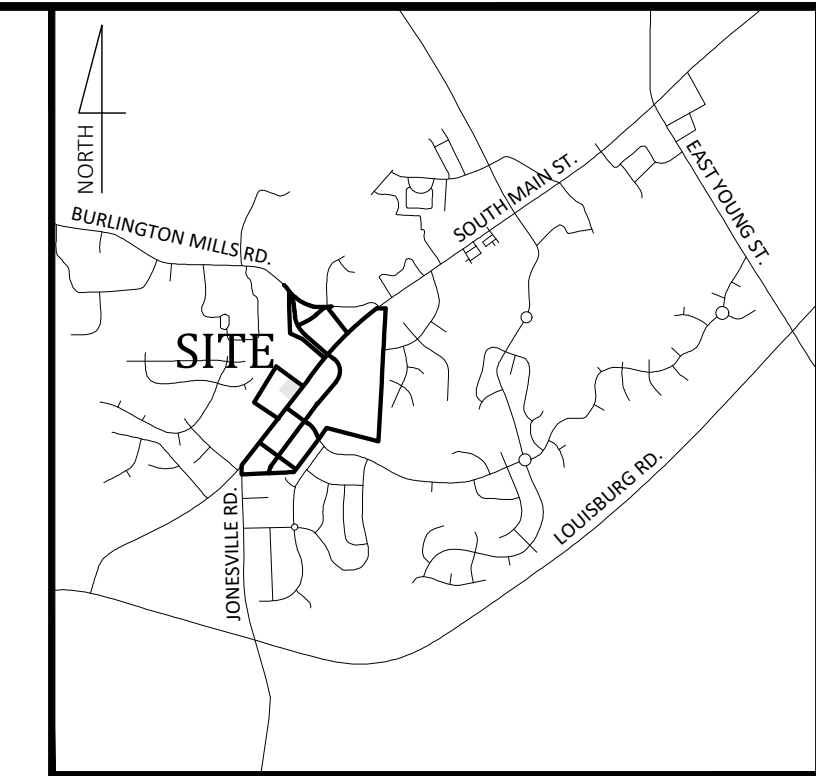


7ELEVEN AT WALLBROOK (LOT 11)

SITE DEVELOPMENT PLAN - SDP 23-04[▲]

US-401 Business / S. Main Street ~ Town of Rolesville ~ Wake County ~ North Carolina



Engineer
Ark Consulting Group, PLLC
2755 Charles Blvd - Suite B
Greenville, NC 27858
(252) 558-0888
Contact: Bryan Fagundus, PE
bryan@arkconsultinggroup.com

Developer
Wallbrook Landco, LLC
3 Keel St, Ste 2
Wrightsville Beach, NC 28480
(704) 621-6430
Contact: Austin Williams
awilliams@csere.com

Owner
Wallbrook CStore, LLC
801 East Blvd.
Charlotte, NC 28203
(704) 561-5200
Contact: Nick Carroll
ncarroll@csere.com

Parking Requirements:

PARKING REQUIRED: RETAIL SALES AND SERVICES		
BICYCLE PARKING: 1 / 5000 SF = 4730 / 5000		1 SPACE
MINIMUM: 2.5 / 1000 SF = 4730 / 1000 * 2.5		12 SPACES
MAXIMUM: 7.5 / 1000 SF = 4730 / 1000 * 7.5		36 SPACES
TOTAL REQUIRED PARKING: 12 SPACES		
REQUIRED HANDICAP PARKING: + 1 BICYCLE PARKING		
PARKING PROVIDED: 34 SPACES (INCL. 2 H/C) 4 BICYCLE PARKS		

General Notes:

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- ▲** THIS PROPERTY IS LOCATED WITHIN ZONE 'X', AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM) 3720175800C, EFFECTIVE DATE JULY 19, 2022.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES.
- THIS PROJECT DISTURBS MORE THAN 1/2 ACRE FOR PURPOSES OF A COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE. EROSION & SEDIMENTATION CONTROL PLAN APPROVAL IS REQUIRED.
- NCDOT DRIVEWAY PERMIT APPROVAL IS COMPLETED FOR THIS PROJECT. REFERENCE NCDOT PERMIT NUMBER D051-092-22-00049.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE FOR COMMERCIAL DEVELOPMENT.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SITE SHALL MEET ALL RELATED ACCESSIBILITY CODE REQUIREMENTS.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED ALTA/NSPS LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC DATED 3/28/2020, AND ATTACHED TO THIS DRAWING SET FOR REFERENCE.
- UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM MAPS ON RECORD. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.
- REFER TO "WALLBROOK PRELIMINARY PLAT" PR 21-04 REV FOR OPEN SPACE CALCULATIONS AND REQUIREMENTS FOR THE WALLBROOK DEVELOPMENT

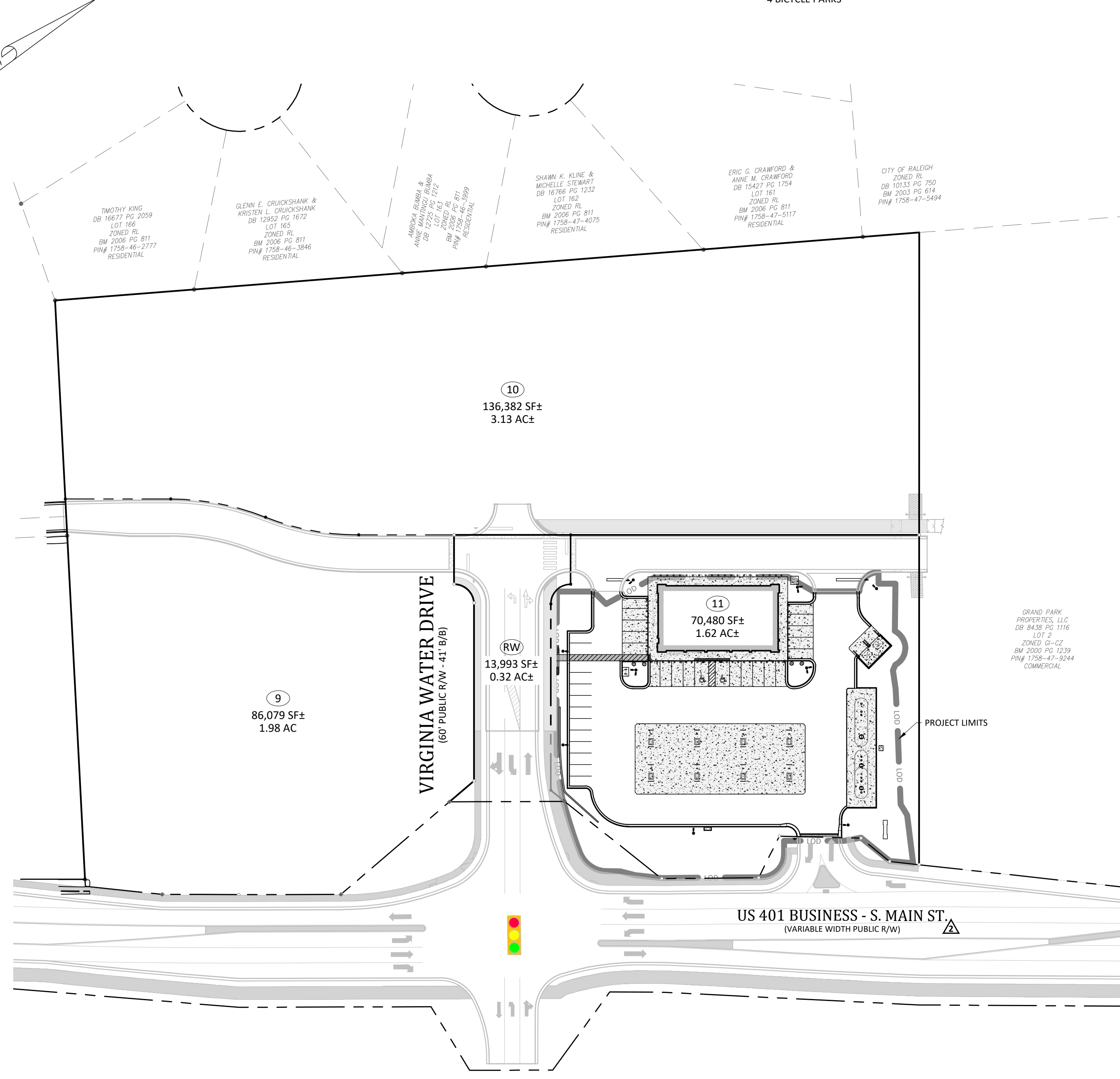
Site Data

WAKE COUNTY PIN: 1758-46-8940	REAL ESTATE ID: 509439
CURRENT ZONING: GC-CZ	TOTAL ACREAGE IN PROJECT LIMITS: 1.62 AC
DISTURBED ACREAGE: 1.31 AC	WATERSHED: Lower Neuse
RIVER BASIN: Neuse	CURRENT USE: VACANT / WOODED
PROPOSED USE: NON-RESIDENTIAL / FUEL SALES / RETAIL	REQUIRED BUILDING SETBACKS: 35' (REAR), 25' (CORNER), 20' (FRONT), 15' (SIDE)
BUILDING FLOOR AREA: 4,805 SF	BUILDING LOT COVERAGE: 0% EXIST., 6.80% PROPOSED
BUILDING HEIGHT: 21' 5" (1 STORY)	TOTAL NUMBER OF PARKING SPACES REQUIRED: 12 SPACES (INCL. 2 H/C) + 1 BICYCLE SPACE
TOTAL NUMBER OF PROPOSED PARKING SPACES: 34 SPACES (INCL. 2 H/C) + 4 BICYCLE SPACES	TOTAL SQ. FEET OF EXIST. IMPERVIOUS AREA: 0 SF
TOTAL SQ. FEET OF PROP. IMPERVIOUS AREA: 52,347 SF (74%)	DEVELOPMENT STANDARDS: LDO
REFERENCES: DB 19463, PG 2429-2432; BM 2023, PG 1603-1604; BM 1995, PG 187; 748 S. MAIN STREET	

Vicinity Map
NOT TO SCALE

Legend

EXISTING	PROPOSED
<ul style="list-style-type: none"> ● FOUND MONUMENT AS NOTED ○ SET IRON PIN △ NC&S MONUMENT □ DIMENSION POINT (NOTHING SET) ■ PROPERTY LINE R/W RIGHT OF WAY C&G CURB AND GUTTER CAV CABLE TV PEDESTAL DI DROP INLET ELEC ELECTRIC BOX EM ELECTRIC METER F/O FIBER OPTIC FH FIRE HYDRANT GV GAS VALVE HB HAND BOX LP LIGHT POLE PP POWER POLE GW GUY WIRE RCP REINFORCED CONCRETE PIPE S.F. SQUARE FEET (AREA) SIGN TS TRAFFIC SIGNAL POLE SM SANITARY SEWER MANHOLE SS SANITARY SEWER FORCE MAIN VALVE SD STORM DRAIN MANHOLE SC STORM DRAIN CATCH BASIN TEL TELEPHONE PEDESTAL TRAF TRAFFIC BOX WB WATER BOX WM WATER METER WMH WATER MANHOLE WV WATER VALVE WELL PEDESTRIAN X-WALK POLE ELECTRIC LINE SANITARY SEWER FORCE MAIN FIBER OPTIC LINE GAS LINE OVERHEAD ELECTRIC LINE SANITARY SEWER LINE TELEPHONE LINE CABLE TV LINE WATER LINE FIRE LINE 8" WATER LINE 12" WATER LINE SPILL CURB FENCE RIPARIAN BUFFER TREELINE MAJOR CONTOUR (5') MINOR CONTOUR (1') TREE PROTECTION FENCE SILT FENCE CONCRETE SIDEWALK ACCESS AND UTILITY EASEMENT HEAVY DUTY ASPHALT PAVEMENT TDD DRAINAGE AREA SKIMMER BASIN DRAINAGE AREA 	<ul style="list-style-type: none"> FH G S W F 2"W 12"W X TPP SF



Town of Rolesville Development Applications

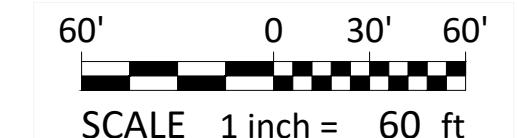
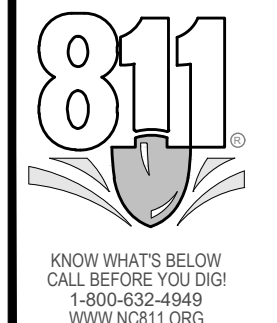
ANX 23-03	ANNEXATION
MA 21-09	REZONING
PR 21-04 REV	PRELIMINARY SUBDIVISION PLAT (REVISED)
FSP 23-10	INTERMEDIATE SUBDIVISION PLAT
CID 23-04	WALLBROOK ROADWAY IMPROVEMENTS (VIRGINIA WATER DR EXTENSION - PARIS TRACT)
SDP 23-04	SITE DEVELOPMENT PLAN (CURRENT APPLICATION)

SHEET INDEX

#	TITLE	
C0.1	COVER - OVERALL SITE PLAN	▲▲▲▲
C0.2	EXISTING CONDITIONS	▲
C1.0	EROSION CONTROL PLAN - Ph. 1	▲▲▲▲
C1.1	EROSION CONTROL PLAN - Ph. 2	▲▲
C1.2	EROSION CONTROL PLAN - Ph. 3	▲▲
C1.3	EROSION CONTROL NOTES	▲
C1.4	EROSION CONTROL DETAILS	▲
C2.0	SITE PLAN	▲▲▲▲
C2.1	EASEMENT PLAN	▲
C3.0	UTILITY PLAN	▲▲▲
C4.0	GRADING PLAN	▲▲▲
C5.0	REQUIRED VEGETATION PLAN	▲▲▲
C6.0	DETAILS	▲▲
C6.1	DETAILS	▲
C6.2	DETAILS	▲
C6.3	DETAILS	▲

- REF SURVEY - JOHNSON, MIRMIRAN, & THOMPSON (1 SHEET)
- REF ARCHITECTURAL BUILDING ELEVATIONS BUFSSTUDIO (5 SHEETS)
- REF SITE LIGHTING PLAN - BUFSSTUDIO (4 SHEETS)
- REF PR 21-04 REVISED - TREE PRESERVATION PLAN (1 SHEET)

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT
APPROVED
 EROSION CONTROL S-EC-119905-2024
 STORMWATER MGMT. S-WF-119906-2024
 FLOOD STUDY S-
 DATE: 5/1/2024
 ENVIRONMENTAL CONSULTANT SIGNATURE



- Final Drawing - Issued for Permit Review Purposes Only

#	DATE	DESCRIPTION
4	12-MAY-24	REVISED PER REVIEWER & OWNER COMMENTS
3	11-MAY-24	REVISED PER REVIEWER & OWNER COMMENTS
2	11-JUNE-23	REVISED PER REVIEWER COMMENTS
1	11-MAY-23	ISSUED FOR PERMIT REVIEW



COVER - OVERALL SITE PLAN
7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

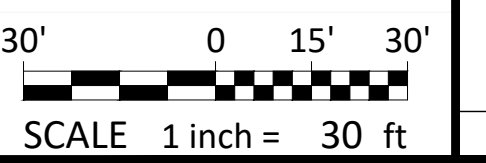
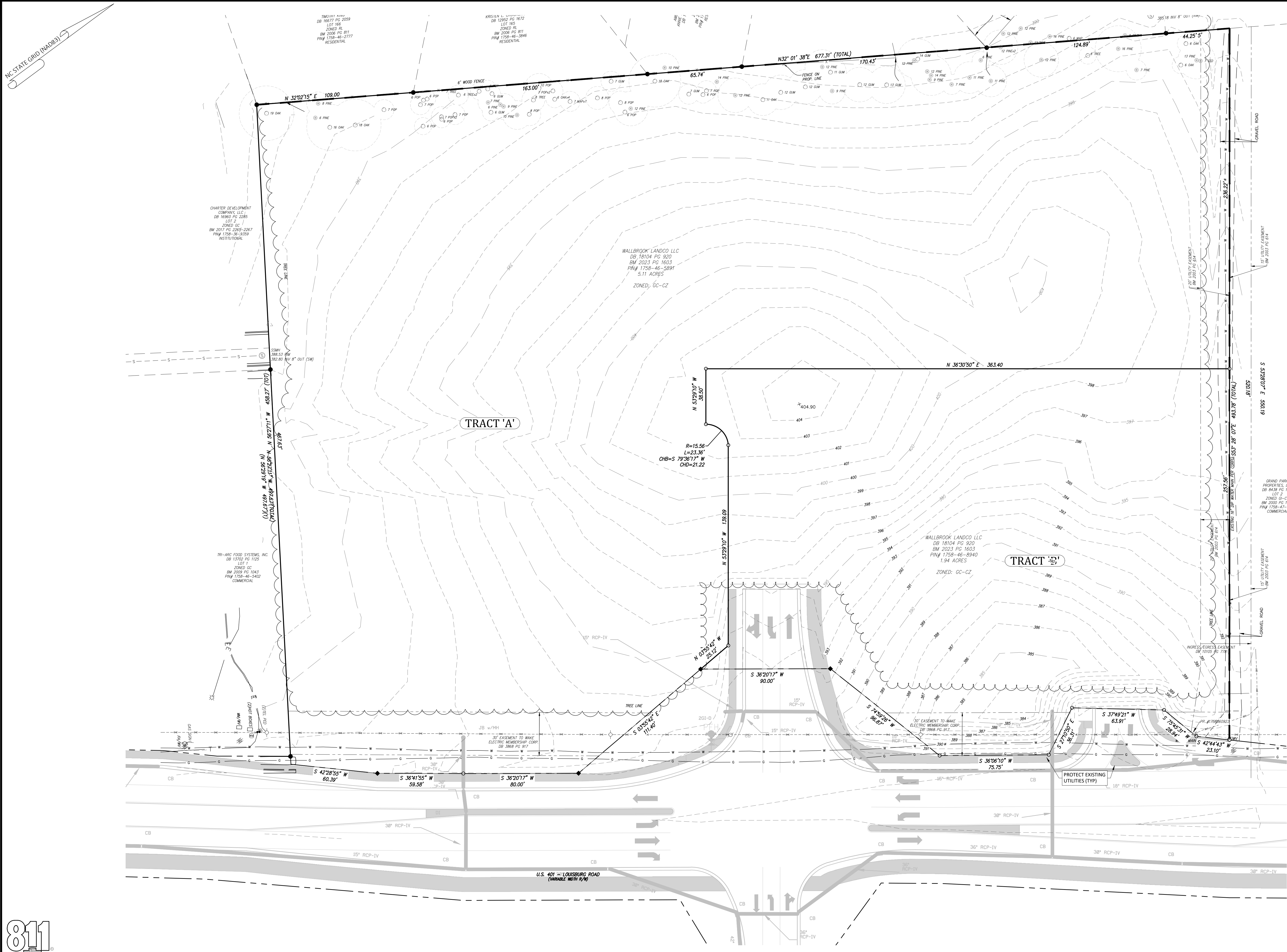
NC License: PI 139
ARK CONSULTING GROUP, PLLC
 ENGINEERS & PLANNERS
 2755-B Charles Blvd
 Greenville, NC 27858
 (252) 558-0888
 www.arkconsultinggroup.com
Final Drawing
 5/1/2024



Project Manager:	BCF
Drawn By:	DLC/TGN
Checked By:	TGN
Project Number:	22049
Drawing Number:	D-1404-SDP

C0.1

Date: May 1, 2023



- Final Drawing - Issued for Permit Review Purposes Only

#	DATE	DESCRIPTION
1	11-MAY-23	ISSUED FOR PERMIT REVIEW
2	11-JUNE-23	REVISED PER TOR REVIEW COMMENTS
3	11-MAY-24	REVISED PER TOR REVIEW & OWNER COMMENTS
4	12-MAY-24	REVISED PER REVIEW & OWNER COMMENTS



EXISTING CONDITIONS

7ELEVEN AT WALLBROOK (LOT 11)

Town of Rolesville Project No. SDP 23-04

US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 139

ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS

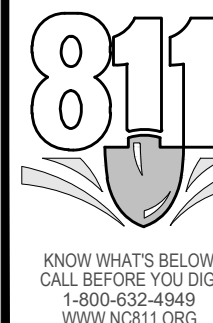
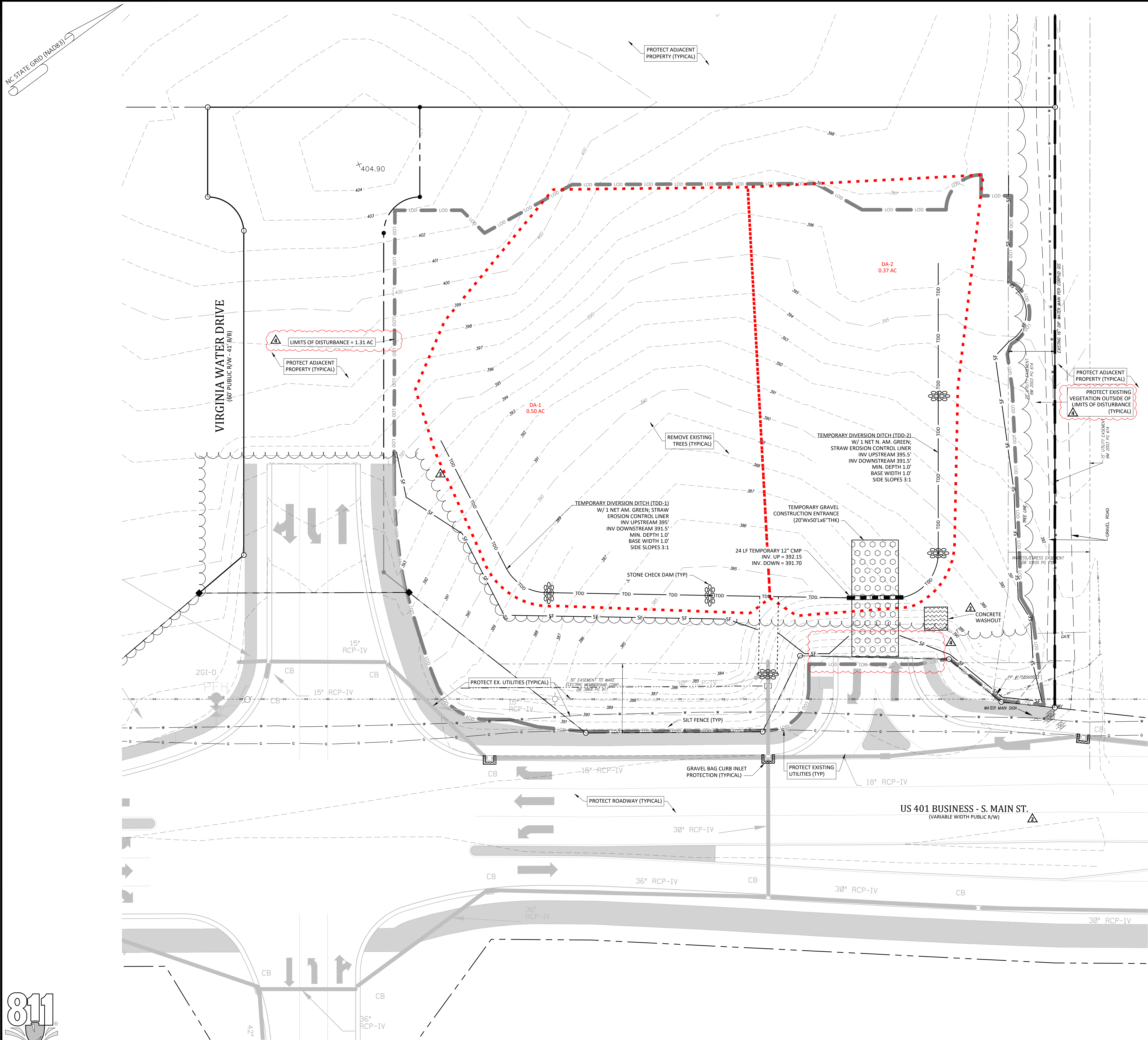
2755-B Chimes Blvd
 #200
 Raleigh, NC 27608
 (919) 558-0888
 www.arkconsultinggroup.com

ARK CONSULTING GROUP
 NORTH CAROLINA
 ARCHITECTS & ENGINEERS
 5/1/2024

Project Manager:	BCF
Drawn By:	DLC/TGN
Checked By:	TGN
Project Number:	22049
Drawing Number:	D-1404-SDP

C0.2

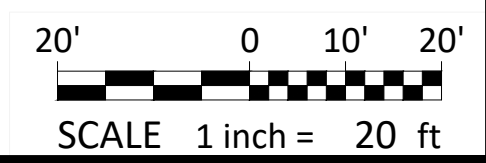
Date: May 1, 2023



- Demolition Notes:**
- CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE-CALL CENTER (NC 811) BY DIALING 811 OR 1-800-632-4949 AT LEAST 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY OR DIGGING AND HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
 - THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
 - EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - ALL DEMOLITION WASTE AND DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 - THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
 - ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
 - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
 - CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE NCDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
 - CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL REMOVE EXISTING VEGETATION AND IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE UNLESS NOTED OTHERWISE.
 - TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.

Legend

EXISTING	PROPOSED



- Final Drawing - Issued for Permit Review Purposes Only

NO.	DATE	DESCRIPTION
4	12/24/24	REVISED PER REVIEW & OWNER COMMENTS
3	11/14/24	REVISED PER TOR REVIEW & OWNER COMMENTS
2	11/06/24	REVISED PER TOR REVIEW COMMENTS
1	11/04/24	ISSUED FOR PERMIT REVIEW



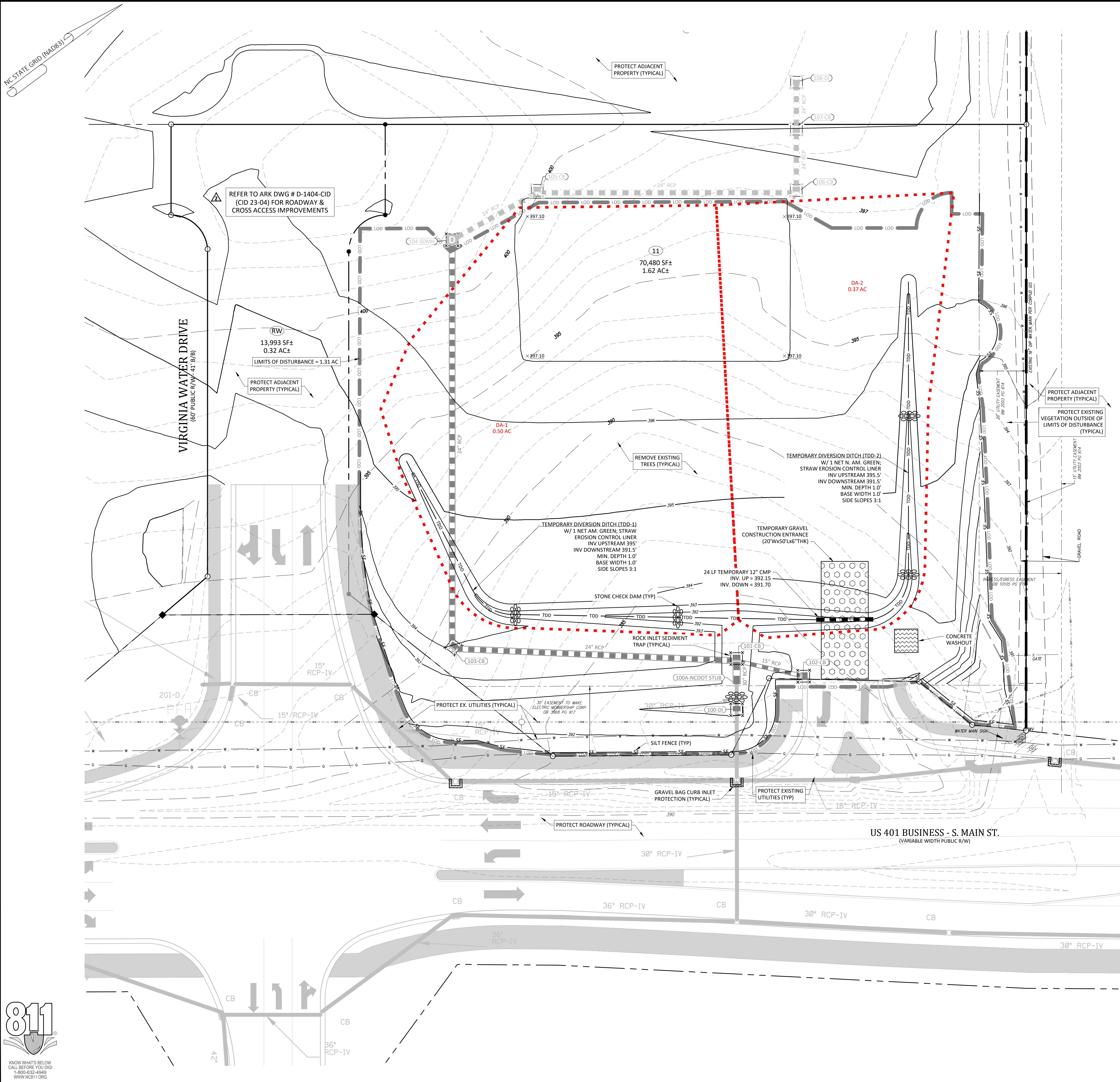
EROSION CONTROL PLAN - PH. 1
7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
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 2755-B Chambers Blvd.
 Raleigh, NC 27617
 (919) 883-8888
 www.arkconsultinggroup.com

Final Drawing
 5/1/2024

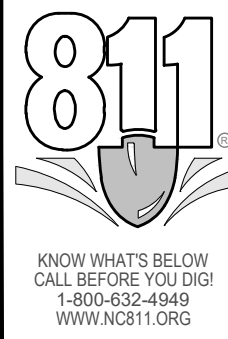
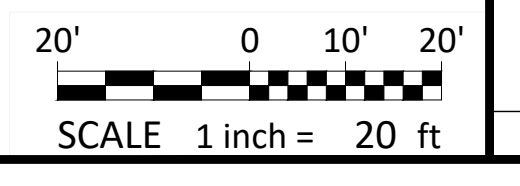
Project Manager: BCF
 Drawn By: DLC/TGN
 Checked By: TGN
 Project Number: 22049
 Drawing Number: D-1404-SDP

C1.0
 Date: May 1, 2023



Legend

EXISTING	PROPOSED
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- Final Drawing -
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Review Purposes Only

#	DATE	DESCRIPTION
1	11-MAY-23	ISSUED FOR PERMIT REVIEW
2	11-JUNE-23	REVISED PER TOB REVIEW COMMENTS
3	11-MAR-24	REVISED PER TOB REVIEW & OWNER COMMENTS
4	17-MAR-24	REVISED PER REVIEW & OWNER COMMENTS

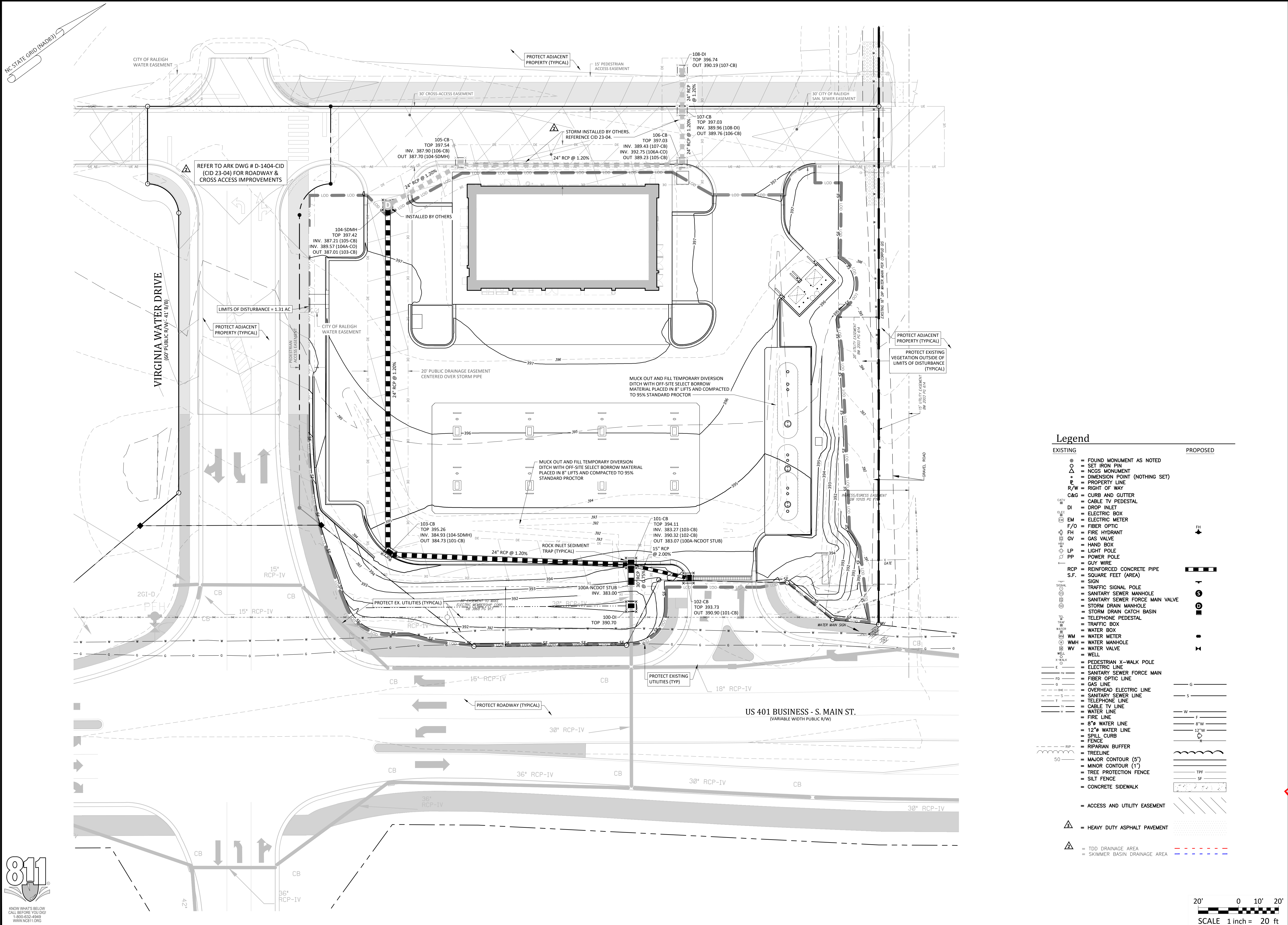


EROSION CONTROL PLAN - PH. 2
7ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

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2755-B Charles Blvd
Raleigh, NC 27613
(760) 558-8888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC/TGN
Checked By: TGN
Project Number: 22049
Drawing Number: D-1404-SDP

C1.1
Date: May 1, 2023



Legend

EXISTING	PROPOSED



**- Final Drawing -
Issued for Permit
Review Purposes Only**

#	DATE	DESCRIPTION
4	12 MAR 24	REVISED PER REVIEW & OWNER COMMENTS
3	11 MAR 24	REVISED PER REVIEW & OWNER COMMENTS
2	11 MAR 23	REVISED PER REVIEW & OWNER COMMENTS
1	11 MAR 23	ISSUED FOR PERMIT REVIEW



EROSION CONTROL PLAN - PH. 3
7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

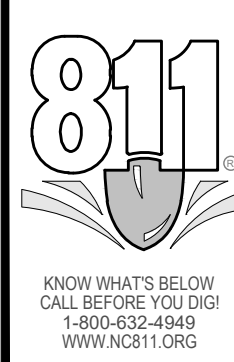
NC License # PI 1591

ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS

2755-B Charles Blvd
 77558
 (757) 558-0888
 www.arkconsultinggroup.com

Project Manager:	BCF
Drawn By:	DLC/TGN
Checked By:	TGN
Project Number:	22049
Drawing Number:	D-1404-SDP

C1.2
 Date: May 1, 2023



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable...

