAVEMENT.
 - SLOPE TOP OF CONCRETE AWAY FROM BOLLARD 1/4" FROM PIPE TO EDGE OF DRILLED SHAFT OR CAP.
 - INCREASE DEPTH OF CAISSON AND BOLLARD PIPE TO MEET LOCAL JURISDICTION MIN. FROST DEPTH REQUIREMENT.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY NO UTILITY CONFLICTS EXIST WHERE BOLLARDS ARE TO BE INSTALLED, PRIOR TO INSTALLATION.

DESIGN SPECIFICATIONS: ASTM F3016-19 CONDITION DESIGNATION S20



STORE FRONT BOLLARDS

NOT TO SCALE



BOLLARD LAYOUT

N.T.S.

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NC License P-11193

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS

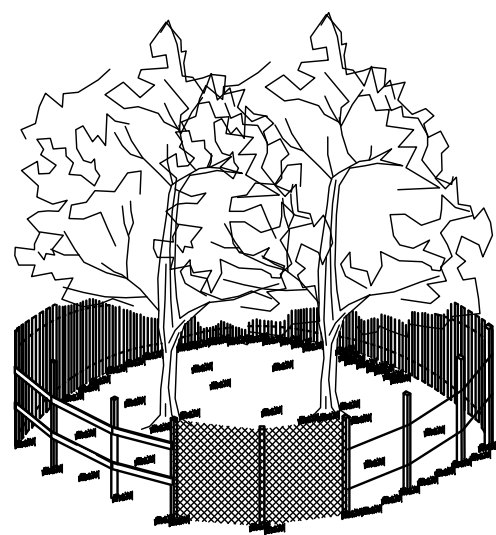
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6/1/2023

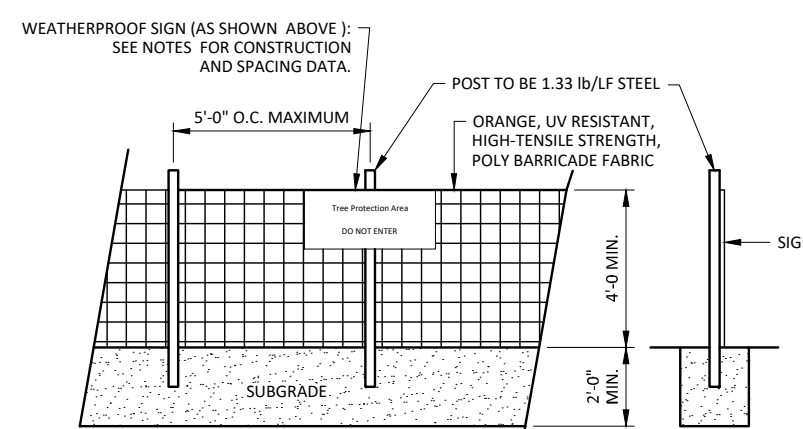
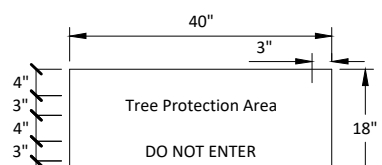
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Checked By: TN
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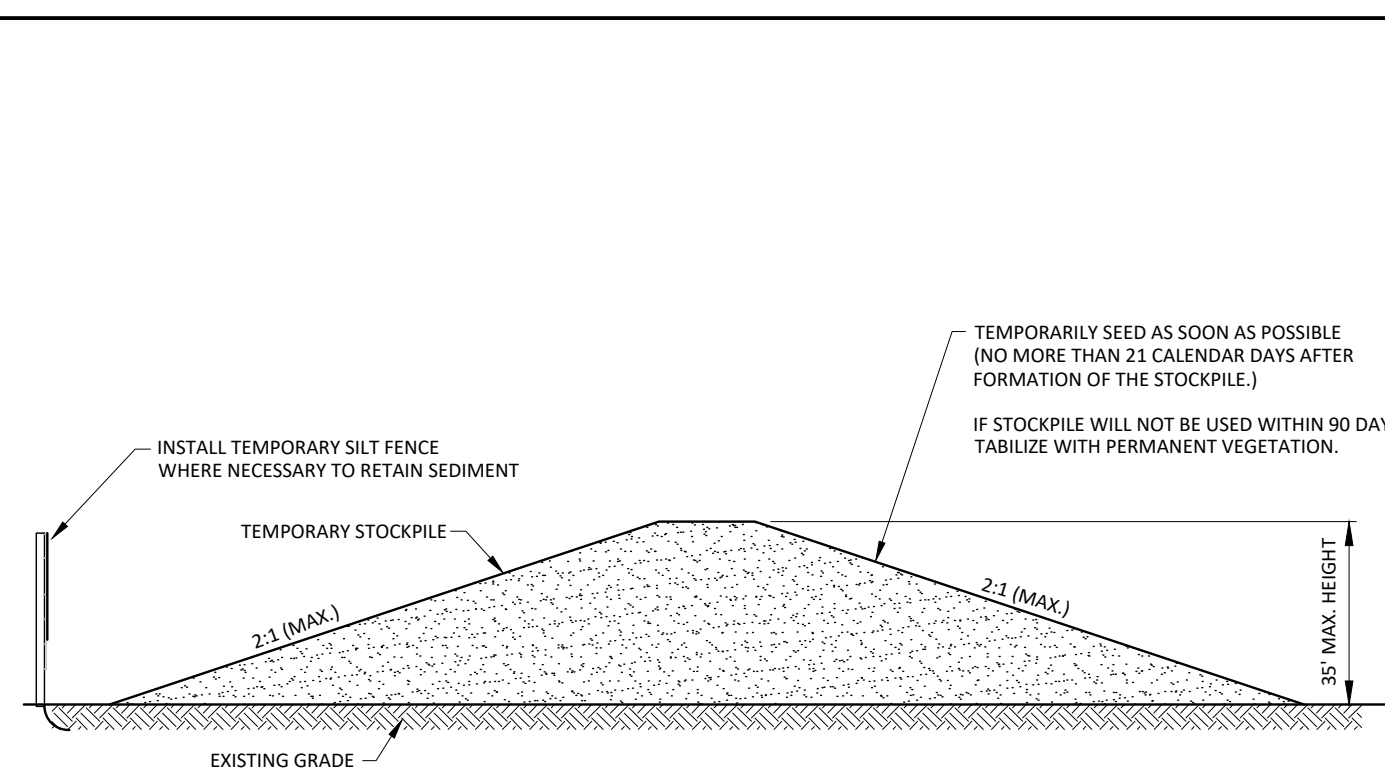
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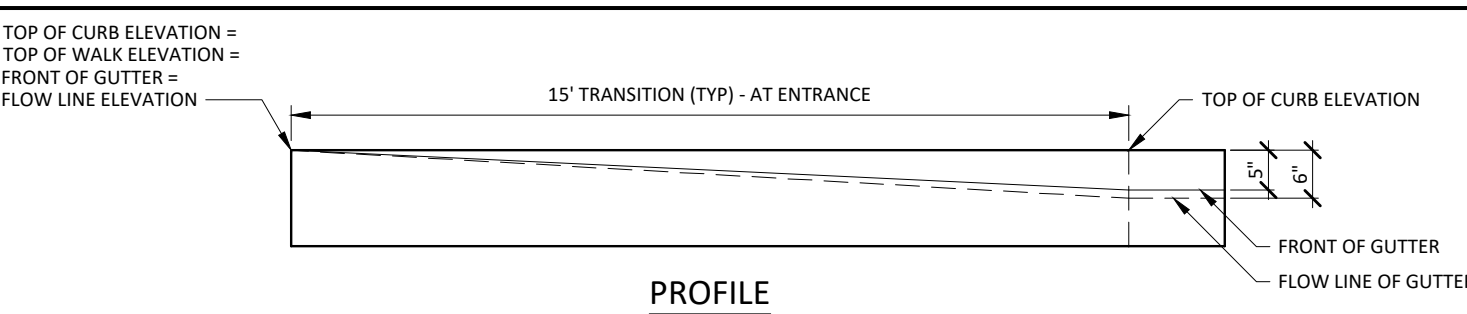
- NOTES:
1. SIGNS ARE TO BE PLACED NO GREATER THAN 200' ON CENTER. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREA AND 200' ON CENTER THEREAFTER.
 2. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 3. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 4. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 5. LETTERS ARE TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE, AND SPACED AS DETAILED.
 6. INSTALL TREE PROTECTION FENCE & SIGNAGE PRIOR TO CALLING FOR THE INITIAL ON-SITE INSPECTION BY A NCEM/NR INSPECTOR. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY NCEM/NR BASED ON ACTUAL FIELD CONDITIONS.



