

General Notes:

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - ALTA/NSPS LAND TITLE SURVEY, PREPARED BY JOHNSON, MIRMIRAN & THOMPSON FOR WALLBROOK LANDCO, LLC, DATED REVISED MARCH 28, 2020
 - "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION - 7 ELEVEN AT WALLBROOK" PREPARED BY NV5 ENGINEERS AND CONSULTANTS, INC., DATED JULY 11, 2022
 - "REVISED WALLBROOK DEVELOPMENT TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED AUGUST 11, 2020
- ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) 3720175800K, EFFECTIVE DATE: JULY 19, 2022.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO ARK CONSULTING GROUP, PLLC BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARK CONSULTING GROUP, PLLC IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER ON-SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS AND GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB & GUTTER. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONNECTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR IS THE ENGINEER RESPONSIBLE FOR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

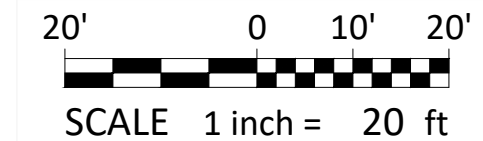
Impervious Area Calculations

SITE LIMITED TO 85% IMPERVIOUS AREA AS ACCOUNTED FOR IN THE WALLBROOK STORMWATER MASTER PLAN

PROPOSED BUILDING IMPERVIOUS AREA:	4730 SF
PROPOSED TRANSPORTATION IMPERVIOUS AREA:	47542 SF
PROPOSED TOTAL IMPERVIOUS AREA:	52272 SF
TOTAL SITE AREA:	70567 SF
ALLOWABLE IMPERVIOUS AREA (85%):	59982 SF
PROPOSED IMPERVIOUS PERCENTAGE:	74.0% Δ

Legend

EXISTING	PROPOSED
\bullet	\bullet FOUND MONUMENT AS NOTED
\circ	\circ SET IRON PIN
Δ	Δ NCCS MONUMENT
\square	\square DIMENSION POINT (NOTHING SET)
\square	\square PROPERTY LINE
R/W	R/W RIGHT OF WAY
C&G	C&G CURB AND GUTTER
DI	DI CABLE TV PEDESTAL
EM	EM DROP INLET
EM	EM ELECTRIC BOX
EM	EM ELECTRIC METER
F/O	F/O FIBER OPTIC
FH	FH FIRE HYDRANT
GV	GV GAS VALVE
HB	HB HAND BOX
LP	LP LIGHT POLE
PP	PP POWER POLE
	GW GUY WIRE
RCP	RCP REINFORCED CONCRETE PIPE
S.F.	S.F. SQUARE FEET (AREA)
	SIGN
	TRAFFIC SIGNAL POLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER FORCE MAIN VALVE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN
	TELEPHONE PEDESTAL
	TRAFFIC BOX
	WATER BOX
	WATER METER
	WMH WATER MANHOLE
	WV WATER VALVE
	WELL
	PEDESTRIAN X-WALK POLE
	ELECTRIC LINE
	SANITARY SEWER FORCE MAIN
	FIBER OPTIC LINE
	GAS LINE
	OVERHEAD ELECTRIC LINE
	SANITARY SEWER LINE
	TELEPHONE LINE
	CABLE TV LINE
	WATER LINE
	FIRE LINE
	8" WATER LINE
	12" WATER LINE
	SPILL CURB
	FENCE
	RIPARIAN BUFFER
	TREELINE
	MAJOR CONTOUR (5')
	MINOR CONTOUR (1')
	TREE PROTECTION FENCE
	SILT FENCE
	CONCRETE SIDEWALK
	ACCESS AND UTILITY EASEMENT
Δ	Δ HEAVY DUTY ASPHALT PAVEMENT
Δ	Δ TDD DRAINAGE AREA
Δ	Δ SKIMMER BASIN DRAINAGE AREA



PEDESTRIAN AMENITY (PA) #1
250 LF ALONG VIRGINIA WATER DR ALONE

PA #2
BENCH

PA #3
ENHANCED PAVING/
COLORED PAVERS
MATERIAL/DESIGN
TO BE APPROVED
BY 7ElevEN AND
REVIEWED BY
TOWN STAFF PRIOR
TO ISSUANCE OF
BUILDING PERMIT