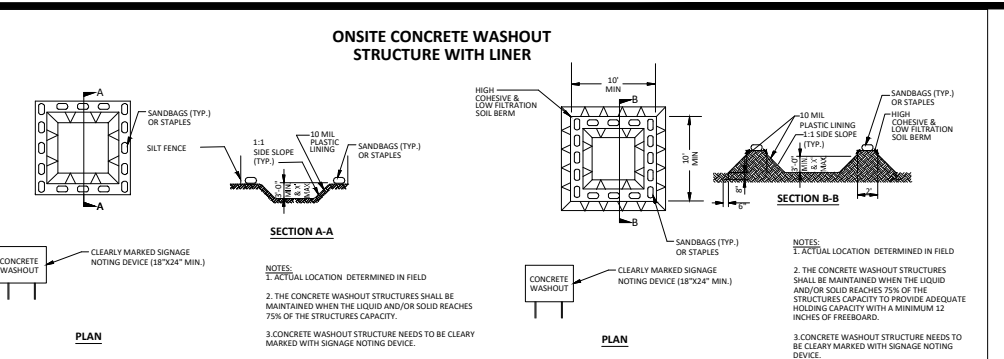
GROUND STABILIZATION SPECIFICATION: Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Table comparing Temporary Stabilization and Permanent Stabilization methods.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction... 5. Store flocculants in leak-proof containers that are kept under storm-resistant cover...

- EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.



- CONCRETE WASHOUTS
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle, settled, hardened concrete residue...

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers...

- PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets...

- PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands...
2. Provide staking or anchoring of portable toilets during periods of high winds...

- EARTHEN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earth-material stockpile areas at least 50 feet away from storm drain inlets...
2. Protect stockpile with silt fence installed along toe of slope...

- HERBICIDES, PESTICIDES AND RODENTICIDES
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers...

- HAZARDOUS AND TOXIC WASTE
1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy...

Table with 3 columns: Inspect, Frequency (during normal business hours), and Inspection records must include.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING
The approved E&S Plan as well as any approved deviation shall be kept on the site. The approved E&S Plan must be kept up-to-date throughout the coverage under this permit.

Table with 2 columns: Item to Document and Documentation Requirements.

2. Additional Documentation
In addition to the E&S Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours...

- (a) This general permit as well as the certificate of coverage, after it is received.
(b) Records of inspections made during the previous 30 days.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING
1. Occurrences that must be reported
Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
(b) Oil spills if:
- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours...

Table with 2 columns: Occurrence and Reporting Timeframes (After Discovery) and Other Requirements.

Erosion Control Provisions:

- 1. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING WAKE COUNTY WATERSHED MANAGEMENT OF THE DATE THAT THE LAND DISTURBING ACTIVITY WILL BEGIN.
2. LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MAY NOT PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY THE ENGINEER.

Construction Sequence:

- 1. EROSION AND SEDIMENT CONTROL (E&S) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR.
2. CALL WAKE COUNTY WATERSHED MANAGER JEEVAN NEUPANE AT (919) 819-8907 A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR NOTIFICATION OF PROJECT START UP.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

WAKE COUNTY Environmental Services logo and contact information. Includes address: 510 Fayetteville St., Raleigh, NC 27602.

Seeding Specifications
NPDES Stormwater Discharge Permit for Construction Activities (NCG01 - 4/1/19)
NCDHEQ/Division of Energy, Mineral and Land Resources

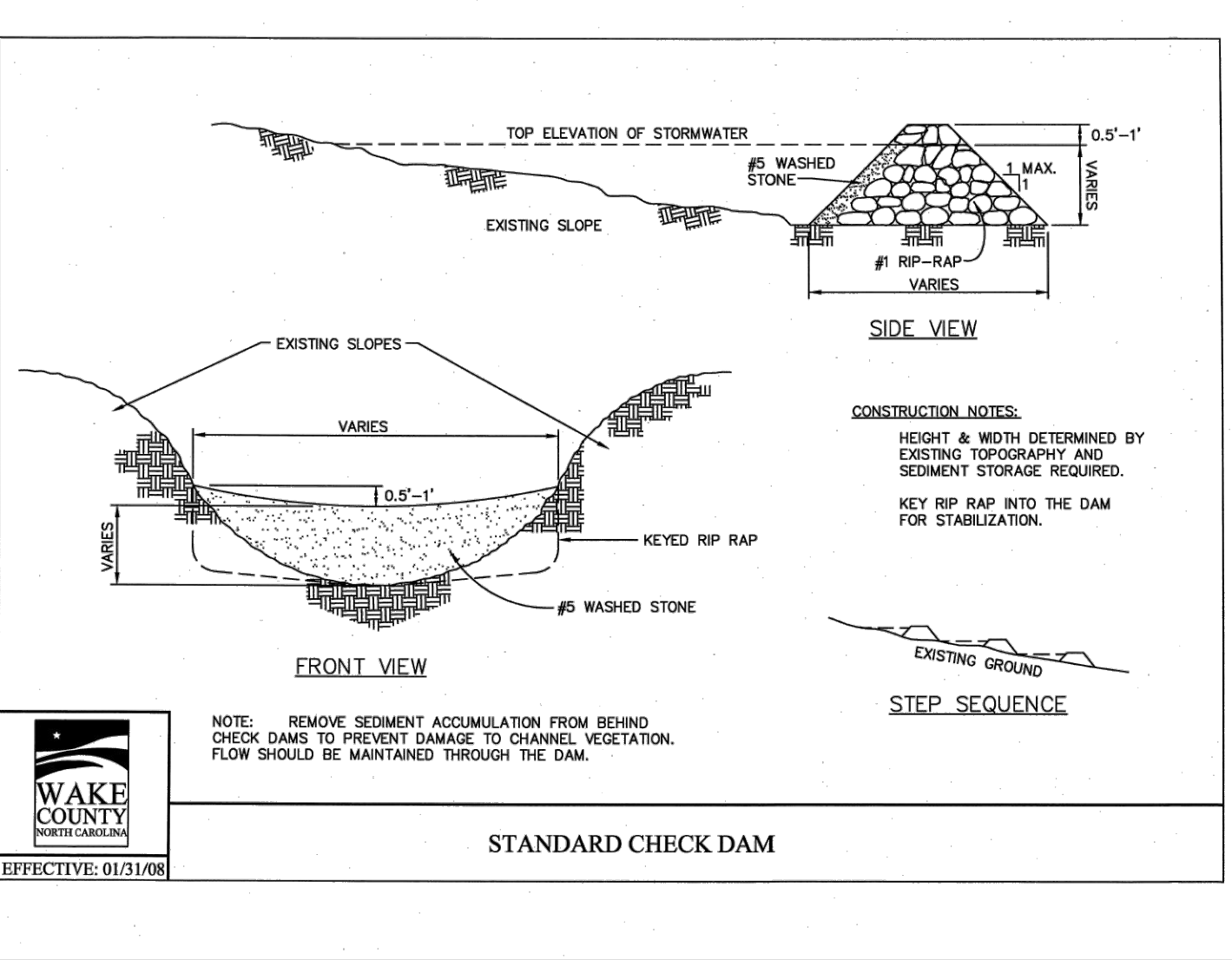
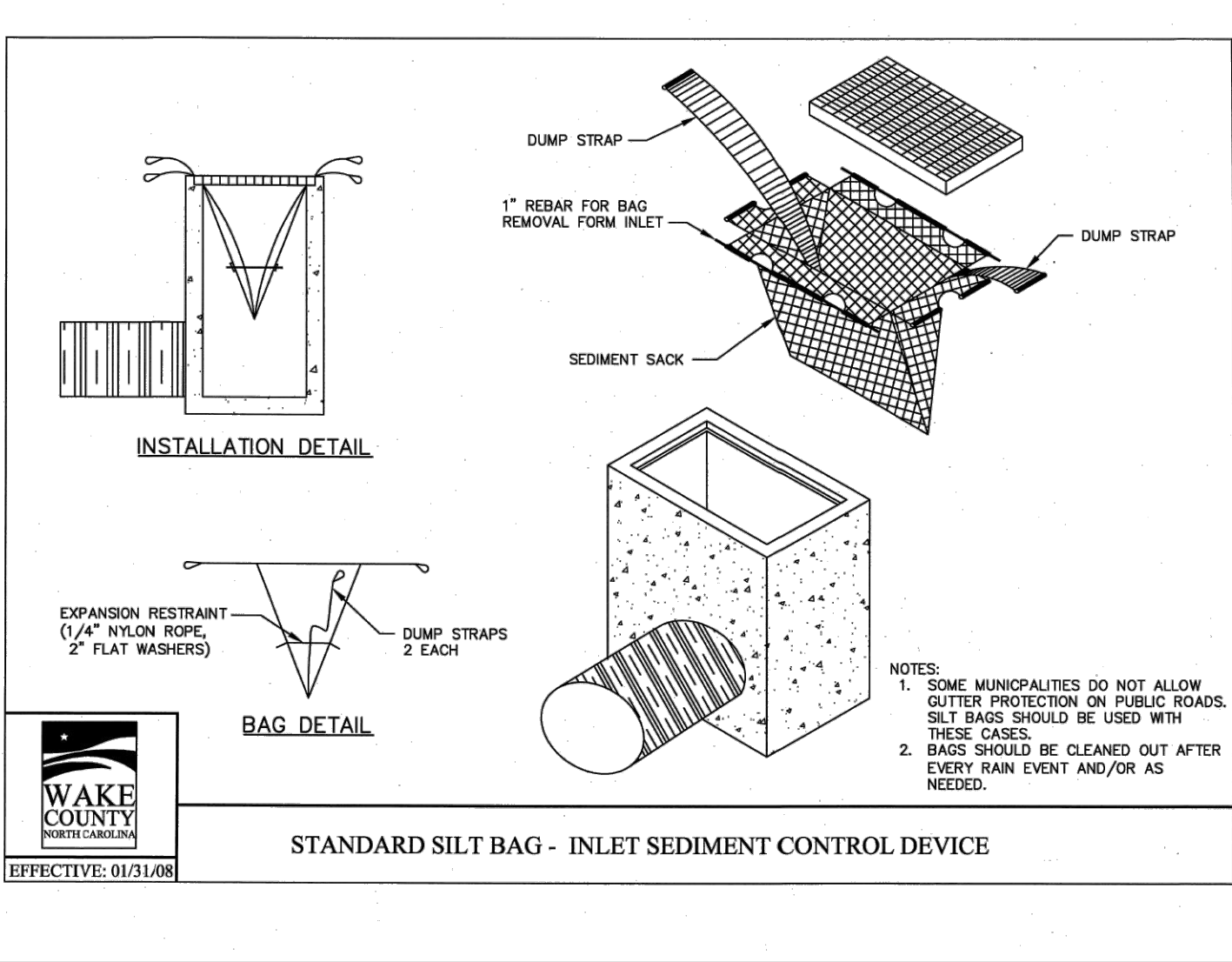
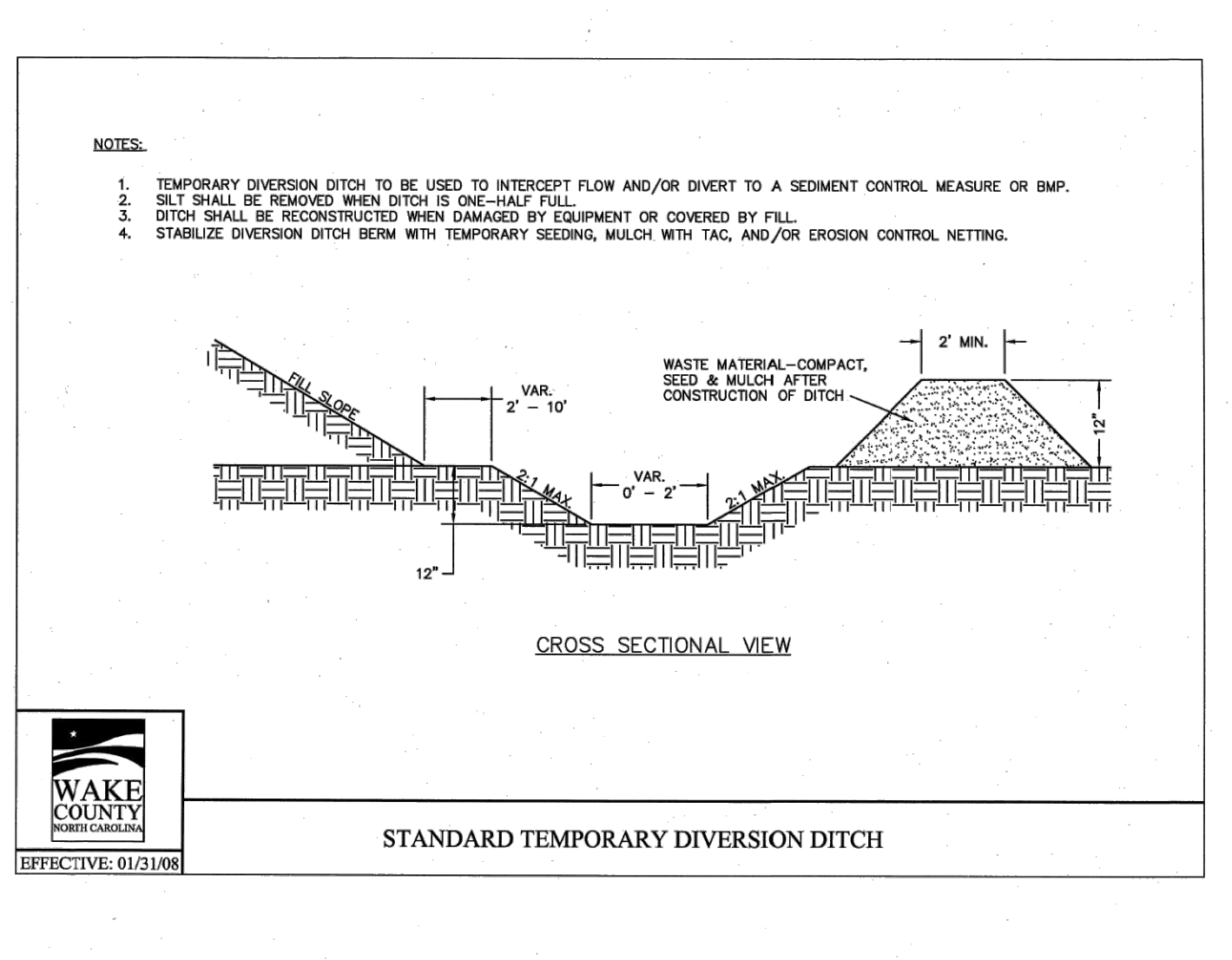
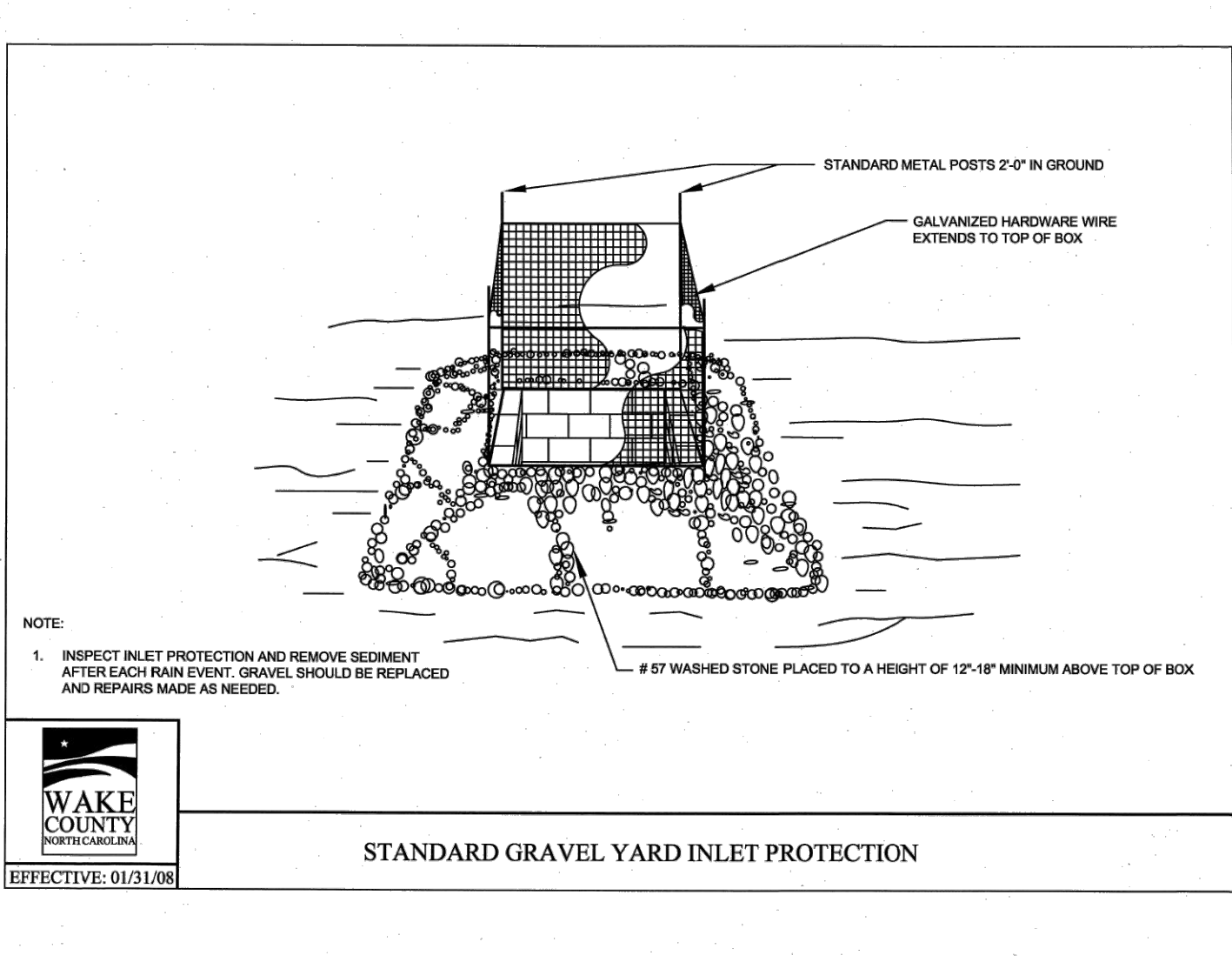
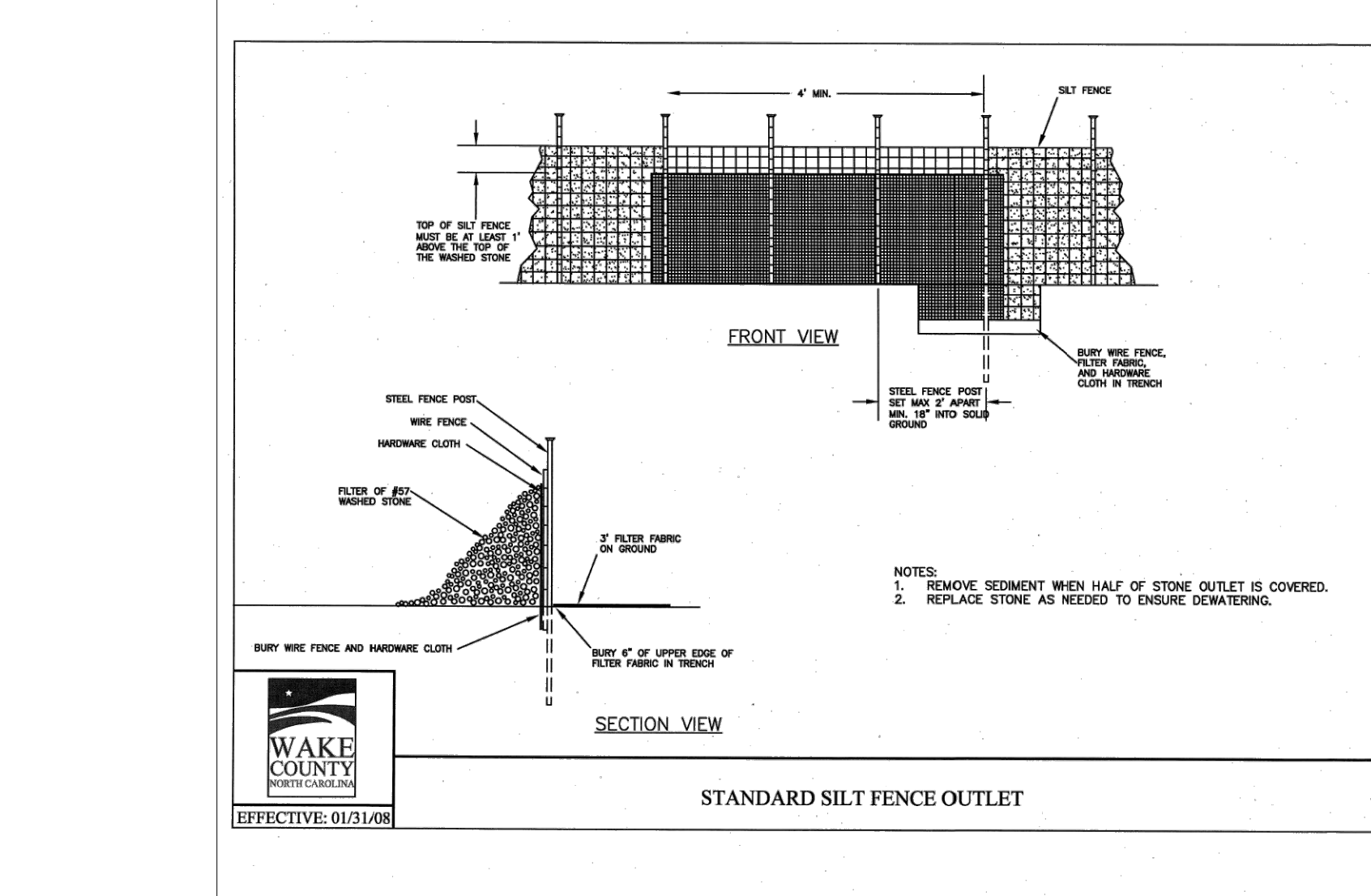
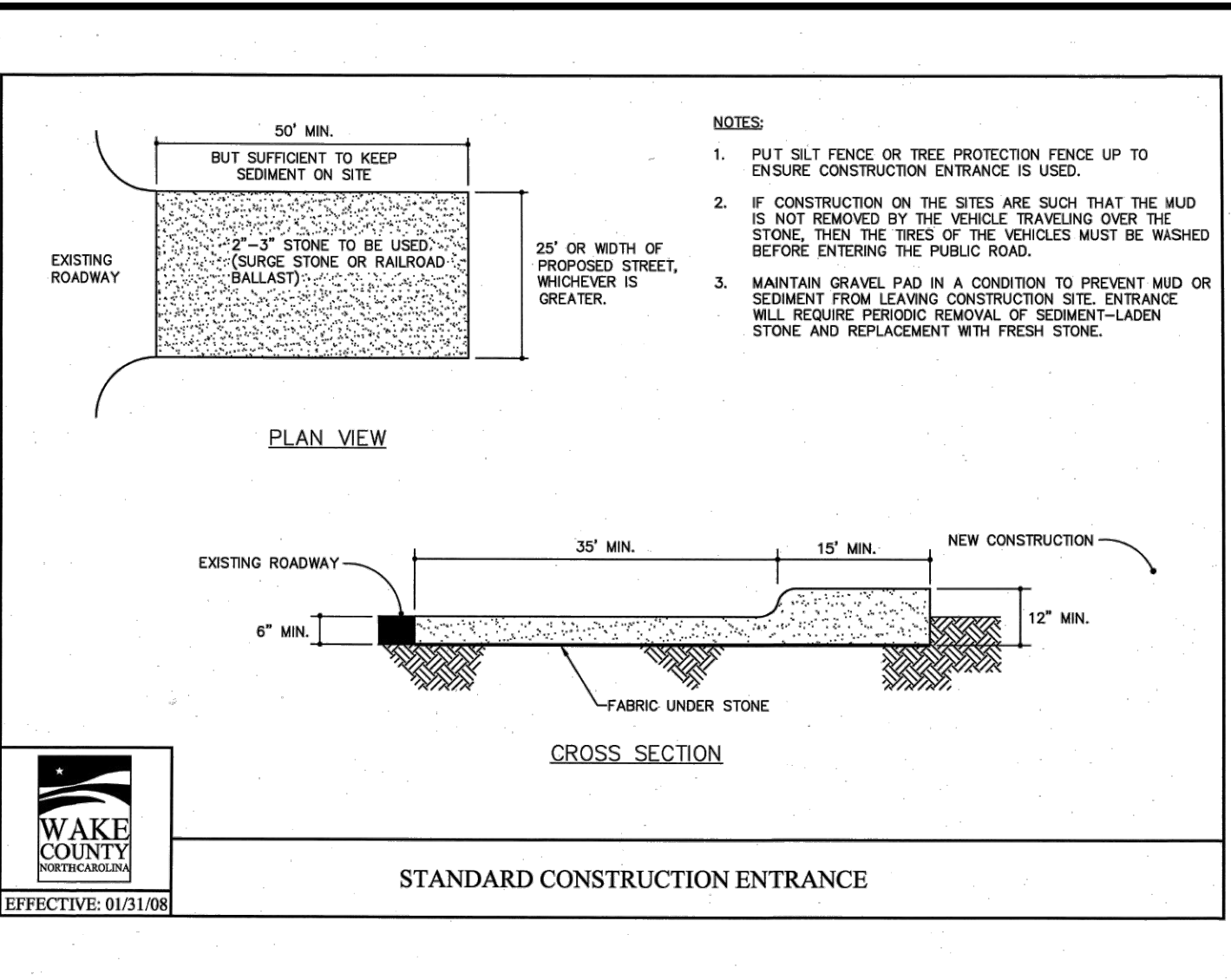
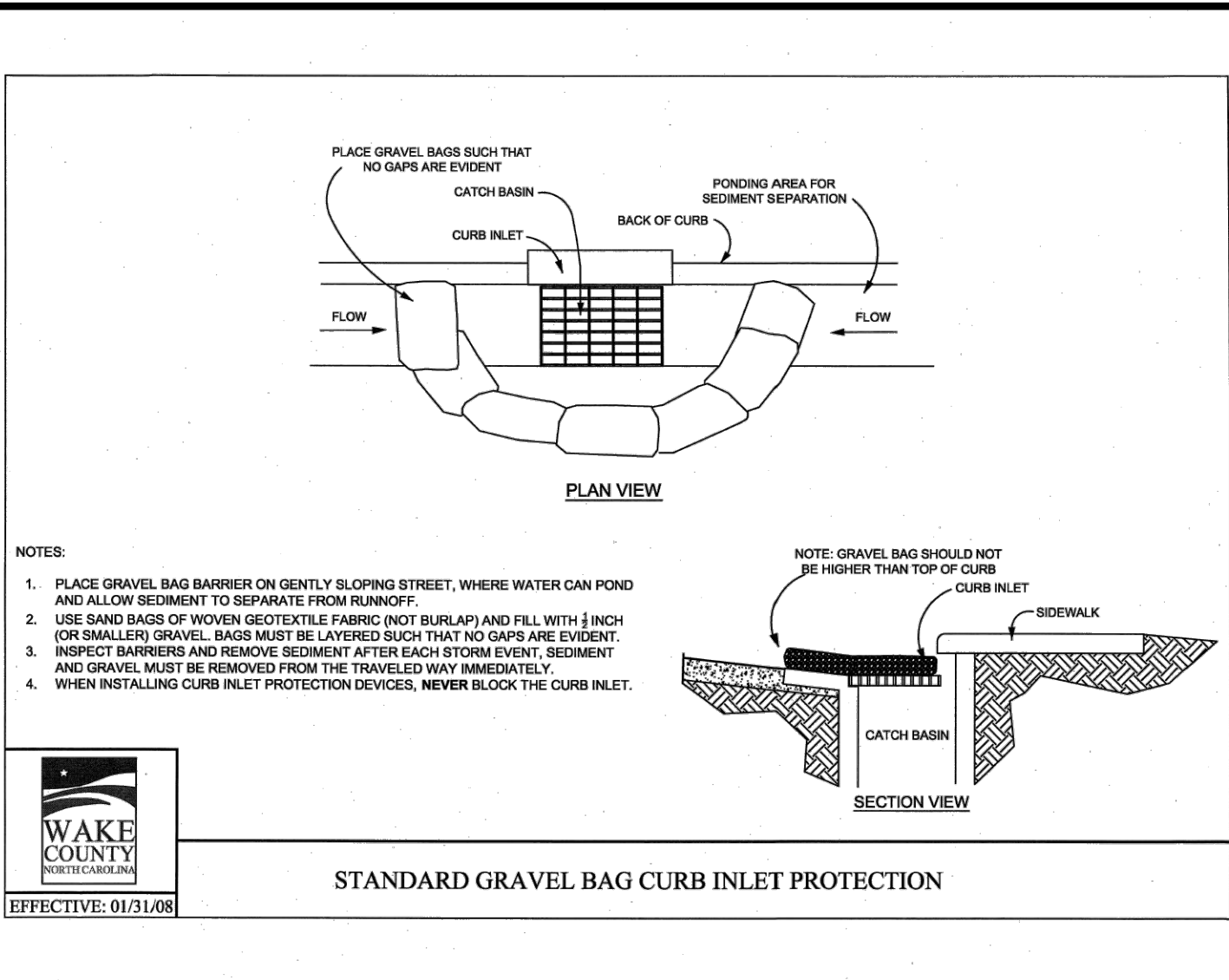
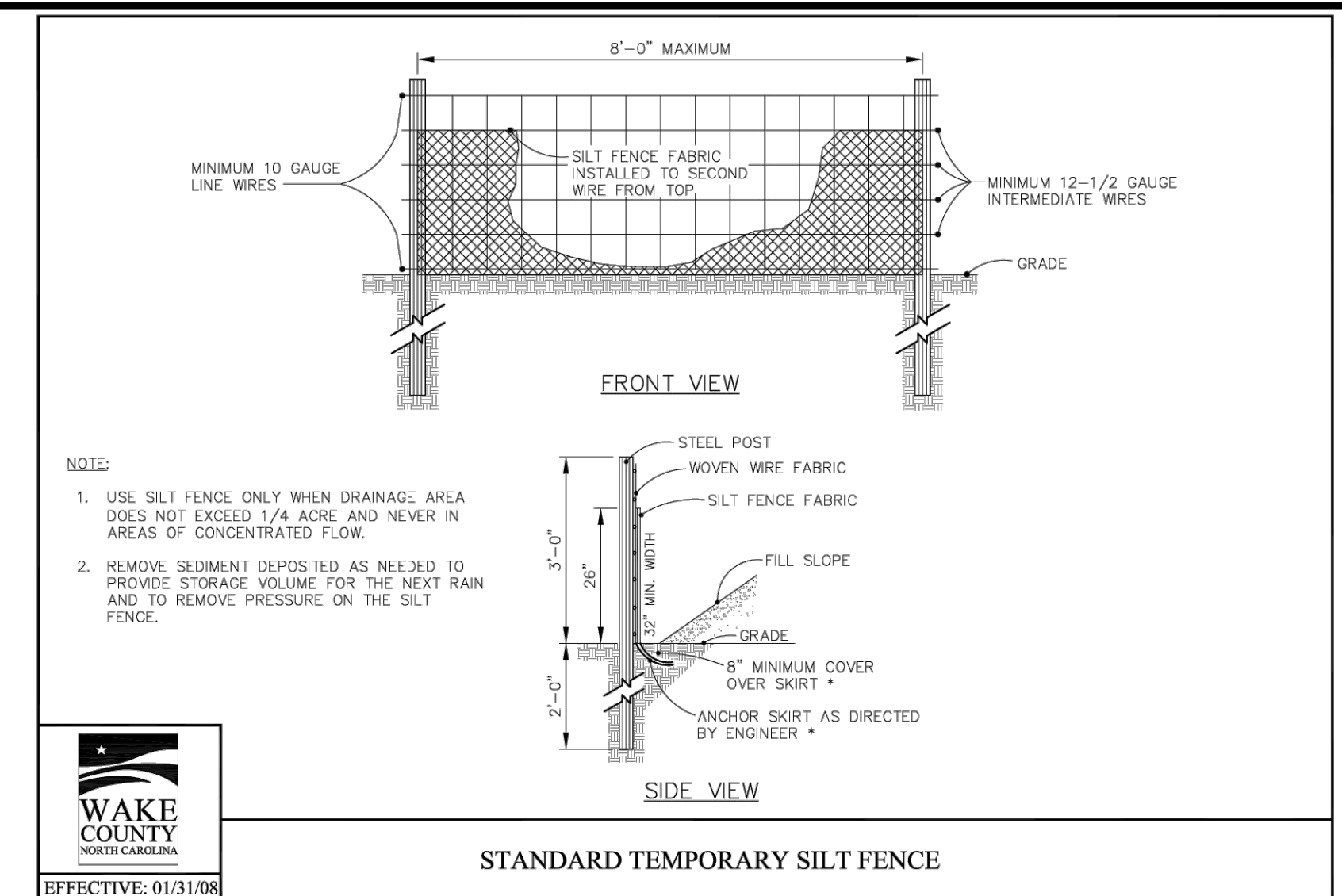
Seedbed Preparation: 1. Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions, if available.
2. Rip the entire area to six inches deep.