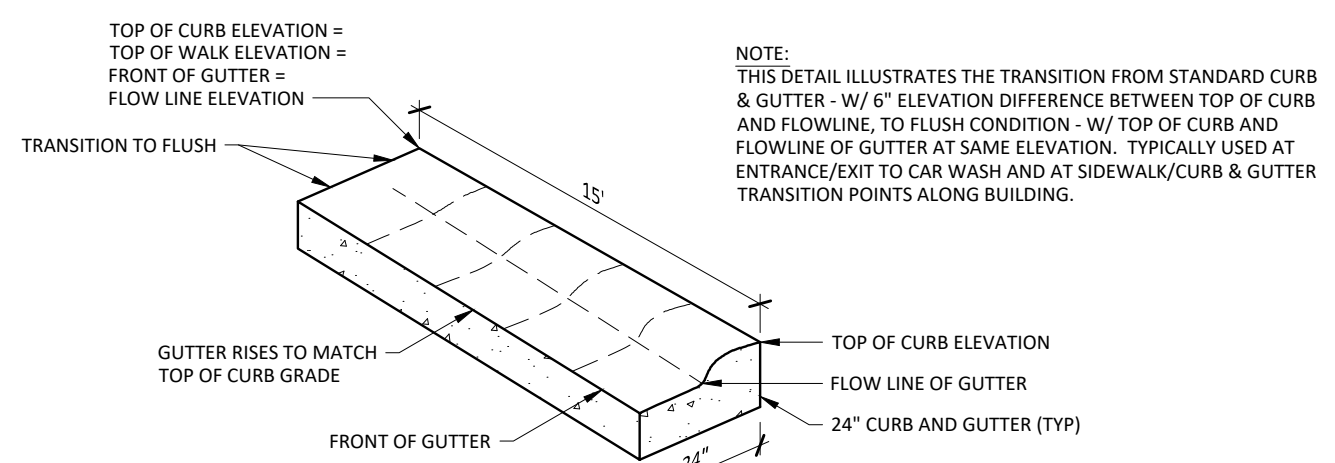
TREE PROTECTION FENCE
NOT TO SCALE



TEMPORARY STOCKPILE
NOT TO SCALE

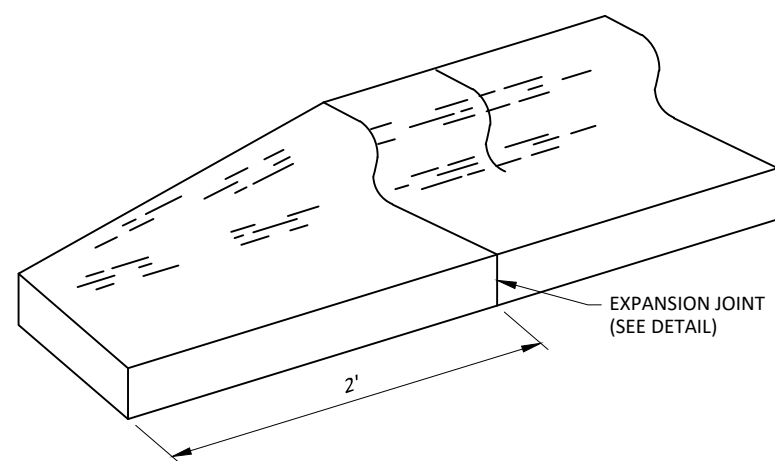


PROFILE

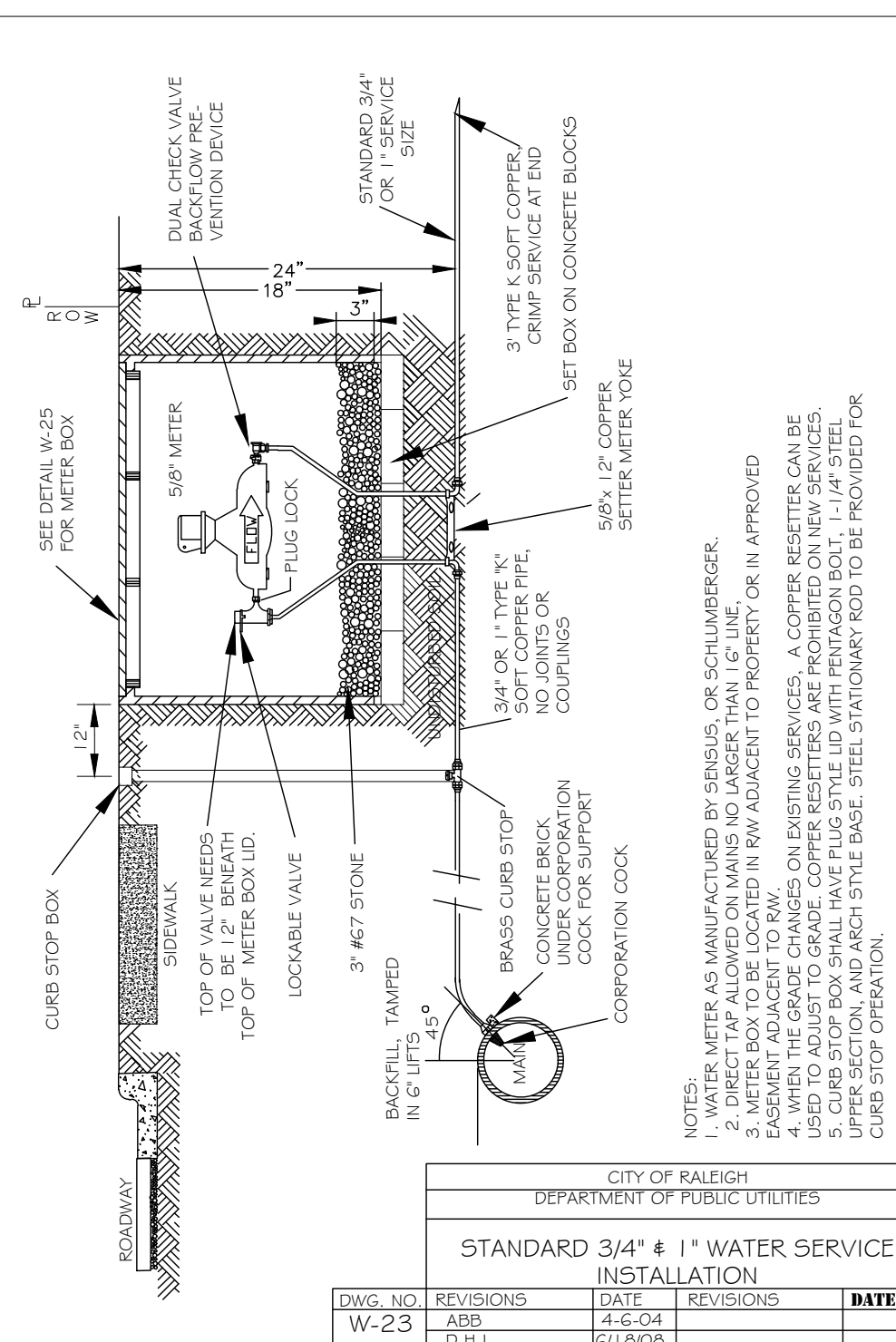


ISOMETRIC VIEW

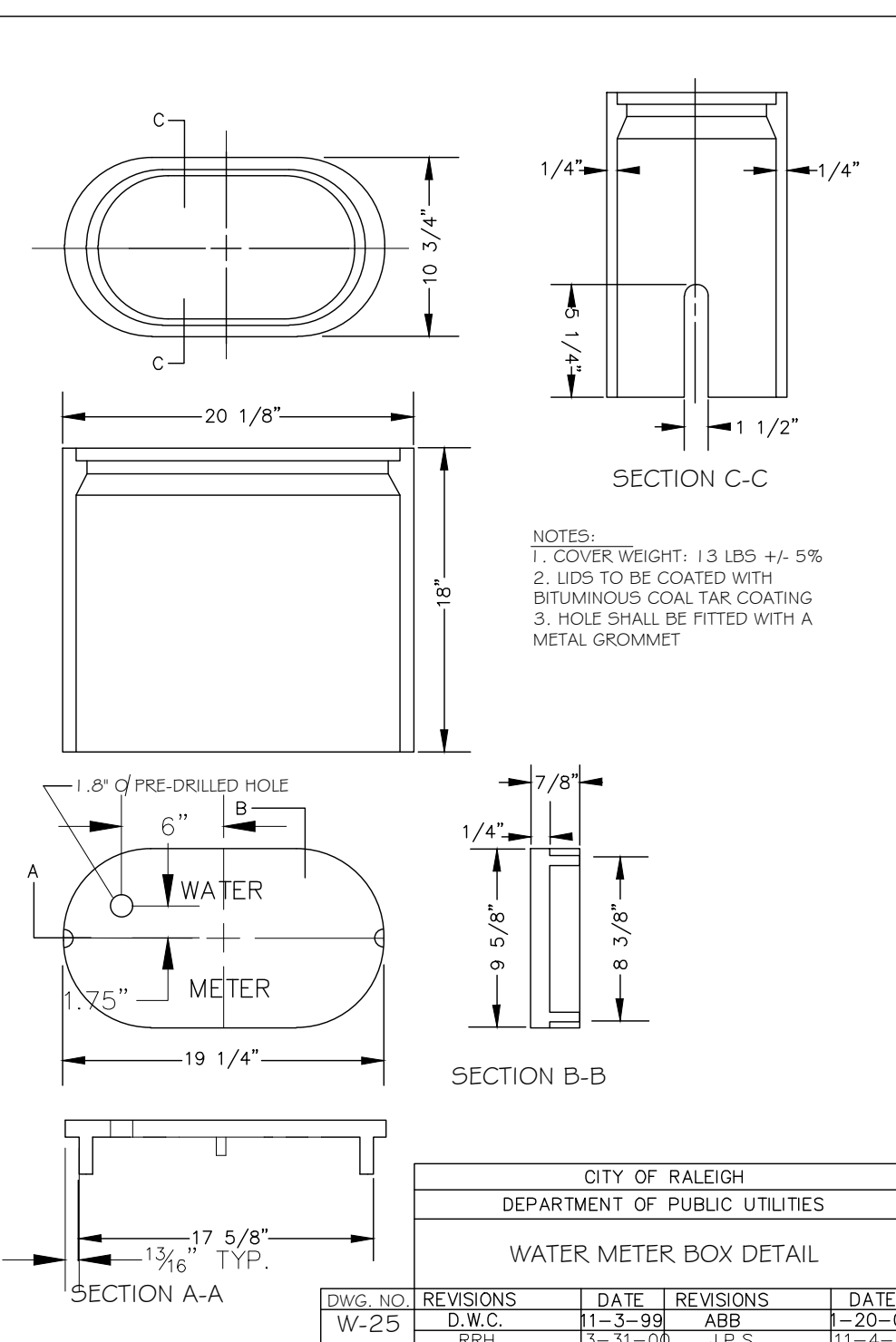
CURB AND GUTTER TO FLUSH PAVING TRANSITION
NOT TO SCALE



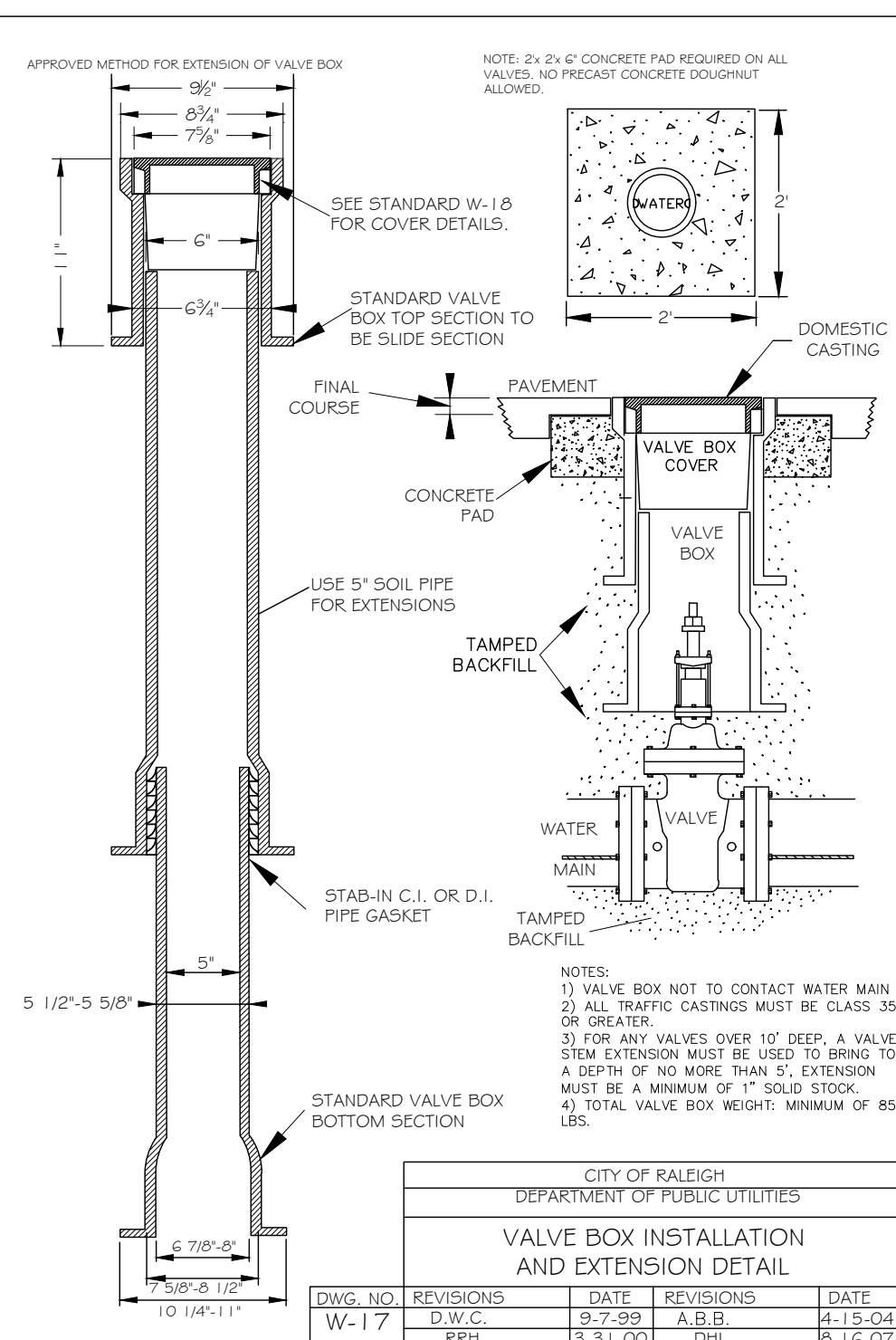
CURB TAPER DETAIL
NOT TO SCALE