***PA #4**
DECORATIVE PLANTERS/
LARGE PLANTED POTS
*FINAL LOCATION TO BE
APPROVED BY 7ElevEN
AND REVIEWED BY
TOWN STAFF PRIOR TO
ISSUANCE OF BUILDING
PERMIT

***PA #4**
DECORATIVE PLANTERS/
LARGE PLANTED POTS

4. Subdivision of Lot 11 - This development is for Lot 11 per PR 21-04; currently, this lot does not exist/is not Recorded as such, but rather, per BM2023/pg1603-1604, and Town FSP-23-10, this development lies within a portion of "Tract B", which includes the future Right-of-way of the Virginia Water Drive extension north/west of Main Street. Lot 11 must be recorded - and thus, the Virginia Water Drive right-of-way dedicated via plat recordation - before final signature and approval of this SDP can occur.

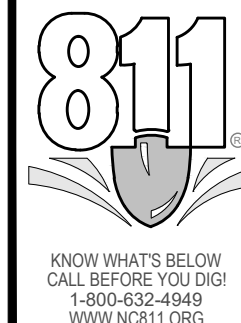
5. Repeat/There was no Written Response to this - Regarding All Easements - If BM/Bk & Pg reference is not provided, all shown easements are thus PROPOSED - please explain WHEN these easements intend to be recorded. Clarify if Applicant seeks Final, signature approval of SDP-23-04 to allow ultimate site development to commence, without first Recording easements that are predating the development. See COR-PUD Comment; COR-PUD expects Lot 11 to be recorded, and presumed that all Proposed Easements are actually Recorded Easements, prior to signature/approval of Site Development Plan.

6. Repeat/There was no Written Response to this - (Partial Repeat) Sheet Index - There are two Sheets C1.3 (the 6th and 7th sheet in the set) - there is no Sheet C1.4, suggest changing the 2nd one to this and add to Sheet index.

4. THIS WAS DONE INTENTIONALLY, THROUGH COORDINATION WITH TOWN STAFF, TO PROVIDE A MECHANISM FOR THE TOWN TO WITHOLD CERTIFICATE OF OCCUPANCY UNTIL THE STREET WAS SUBSTANTIALLY COMPLETE, OR BONDED, AND THE RIGHT OF WAY DEDICATED. THIS IS A CARBON COPY OF HOW PUBLIX (SDP 23-05) IS SETUP AND WAS APPROVED.

5. PROPOSED UTILITY & DRAINAGE EASEMENTS WILL BE RECORDED AT OR NEAR CONCLUSION OF INSTALLATION, PRIOR TO ACCEPTANCE BY UTILITY OWNER; WHICH IS HOW IT IS CURRENTLY BEING HANDLED ON PUBLIX (SDP 23-05). ACCESS & GREENWAY EASEMENTS TO BE RECORDED CONCURRENTLY WITH RIGHT-OF-WAY DEDICATION.

6. SHEET INDEX REVISED



-Final Drawing - Issued for Permit
Review Purposes Only
3/1/2024 REVISED FOR PERMIT COMMENTS
2/1/2024 REVISED FOR PERMIT COMMENTS
1/1/2024 REVISED FOR PERMIT REVIEW
1/1/2024 ISSUED FOR PERMIT REVIEW

REVISIONS:

CRS LAND SOUTH EAST
ELEVEN

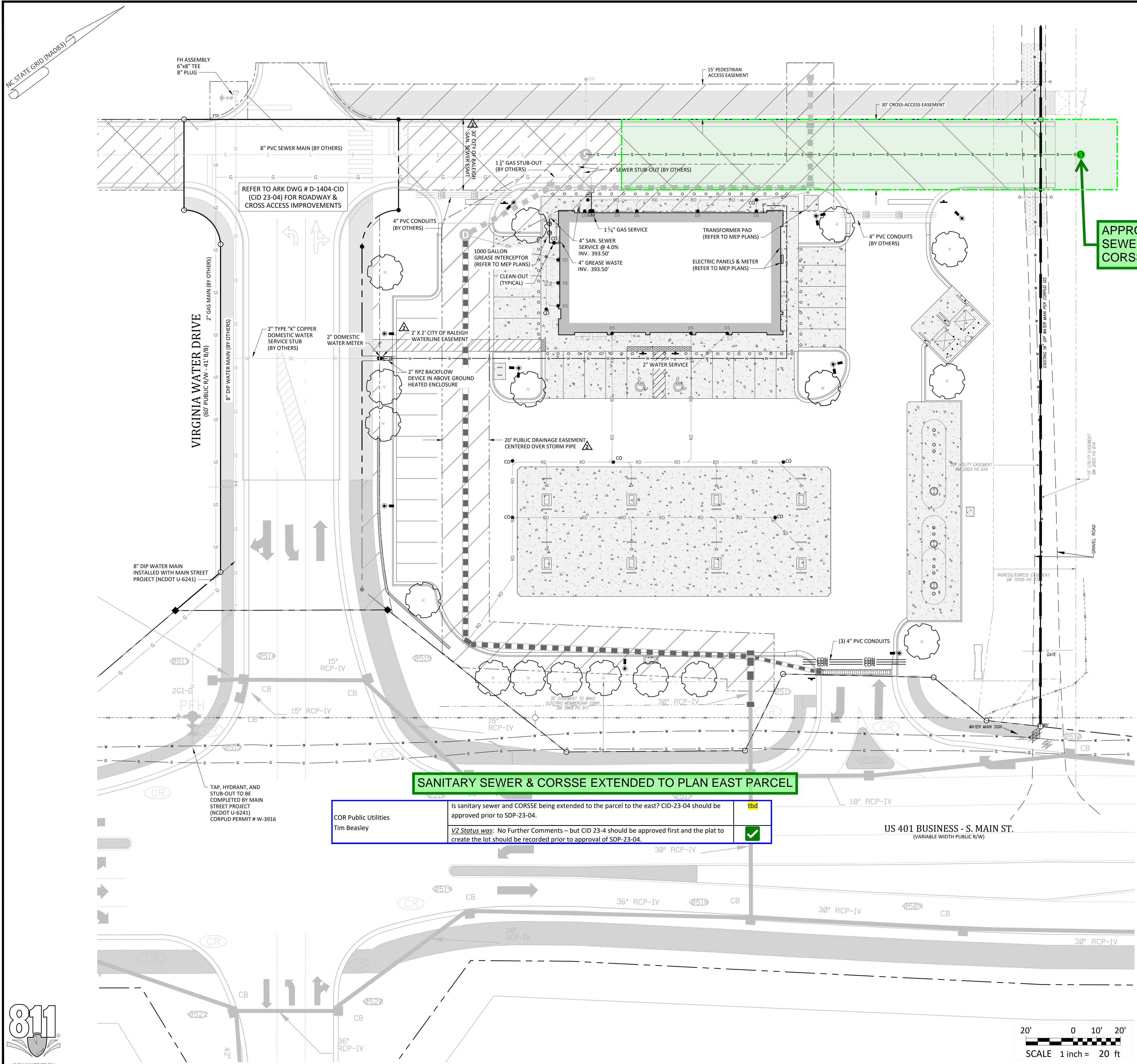
SITE PLAN
7ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 1199
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Chimes Blvd
Raleigh, NC 27608
(757) 558-0888
www.arkconsultinggroup.com

SEAL
PAUL C. FAGUNDY
REGISTERED PROFESSIONAL ENGINEER
NO. 39184
3/1/2024

Project Manager: BCF
Drawn By: DLC/TGN
Checked By: TGN
Project Number: 22049
Drawing Number: D-1404-SDP

C2.0
Date: May 1, 2023



APPROX. LOCATION OF SEWER EXTENSION AND CORSE

SANITARY SEWER & CORSE EXTENDED TO PLAN EAST PARCEL

COR Public Utilities Tim Beasley	Is sanitary sewer and CORSE being extended to the parcel to the east? CID-23-04 should be approved prior to SDP-23-04.	tbd
	V2 Status was: No Further Comments – but CID 23-4 should be approved first and the plat to create the lot should be recorded prior to approval of SDP-23-04.	✓

CORPUD Standard Utility Notes:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- UTILITY SEPARATION REQUIREMENTS:
 - DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, DIP MATERIALS & CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITHIN VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVIC FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- THE PROPOSED 2" RPZ SHALL BE APPROVED BY CROSS.CONNECTION@RALEIGHNC.GOV PRIOR TO ISSUANCE OF THE UTILITY CONNECTION PERMIT.
- THE PROPOSED GREASE INTERCEPTOR SHALL BE APPROVED BY FOG@RALEIGHNC.GOV PRIOR TO ISSUANCE OF THE UTILITY CONNECTION PERMIT.