Seeding Schedule For Shoulders, Side Ditches, Slopes (Max 3:1):
Table with columns: Date, Type, Planting Rate.
Aug 15 - Nov 1: Tall Fescue, 300 lbs/acre.

Final Drawing - Issued for Permit Review Purposes Only
REVISIONS:
CROS LAND SOUTHEAST
ELEVEN logo

EROSION CONTROL NOTES
7 ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP PLLC logo
Project Manager: BCF
Drawn By: DLCT/GN
Checked By: TGN
Project Number: 22049
Drawing Number: D-1404-SDP
Date: May 1, 2023



Vegetated Swale Design

Project: Wallbrook
 Location: Rolesville, Wake County, NC

Device ID	Device Type	Add'l Flow (cfs)	Disturbed Area (AC)	Tc (min)	Intensity (in/hr)*	Qreq c	Qreq (cfs)	Up Invert	Down Invert	Length (ft)	Base Width (ft)	Left Slope (x:1)	Right Slope (x:1)	Flow Depth (ft)	Manning's n	Slope (ft/ft)	Wetted Area (sf)	Wetted Perimeter (ft)	Hydraulic Radius (ft)	Velocity (ft/s)	Qa (cfs)	Qa>Qreq?	τ (lbs/ft ²)	Liner Type	Allowable Shear Stress, τ (lbs/ft ²)
TDD-1	Temporary Diversion	0	0.50	5	7.18	0.5	1.80	395	391.5	176	1	3	3	0.97	0.020	0.01989	3.77	7.30	0.52	0.48	1.80	Yes	1.199097027	N. Am. Green; Straw; 1 nets	1.55
TDD-2	Temporary Diversion	0	0.37	5	7.18	0.5	1.33	395.5	391.5	205	1	3	3	0.87	0.020	0.01951	3.17	7.25	0.44	0.42	1.33	Yes	1.065303643	N. Am. Green; Straw; 1 nets	1.55

*NOAA Atlas 14, NEUSE 2 NE Station, 10-yr 5-min duration intensity

- Final Drawing -
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REVISIONS:

#	DATE	DESCRIPTION
1	11-MAY-23	ISSUED FOR PERMIT REVIEW
2	11-JUNE-23	REVISED PER REVIEW COMMENTS
3	11-MAY-24	REVISED PER REVIEW COMMENTS
4	12-MAY-24	REVISED PER REVIEW & OWNER COMMENTS

CROSLAND SOUTHEAST
 ELEVEN

EROSION CONTROL DETAILS

7ELEVEN AT WALLBROOK (LOT 11)

Town of Rolesville Project No. SDP 23-04

US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129

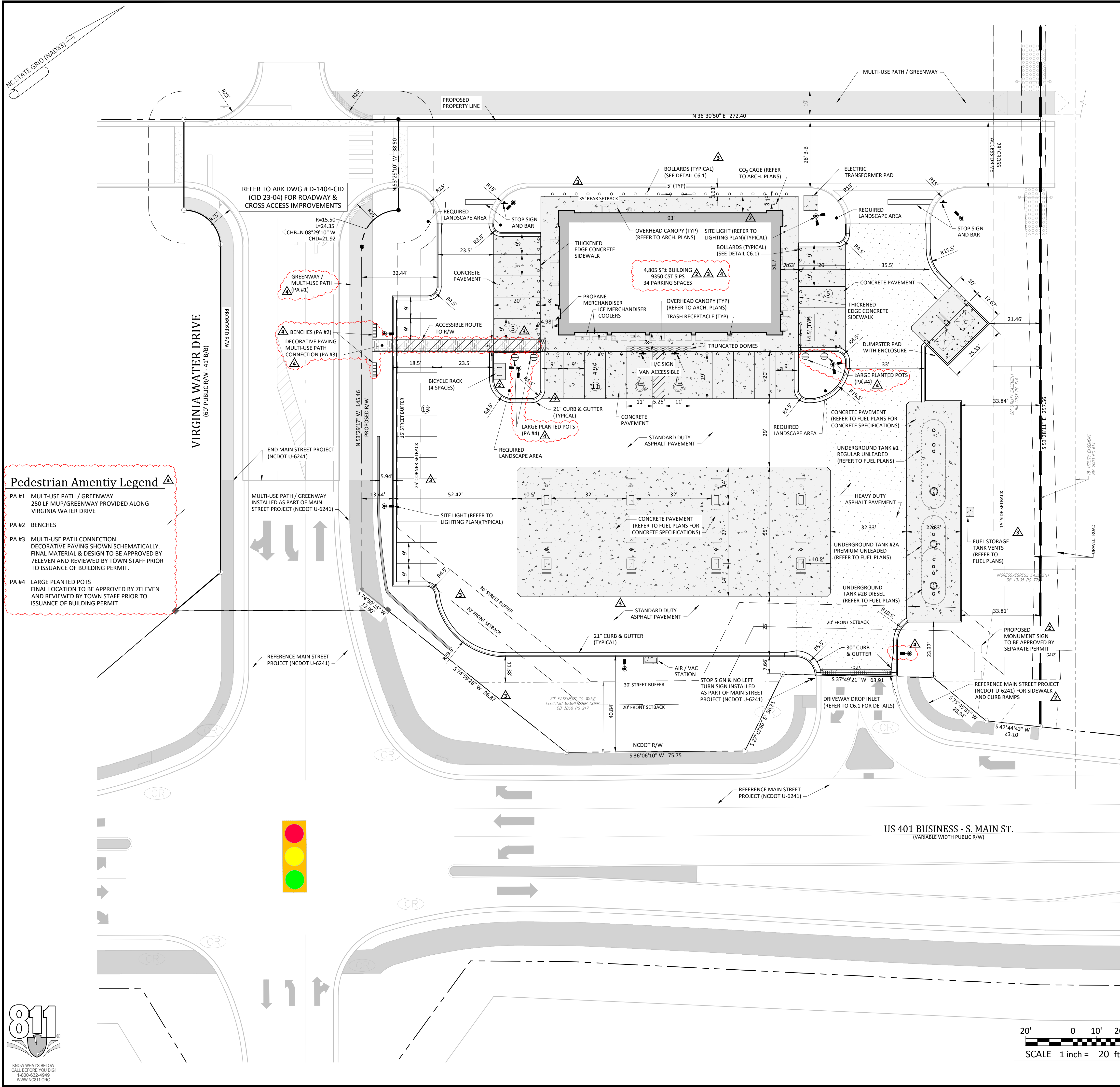
ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS

2755-B Churchs Blvd
 Cary, NC 27513
 (919) 469-8888
 www.arkconsultinggroup.com

Project Manager: BCF
 Drawn By: DLC/TGN
 Checked By: TGN
 Project Number: 22049
 Drawing Number: D-1404-SDP

C1.4

Date: May 1, 2023



Pedestrian Amentiy Legend

- PA #1 MULT-USE PATH / GREENWAY
250 LF MUP/GREENWAY PROVIDED ALONG VIRGINIA WATER DRIVE
- PA #2 BENCHES
- PA #3 MULTI-USE PATH CONNECTION
DECORATIVE PAVING SHOWN SCHEMATICALLY. FINAL MATERIAL & DESIGN TO BE APPROVED BY 7ELEVEN AND REVIEWED BY TOWN STAFF PRIOR TO ISSUANCE OF BUILDING PERMIT.
- PA #4 LARGE PLANTED POTS
FINAL LOCATION TO BE APPROVED BY 7ELEVEN AND REVIEWED BY TOWN STAFF PRIOR TO ISSUANCE OF BUILDING PERMIT

General Notes:

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - ALTA/NSPS LAND TITLE SURVEY, PREPARED BY JOHNSON, MIRMIRAN & THOMPSON FOR WALLBROOK LANDCO, LLC, DATED REVISED MARCH 28, 2020
 - "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION - 7 ELEVEN AT WALLBROOK" PREPARED BY NV5 ENGINEERS AND CONSULTANTS, INC., DATED JULY 11, 2022
 - "REVISED WALLBROOK DEVELOPMENT TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED AUGUST 11, 2020
- ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) 3720175800K, EFFECTIVE DATE: JULY 19, 2022.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO ARK CONSULTING GROUP, PLLC BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARK CONSULTING GROUP, PLLC IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER ON-SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS AND GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB & GUTTER. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH FEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONNECTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR IS THE ENGINEER RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

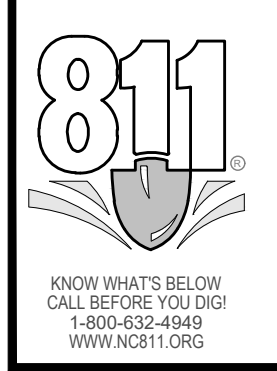
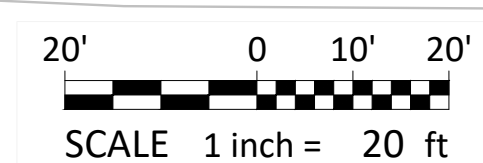
Impervious Area Calculations

SITE LIMITED TO 85% IMPERVIOUS AREA AS ACCOUNTED FOR IN THE WALLBROOK STORMWATER MASTER PLAN

PROPOSED BUILDING IMPERVIOUS AREA:	4805 SF
PROPOSED TRANSPORTATION IMPERVIOUS AREA:	47542 SF
PROPOSED TOTAL IMPERVIOUS AREA:	52347 SF
TOTAL SITE AREA:	70567 SF
ALLOWABLE IMPERVIOUS AREA (85%):	59982 SF
PROPOSED IMPERVIOUS PERCENTAGE:	74.0%

Legend

EXISTING	PROPOSED
	FOUND MONUMENT AS NOTED
	SET IRON PIN
	NCOS MONUMENT
	DIMENSION POINT (NOTHING SET)
	PROPERTY LINE
	RIGHT OF WAY
	CURB AND GUTTER
	CABLE TV PEDESTAL
	DROP INLET
	ELECTRIC BOX
	ELECTRIC METER
	FIBER OPTIC
	FIRE HYDRANT
	GAS VALVE
	HAND BOX
	LIGHT POLE
	POWER POLE
	GUY WIRE
	REINFORCED CONCRETE PIPE
	SQUARE FEET (AREA)
	SIGN
	TRAFFIC SIGNAL POLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER FORCE MAIN VALVE
	STORM DRAIN MANHOLE
	STORM DRAIN CATCH BASIN
	TELEPHONE PEDESTAL
	TRAFFIC BOX
	WATER BOX
	WATER METER
	WATER MANHOLE
	WATER VALVE
	WELL
	PEDESTRIAN X-WALK POLE
	ELECTRIC LINE
	SANITARY SEWER FORCE MAIN
	FIBER OPTIC LINE
	GAS LINE
	OVERHEAD ELECTRIC LINE
	SANITARY SEWER LINE
	TELEPHONE LINE
	CABLE TV LINE
	WATER LINE
	FIRE LINE
	8" WATER LINE
	12" WATER LINE
	SPILL CURB
	FENCE
	RIPARIAN BUFFER
	TREELINE
	MAJOR CONTOUR (5')
	MINOR CONTOUR (1')
	TREE PROTECTION FENCE
	SILT FENCE
	CONCRETE SIDEWALK
	ACCESS AND UTILITY EASEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	TDD DRAINAGE AREA
	SKIMMER BASIN DRAINAGE AREA



- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	11/04/23	ISSUED FOR PERMIT REVIEW
2	11/04/23	REVISED PER TOR REVIEW COMMENTS
3	11/04/23	REVISED PER TOR REVIEW COMMENTS
4	11/04/23	REVISED PER REVIEW & OWNER COMMENTS

CROSLAND SOUTHEAST

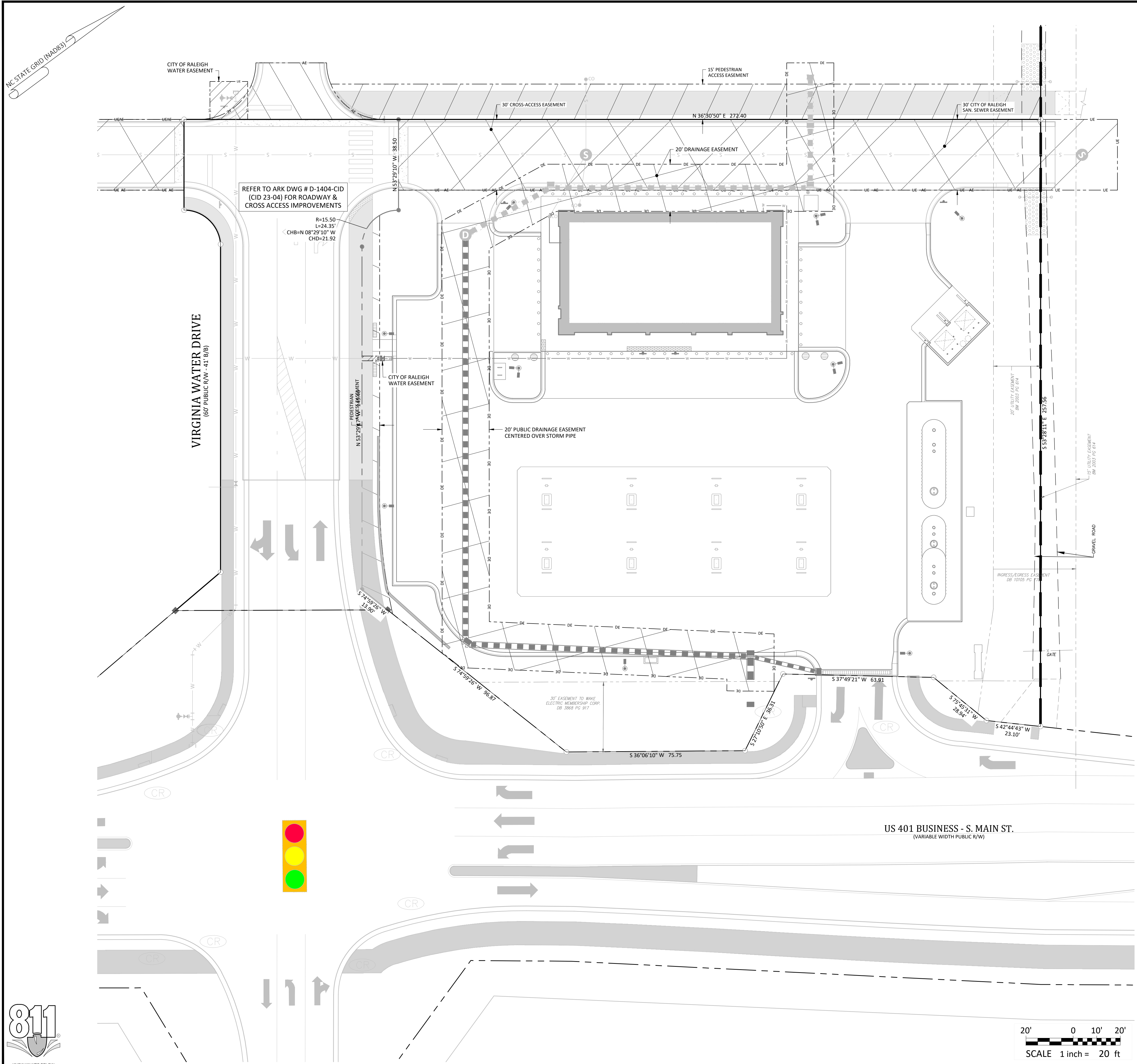
7ELEVEN AT WALLBROOK (LOT 11)
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ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd
75758
(757) 558-0888
www.arkconsultinggroup.com

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CALL BEFORE YOU DIG!
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WWW.NC811.ORG

Project Manager: BCF
Drawn By: DLC/TGN
Checked By: TGN
Project Number: 22049
Drawing Number: D-1404-SDP

C2.0
Date: May 1, 2023



**- Final Drawing -
Issued for Permit
Review Purposes Only**

#	DATE	DESCRIPTION
4	12 MAR 24	REVISED PER REVIEW & OWNER COMMENTS
3	11 MAR 24	REVISED PER TOR REVIEW & OWNER COMMENTS
2	1 JUN 23	REVISED PER TOR REVIEW COMMENTS
1	1 MAY 23	ISSUED FOR PERMIT REVIEW



EASEMENT PLAN

7ELEVEN AT WALLBROOK (LOT 11)

Town of Rolesville Project No. SDP 23-04

US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 1391

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ENGINEERS & PLANNERS

2755-B Charles Blvd
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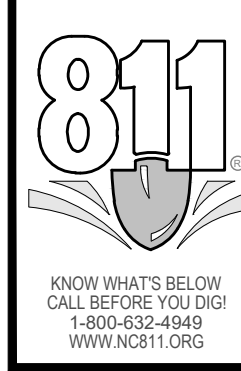
Final Drawing
March 29, 2024

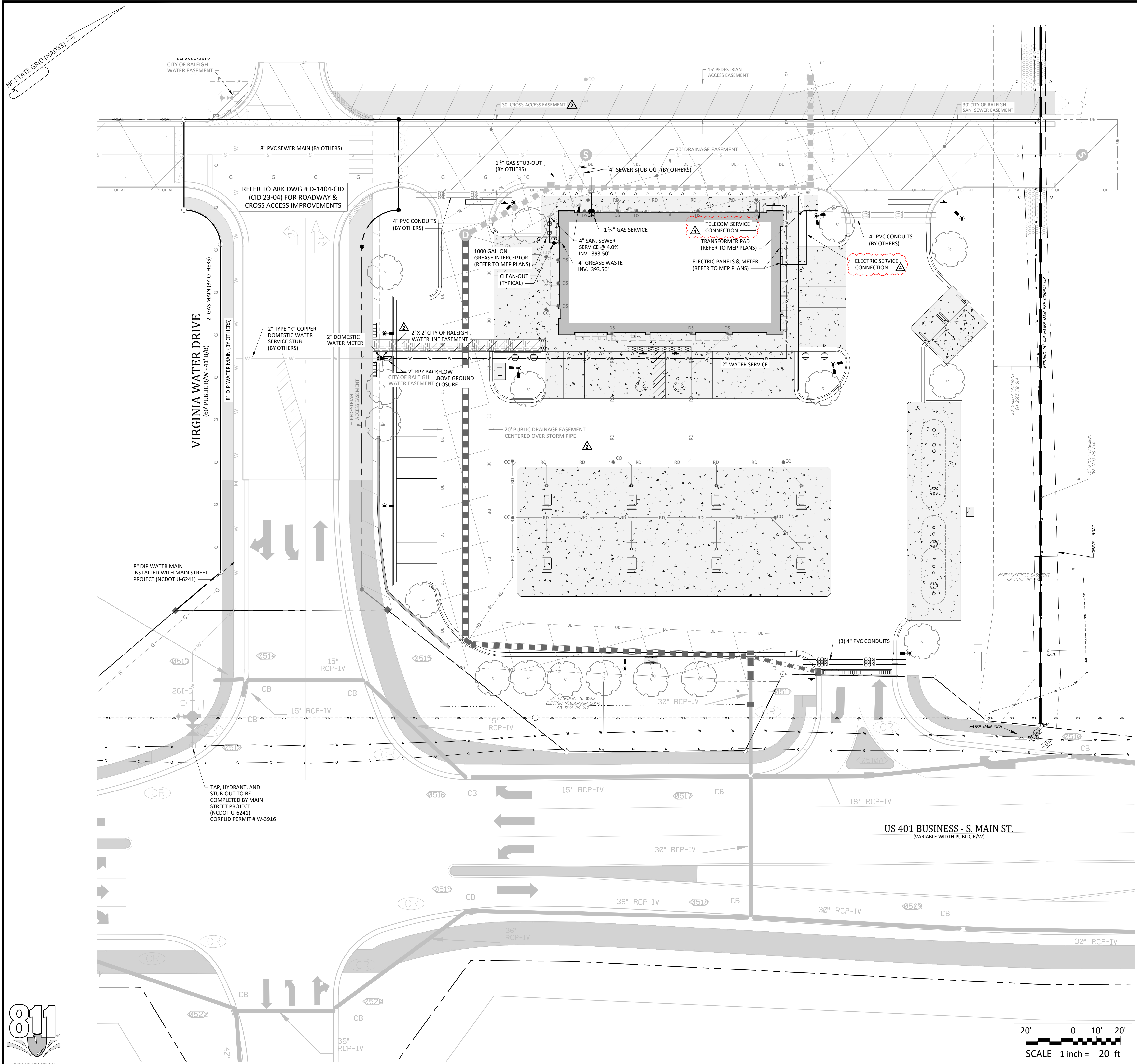
5/1/2024

Project Manager:	BCF
Drawn By:	DLC/TGN
Checked By:	TGN
Project Number:	22049
Drawing Number:	D-1404-SDP

C2.1

Date: May 1, 2023





CORPUD Standard Utility Notes:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVIC FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- THE PROPOSED 2" RPZ SHALL BE APPROVED BY CROSS.CONNECTION@RALEIGHNC.GOV PRIOR TO ISSUANCE OF THE UTILITY CONNECTION PERMIT.
- THE PROPOSED GREASE INTERCEPTOR SHALL BE APPROVED BY FOG@RALEIGHNC.GOV PRIOR TO ISSUANCE OF THE UTILITY CONNECTION PERMIT.

- Final Drawing -
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 Review Purposes Only

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UTILITY PLAN
7ELEVEN AT WALLBROOK (LOT 11)
 Town of Rolesville Project No. SDP 23-04
 US 401 Business / S. Main Street & Virginia Water Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 1398
ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS

2755-B Charles Blvd
 Raleigh, NC 27608
 (919) 558-8888
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811
 KNOW WHAT'S BELOW
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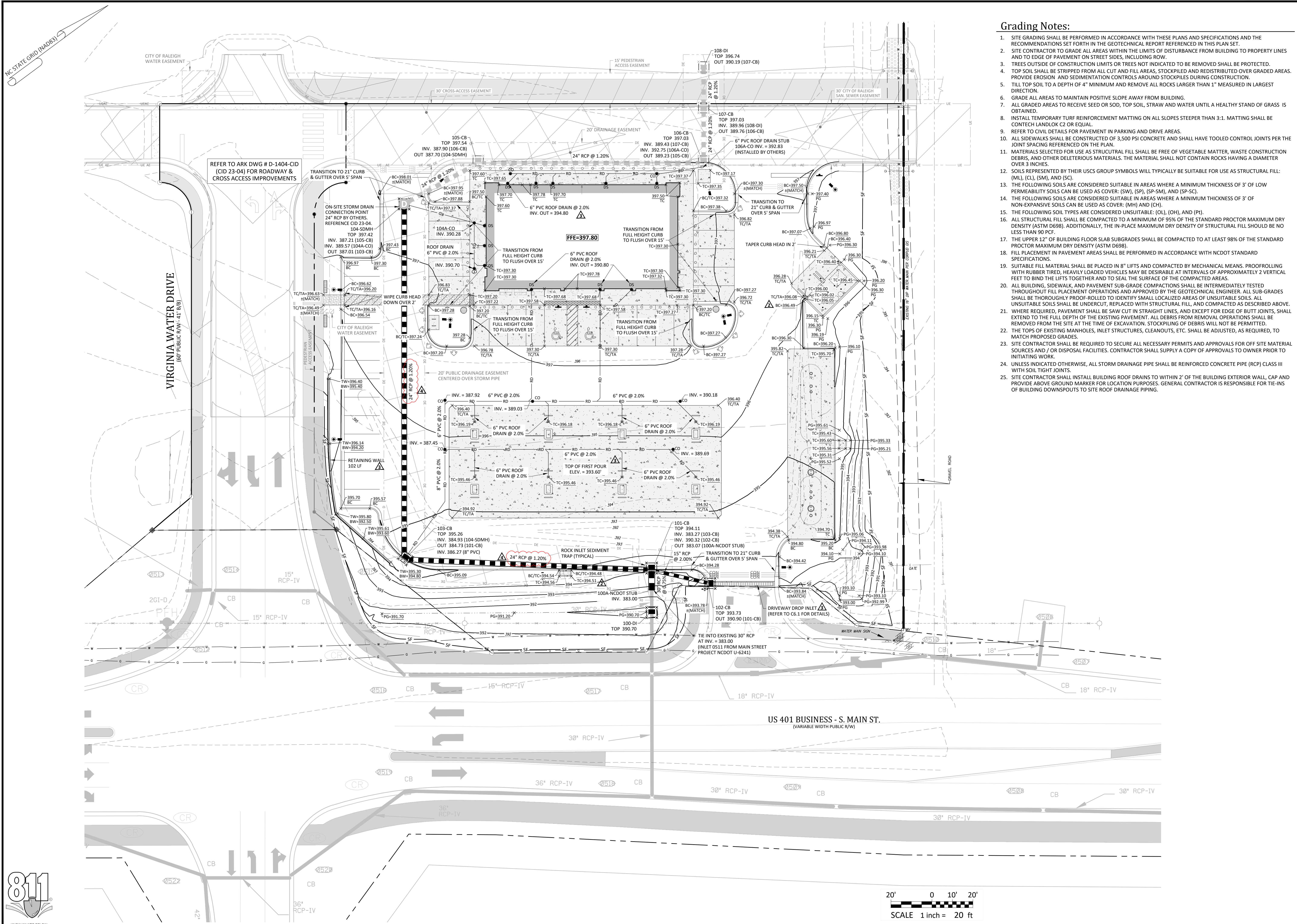
ATTENTION CONTRACTORS
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

Project Manager: BCF
 Drawn By: DLC/TGN
 Checked By: TGN
 Project Number: 22049
 Drawing Number: D-1404-SDP

C3.0
 Date: May 1, 2023



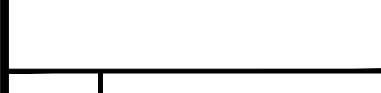
Grading Notes:

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET.
- SITE CONTRACTOR TO GRADE ALL AREAS WITHIN THE LIMITS OF DISTURBANCE FROM BUILDING TO PROPERTY LINES AND TO EDGE OF PAVEMENT ON STREET SIDES, INCLUDING ROW.
- TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS, PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL TOP SOIL TO A DEPTH OF 4" MINIMUM AND REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- INSTALL TEMPORARY TURF REINFORCEMENT MATTING ON ALL SLOPES STEEPER THAN 3:1. MATTING SHALL BE CONTECH LANDLOK C2 OR EQUAL.
- REFER TO CIVIL DETAILS FOR PAVEMENT IN PARKING AND DRIVE AREAS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED OF 3,500 PSI CONCRETE AND SHALL HAVE TOOLED CONTROL JOINTS PER THE JOINT SPACING REFERENCED ON THE PLAN.
- MATERIALS SELECTED FOR USE AS STRUCTURAL FILL SHALL BE FREE OF VEGETABLE MATTER, WASTE CONSTRUCTION DEBRIS, AND OTHER DELETERIOUS MATERIALS. THE MATERIAL SHALL NOT CONTAIN ROCKS HAVING A DIAMETER OVER 3 INCHES.
- SOILS REPRESENTED BY THEIR USCS GROUP SYMBOLS WILL TYPICALLY BE SUITABLE FOR USE AS STRUCTURAL FILL: (ML), (CL), (SM), AND (SC).
- THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF LOW PERMEABILITY SOILS CAN BE USED AS COVER: (SW), (SP), (SP-SM), AND (SP-SC).
- THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF NON-EXPANSIVE SOILS CAN BE USED AS COVER: (MH) AND (CH).
- THE FOLLOWING SOIL TYPES ARE CONSIDERED UNSUITABLE: (OL), (OH), AND (PI).
- ALL STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). ADDITIONALLY, THE IN-PLACE MAXIMUM DRY DENSITY OF STRUCTURAL FILL SHOULD BE NO LESS THAN 90 PCF.
- THE UPPER 12" OF BUILDING FLOOR SLAB SUBGRADES SHALL BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698).
- FILL PLACEMENT IN PAVEMENT AREAS SHALL BE PERFORMED IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.
- SUITABLE FILL MATERIAL SHALL BE PLACED IN 8" LIFTS AND COMPACTED BY MECHANICAL MEANS. PROOFROLLING WITH RUBBER TIED, HEAVILY LOADED VEHICLES MAY BE DESIRABLE AT INTERVALS OF APPROXIMATELY 2 VERTICAL FEET TO BIND THE LIFTS TOGETHER AND TO SEAL THE SURFACE OF THE COMPACTED AREAS.
- ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADE COMPACTIONS SHALL BE INTERMEDIATELY TESTED THROUGHOUT FILL PLACEMENT OPERATIONS AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS DESCRIBED ABOVE.
- WHERE REQUIRED, PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED, AS REQUIRED, TO MATCH PROPOSED GRADES.
- SITE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR OFF SITE MATERIAL SOURCES AND / OR DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO OWNER PRIOR TO INITIATING WORK.
- UNLESS INDICATED OTHERWISE, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SOIL TIGHT JOINTS.
- SITE CONTRACTOR SHALL INSTALL BUILDING ROOF DRAINS TO WITHIN 2' OF THE BUILDING EXTERIOR WALL, CAP AND PROVIDE ABOVE GROUND MARKER FOR LOCATION PURPOSES. GENERAL CONTRACTOR IS RESPONSIBLE FOR TIE-INS OF BUILDING DOWNSPOUTS TO SITE ROOF DRAINAGE PIPING.