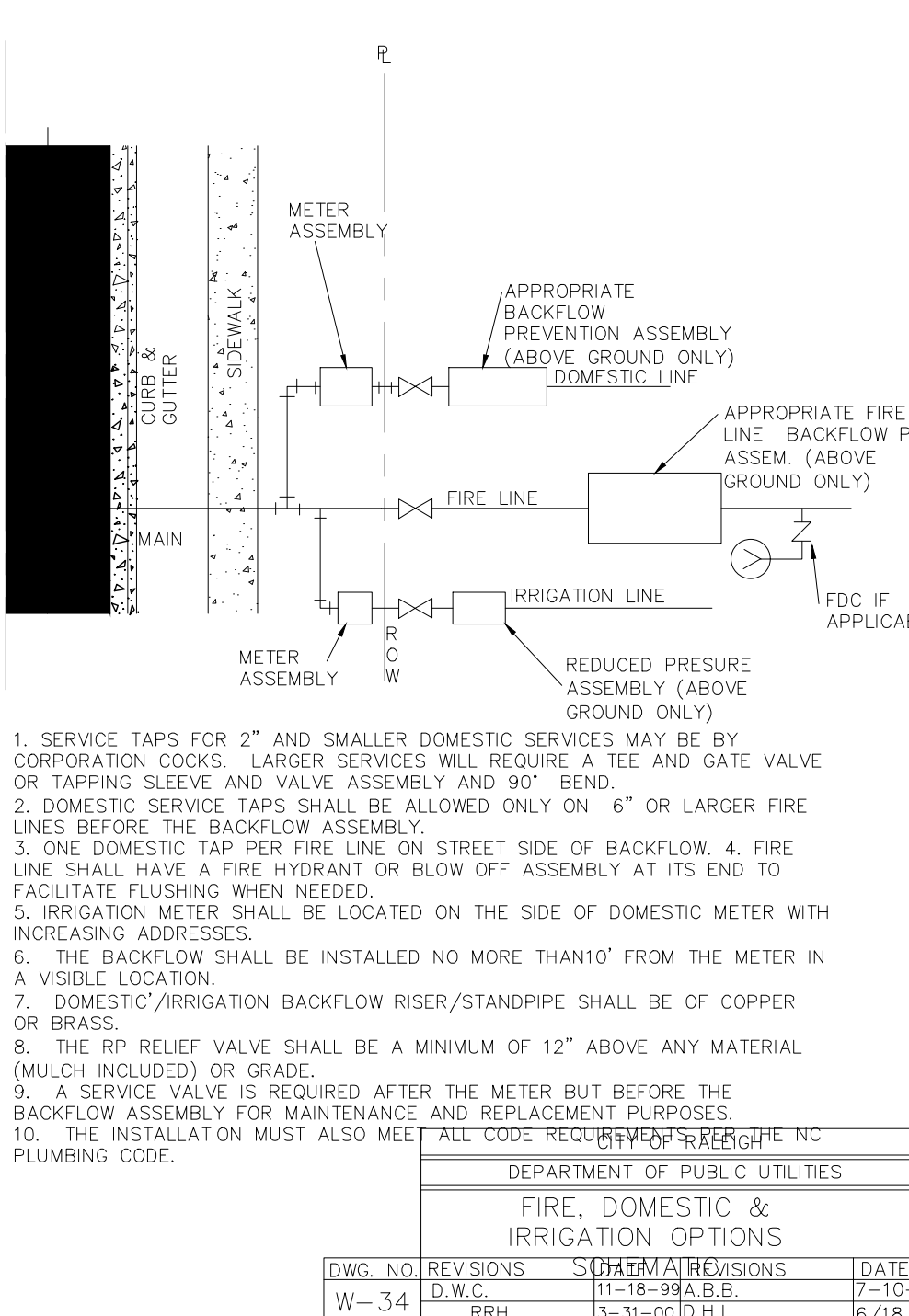
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD 3/4" & 1" WATER SERVICE
INSTALLATION



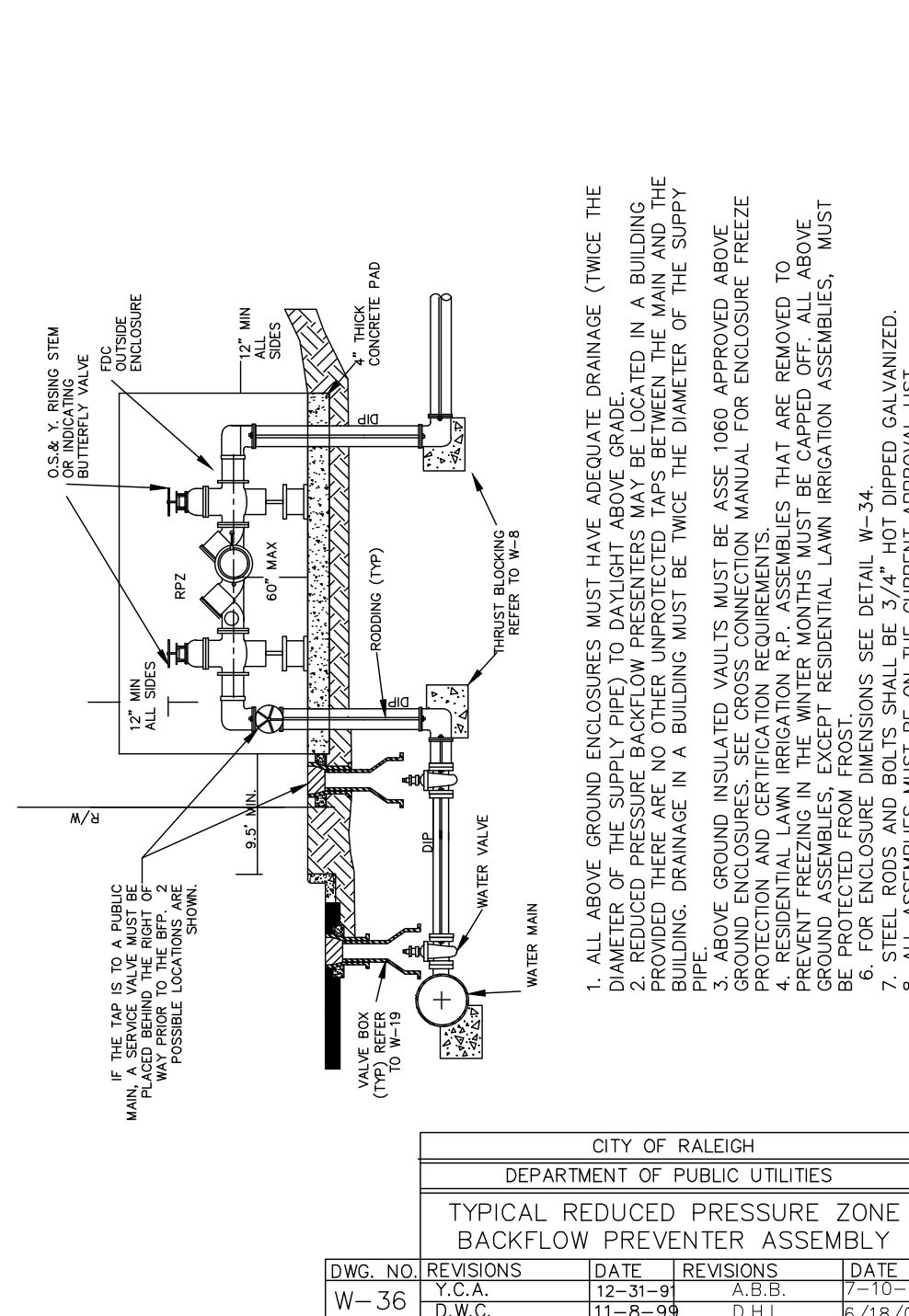
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
WATER METER BOX DETAIL



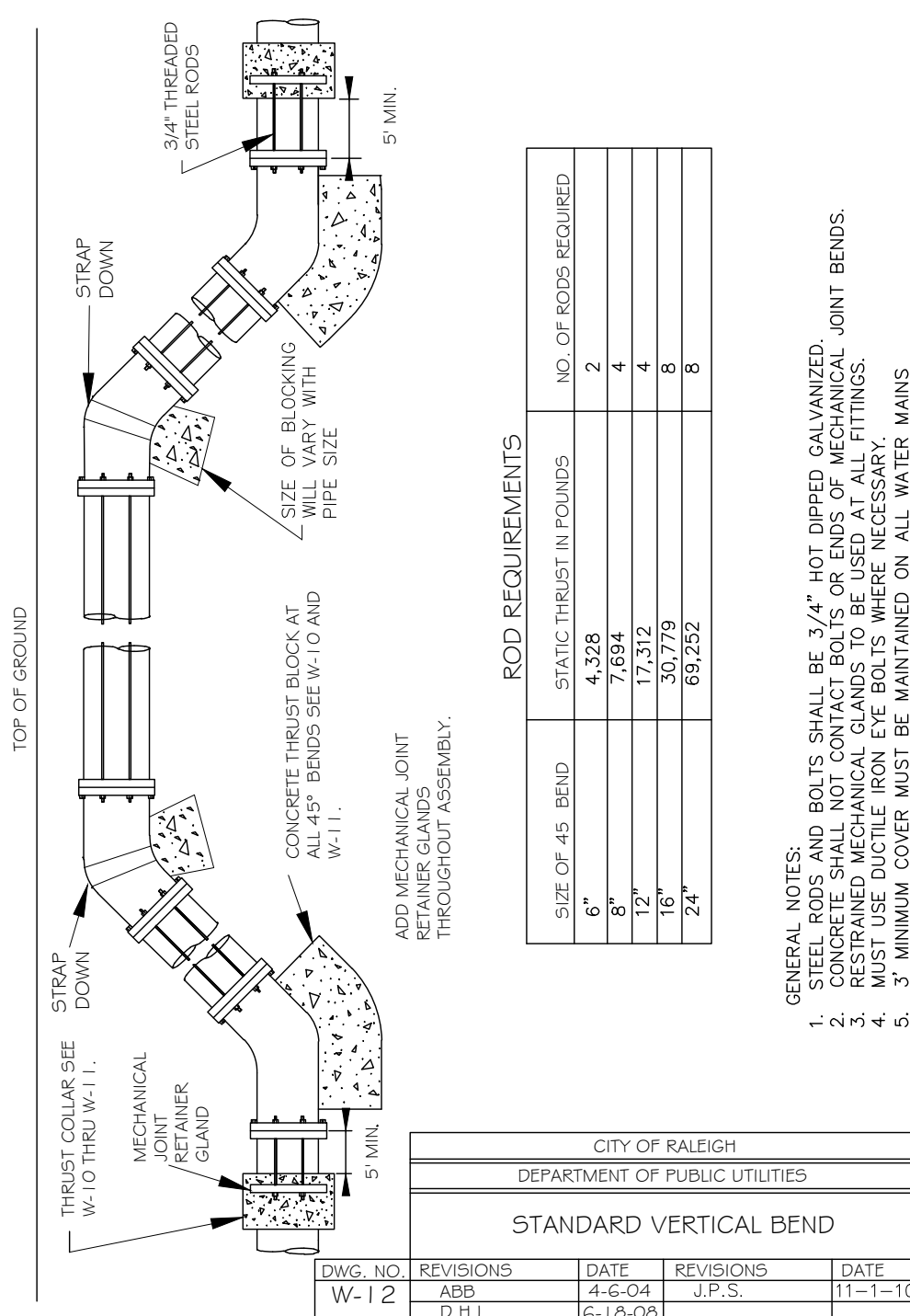
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
VALVE BOX INSTALLATION
AND EXTENSION DETAIL