- Final Drawing -
Issued for Permit
 Review Purposes Only
 Reviewer: [Signature]
 Date: [Date]

REVISIONS:

#	DATE	DESCRIPTION
1	11/04/23	ISSUED FOR PERMIT REVIEW
2	11/04/23	REVISED FOR REVIEW COMMENTS
3	11/04/23	REVISED FOR REVIEW COMMENTS

UTILITY PLAN
7 ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

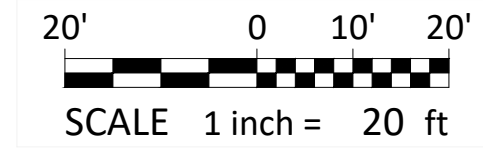
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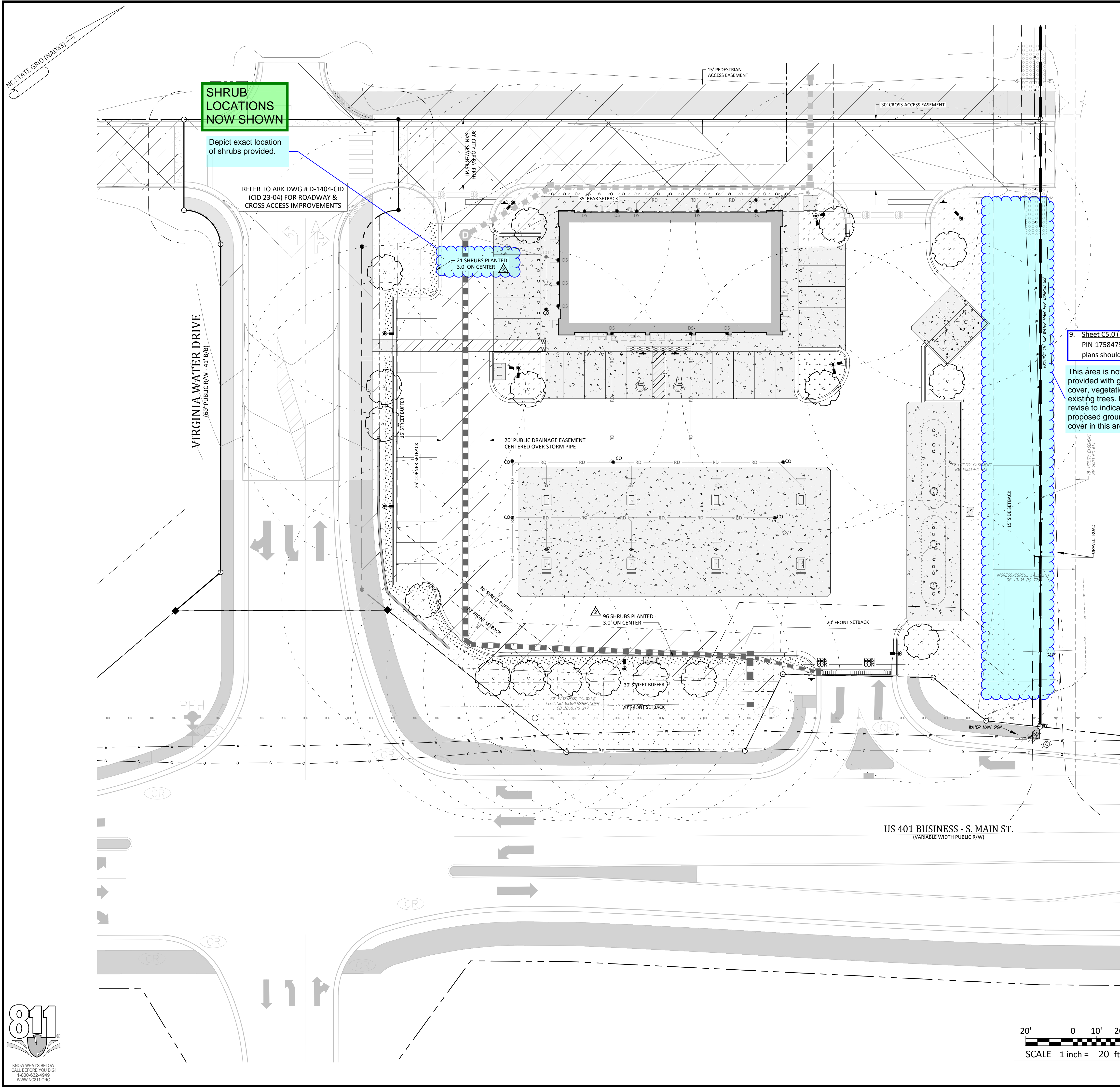
ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
 Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
 Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