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	11/04/23	ISSUED FOR PERMIT REVIEW
2	11/04/23	REVISED PER OWNER COMMENTS
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4	12/04/24	REVISED PER REVIEW & OWNER COMMENTS



GRADING PLAN
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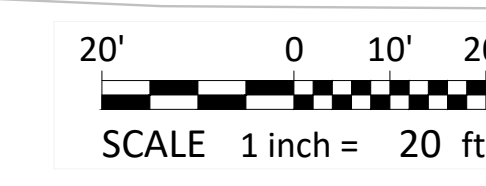
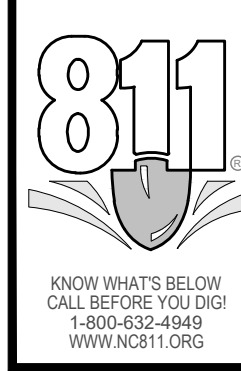
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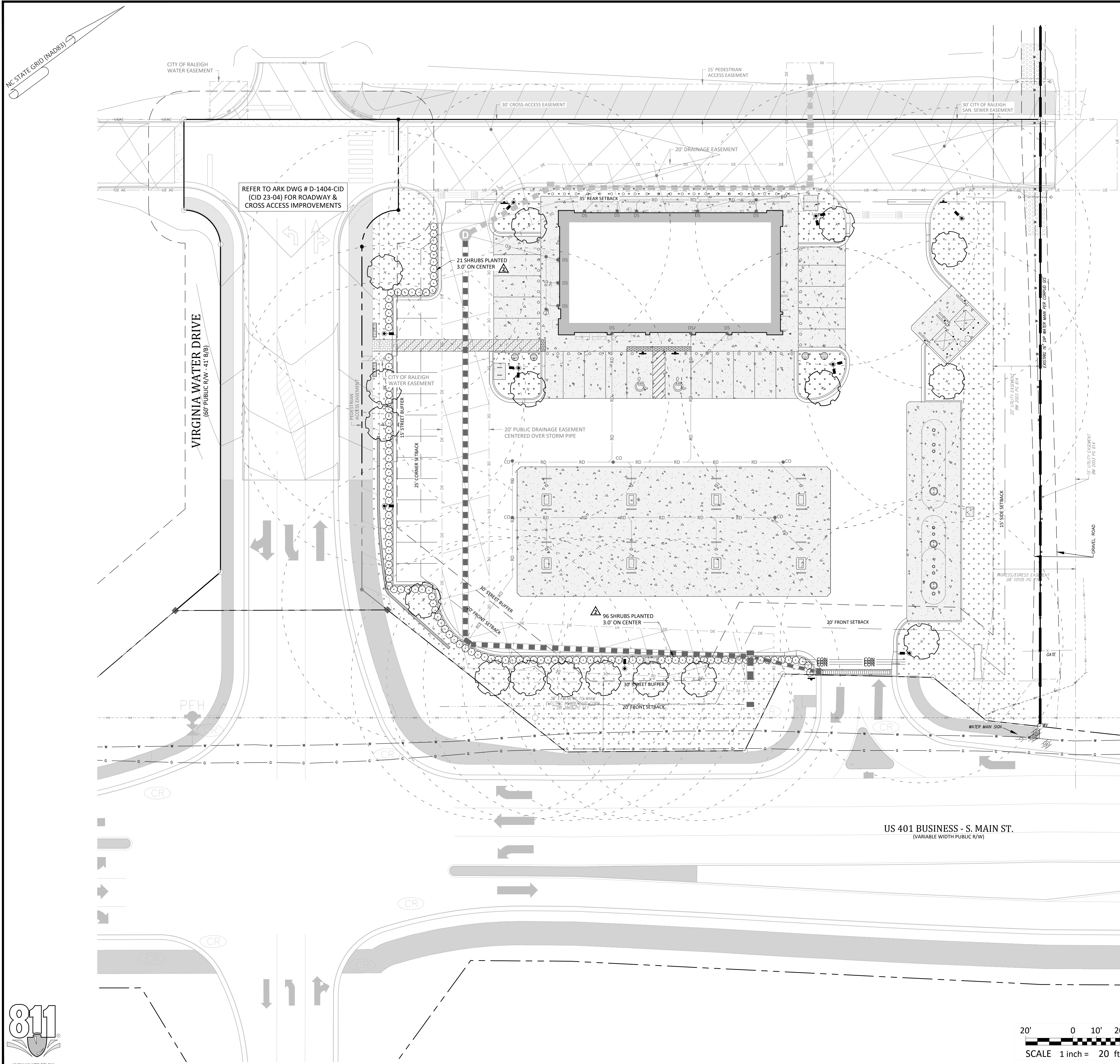
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 5/1/2024

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Drawn By:	DLC/TGN
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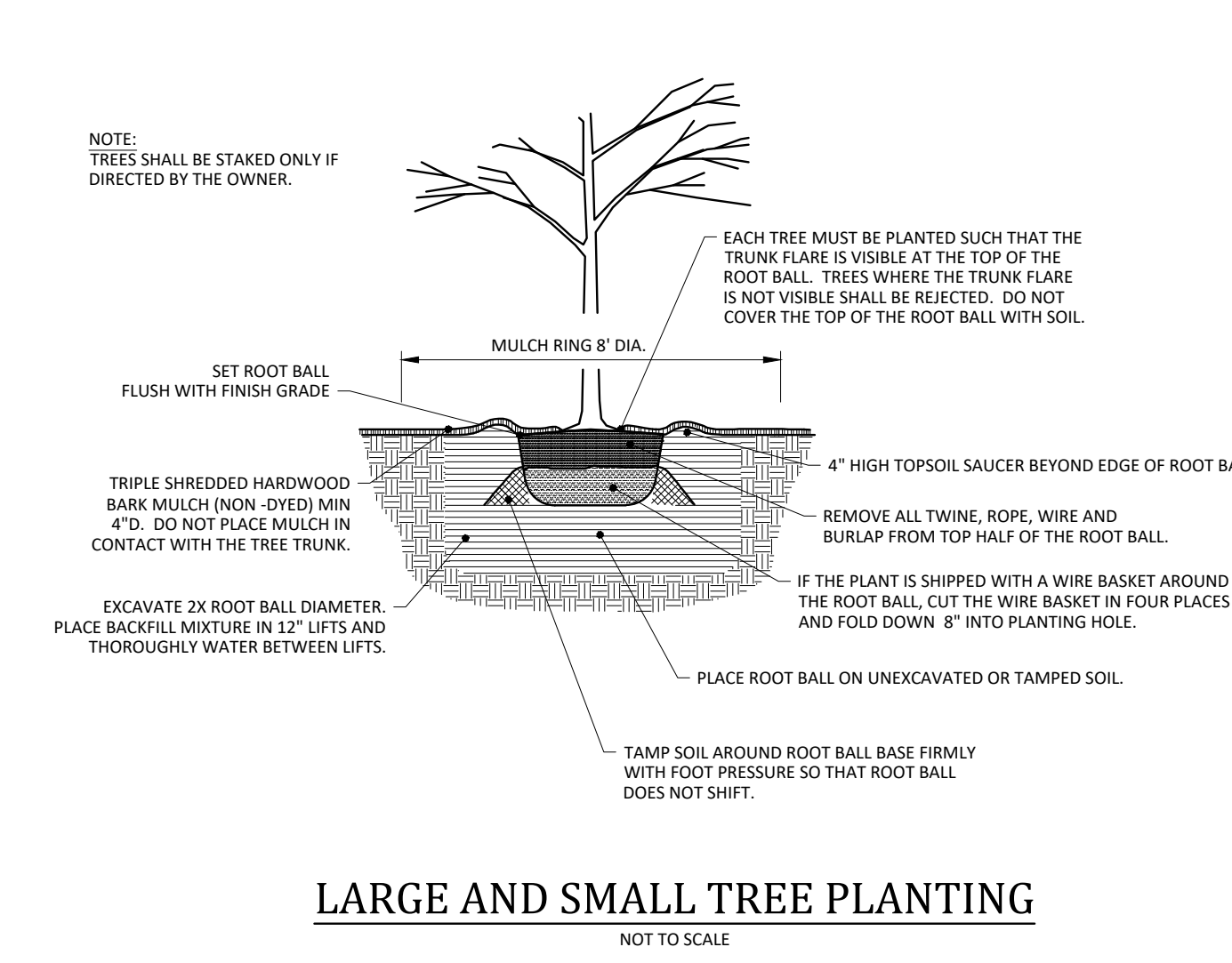
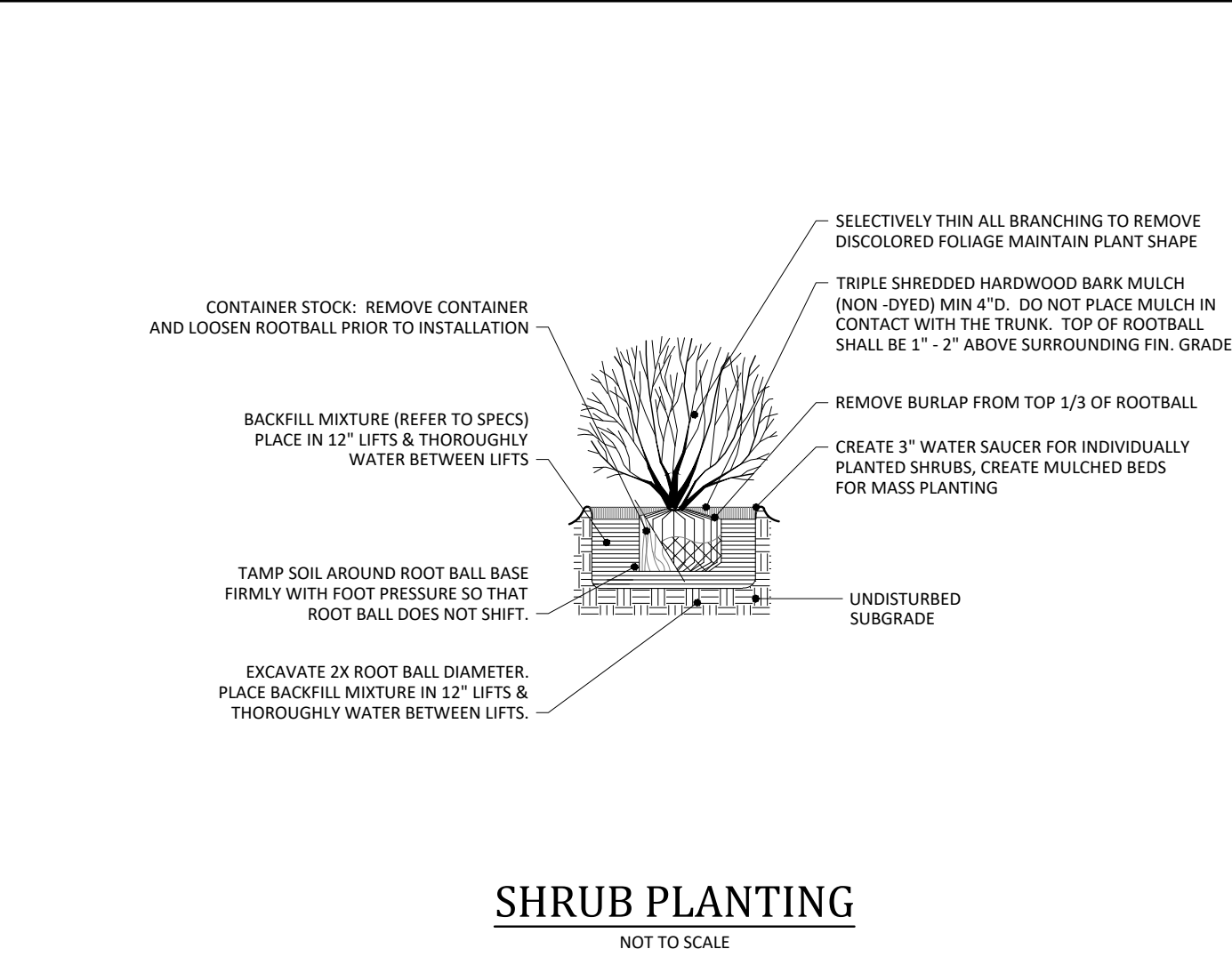
C4.0
 Date: May 1, 2023





- ### Bufferyard Notes:
- SITE DATA:
 - PROVIDED VEGETATION FOR LOT:
 - LARGE TREES: 17 PROVIDED
 - REQUIRED STREET VEGETATION:
 - LARGE TREES: 5. MAIN STREET = 260 LF / 40' * 1 TREE = 6.5 TREES (7 PROVIDED)
 - VIRGINIA WATER DRIVE = 170 LF / 40' * 1 TREE = 4.25 TREES (4 PROVIDED)
 - REQUIRED SCREENING VEGETATION: NONE
 - REQUIRED VEGETATION LOCATED IN EASEMENTS: NONE
 - NOTES:
 - MINIMUM PLANT SIZES SHALL BE IN ACCORDANCE WITH THE SECTION 6.2.4.3 OF THE LDO AS FOLLOWS:

PLANTING MATERIAL TYPE	MINIMUM PLANTING SIZE
1. LARGE (CANOPY) TREE	8" (HEIGHT AND 2" CALIPER
2. SMALL/MEDIUM (UNDERSTORY) TREE	8" (HEIGHT) AND 1" CALIPER
3. SHRUB	24" (HEIGHT) - EVERGREEN 18" (HEIGHT) - DECIDUOUS
 - NO PORTION OF ANY PARKING SPACE SHALL BE LOCATED MORE THAN SIXTY (60) FEET FROM AN ON-SITE LARGE (CANOPY) TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE CLOSEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE IN ACCORDANCE WITH SECTION 6.2.4.4 OF THE LDO.
 - DUMPSTER/COMPACTOR SHALL BE SCREENED ON 3 SIDES IN ACCORDANCE WITH SECTION 6.2.4.6 OF THE LDO.
 - NO TREES OR SHRUBS SHALL BE PLANTED WITHIN SANITARY SEWER, WATERLINE OR ELECTRIC EASEMENTS WITHOUT THE TOWN AND EASEMENT HOLDER APPROVAL.
 - ALL MULTI-STEM TREES SHALL HAVE AT LEAST THREE STALKS WITH A MINIMUM CALIPER OF 2.5" IN ACCORDANCE WITH SECTION 6.2.4.7 OF THE LDO.
 - LANDSCAPING SHALL BE COMPLIANT WITH LDO SECTION 6.2.4.
 - MINIMUM OF 3 FEET CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE BUILDING CODE.
 - PLANTINGS WITHIN THE R/W ARE TO BE INSTALLED AS PART OF THE MAIN STREET PROJECT (NCDOT U-6241). SEE STANTEC PLAN SHEET L-4.
 - REFER TO WALLBROOK PRELIMINARY PLAT (PR 21-04 REV) FOR VEGETATION PRESERVATION IN THIS AREA.
 - CONTRACTOR SHALL PLACE WEED MATTING AND METAL EDGING LOCATED AT THE BACK OF CURB AROUND ALL MULCH BEDS



Vegetation Legend:

	PROPOSED LARGE TREE (CANOPY) TOTAL QUANTITY = 17 CALIPER = 3" HEIGHT = 12" MATURE HEIGHT = 50' - 80' COMMON NAME: RED MAPLE BOTANICAL NAME: ACER RUBRUM
	PROPOSED SHRUB(S) TOTAL QUANTITY = 117 HEIGHT = 24" MATURE HEIGHT = 24" - 36" COMMON NAME = GREY OWL EASTERN RED CEDAR BOTANICAL NAME = JUNIPERUS VIRGINIANA 'GREY OWL'
	PROPOSED SOD TOTAL QUANTITY = 11,060 SF (CONTRACTOR RESPONSIBLE FOR VERIFYING AREA)

- Final Drawing - Issued for Permit Review Purposes Only
 REVISIONS:
 4. 12-MAY-24 REVISED PER REVIEW & OWNER COMMENTS
 3. 11-MAY-24 REVISED PER REVIEW & OWNER COMMENTS
 2. 11-MAY-24 REVISED PER REVIEW & OWNER COMMENTS
 1. 11-MAY-24 ISSUED FOR PERMIT REVIEW
 # DATE DESCRIPTION