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
TYPICAL REDUCED PRESSURE ZONE
BACKFLOW PREVENTER ASSEMBLY

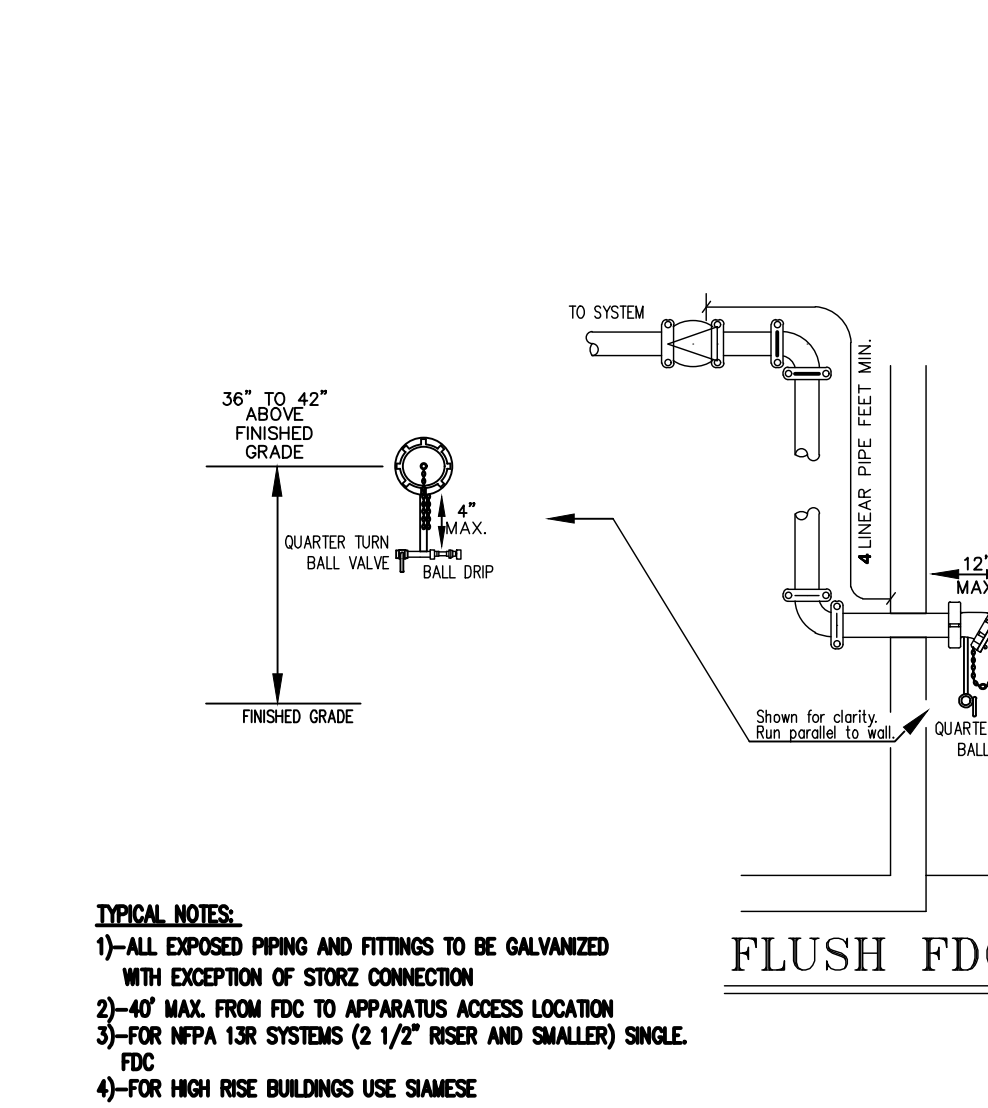


CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD VERTICAL BEND



DIRECTION OF FLOW
WILKINS MODEL 475DA
REDUCED PRESSURE DETECTOR ASSEMBLY
OUTDOOR INSTALLATION

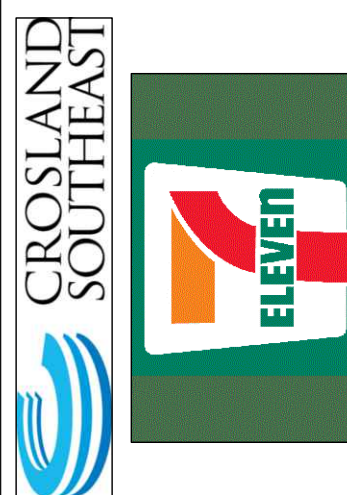
REDUCED PRESSURE DETECTOR ASSEMBLY
NOT TO SCALE



FLUSH FDC DETAIL

- TYPICAL NOTES:
- 1)-ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION
 - 2)-40" MAX. FROM FDC TO APPARATUS ACCESS LOCATION
 - 3)-FOR NFPA 13R SYSTEMS (2 1/2" RISER AND SMALLER) SINGLE FDC
 - 4)-FOR HIGH RISE BUILDINGS USE SAMESE

- Final Drawing -
Issued for Permit
Review Purposes Only



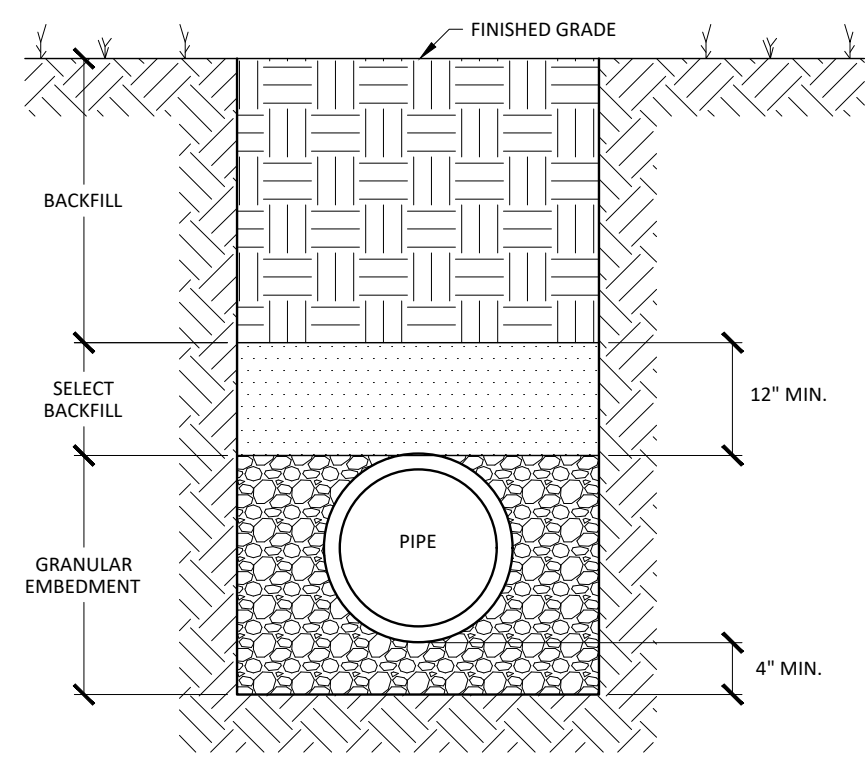
7ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License P-1139
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Cary, NC 27513
(919) 488-8888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC/TN
Checked By: TN
Project Number: 22049
Drawing Number: D-1404-SDP

C6.2

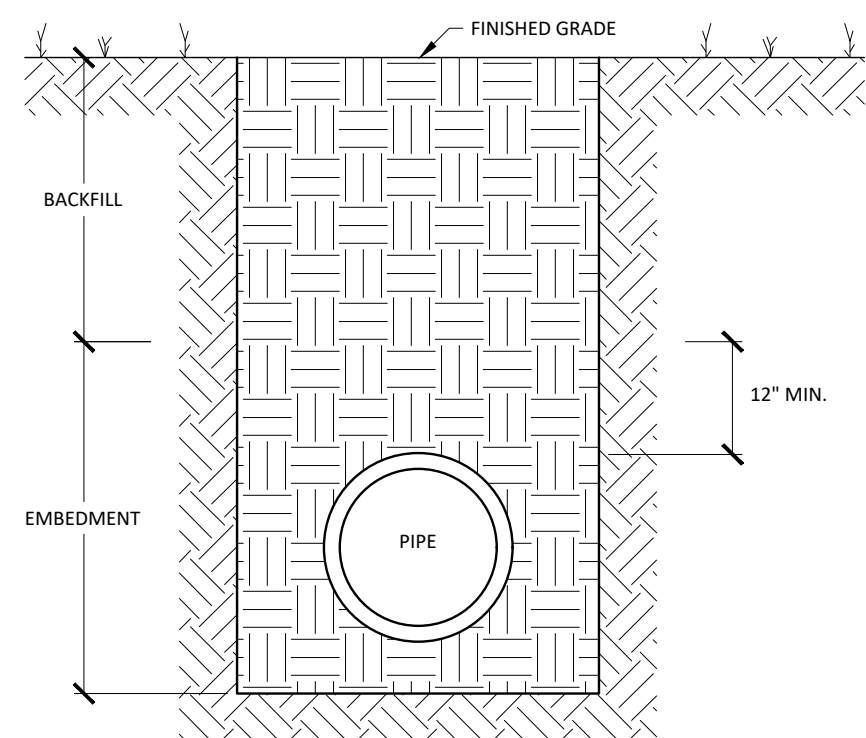
Date: May 1, 2023



TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC GRAVITY STORM DRAIN & SANITARY SEWER PIPING

CLASS 'D'