Project Manager: BCF
 Drawn By: DLC/TGN
 Checked By: TGN
 Project Number: 22049
 Drawing Number: D-1404-SDP

C3.0

Date: May 1, 2023





Bufferyard Notes:

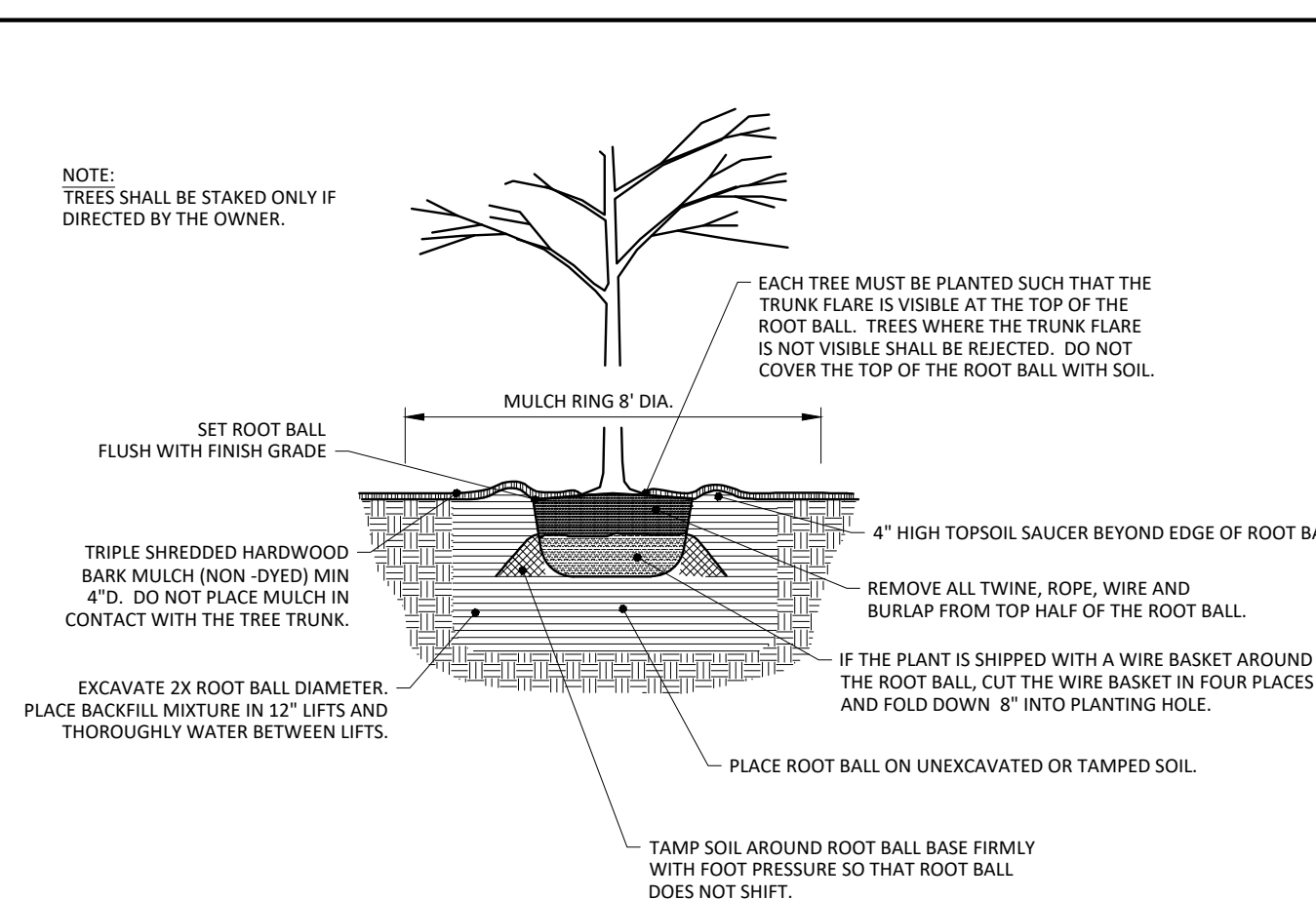
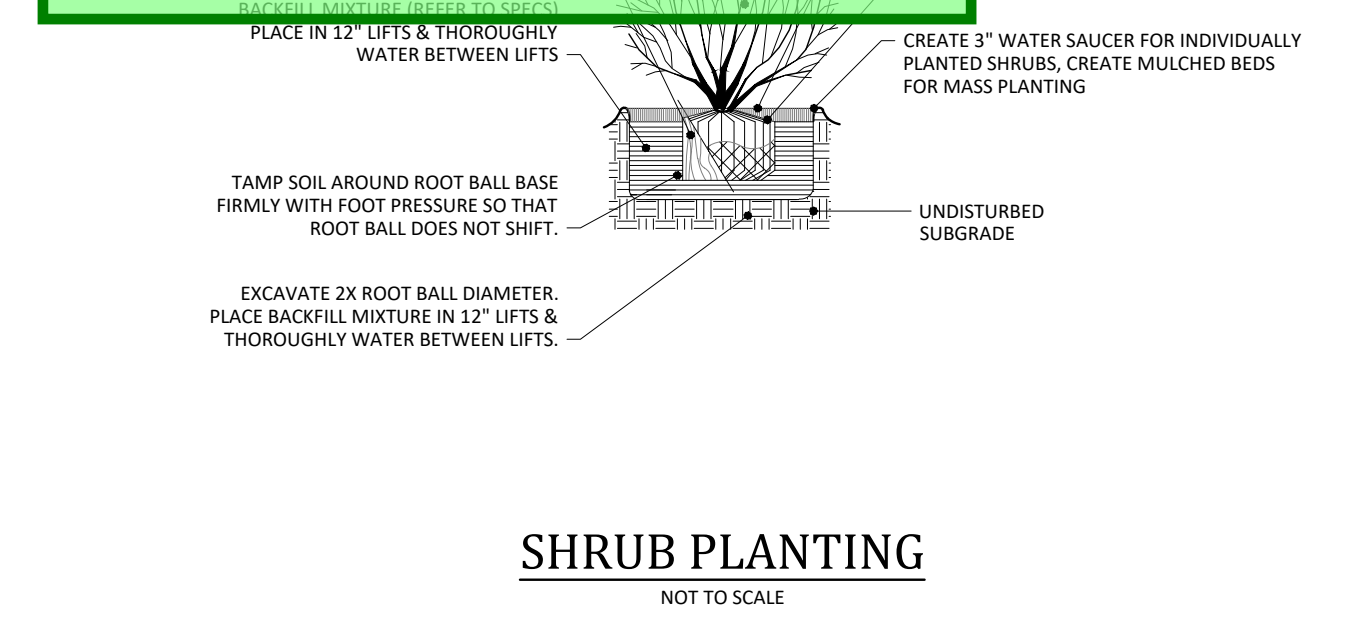
1. SITE DATA:
 - A. PROVIDED VEGETATION FOR LOT:
 - LARGE TREES: 17 PROVIDED
 - B. REQUIRED STREET VEGETATION:
 - LARGE TREES: S. MAIN STREET = 260 LF / 40' * 1 TREE = 6.5 TREES (7 PROVIDED)
 - VIRGINIA WATER DRIVE = 170 LF / 40' * 1 TREE = 4.25 TREES (4 PROVIDED)
 - C. REQUIRED SCREENING VEGETATION: NONE
 - D. REQUIRED VEGETATION LOCATED IN EASEMENTS: NONE
2. NOTES:
 - A. MINIMUM PLANT SIZES SHALL BE IN ACCORDANCE WITH THE SECTION 6.2.4.3 OF THE LDO AS FOLLOWS:

PLANTING MATERIAL TYPE	MINIMUM PLANTING SIZE
1. LARGE (CANOPY) TREE	8" (HEIGHT) AND 2" CALIPER
2. SMALL/MEDIUM (UNDERSTORY) TREE	8" (HEIGHT) AND 1" CALIPER
3. SHRUB	24" (HEIGHT) - EVERGREEN 18" (HEIGHT) - DECIDUOUS
 - B. NO PORTION OF ANY PARKING SPACE SHALL BE LOCATED MORE THAN SIXTY (60) FEET FROM AN ON-SITE LARGE (CANOPY) TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE CLOSEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE IN ACCORDANCE WITH SECTION 6.2.4.4 OF THE LDO.
 - C. DUMPSTER/COMPACTOR SHALL BE SCREENED ON 3 SIDES IN ACCORDANCE WITH SECTION 6.2.4.6 OF THE LDO.
 - D. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN SANITARY SEWER, WATERLINE OR ELECTRIC EASEMENTS WITHOUT THE TOWN AND EASEMENT HOLDER APPROVAL.
 - E. ALL MULTI-STEM TREES SHALL HAVE AT LEAST THREE STALKS WITH A MINIMUM CALIPER OF 2.5" IN ACCORDANCE WITH SECTION 6.2.4.7 OF THE LDO.
 - F. LANDSCAPING SHALL BE COMPLIANT WITH LDO SECTION 6.2.4
 - G. MINIMUM OF 3 FEET CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE BUILDING CODE.
 - H. PLANTINGS WITHIN THE R/W ARE TO BE INSTALLED AS PART OF THE MAIN STREET PROJECT (NCDOT U-6241). SEE STANTEC PLAN SHEET L-4.
 - I. REFER TO WALLBROOK PRELIMINARY PLAT (PR 21-04 REV) FOR VEGETATION PRESERVATION IN THIS AREA.
 - J. CONTRACTOR SHALL PLACE WEED MATTING AND METAL EDGING LOCATED AT THE BACK OF CURB AROUND ALL MULCH BEDS

9. Sheet C5.0 (11 of 25) - The area of the Ingress/Egress utility easement (City of Raleigh) along the property line with PIN 1758479244 is not shown to be planted with sod, nor is it shown to preserve any existing landscaping. The plans should be revised to clearly indicate the proposed ground cover and/or landscaping to be provided here.

This area is not provided with ground cover, vegetation, or existing trees. Please revise to indicate the proposed ground cover in this area.

THIS AREA IS OUTSIDE THE LIMITS OF DISTURBANCE AND WILL REMAIN IN ITS EXISTING GROUND COVER CONDITION. SOD IS PROPOSED IN AREAS THAT ARE TO BE DISTURBED. NOTE ADDED TO SHEET C1.0.



Vegetation Legend:

- PROPOSED LARGE TREE (CANOPY)
 TOTAL QUANTITY = 17
 CALIPER = 3"
 HEIGHT = 12"
 MATURE HEIGHT = 50' - 80'
 COMMON NAME: RED MAPLE
 BOTANICAL NAME: ACER RUBRUM
- PROPOSED SHRUB(S)
 TOTAL QUANTITY = 117
 HEIGHT = 24"
 MATURE HEIGHT = 24" - 36"
 COMMON NAME = GREY OWL EASTERN RED CEDAR
 BOTANICAL NAME = JUNIPERUS VIRGINIANA 'GREY OWL'
- PROPOSED SOD
 TOTAL QUANTITY = 11,060 SF
 (CONTRACTOR RESPONSIBLE FOR VERIFYING AREA)

- Final Drawing - Issued for Permit Review Purposes Only
 Review Date: 05/01/2024
 3/1 MAY/24 REVISED FOR REVIEW COMMENTS
 2/11 MAY/24 REVISED FOR REVIEW COMMENTS
 1/11 MAY/24 ISSUED FOR PERMIT REVIEW
 # DATE DESCRIPTION

7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

REQUIRED VEGETATION PLAN
 NC License: PA 1398
ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS
 2755-B Charles Blvd
 Raleigh, NC 27608
 (919) 558-8888
 www.arkconsultinggroup.com

Project Manager: BCF
 Drawn By: DLC/TGN
 Checked By: TGN
 Project Number: 22049
 Drawing Number: D-1404-SDP

C5.0
 Date: May 1, 2023