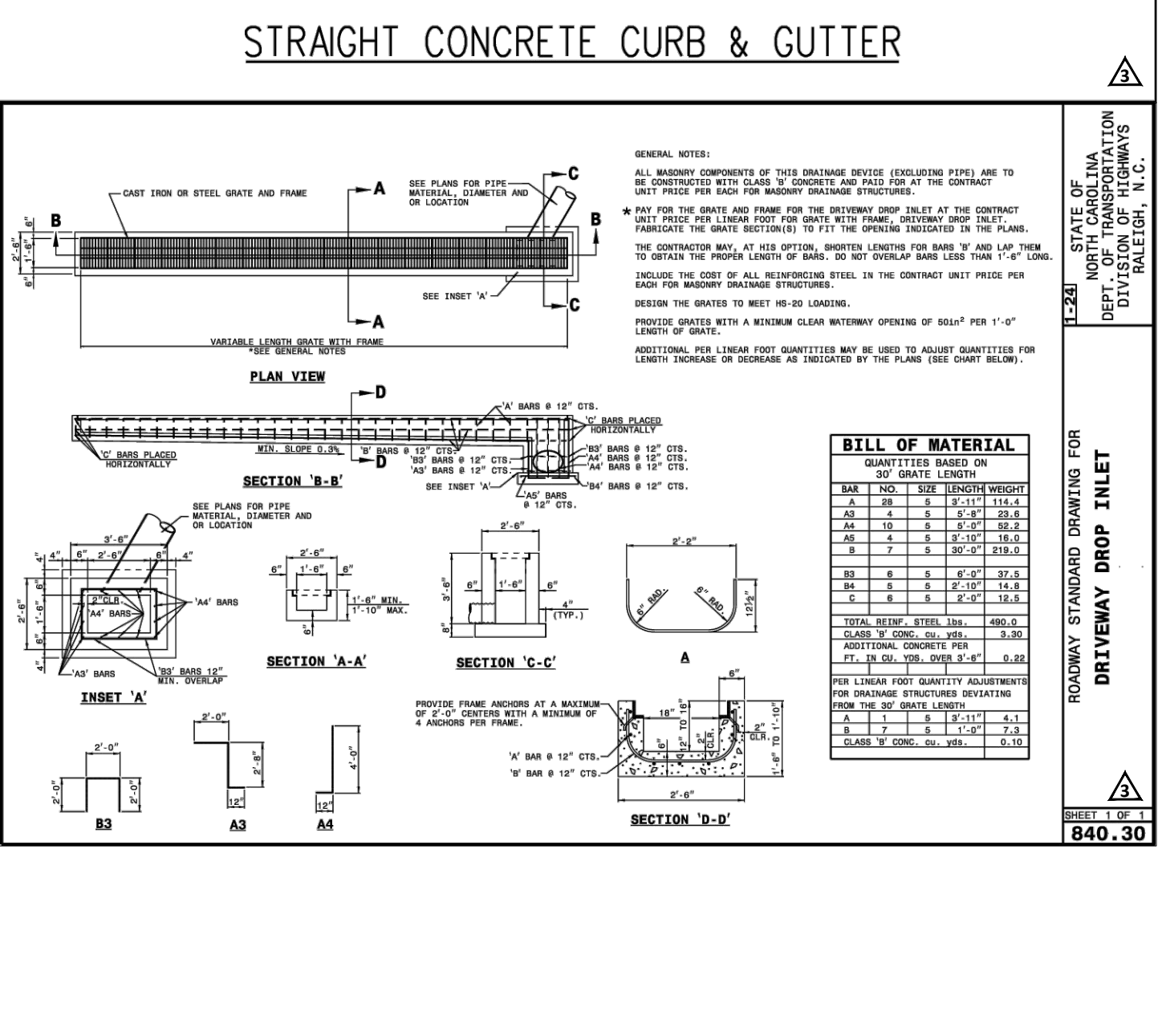
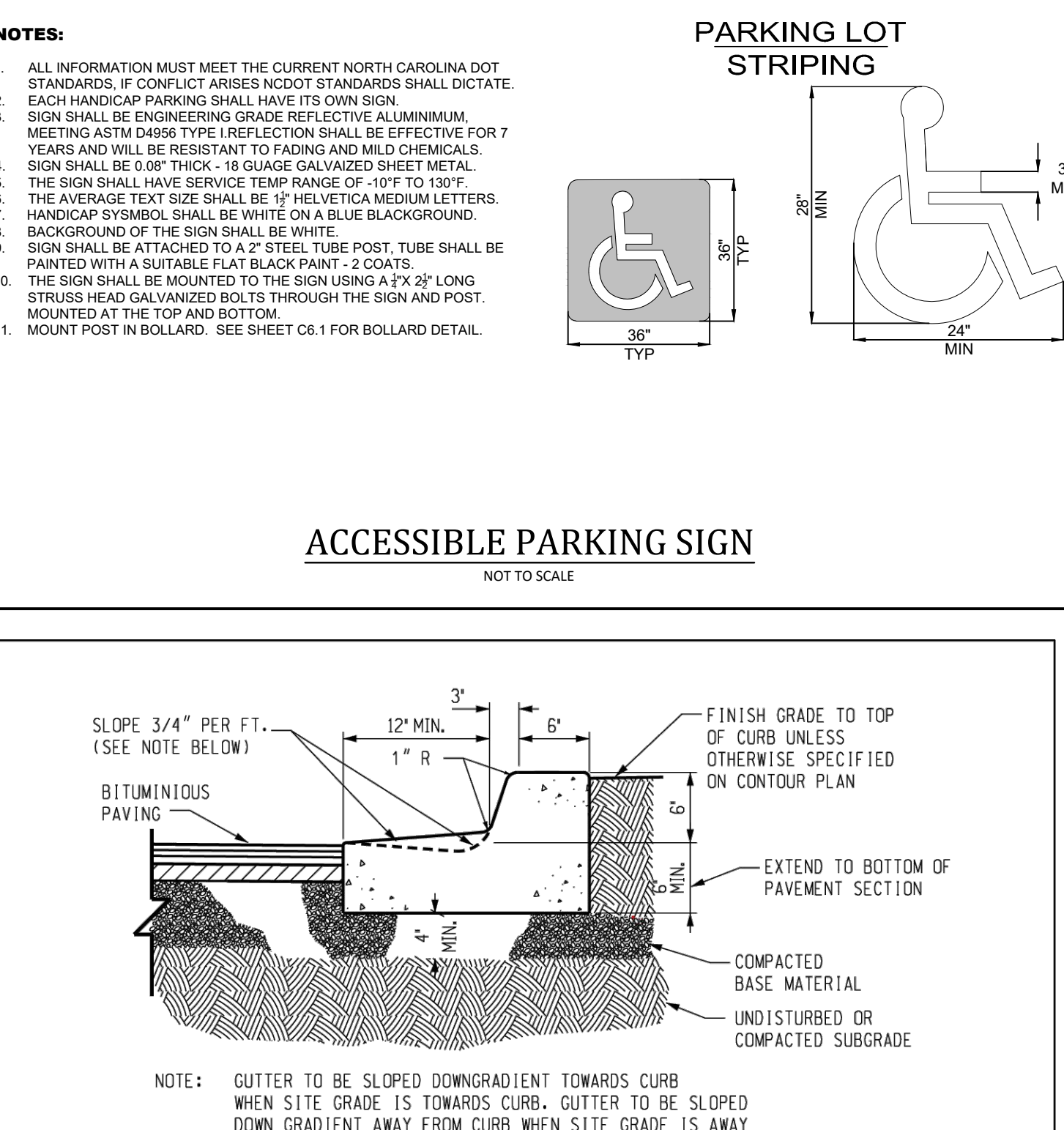
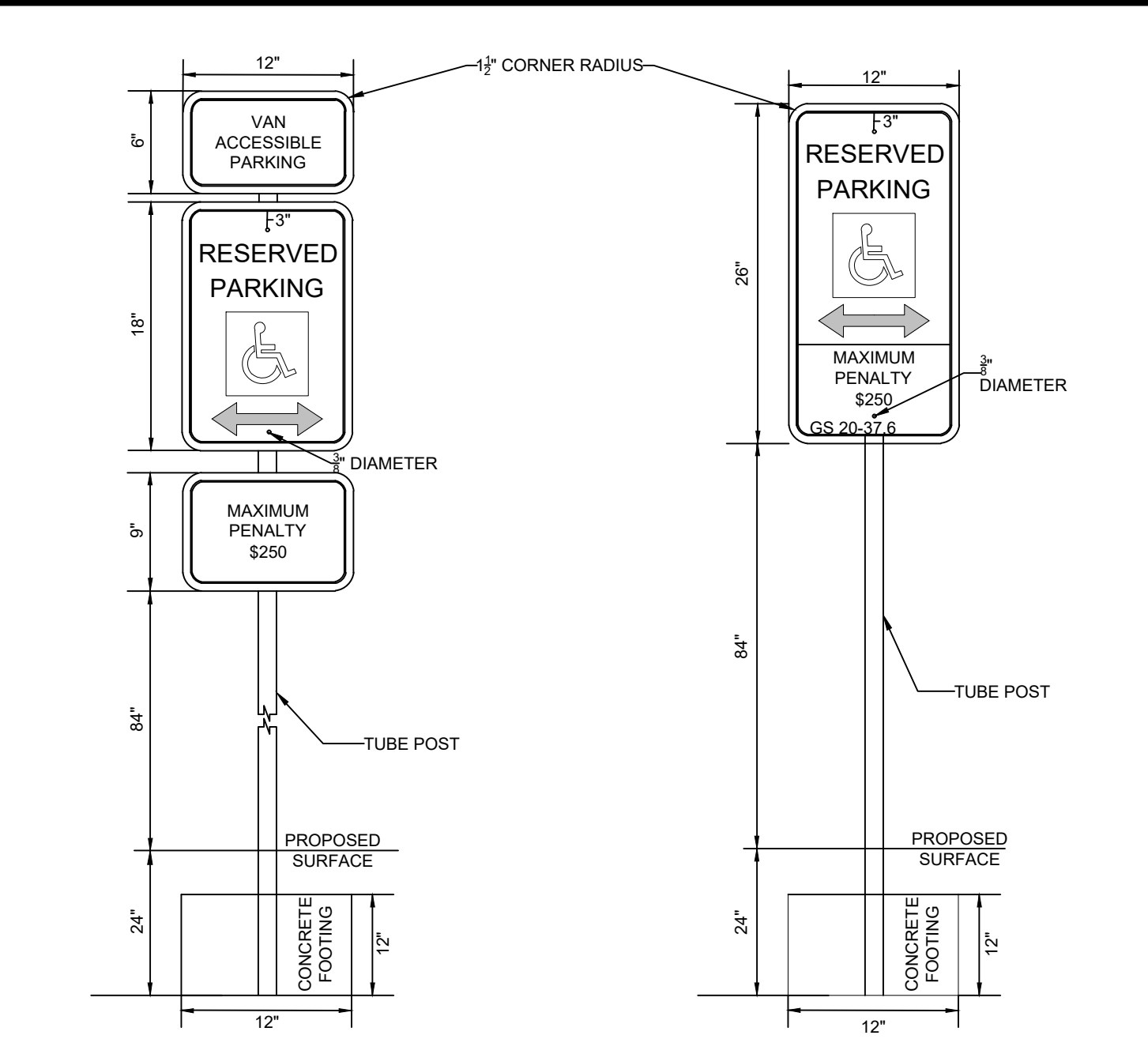
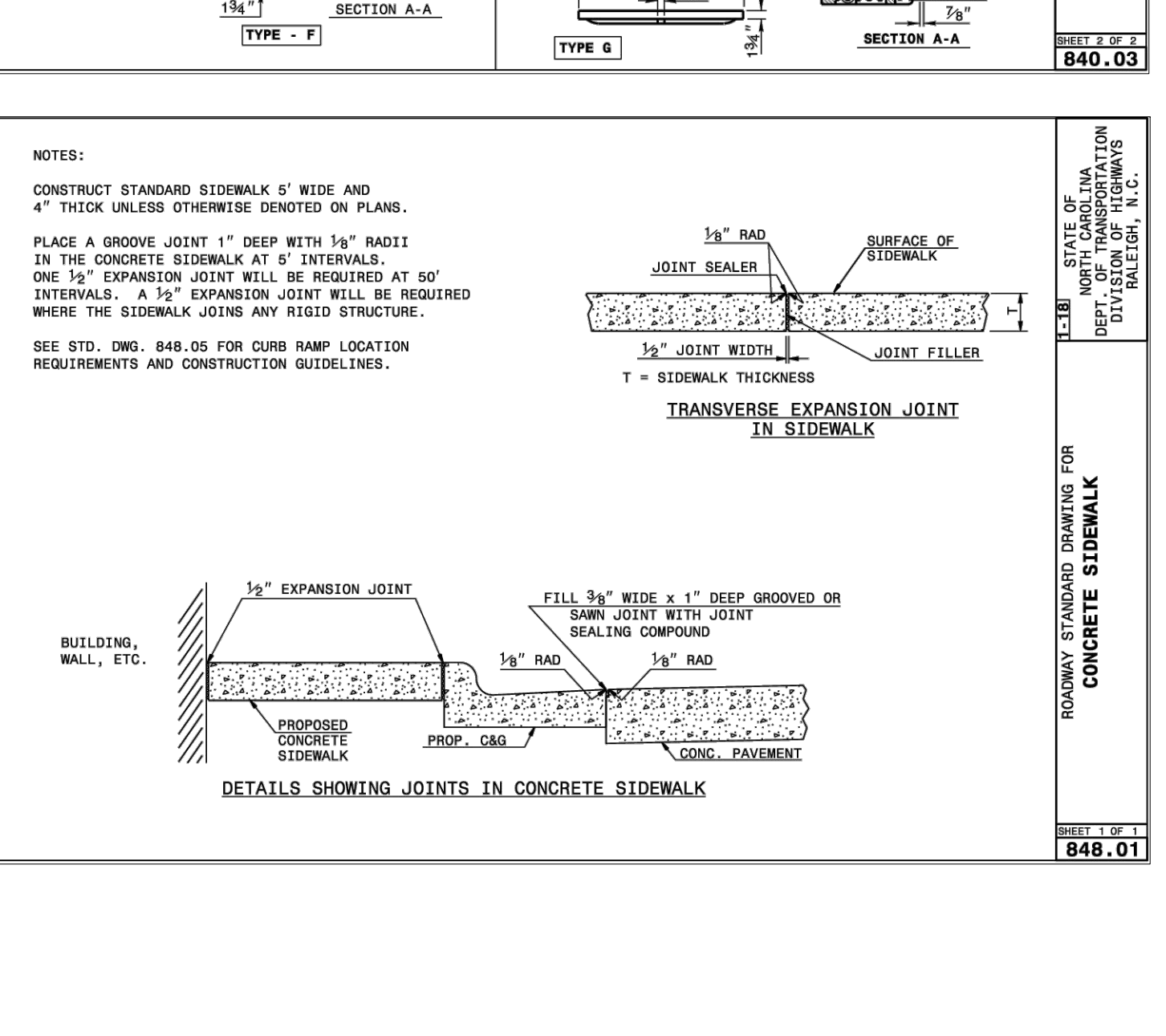
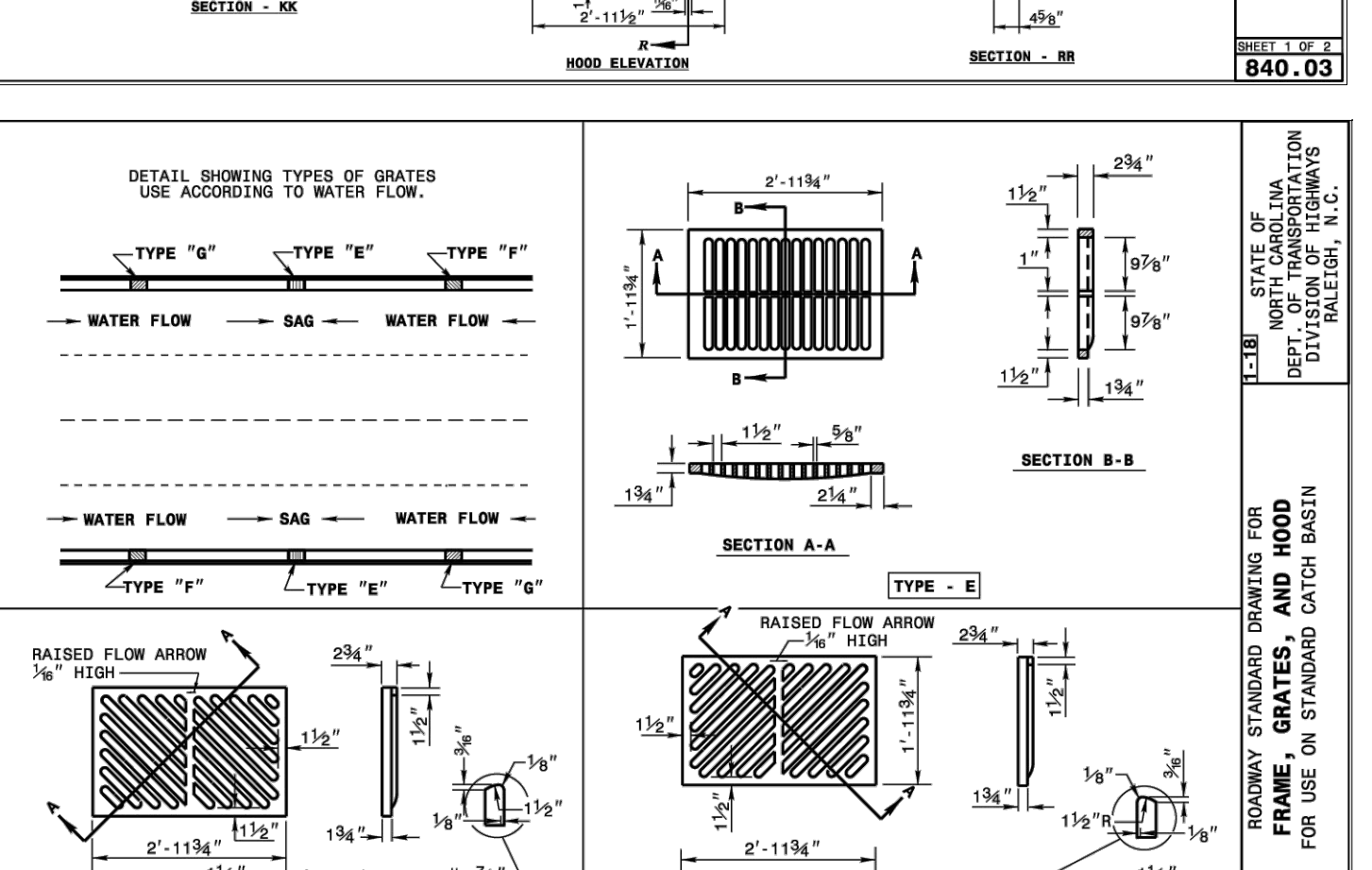
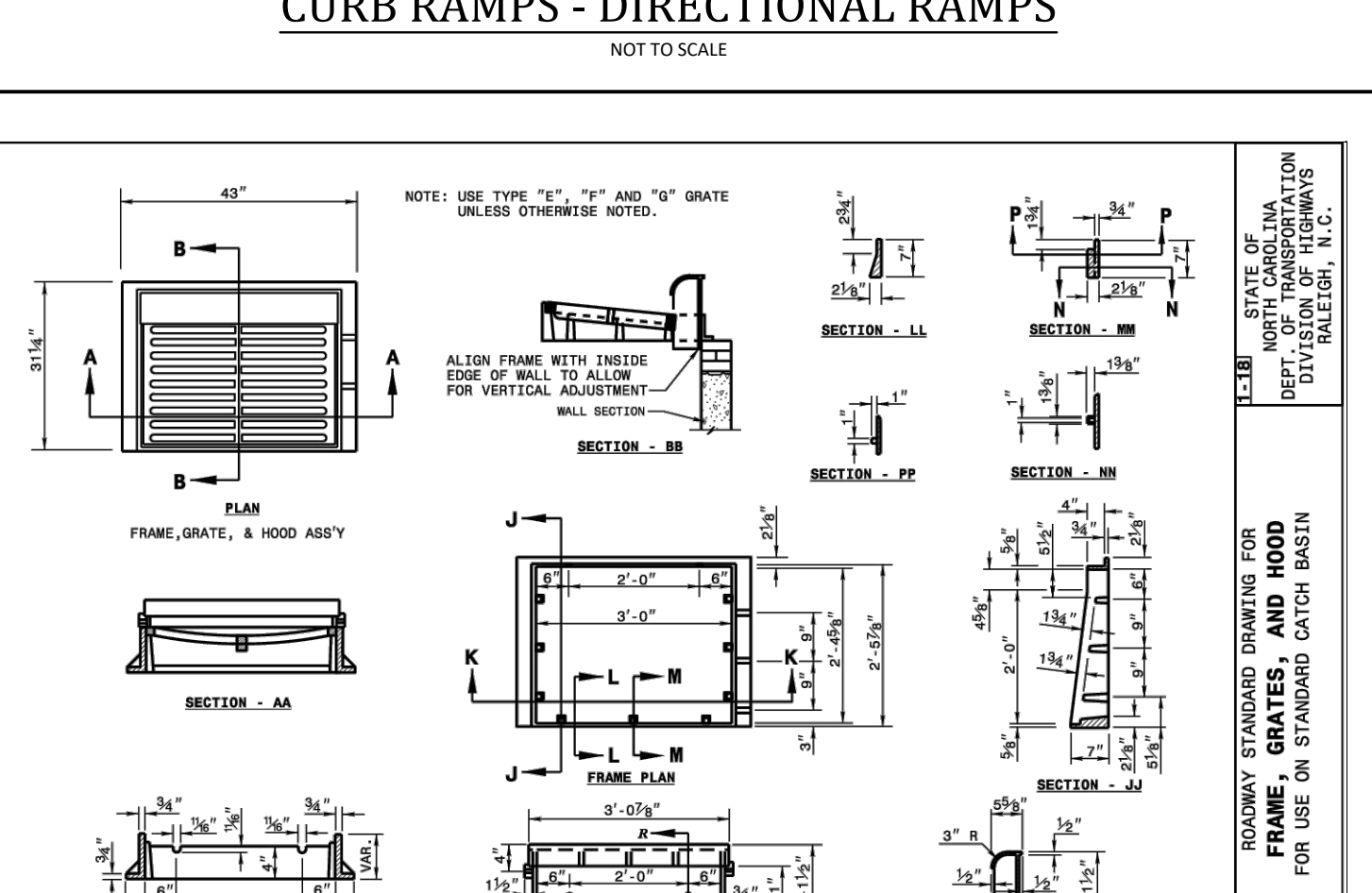
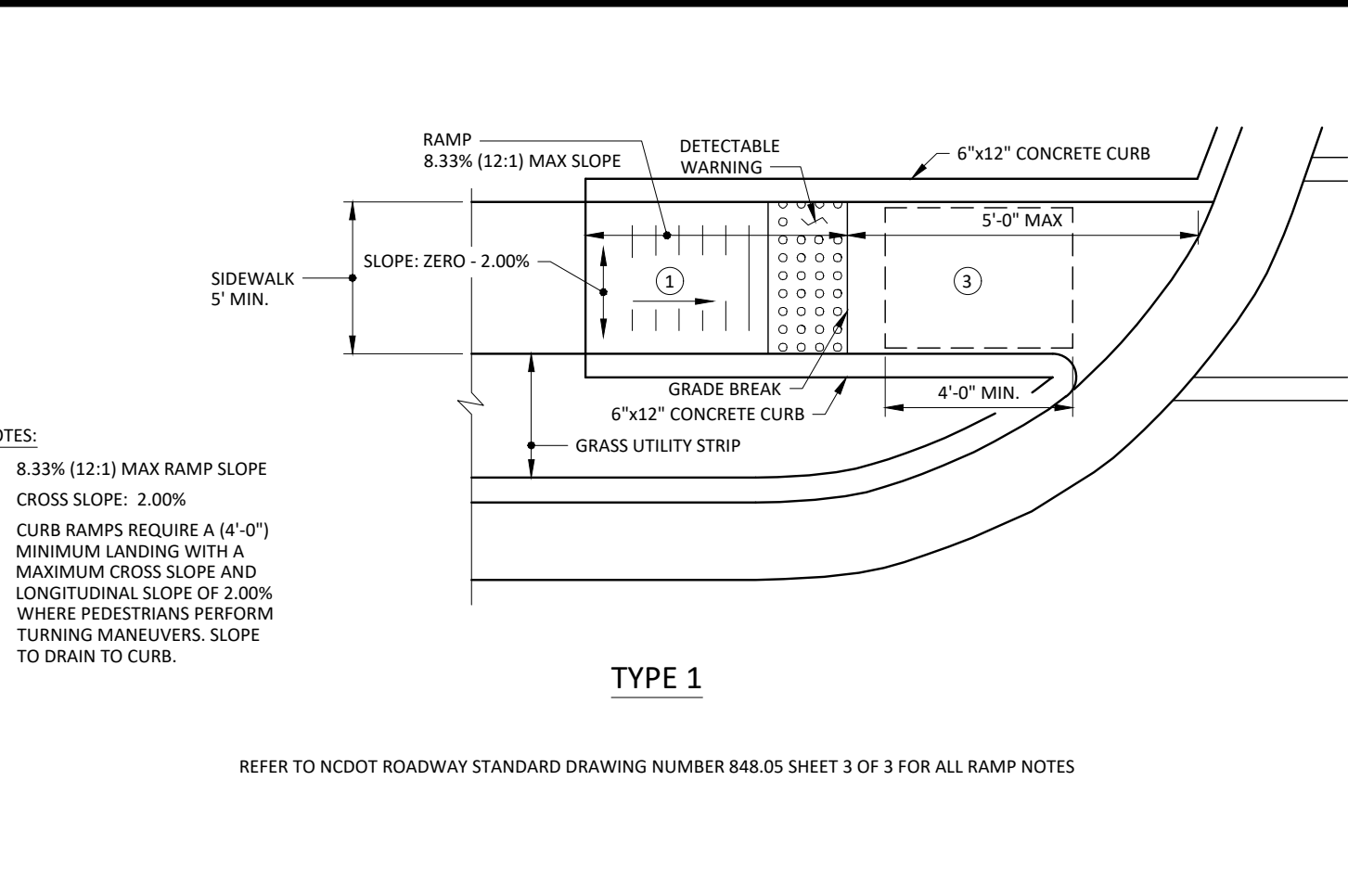
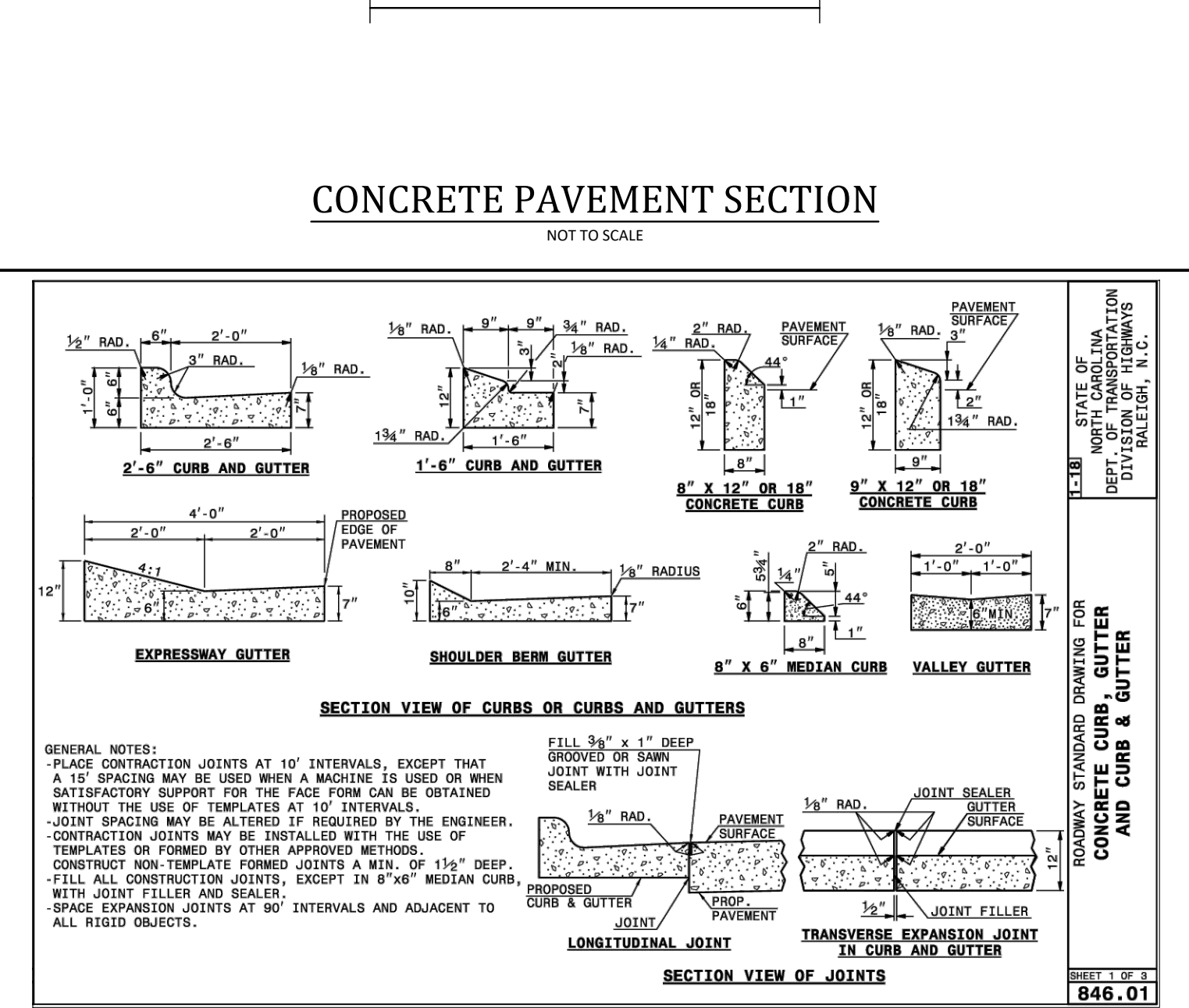
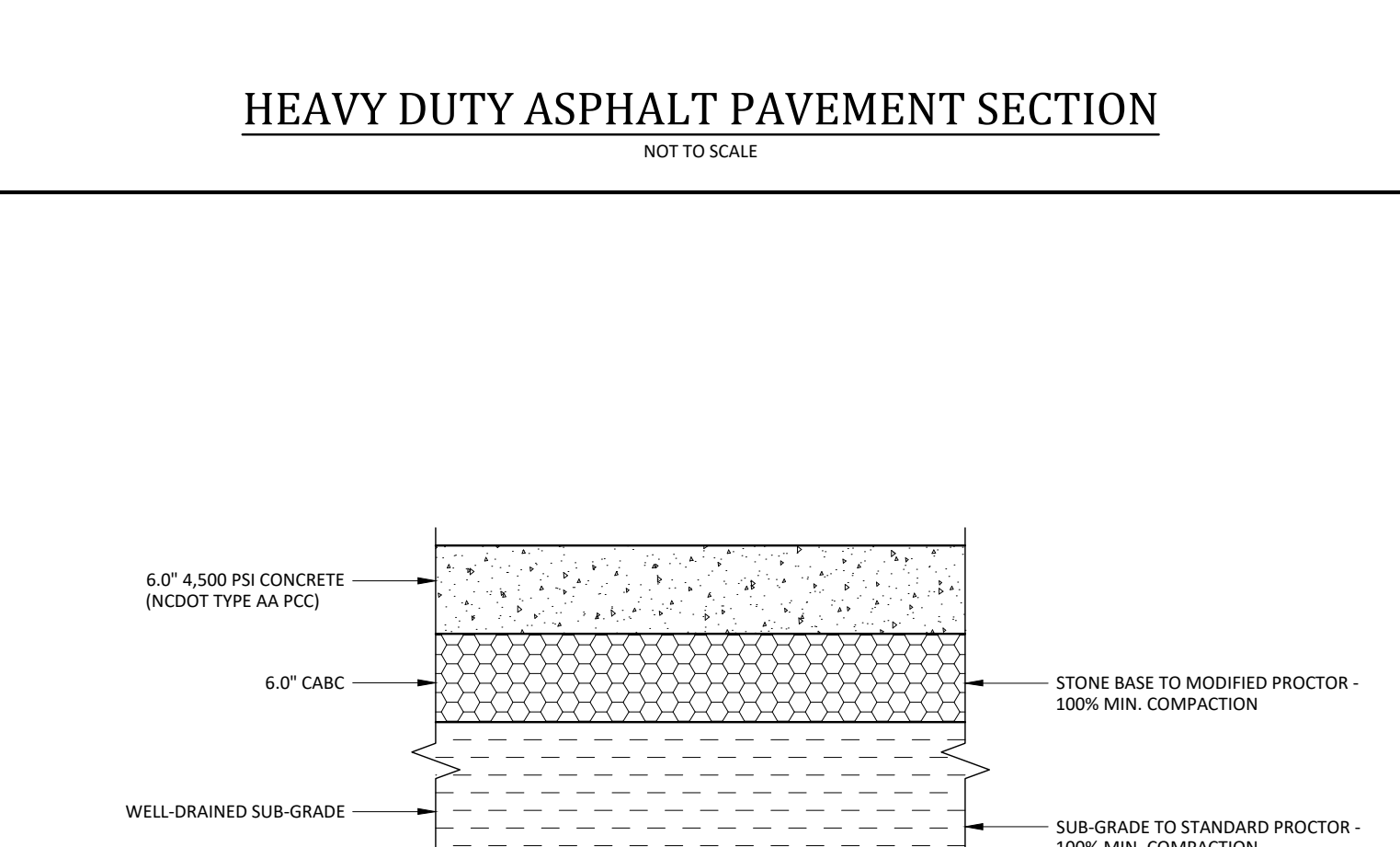
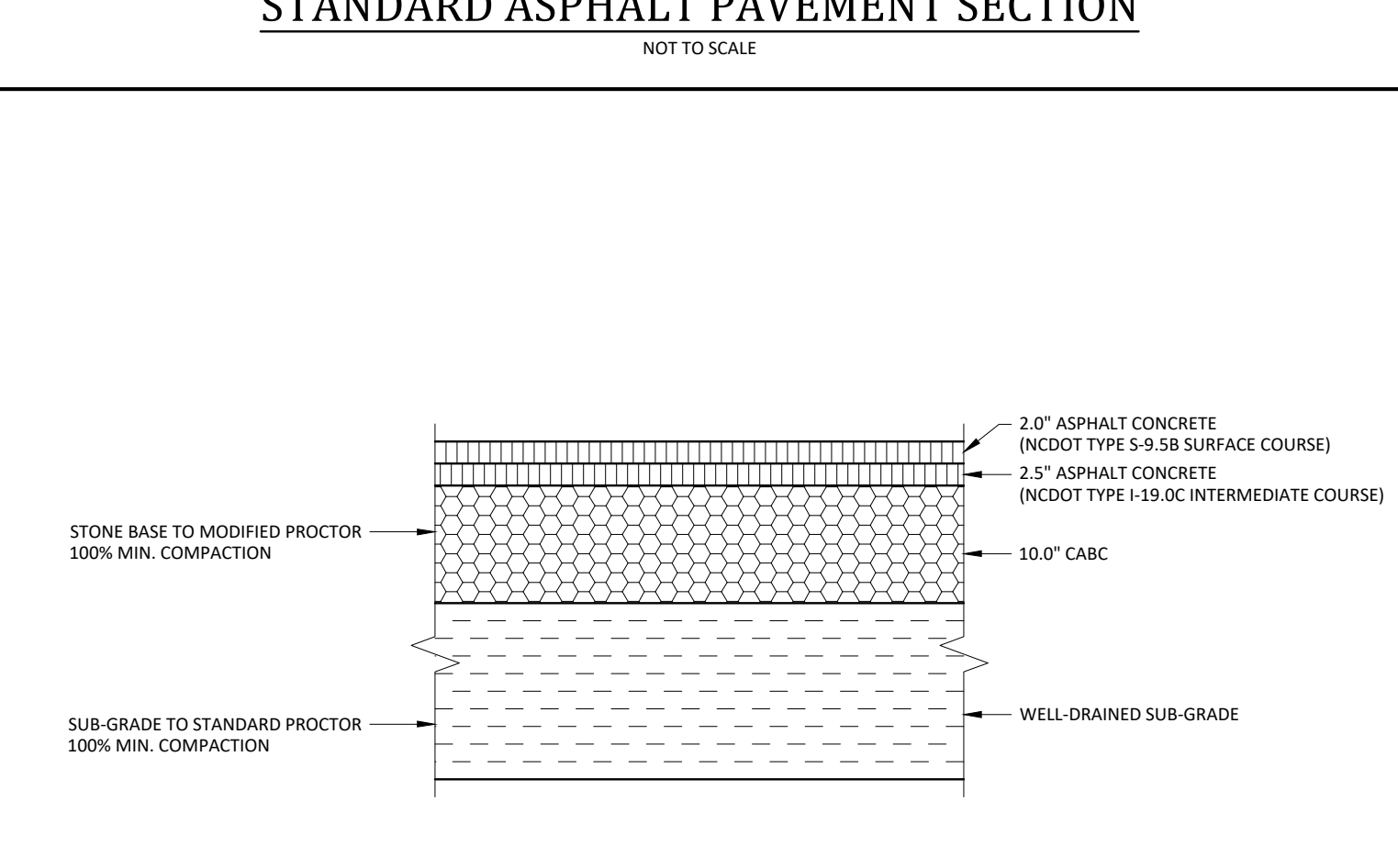
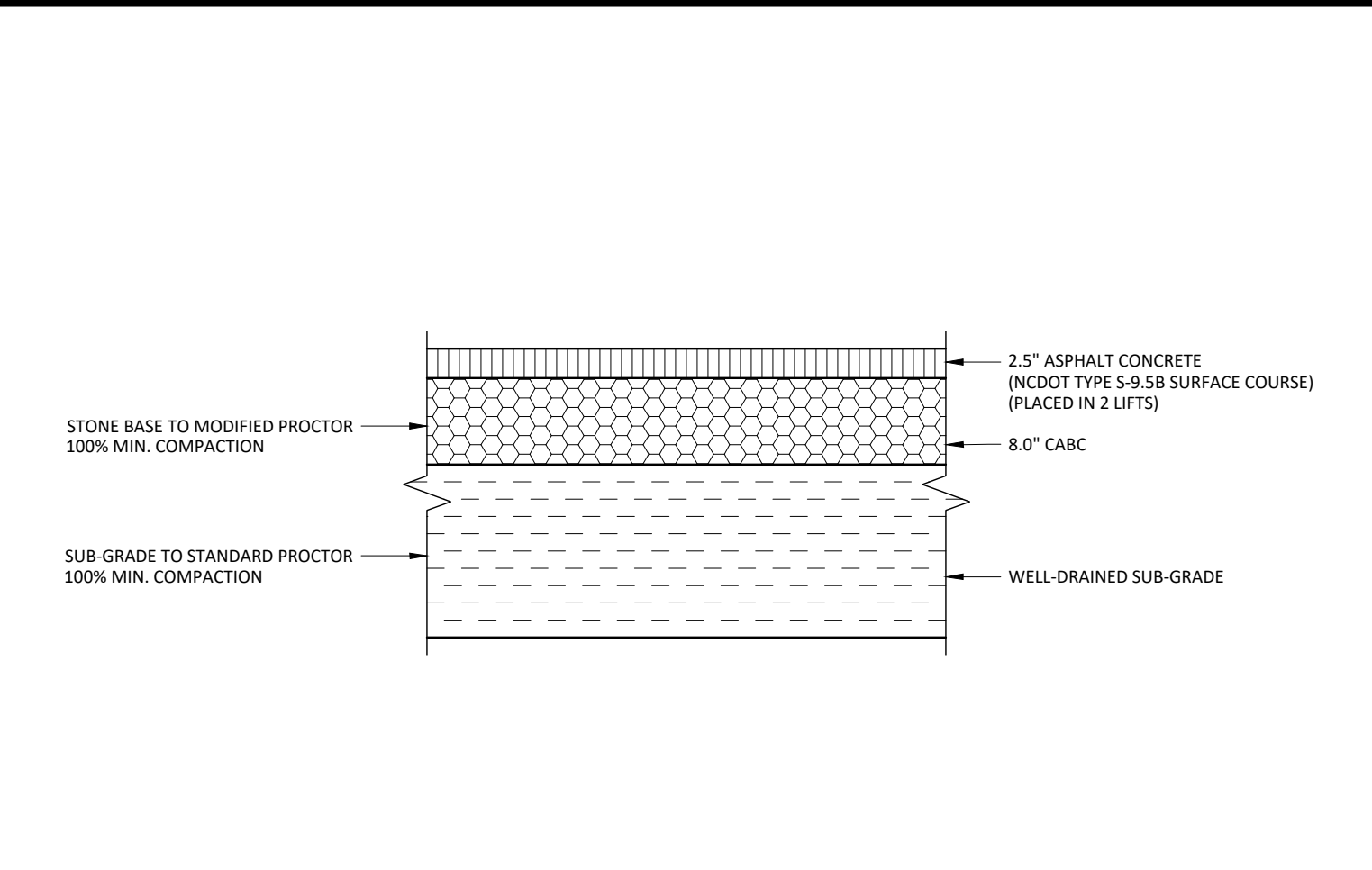