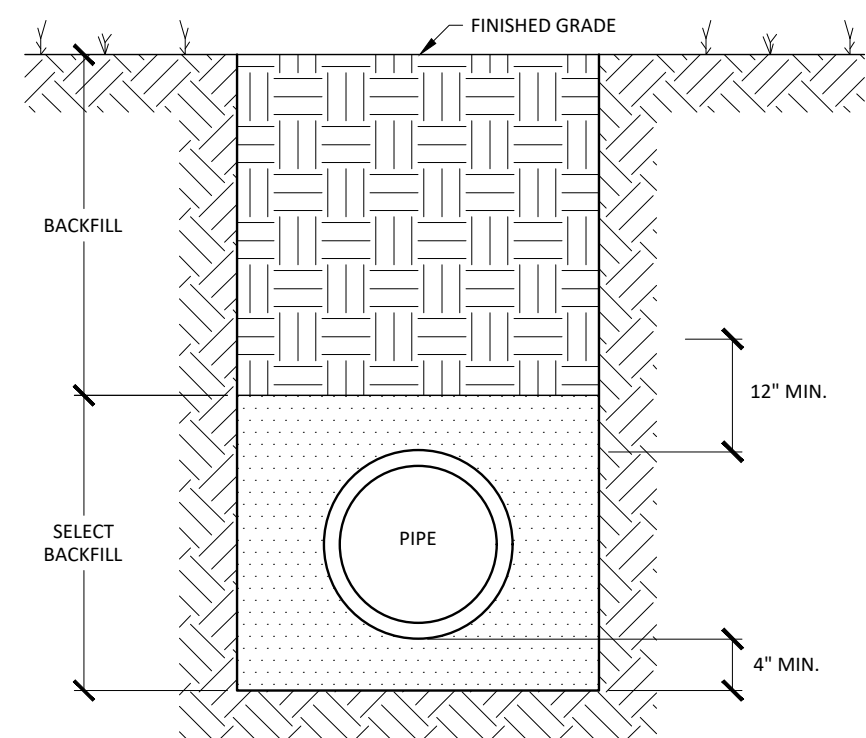
NOT TO SCALE



TRENCH SECTION FOR THE INSTALLATION OF REINFORCED CONCRETE PIPE

CLASS 'F'

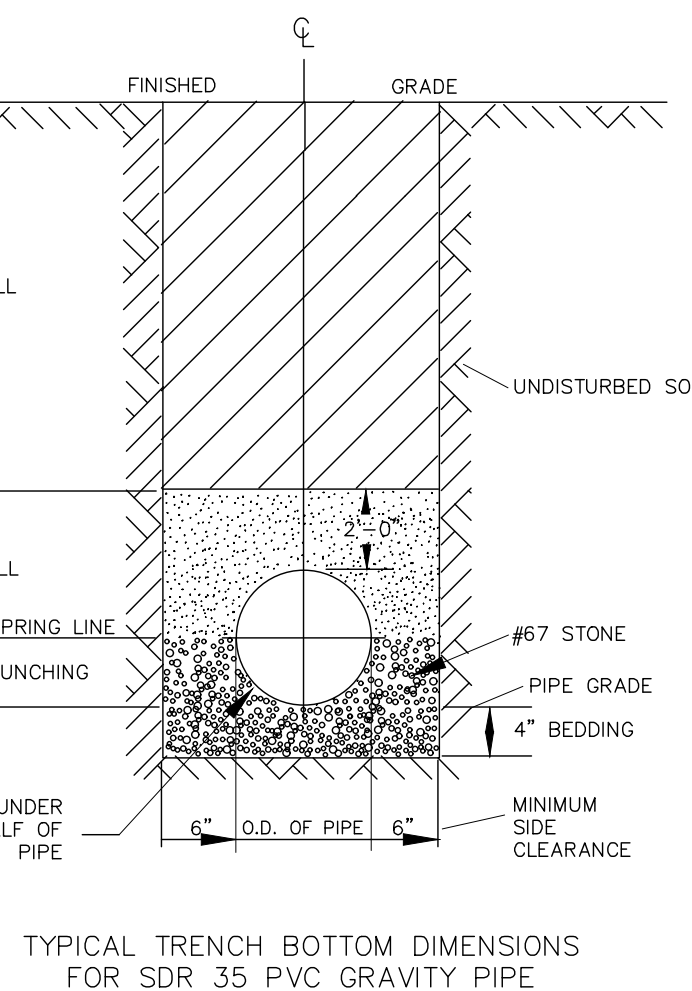
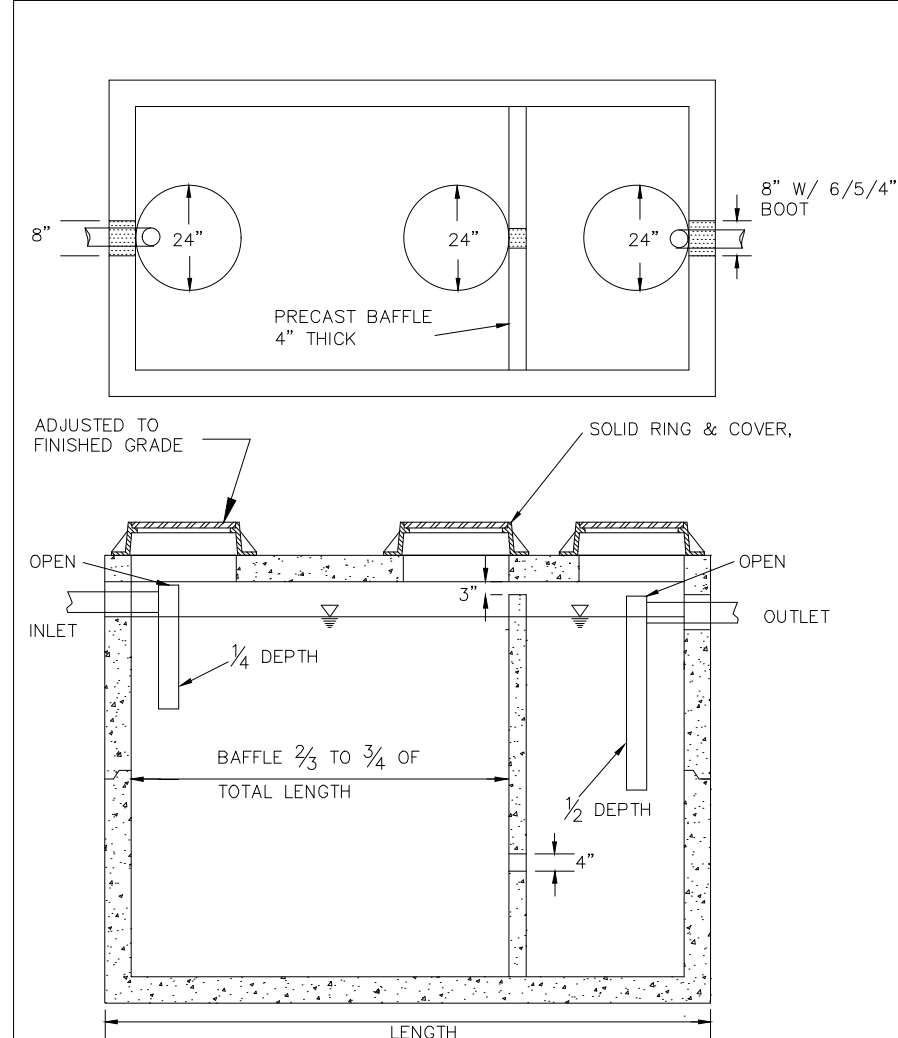
NOT TO SCALE



TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC PRESSURE PIPE

CLASS 'E'

NOT TO SCALE



TYPICAL SANITARY SEWER LATERAL CONNECTION

CLASS 'D'

NOT TO SCALE

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
1000 GALLON GREASE INTERCEPTOR			
DWG. NO.	REVISIONS	DATE	DATE
S-40	RRH	3/27/04	3/27/04
S-40	ABB	5/19/04	5/19/04

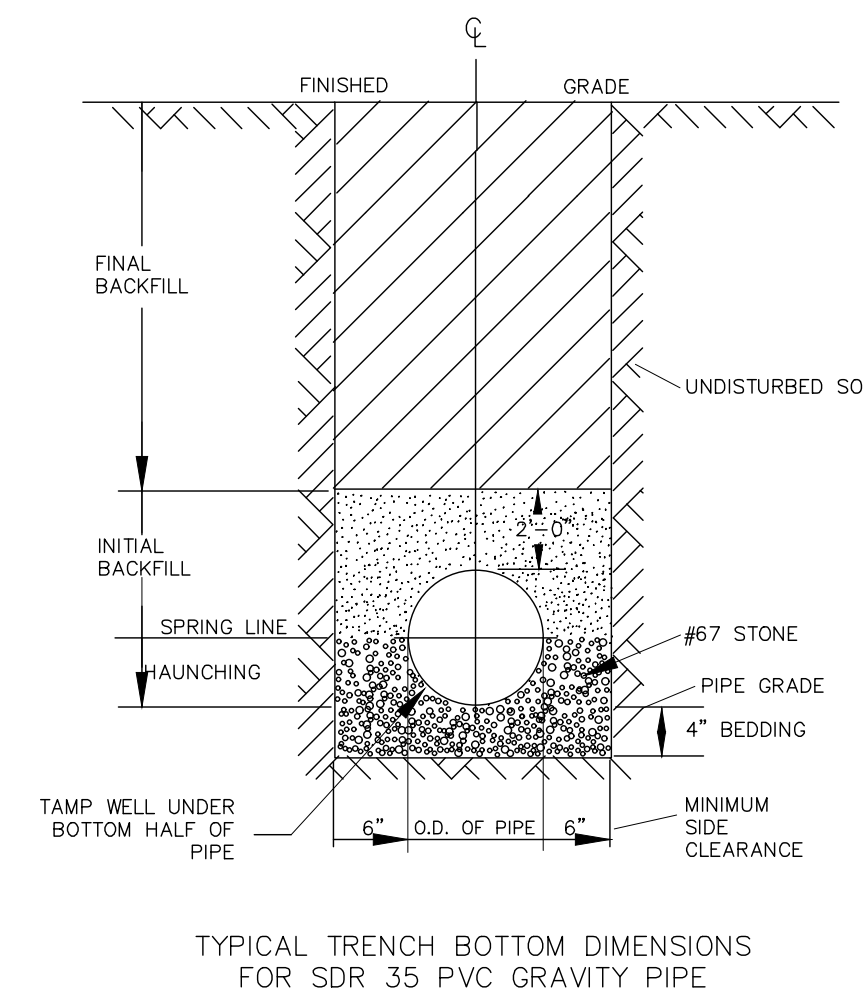
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN			
DWG. NO.	REVISIONS	DATE	DATE
S-5	Y.C.A.	3-1-87	3-1-87
S-5	RRH	7-2-82	7-2-82
S-5	RRH	3-30-00	3-30-00