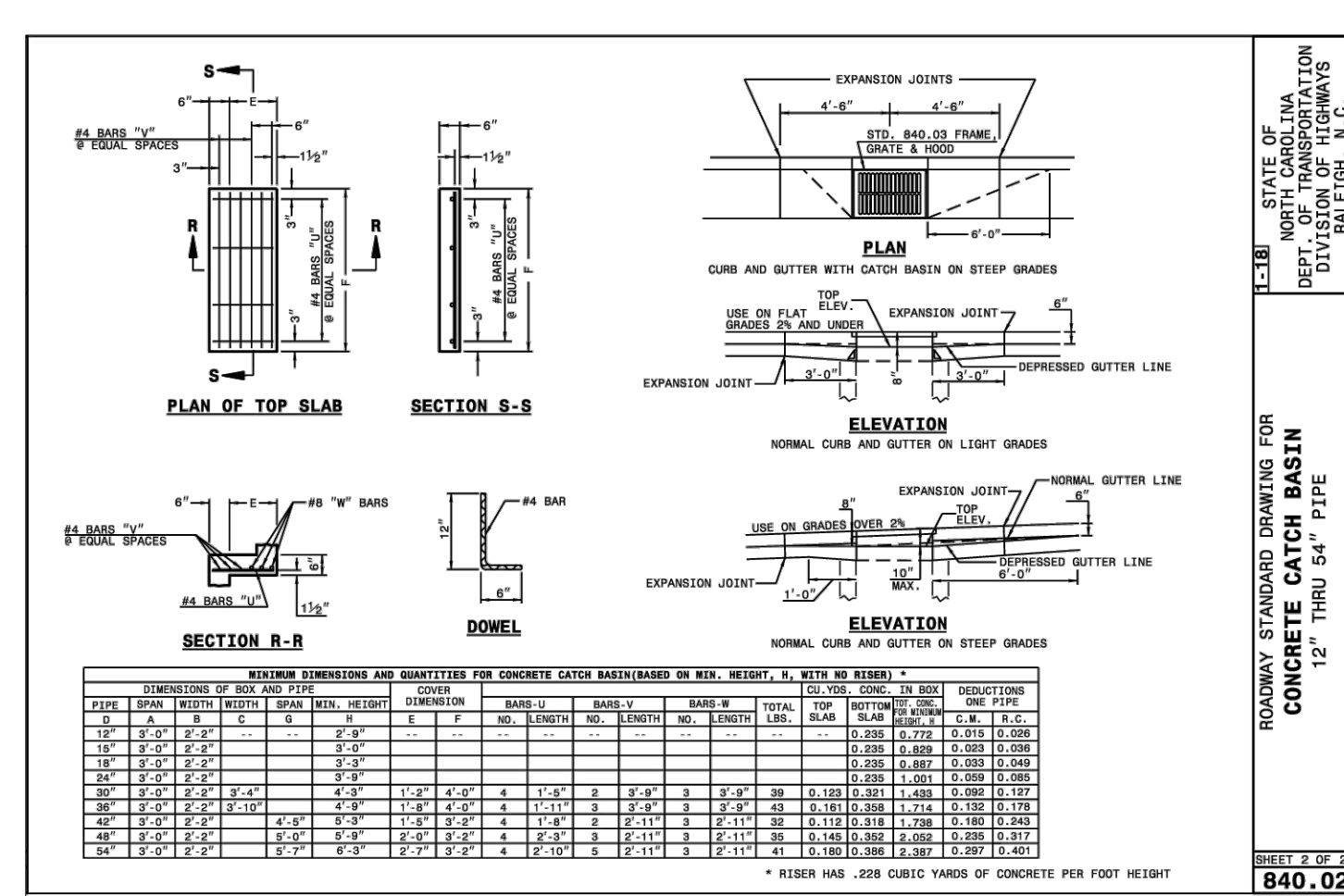
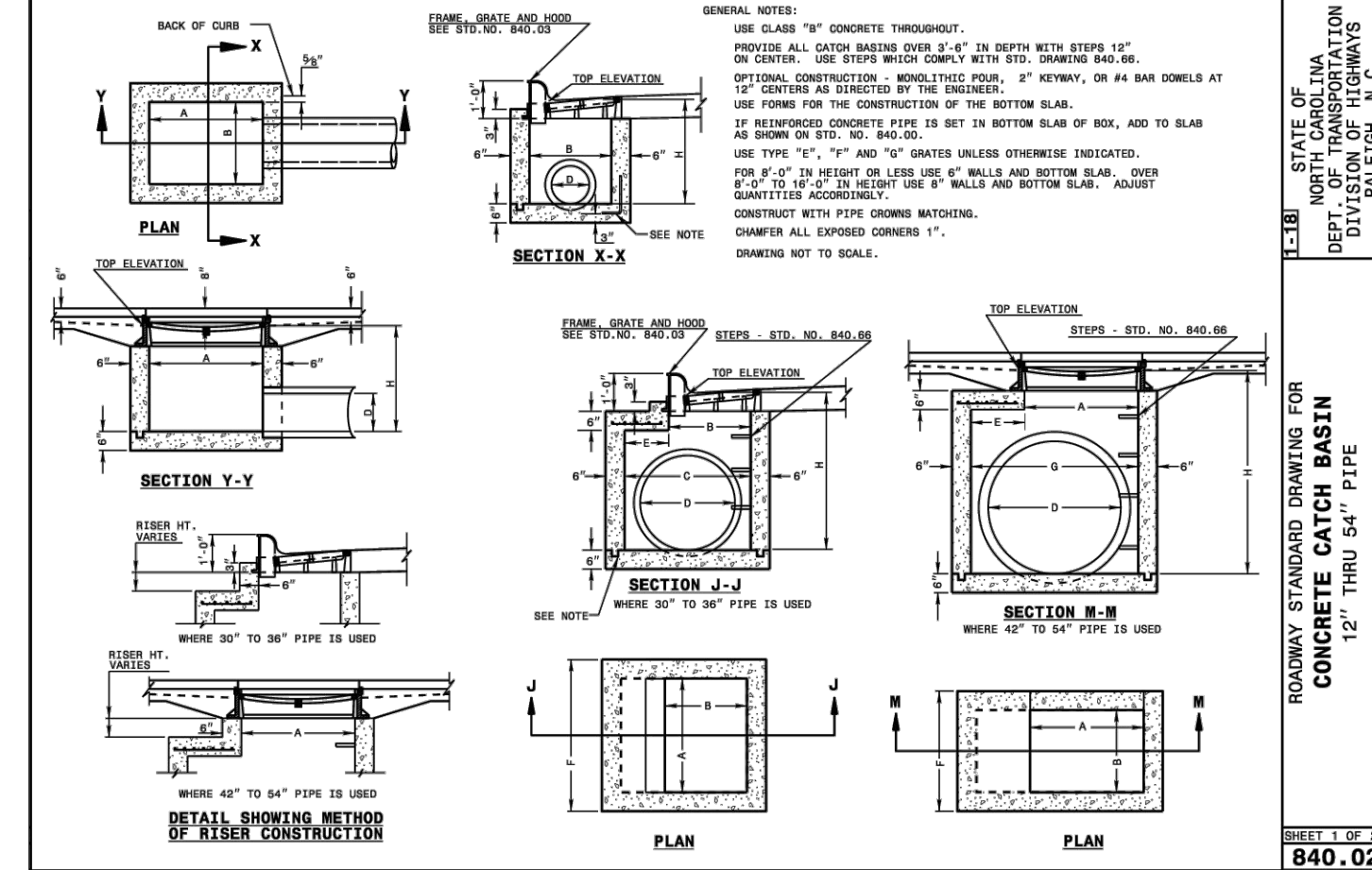
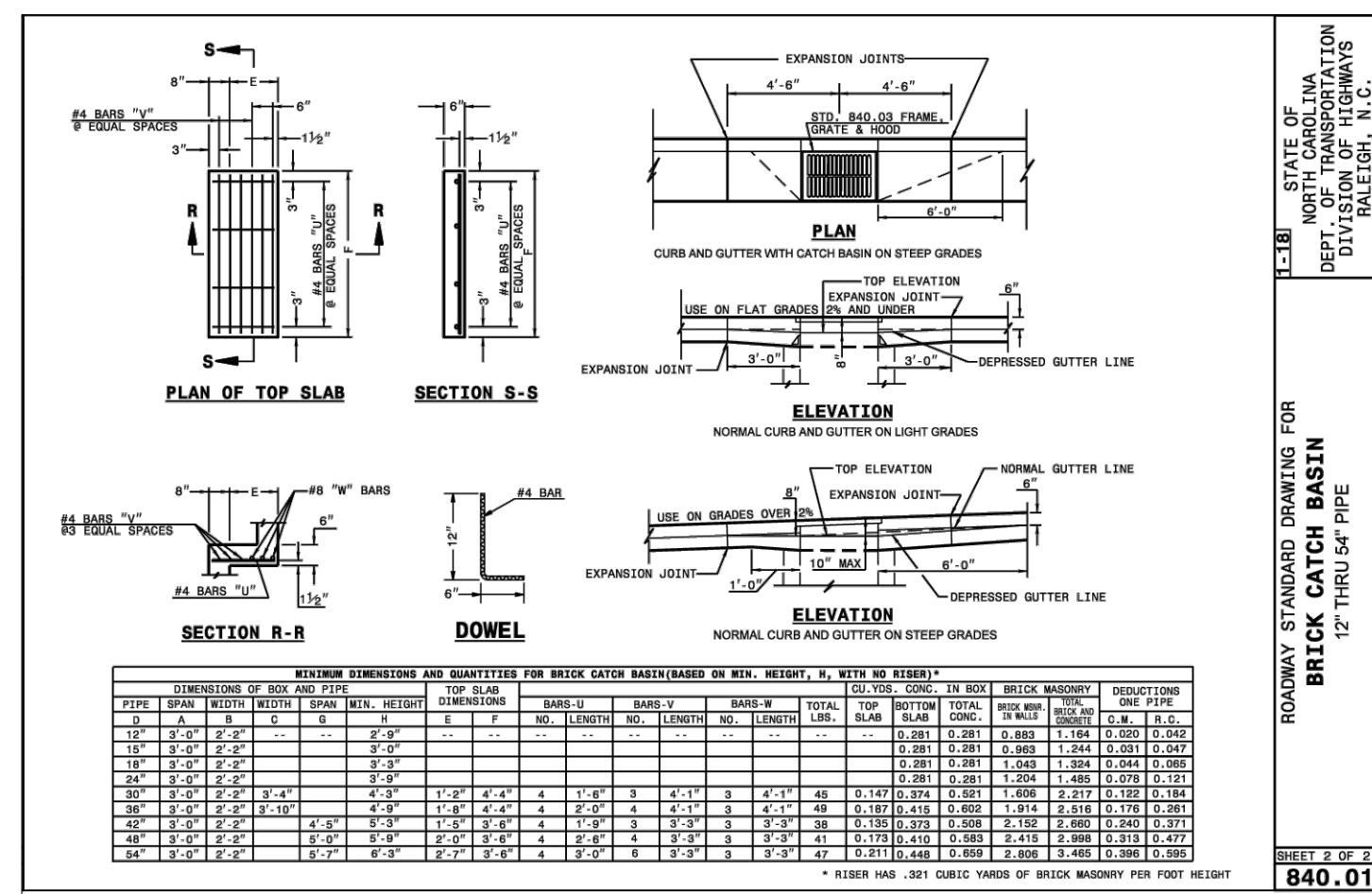
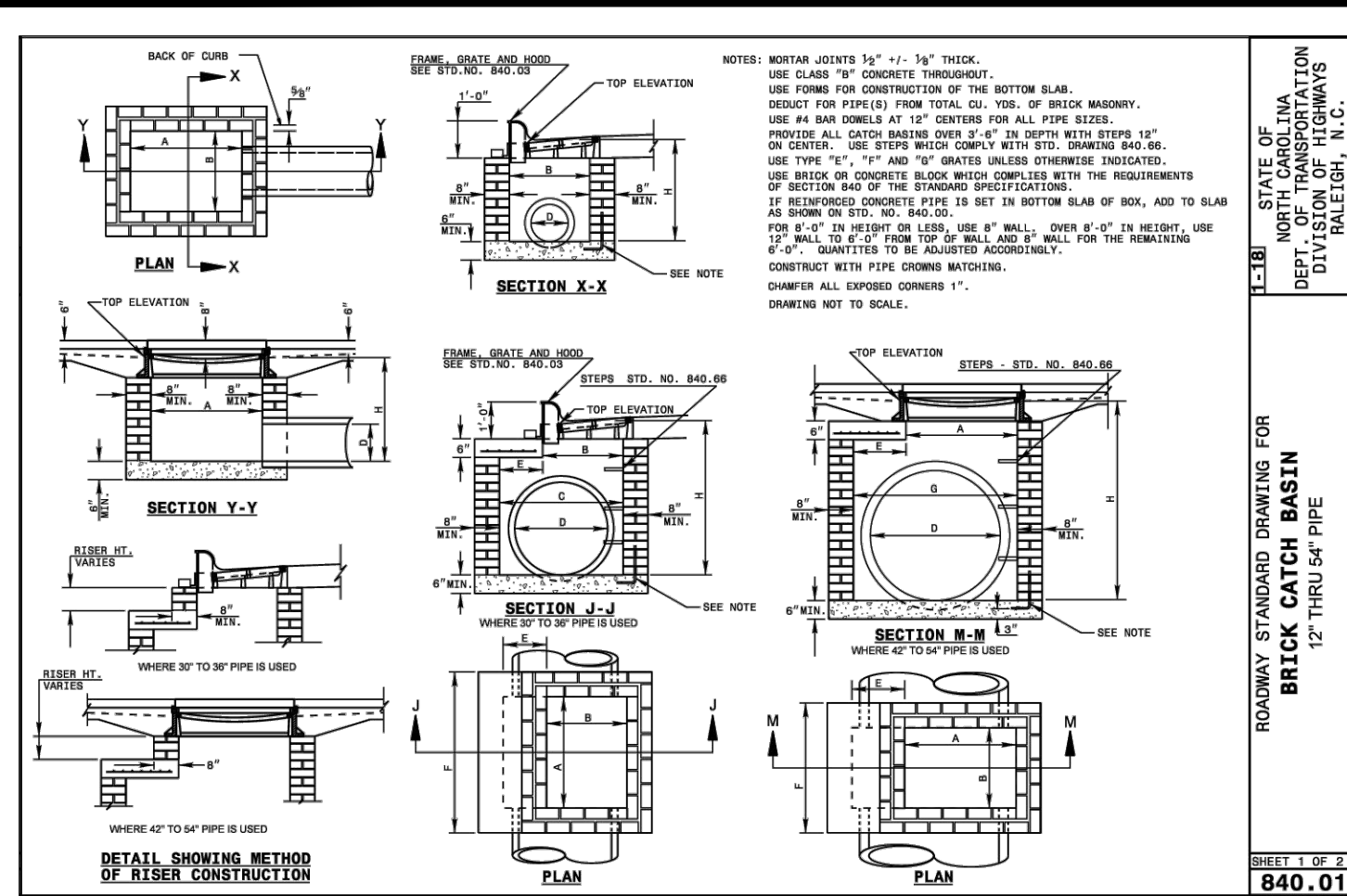
REQUIRED VEGETATION PLAN
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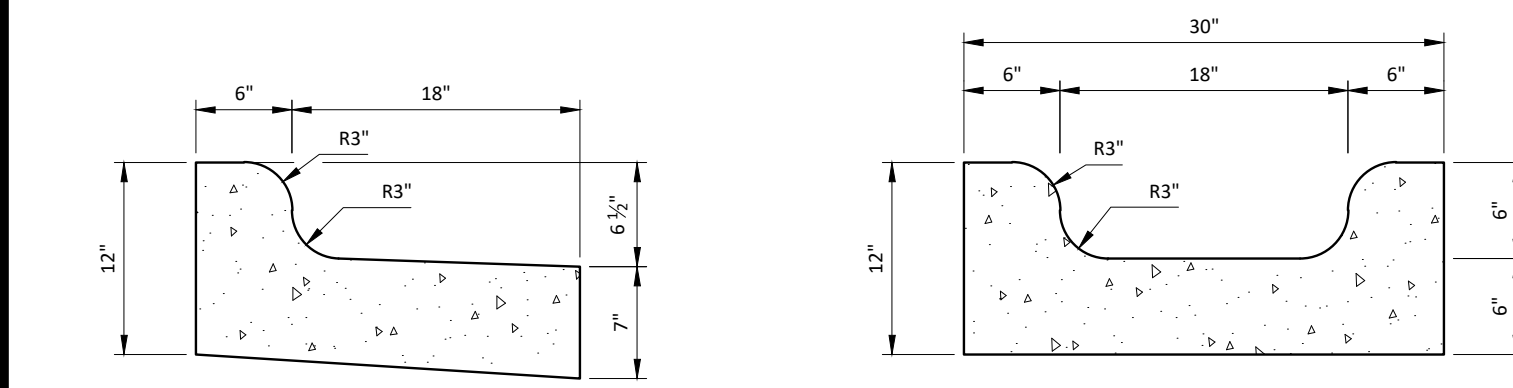
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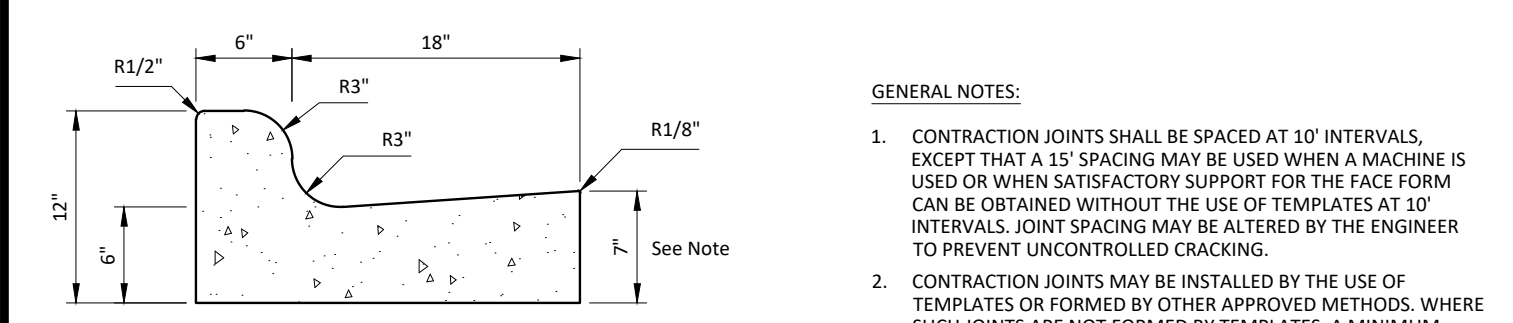
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C6.0

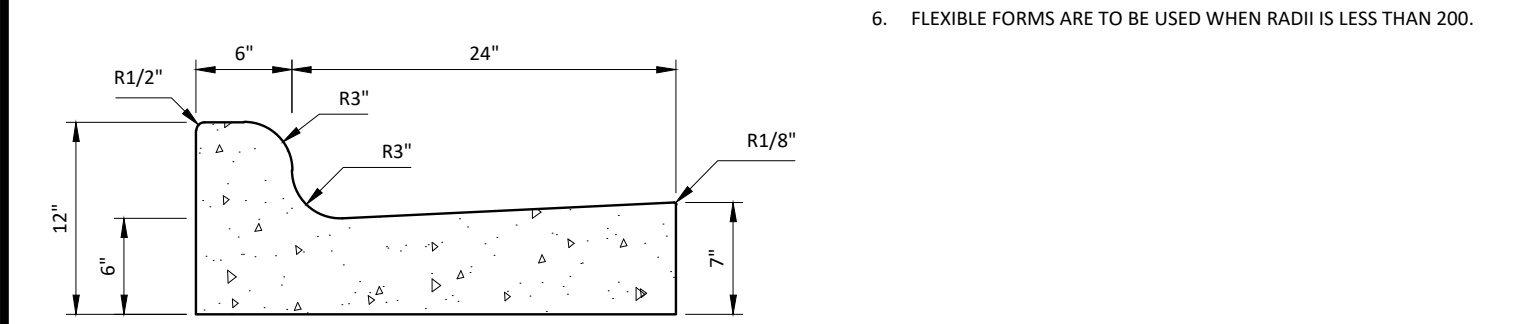


24" CONCRETE CURB AND GUTTER - SPILL

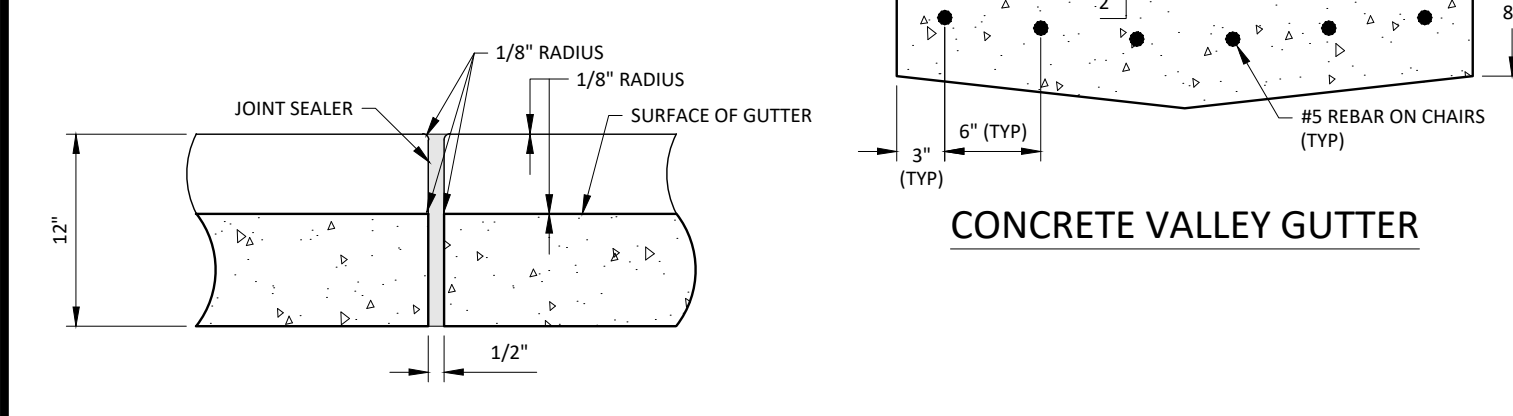
SPECIAL GUTTER



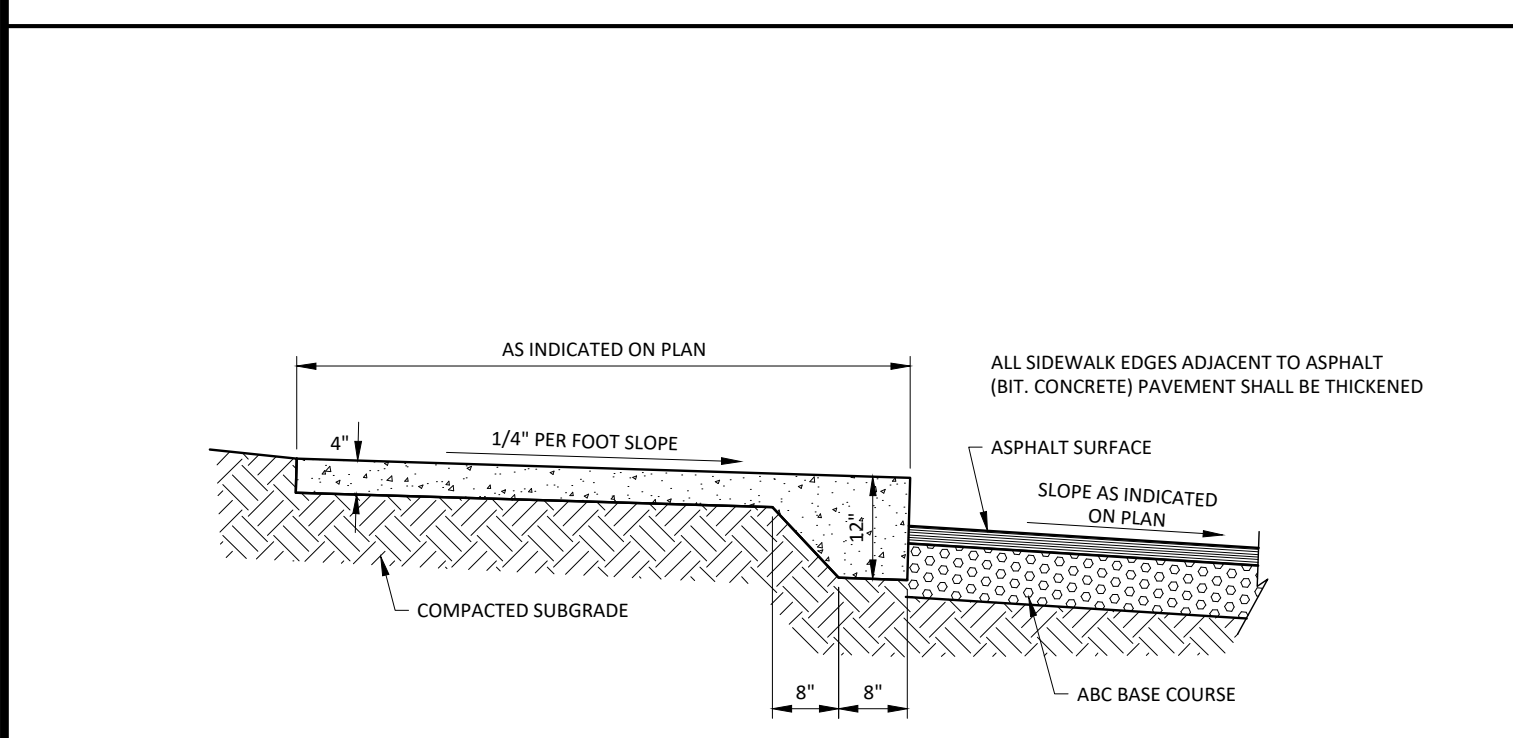
24" CONCRETE CURB AND GUTTER



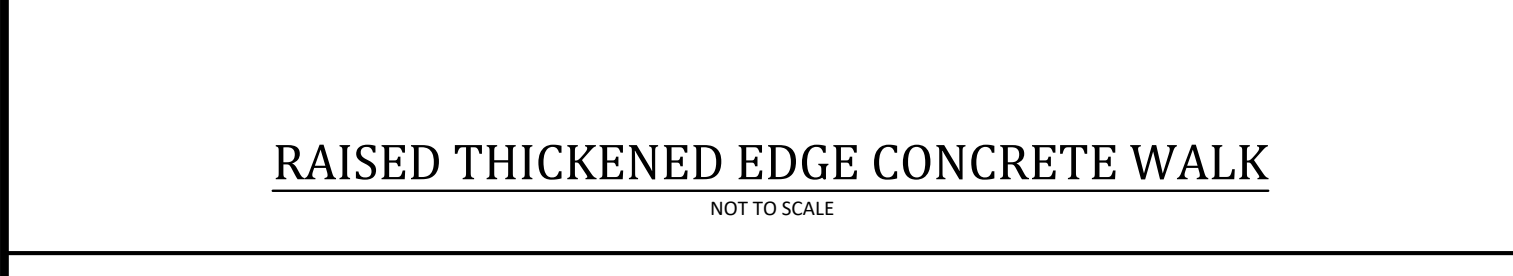
30" CONCRETE CURB AND GUTTER



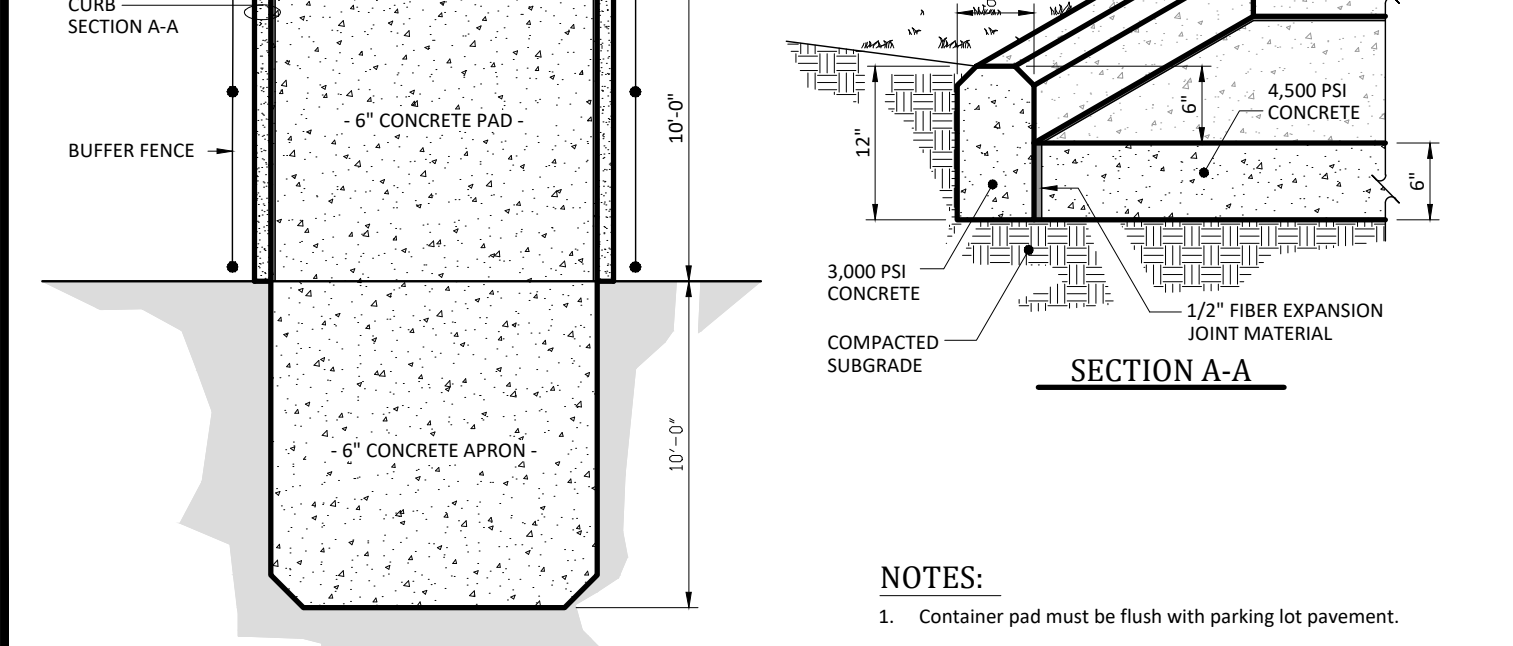
CONCRETE VALLEY GUTTER



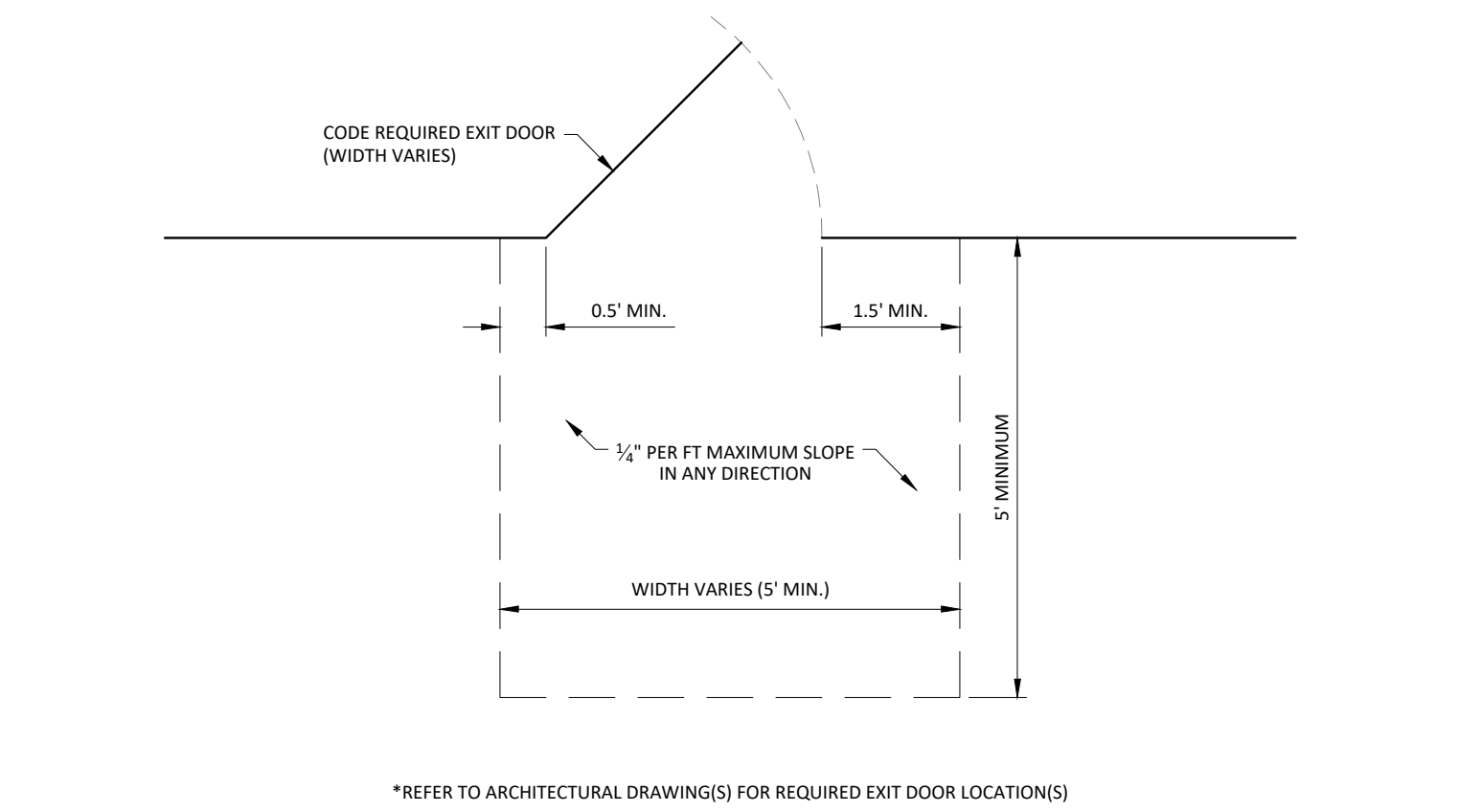
CURB AND GUTTER DETAIL



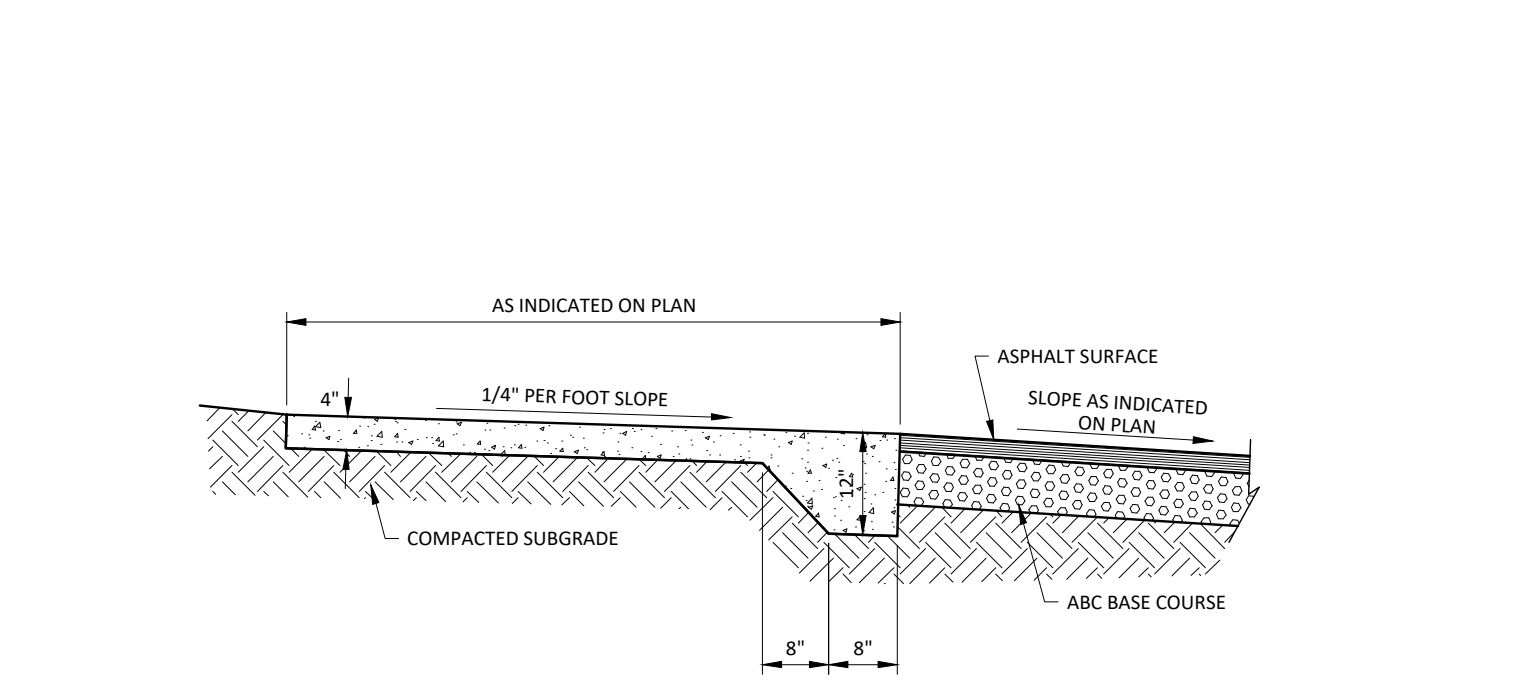
RAISED THICKENED EDGE CONCRETE WALK



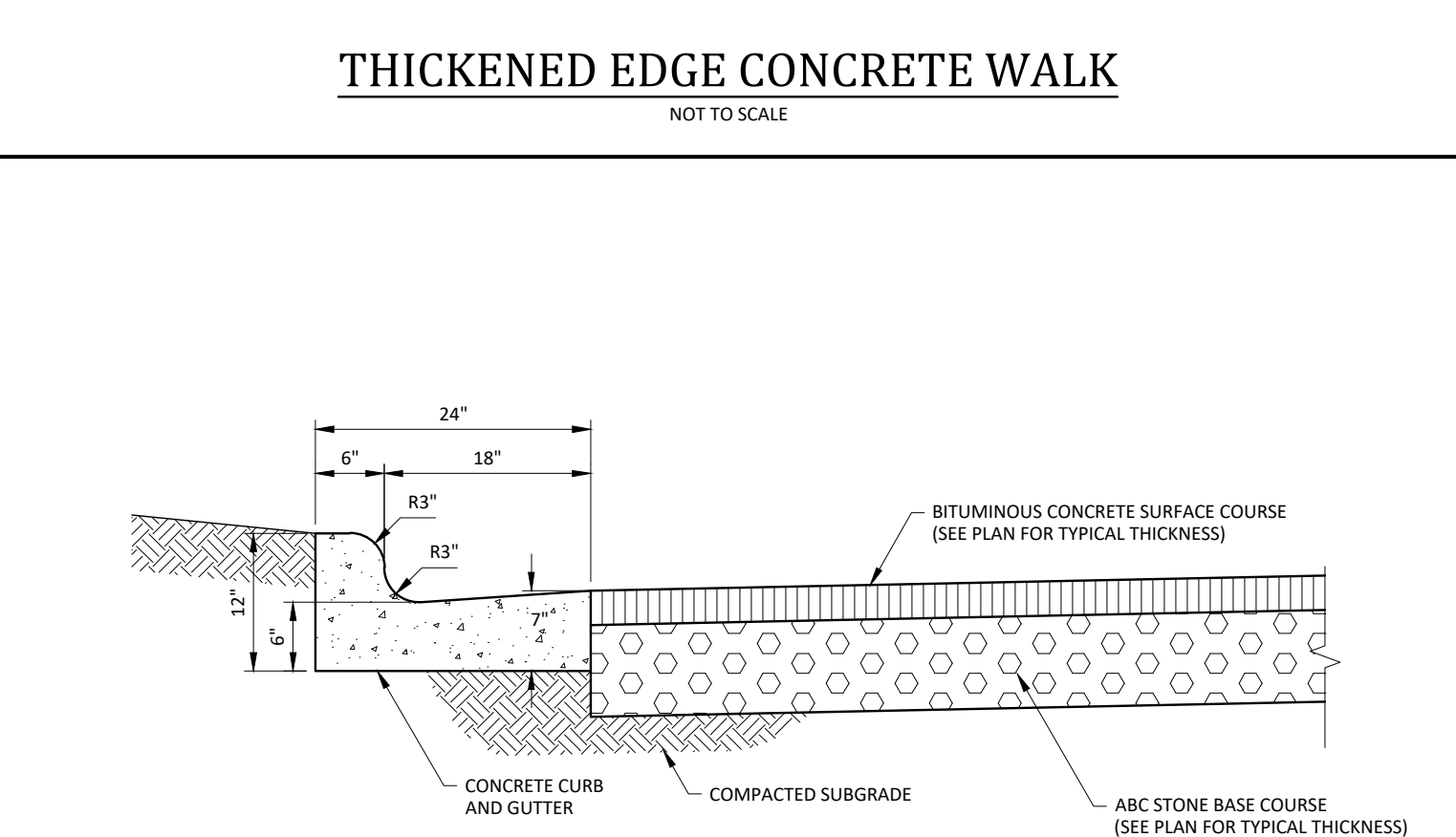
DUMPSTER PAD



REQUIRED BUILDING EXIT DOOR ACCESSIBLE GRADES



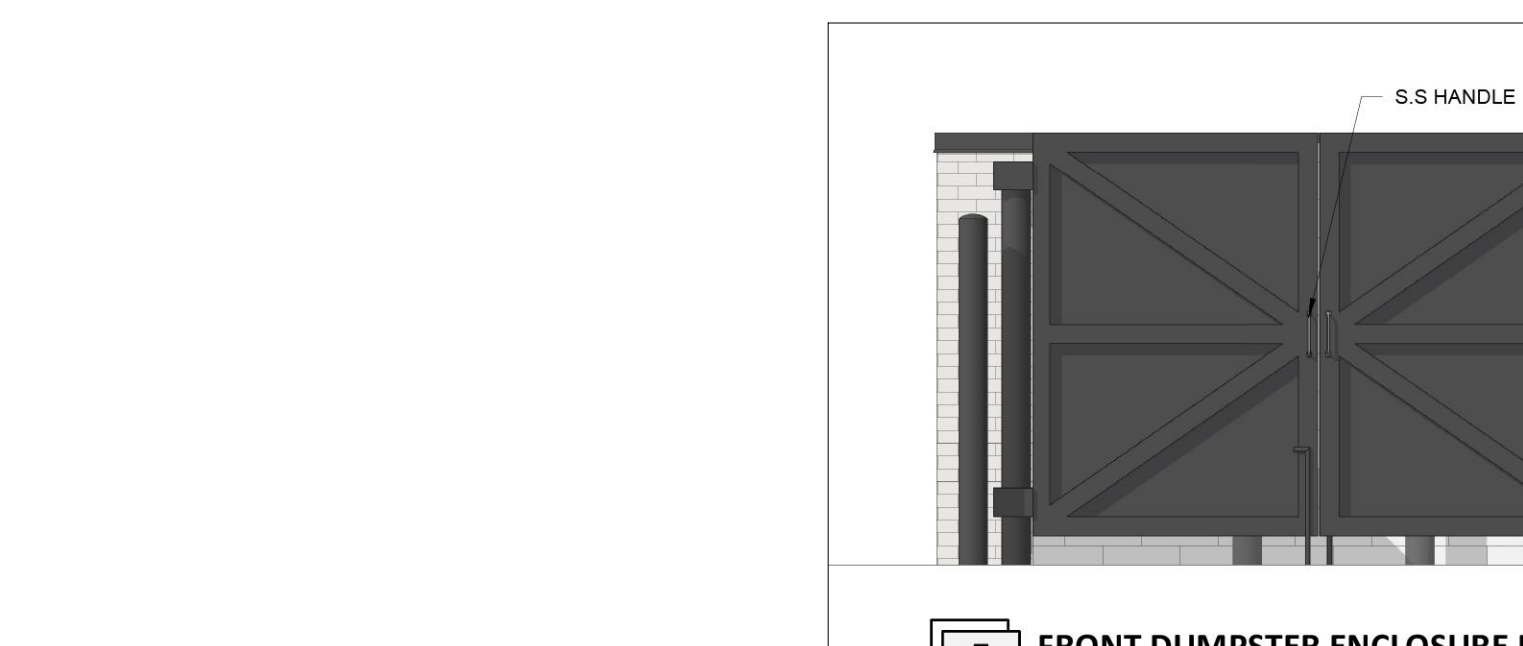
THICKENED EDGE CONCRETE WALK



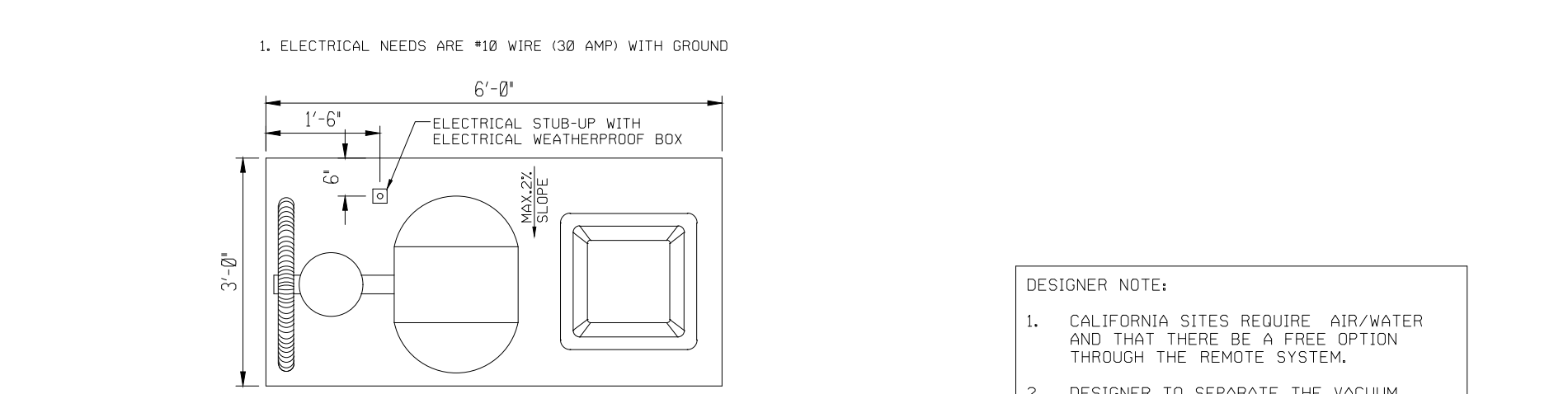
CURB AND GUTTER AND PAVEMENT DETAIL



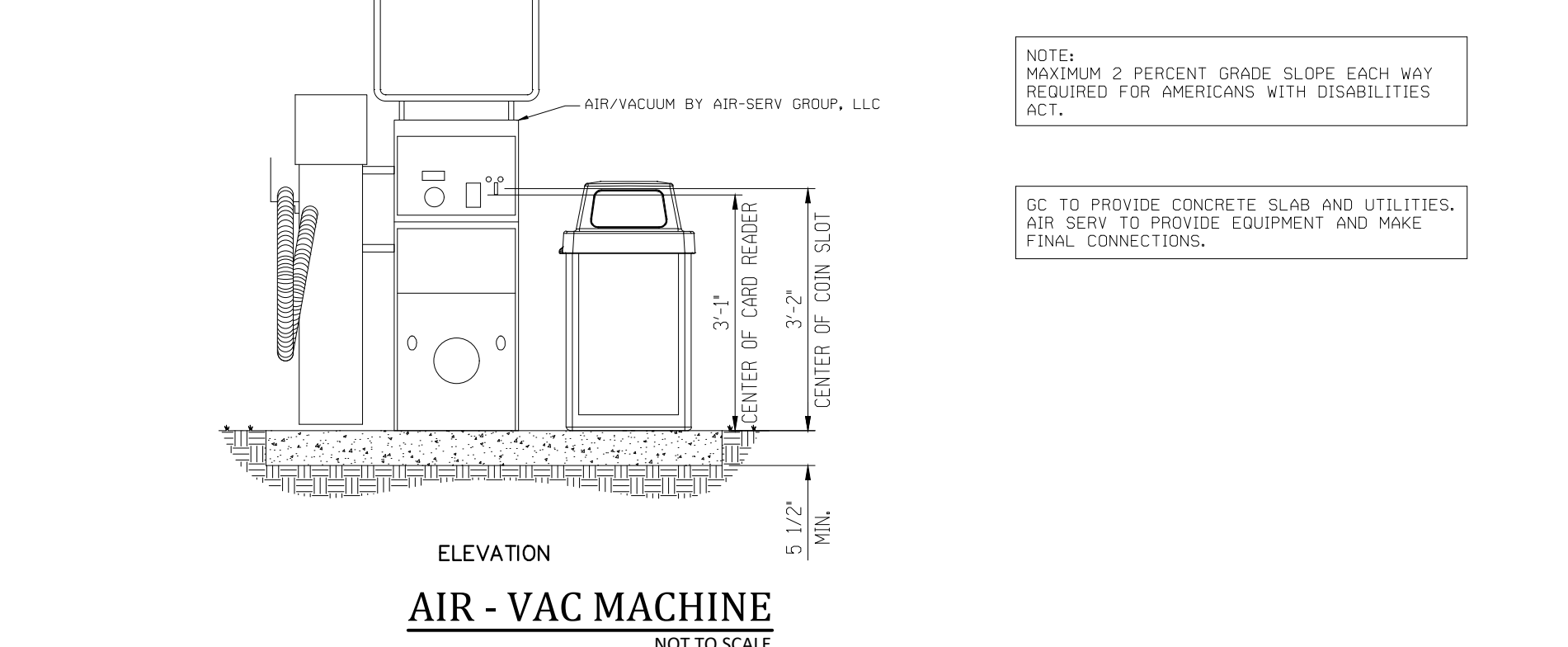
5 FRONT DUMPSTER ENCLOSURE ELEVATION



6 SIDE DUMPSTER ENCLOSURE ELEVATION



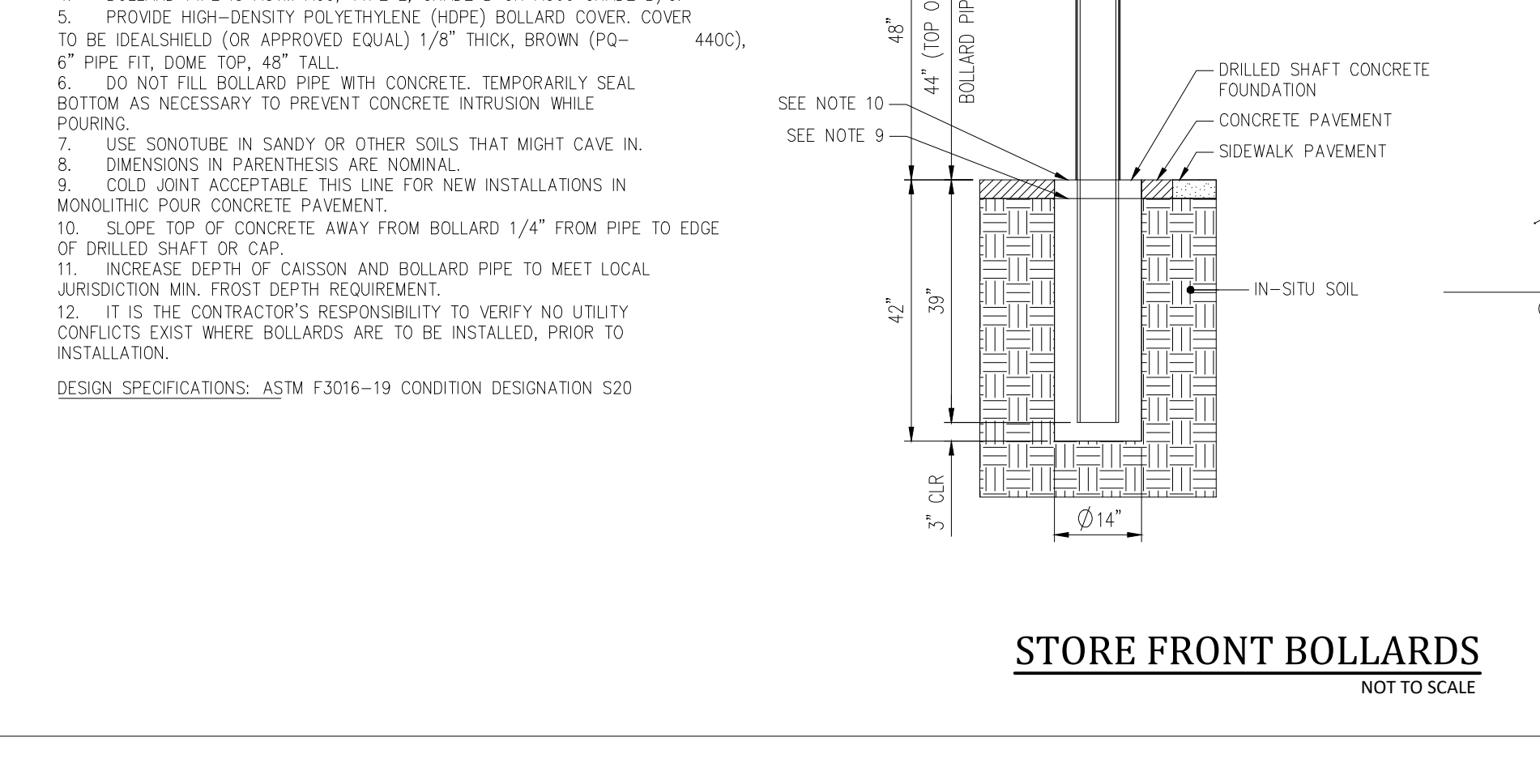
AIR - VAC MACHINE



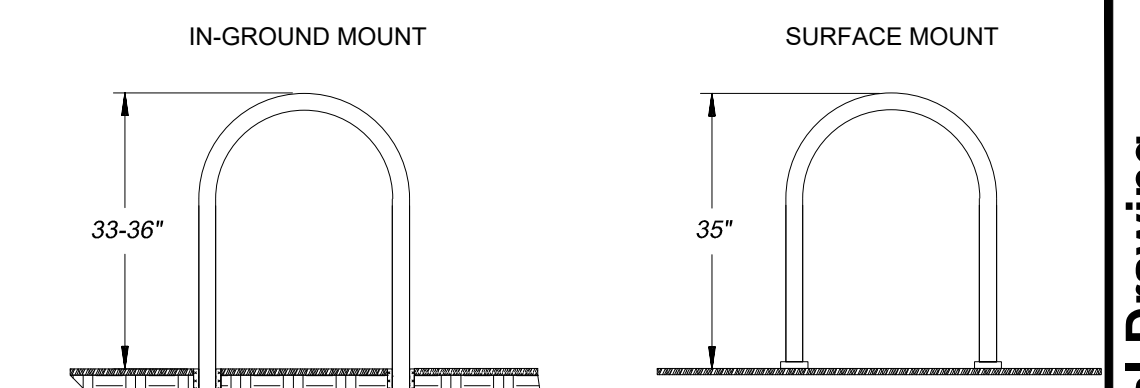
AIR - VAC MACHINE



STORE FRONT BOLLARDS



BOLLARD LAYOUT



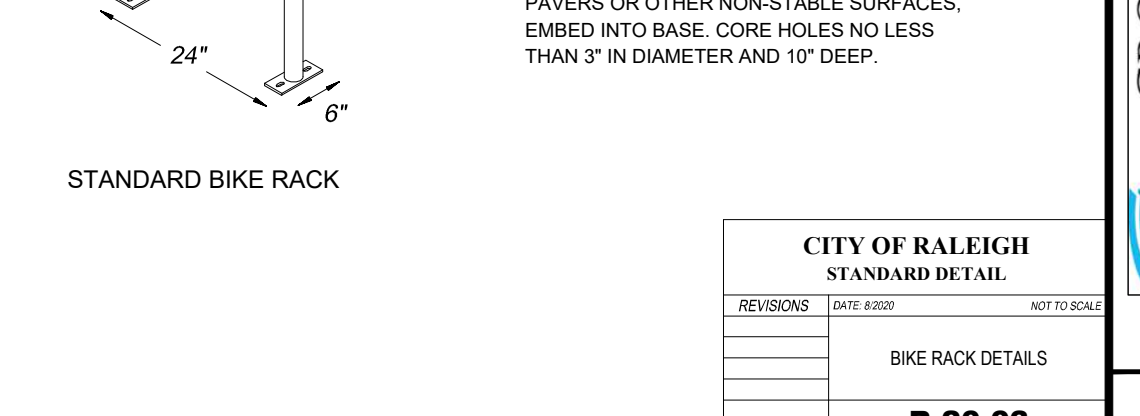
IN-GROUND MOUNT

SURFACE MOUNT

STANDARD BIKE RACK

BIKE RACK INSTALLATION:

IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.



CITY OF RALEIGH STANDARD DETAIL

BIKE RACK DETAILS

B-20.03

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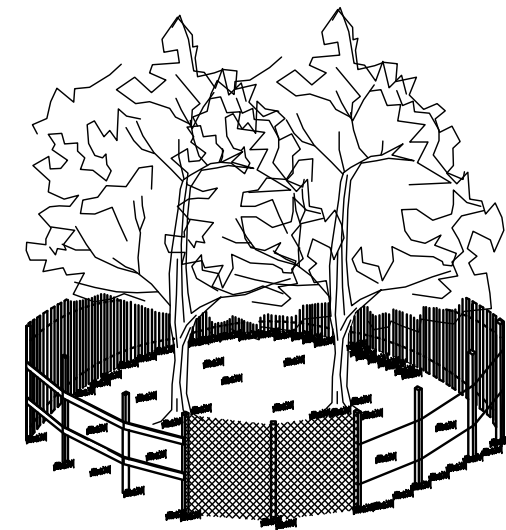
NC License: P-1129

DATE: 5/1/2024

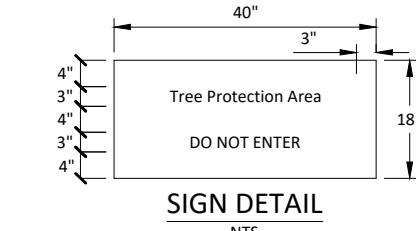
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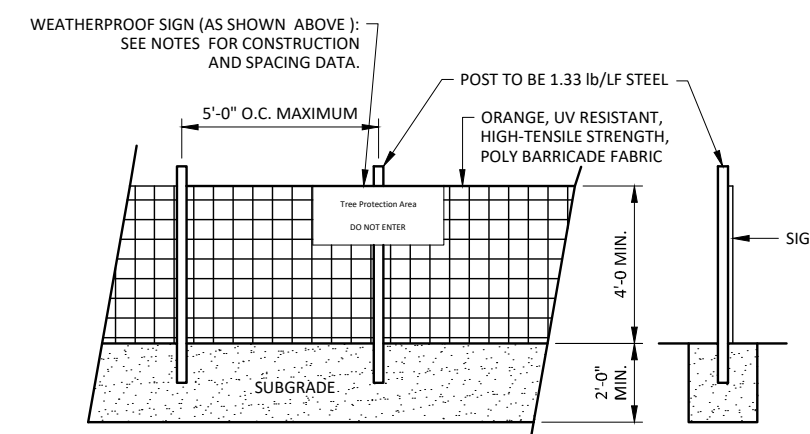
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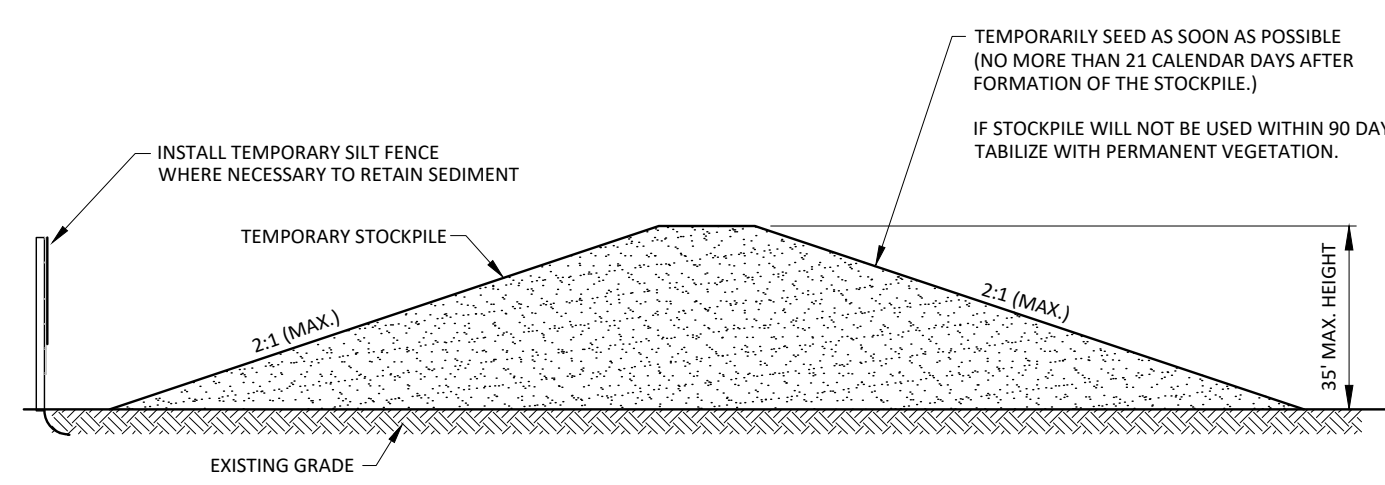
- NOTES:
1. SIGNS ARE TO BE PLACED NO GREATER THAN 200' ON CENTER. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREA AND 200' ON CENTER THEREAFTER.
 2. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 3. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 4. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 5. LETTERS ARE TO BE 2" HIGH MINIMUM CLEARLY VISIBLE, AND SPACED AS DETAILED.
 6. INSTALL TREE PROTECTION FENCE & SIGNAGE PRIOR TO CALLING FOR THE INITIAL ON-SITE INSPECTION BY A NCDEN INSPECTOR. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY NCDEN BASED ON ACTUAL FIELD CONDITIONS.