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
DIMENSIONS: GREASE INTERCEPTORS OIL-WATER-SAND SEPARATORS			
DWG. NO.	REVISIONS	DATE	DATE
S-41	RRH	3/27/04	3/27/04
S-41	ABB	5/19/04	5/19/04

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD PRECAST SANITARY SEWER MANHOLE			
DWG. NO.	REVISIONS	DATE	DATE
S-20	Y.C.A.	12-31-92	12-31-92
S-20	RRH	3-30-00	3-30-00

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
4" CLEANOUT PLUG			
DWG. NO.	REVISIONS	DATE	DATE
S-34	D.W.C.	3-27-98	3-27-98

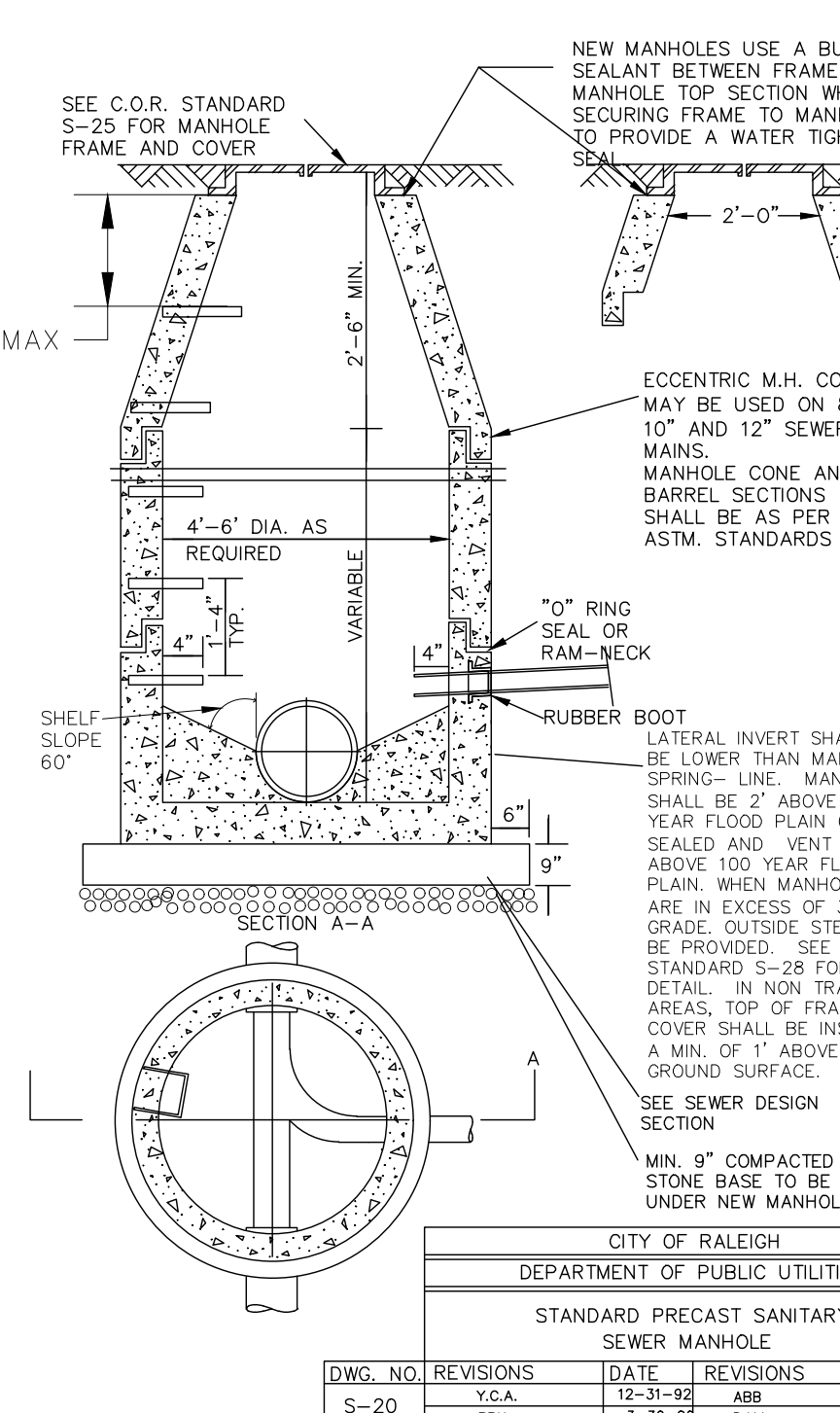


TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

CLASS 'D'

NOT TO SCALE

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN			
DWG. NO.	REVISIONS	DATE	DATE
S-5	Y.C.A.	3-1-87	3-1-87
S-5	RRH	7-2-82	7-2-82
S-5	RRH	3-30-00	3-30-00



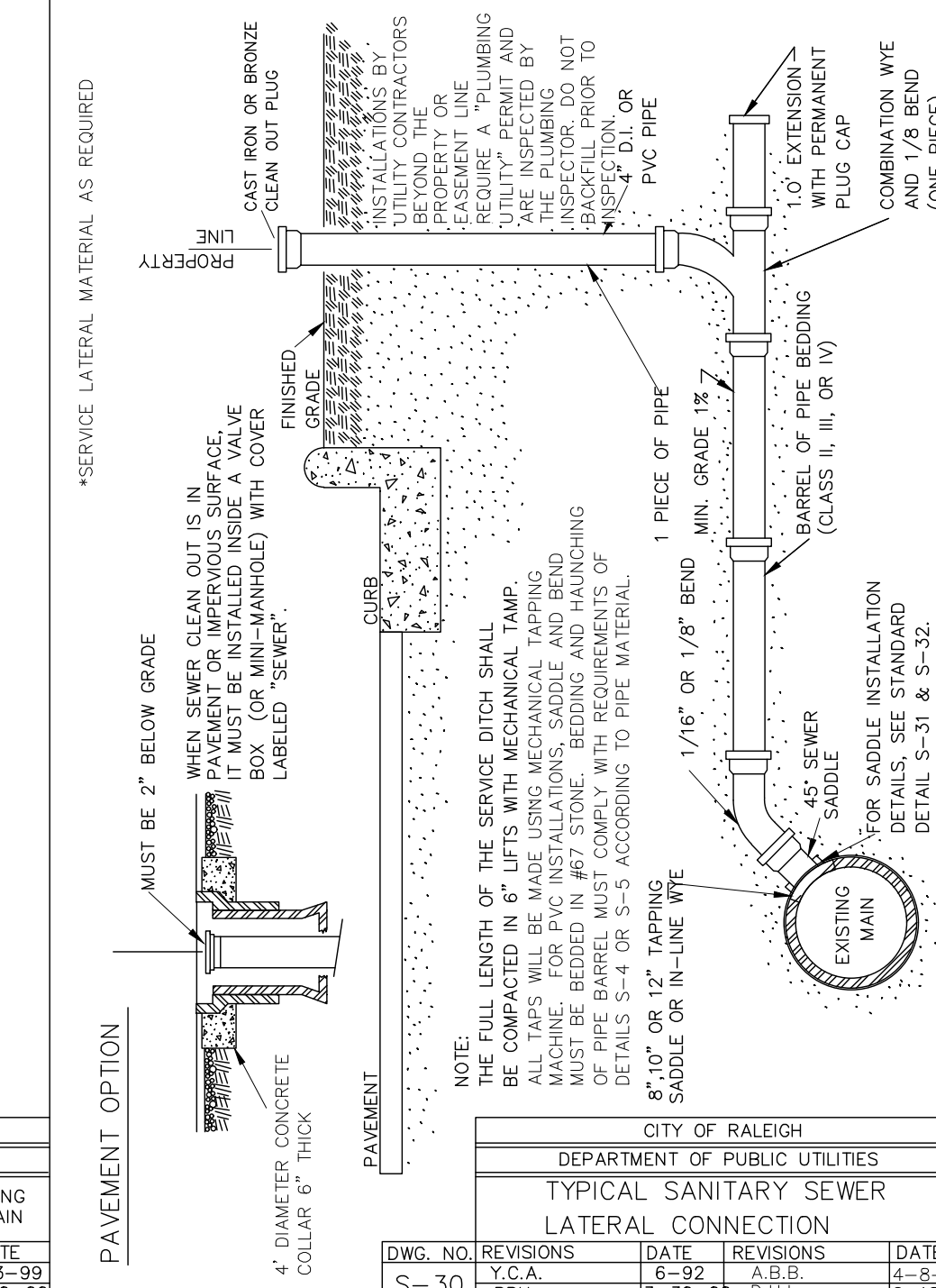
STANDARD PRECAST SANITARY SEWER MANHOLE

CLASS 'D'

NOT TO SCALE

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00

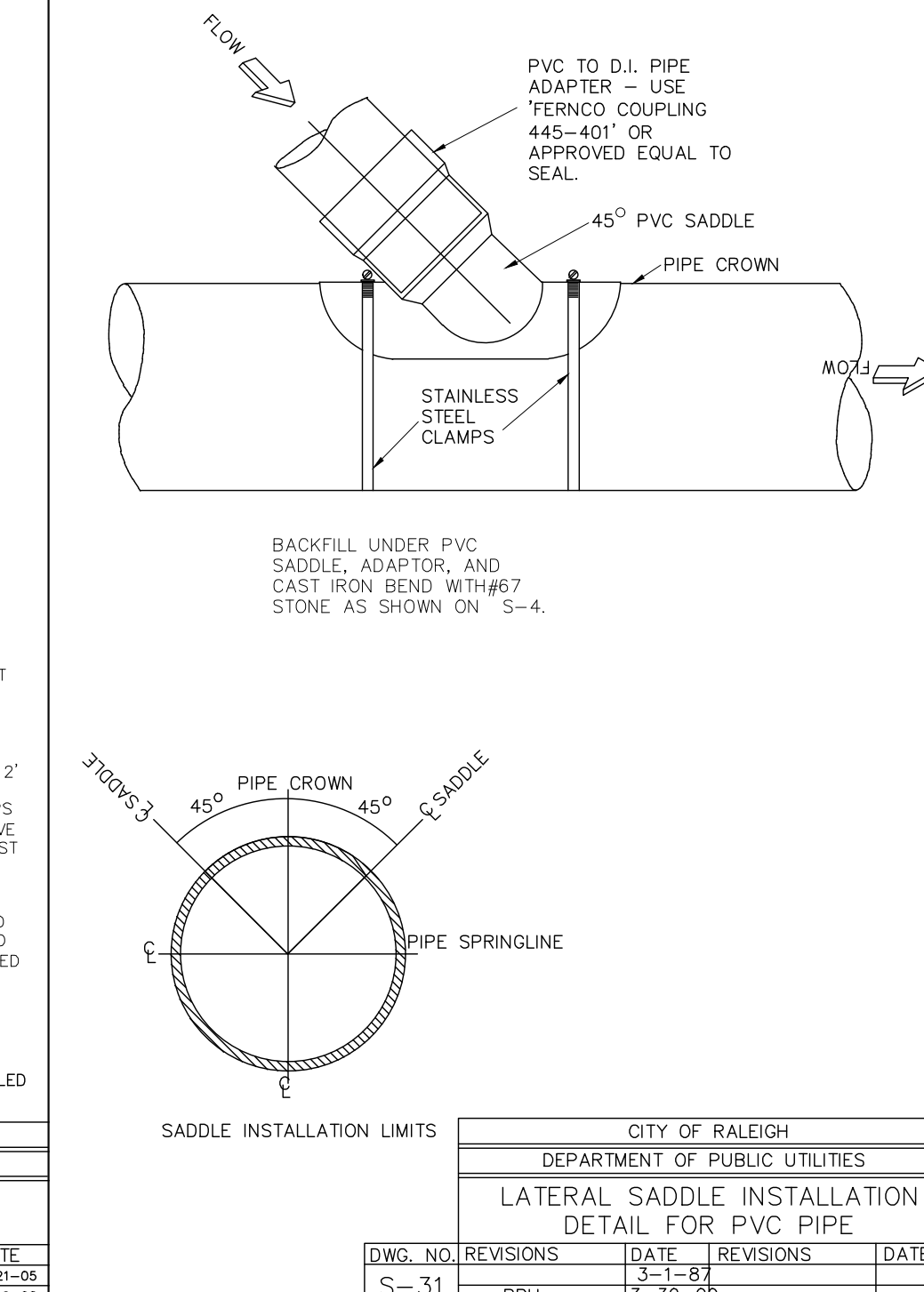


TYPICAL LIFTING DEVICE

CLASS 'D'

NOT TO SCALE

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
MANHOLE FRAME AND WATERTIGHT COVER			
DWG. NO.	REVISIONS	DATE	DATE
S-26	Y.C.A.	3-1-87	3-1-87
S-26	RRH	3-30-00	3-30-00
S-26	D.H.L.	6/18/05	6/18/05



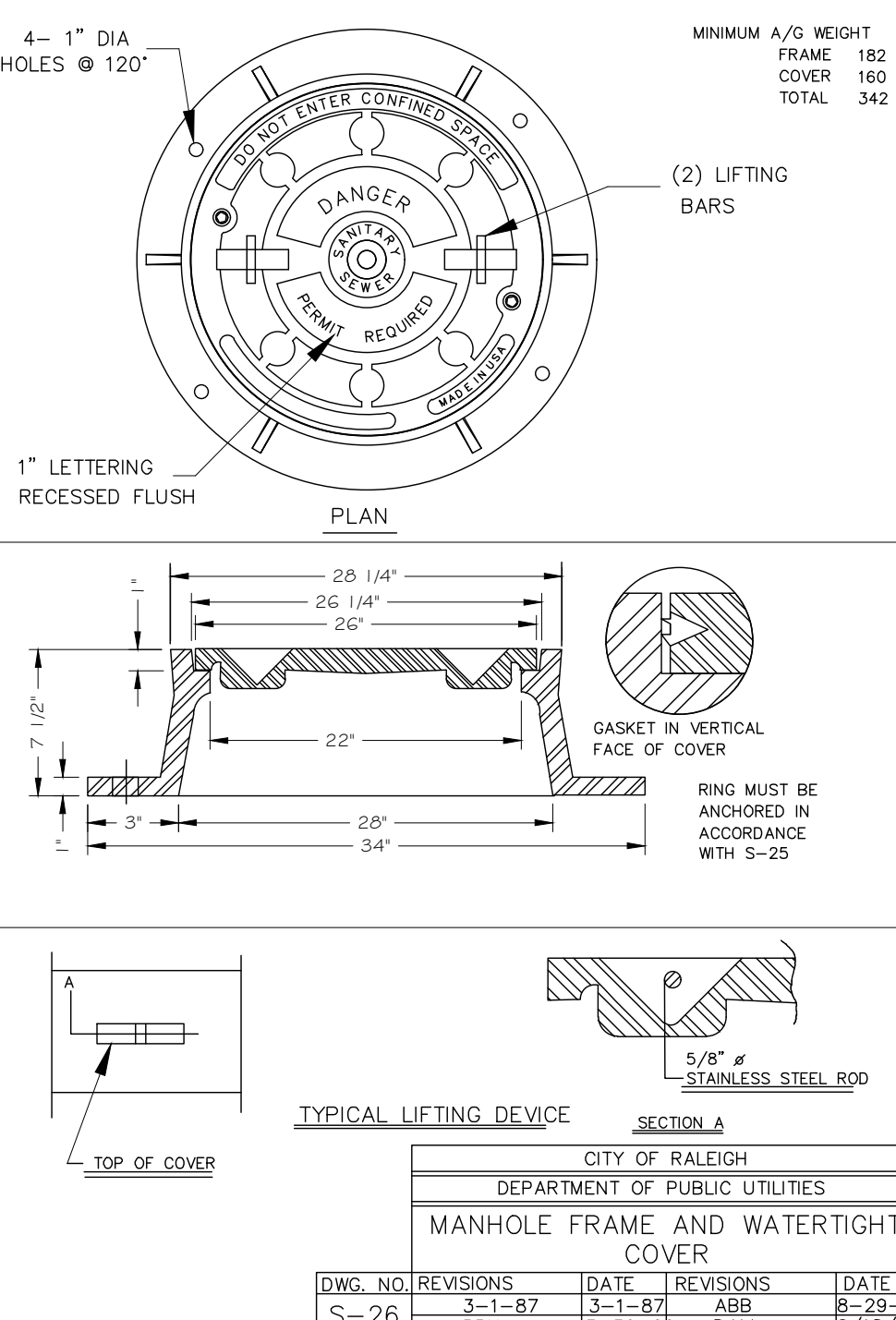
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE

CLASS 'D'

NOT TO SCALE

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00

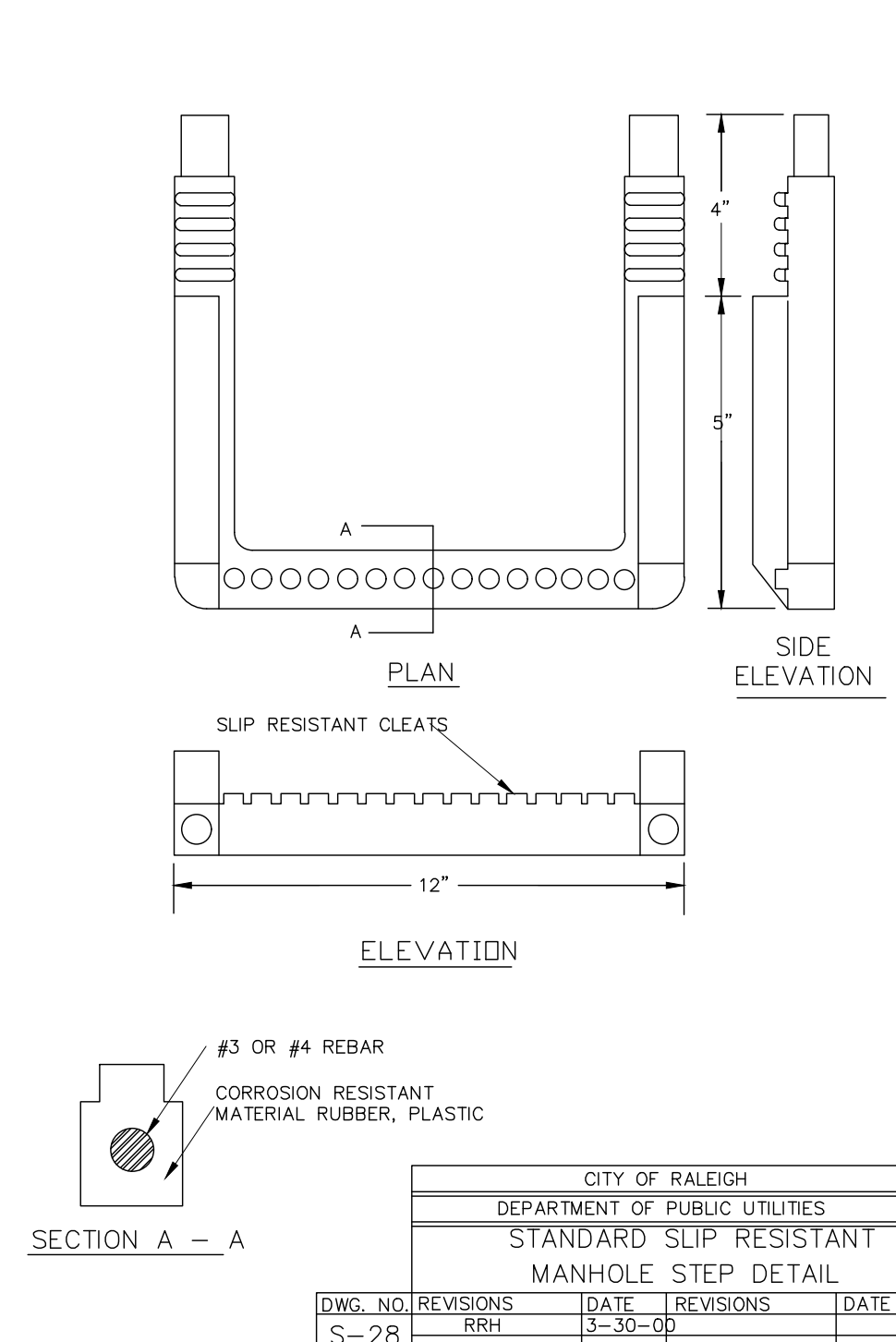


MANHOLE FRAME AND WATERTIGHT COVER

CLASS 'D'

NOT TO SCALE

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00



STANDARD ASPHALT PAVEMENT PATCH DETAIL

CLASS 'D'

NOT TO SCALE

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	DATE
S-3	Y.C.A.	11-1-99	11-1-99
S-3	RRH	5-30-00	5-30-00

- Final Drawing -
Issued for Permit
Review Purposes Only

2 | 1-JUNE-23 | REVISED PER FOR REVIEW COMMENTS
1 | 1-MAY-23 | ISSUED FOR PERMIT REVIEW

DATE #

7ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04

US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

7ELEVEN

CROSLAND SOUTHEAST

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS

7755-B Chatham Blvd
Raleigh, NC 27615
(919) 875-9888
www.arkconsultinggroup.com

NC License: P-1129

Final Drawing
Issued for Permit Review Purposes Only

6/1/2023

Project Manager: BCF
Drawn By: DCL/TN
Checked By: TN
Project Number: 22049
Drawing Number: D-1404-SDP

C6.3

Date: May 1, 2023

GENERAL NOTES:

1. THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY.
2. THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A RAW CLOSURE OF 1:35,900.
3. THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON FROM MARCH 16 THROUGH MARCH 19, 2020 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
4. ELEVATIONS ARE BASED ON NAVD88 DATUM.
5. THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, 1983, 2001 ADJUSTMENT, NAD83(2001).
6. THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
7. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
8. AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES.
9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR LANDFILL.
10. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF A CEMETERY.
11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
12. CURRENT ZONING: I-SUD (INDUSTRIAL SPECIAL USE DISTRICT)

SETBACK REQUIREMENTS:

FRONT: 30'
SIDE: 15'
CORNER: 25'
REAR: 35'

(ZONING INFORMATION BASED ON INFORMATION AS SUPPLIED BY CURRENT COUNTY ZONING DEPARTMENT, NO ZONING REPORT OR LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY.)

RECORD LEGAL DESCRIPTION

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 P.M.:

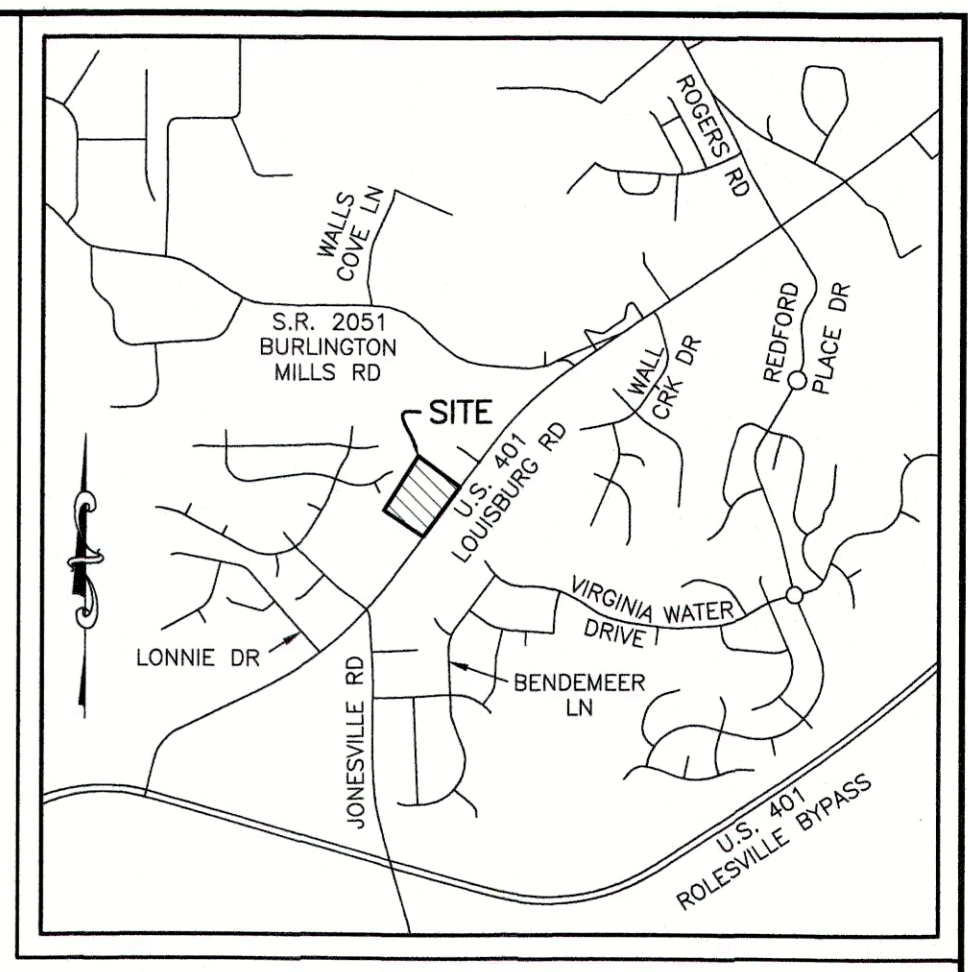
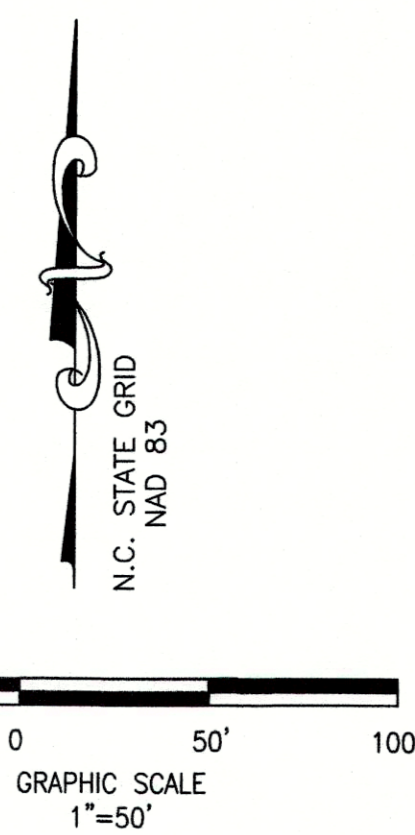
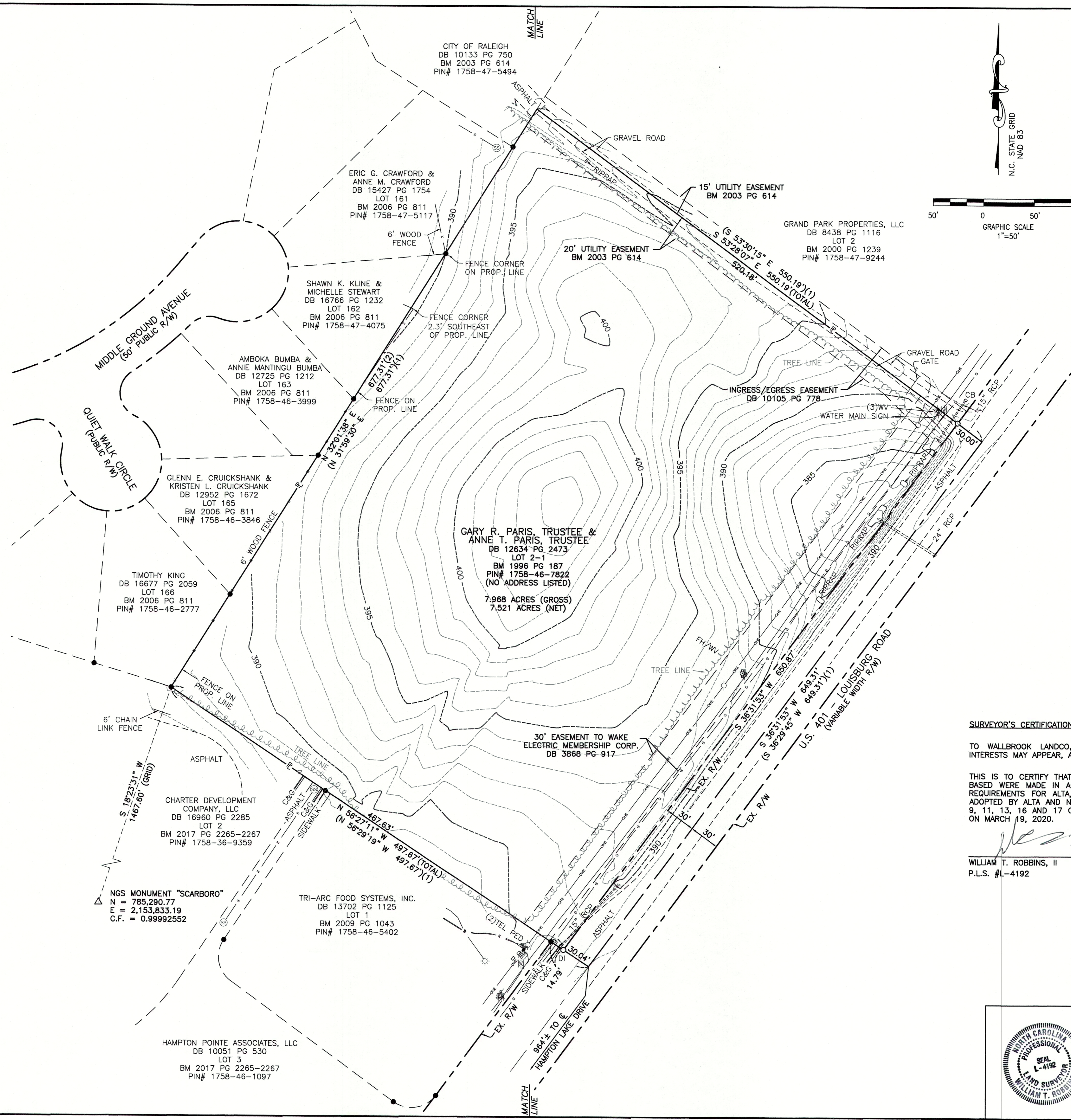
IN THE STATE OF NC, COUNTY OF WAKE,

BEING ALL OF LOT 2-1 OF THAT PLAT ENTITLED "PRELIMINARY SUBDIVISION PLAT AND RECOMBINATION SURVEY FOR TOMMY TWITY," A COPY OF WHICH IS RECORDED IN BOOK OF MAPS 1996, PAGE 187, WAKE COUNTY REGISTRY.

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 P.M.:

1. (ITEM 3) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO CITY OF RALEIGH RECORDED IN BOOK 10105 AT PAGE 778. [PLOTTED HEREON]
2. (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT PAGE 917. [PLOTTED HEREON]
3. (ITEM 5) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED HEREON]
4. (ITEM 6) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT PAGE 187 SHOWS THE FOLLOWING LOCATED ON THE LAND:
 - (a) OVERHEAD LINE [PLOTTED HEREON]
 - (b) POWER POLE [PLOTTED HEREON]
 - (c) RIGHT OF WAY FOR U.S. HIGHWAY 401 (LOUISBURG ROAD) [PLOTTED HEREON]



LEGEND

- (1) = RECORD DATA PER BM 1996 PG 187
- (2) = RECORD DATA PER BM 2006 PG 811
- = FOUND IRON PIPE
- = SET IRON PIN
- △ = NGS MONUMENT
- R = PROPERTY LINE
- R/W = RIGHT OF WAY
- CB = CATCH BASIN
- C&G = CURB AND GUTTER
- C = CENTERLINE
- DI = DROP INLET
- FH = FIRE HYDRANT
- LP = LIGHT POLE
- PP = POWER POLE
- RCP = REINFORCED CONCRETE PIPE
- = SIGN
- = SANITARY SEWER MANHOLE
- = TELEPHONE PEDESTAL
- WM = WATER METER
- WV = WATER VALVE
- = ELECTRIC LINE
- = GAS LINE
- = OVERHEAD ELECTRIC LINE
- = SANITARY SEWER LINE
- = TELEPHONE LINE
- = WATER LINE

SURVEYOR'S CERTIFICATION:

TO WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 19, 2020.

William T. Robbins, II
WILLIAM T. ROBBINS, II
P.L.S. #L-4192
DATE: 3/28/2020

JMT JOHNSON, MIRMIRAN & THOMPSON
Engineering A Brighter Future®
9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236
PHONE: (804)-323-9900 FAX: (804)-323-0596
EMAIL: jmtva@jmt-engineering.com

REVISION #	DATE	REASON FOR REVISION



ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR
WALLBROOK LANDCO, LLC
WAKE FOREST TOWNSHIP
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ	PROJECT#:
CHECKED BY: WTR	CONTRACT#:
DATE: 03/28/2020	SCALE: 1"=50'

JMT#: 20-00915-001
SHEET 1 OF 1