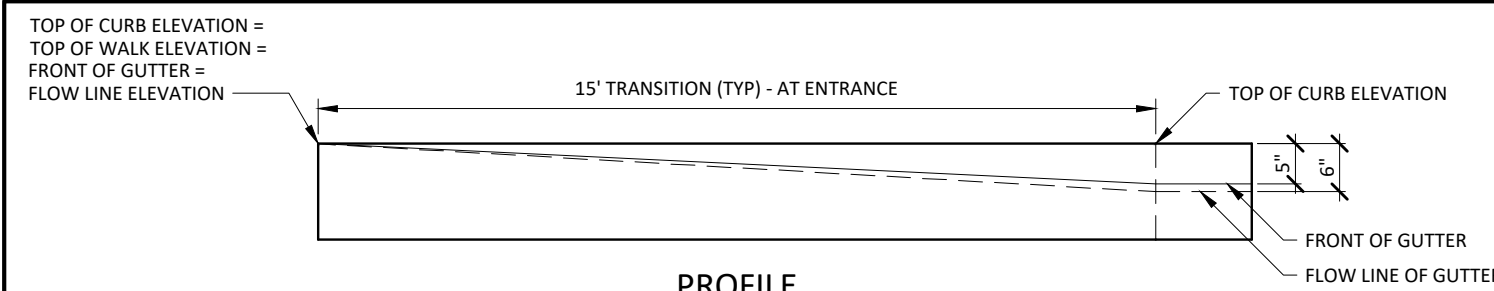
SIGN DETAIL



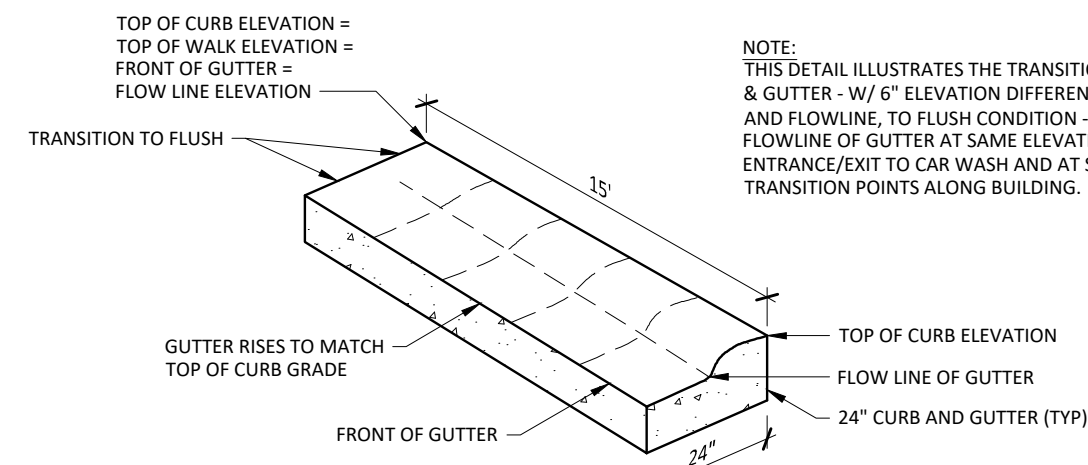
TREE PROTECTION FENCE
NOT TO SCALE



TEMPORARY STOCKPILE
NOT TO SCALE

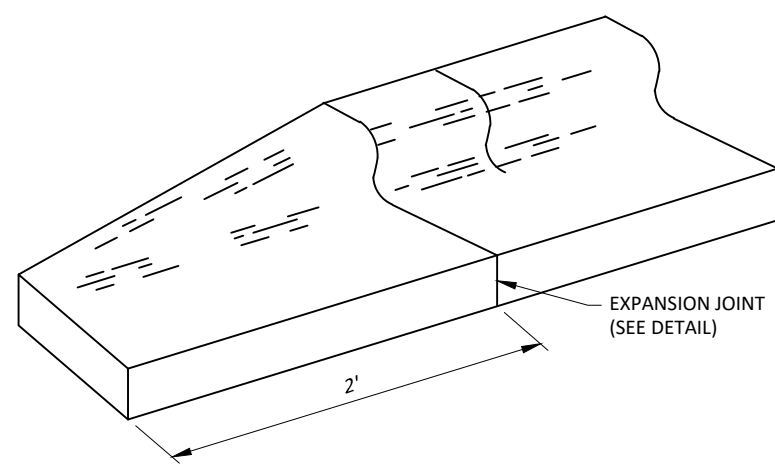


PROFILE

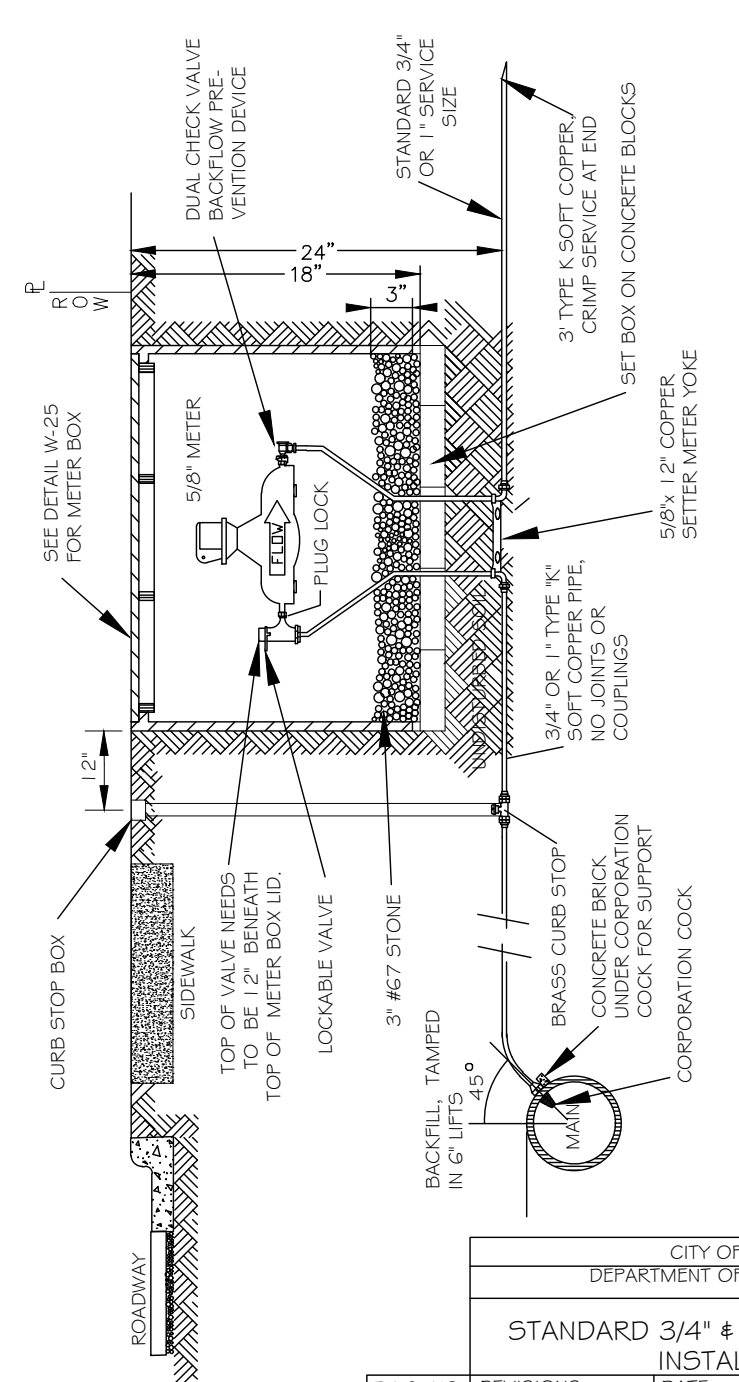


ISOMETRIC VIEW

CURB AND GUTTER TO FLUSH PAVING TRANSITION
NOT TO SCALE

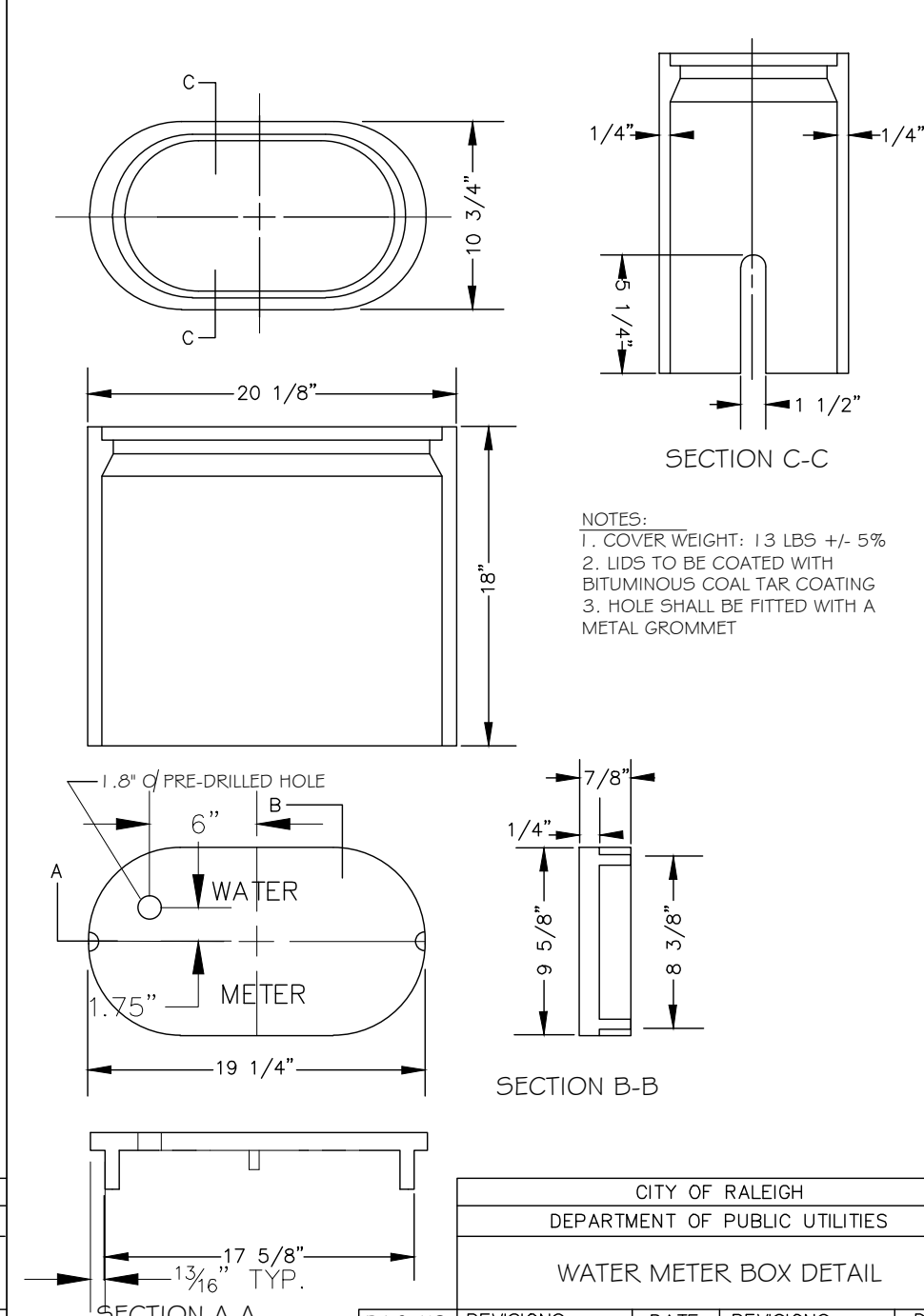


CURB TAPER DETAIL
NOT TO SCALE

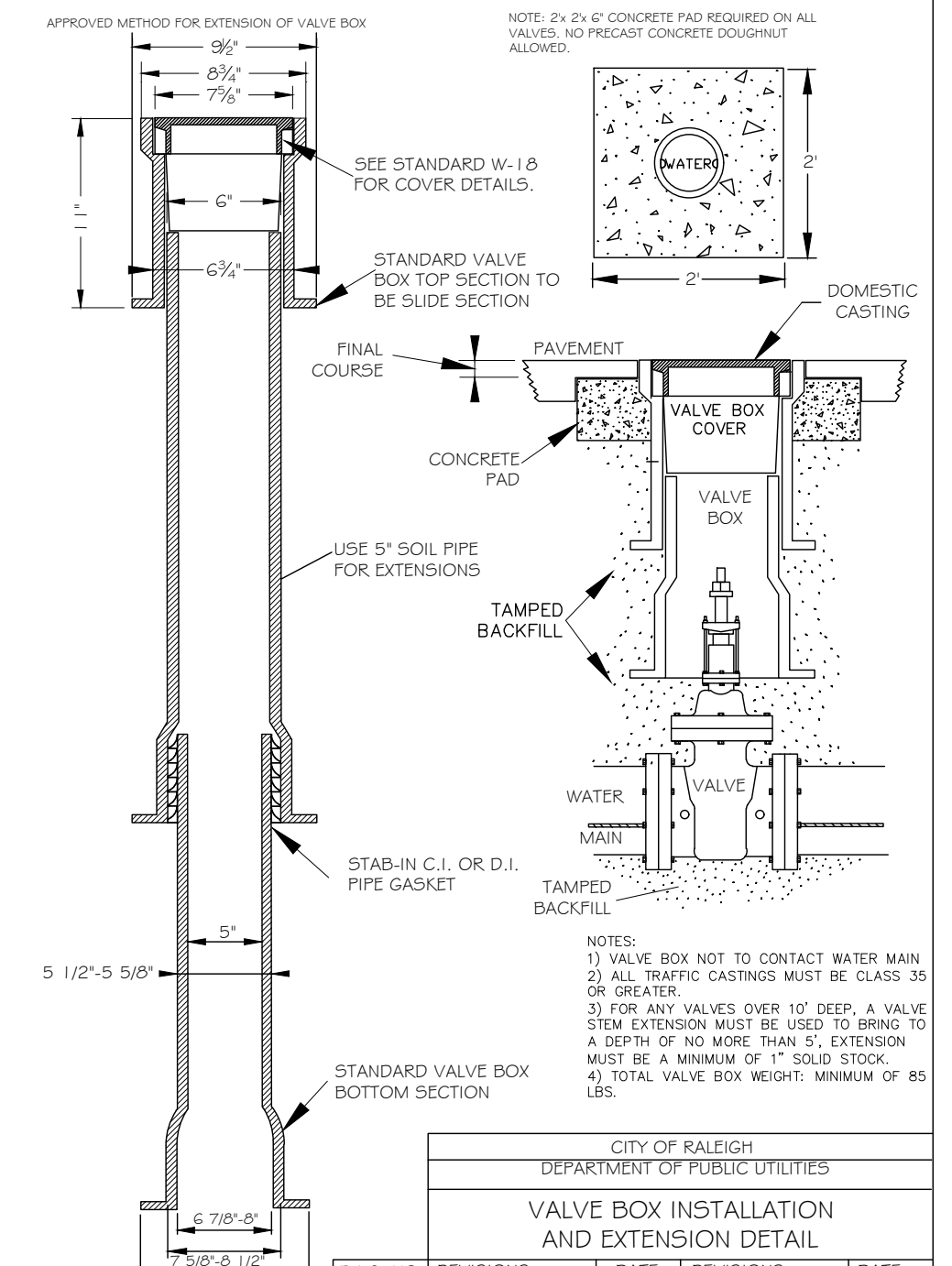


CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD 3/4" & 1" WATER SERVICE INSTALLATION

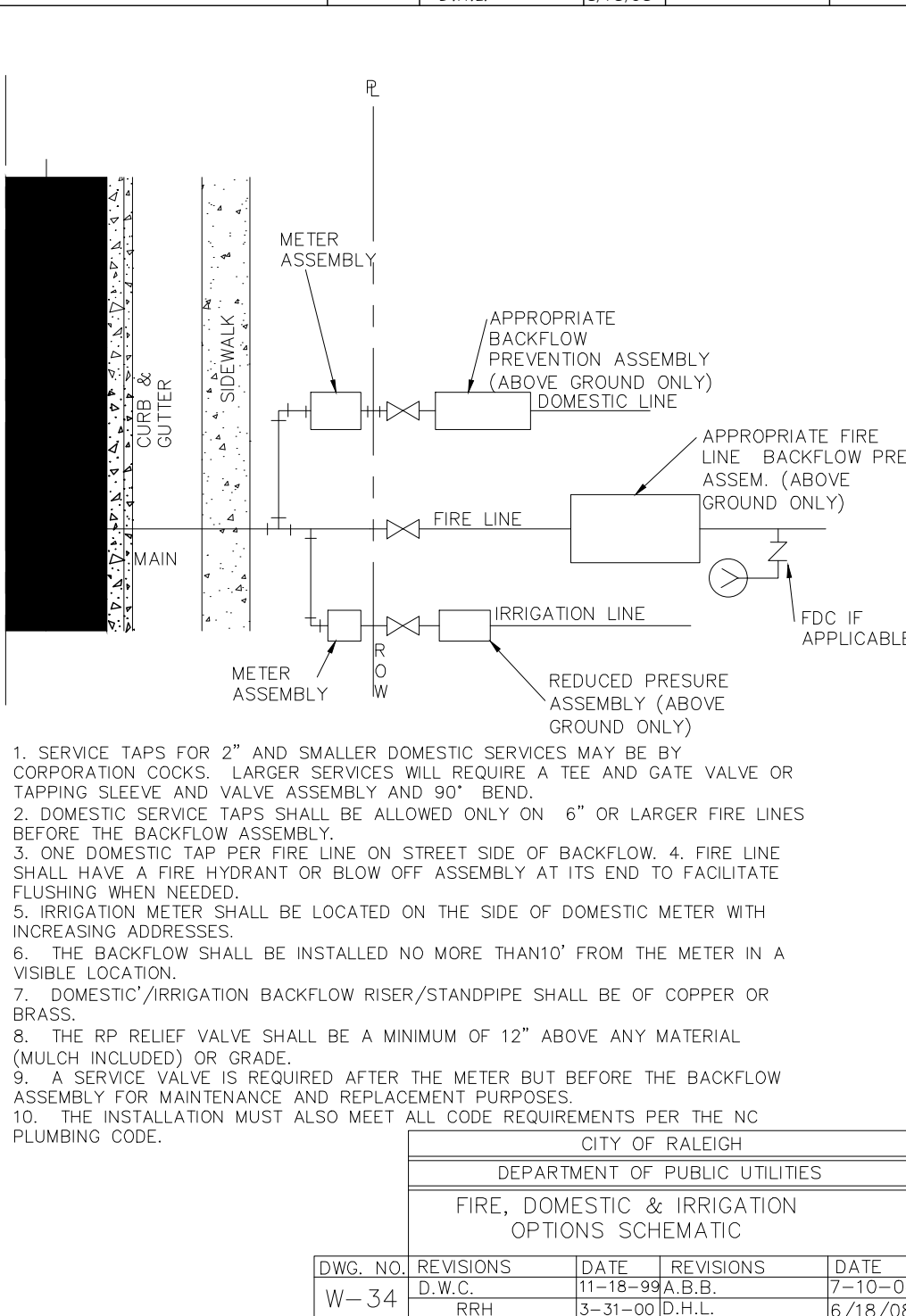
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23	ABB	4-6-04	4-B	3-30-05
	D.J.L.	6/7/08		



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
WATER METER BOX DETAIL

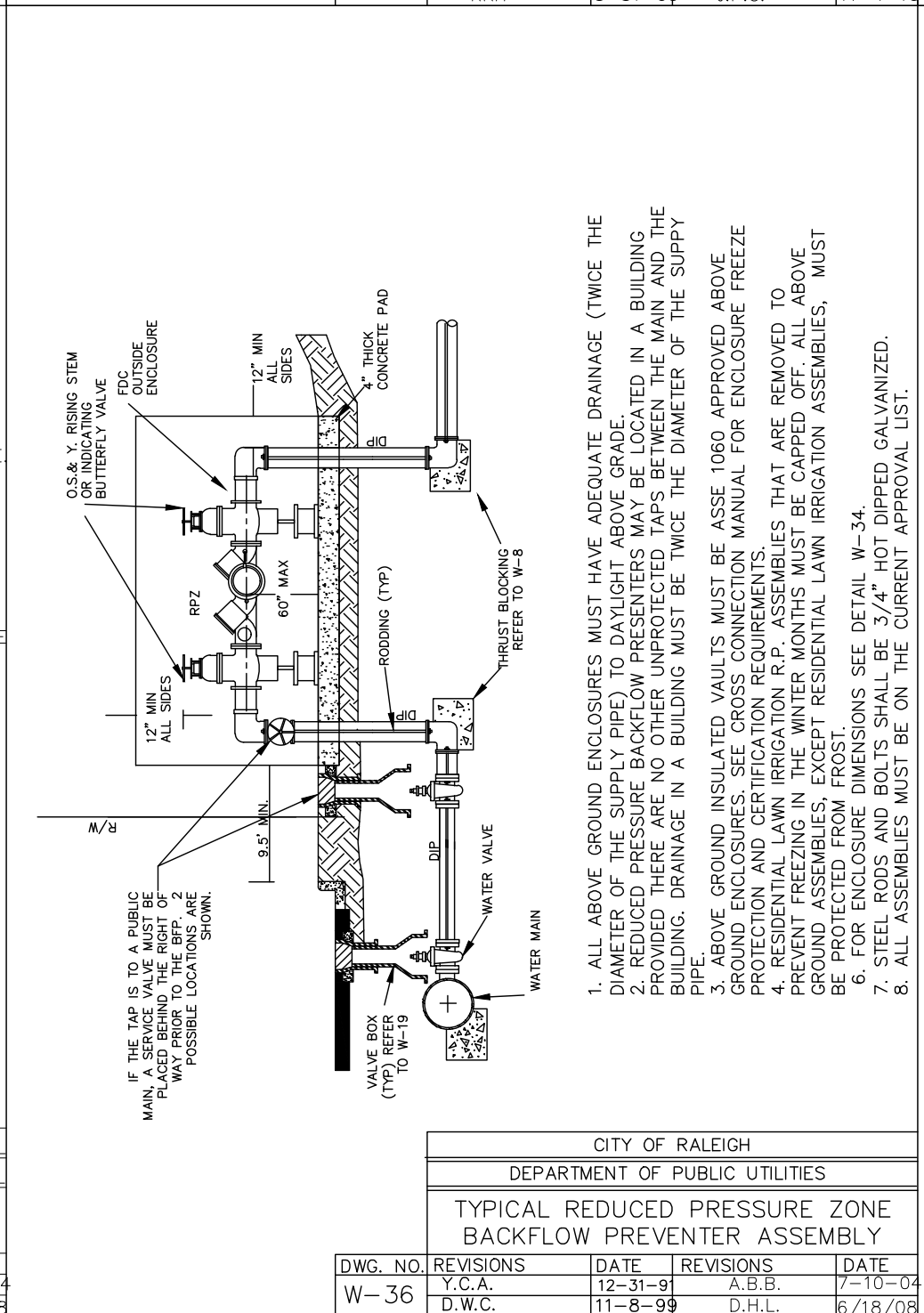


CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
VALVE BOX INSTALLATION AND EXTENSION DETAIL



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
FIRE, DOMESTIC & IRRIGATION OPTIONS SCHEMATIC

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-34	Y.C.A.	11-18-09	A.B.B	7-10-04
	R.R.H.	3-31-00	D.J.L.	6/18/08



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD VERTICAL BEND

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-12	ABB	4-6-04	J.P.S.	11-1-10
	D.J.L.	6-10-03		

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
4	12-MAR-24	REVISED PER REVIEW & OWNER COMMENTS
3	11-MAR-24	REVISED PER REVIEW & OWNER COMMENTS
2	11-JUN-23	REVISED PER REVIEW COMMENTS
1	11-MAY-23	ISSUED FOR PERMIT REVIEW

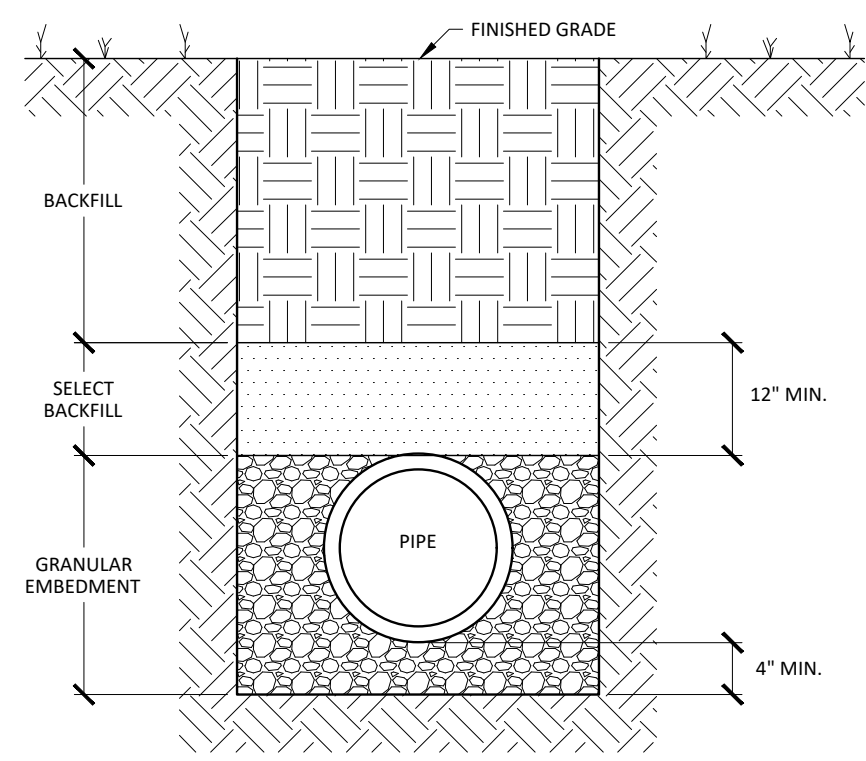
7ELEVEN AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License P-1139
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Cary, NC 27513
(252) 558-8888
www.arkconsultinggroup.com

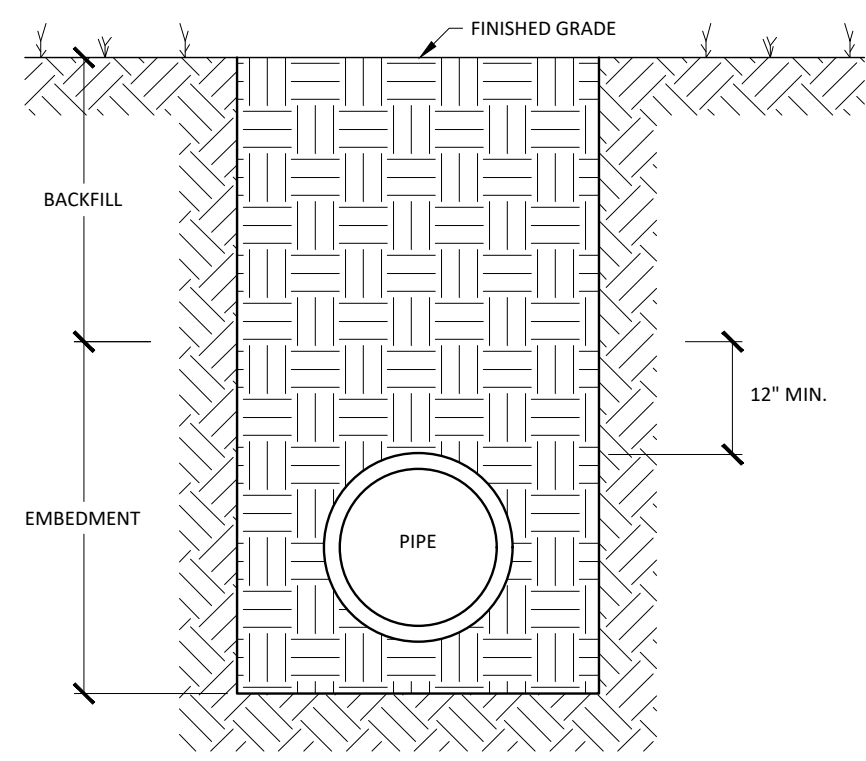
Final Drawing
North Carolina Professional Seal
Professional Engineer
No. 102,818
5/21/2024

Project Manager: BCF
Drawn By: DLC/TGN
Checked By: TGN
Project Number: 22049
Drawing Number: D-1404-SDP

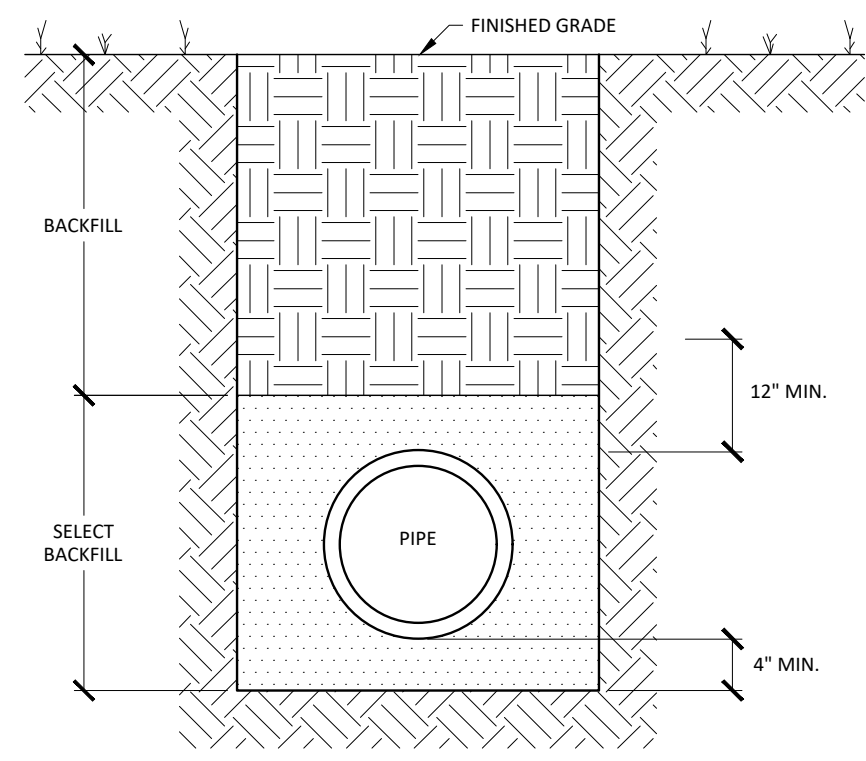
C6.2
Date: May 1, 2023



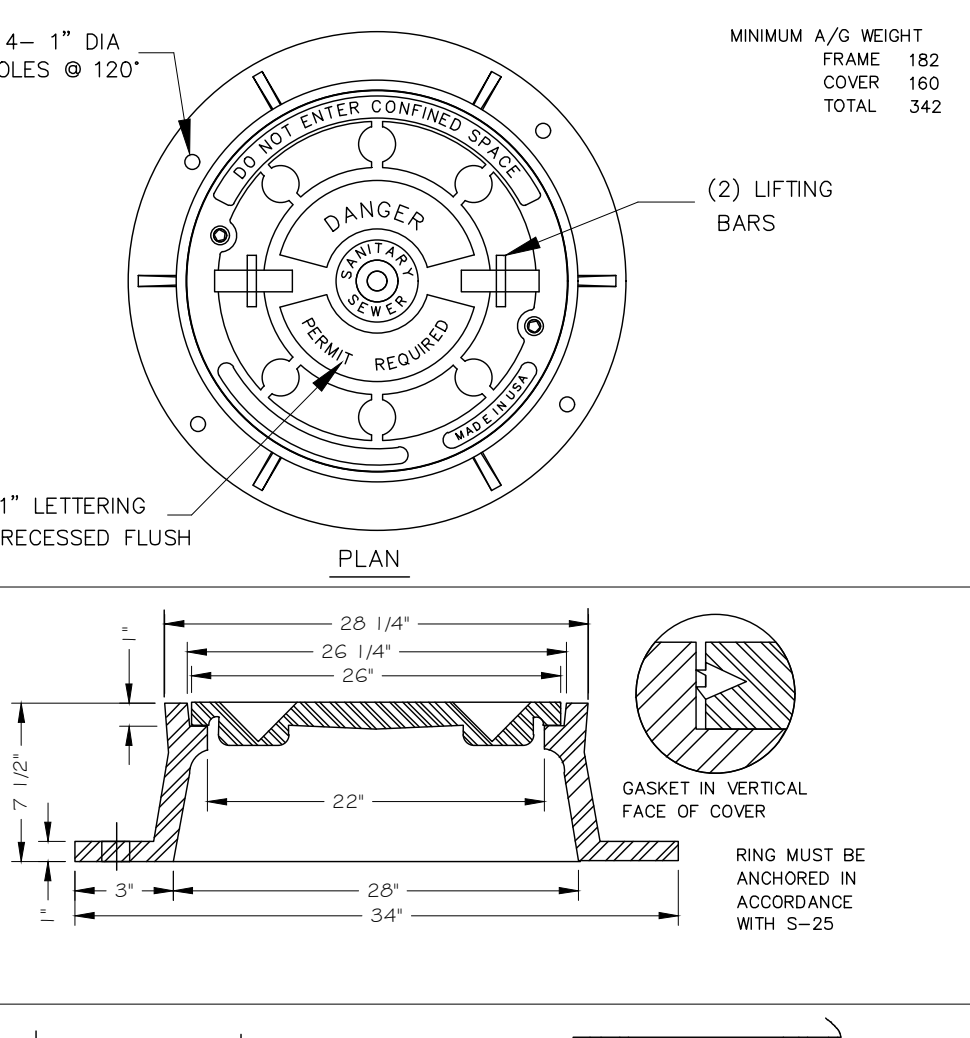
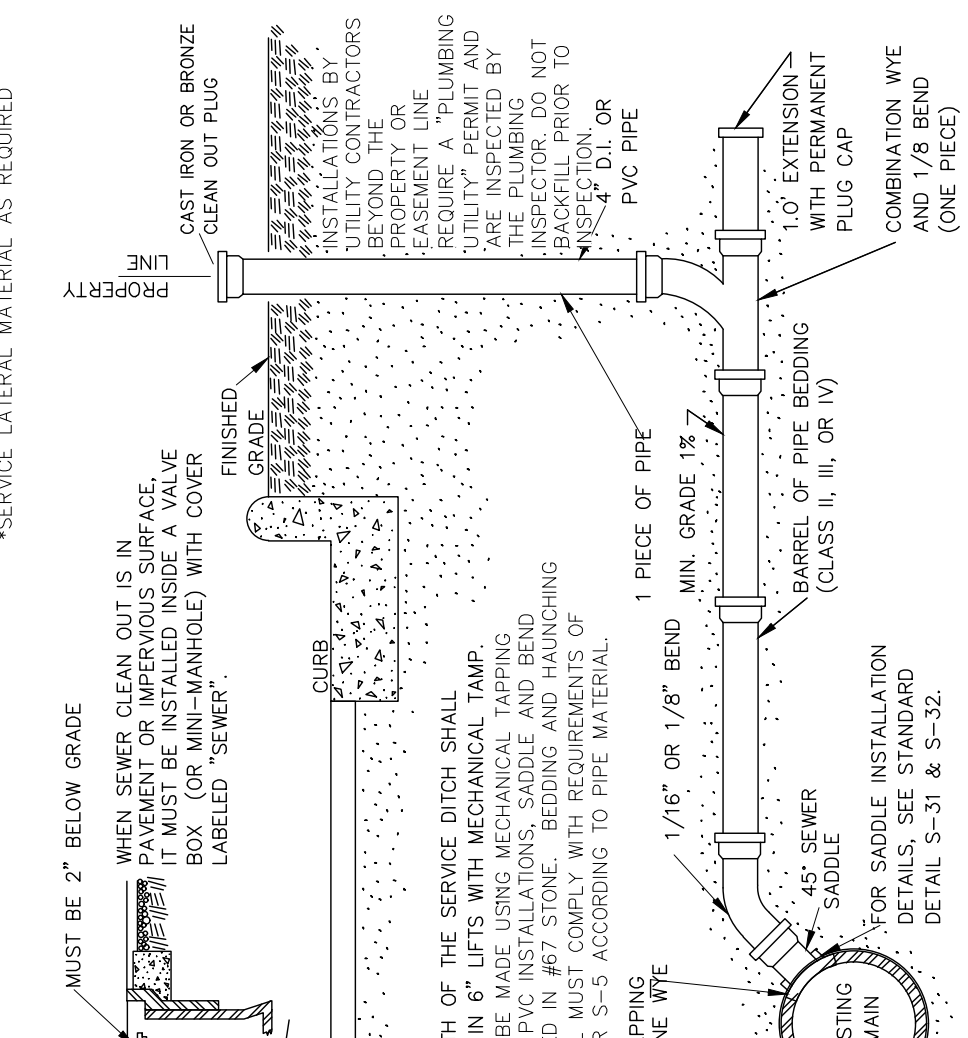
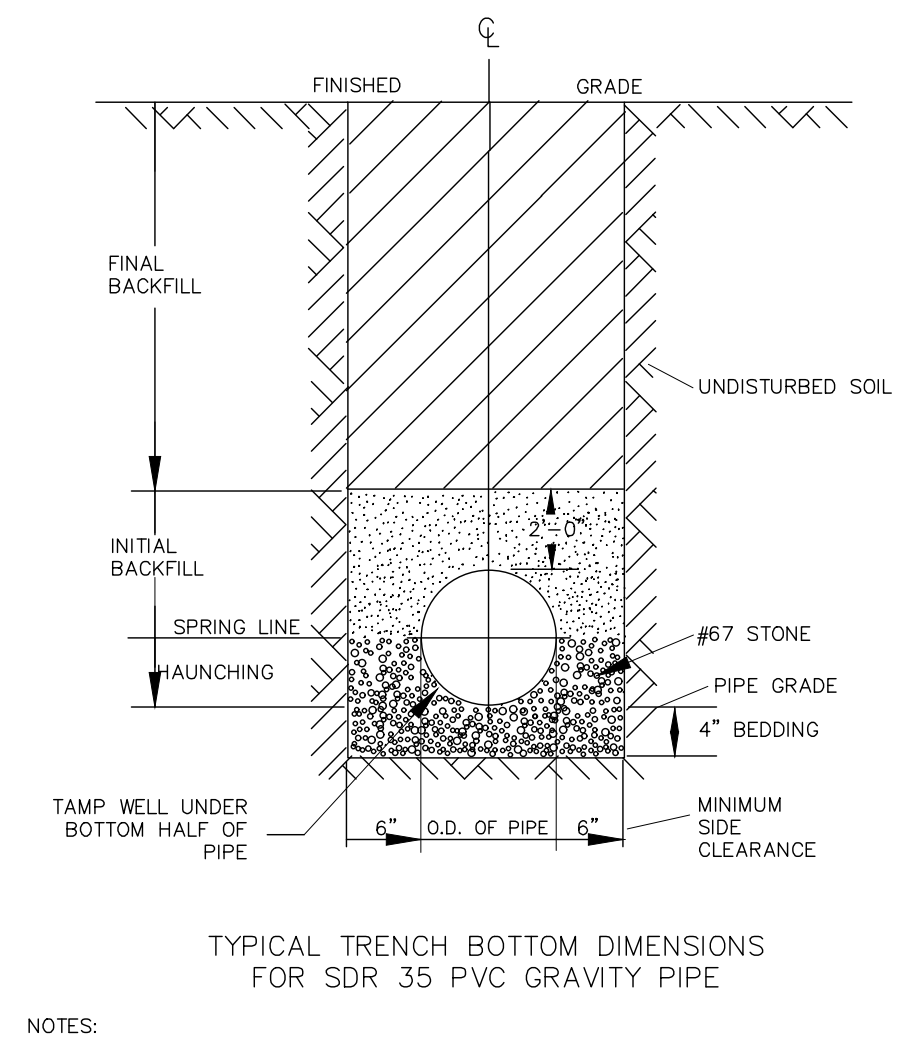
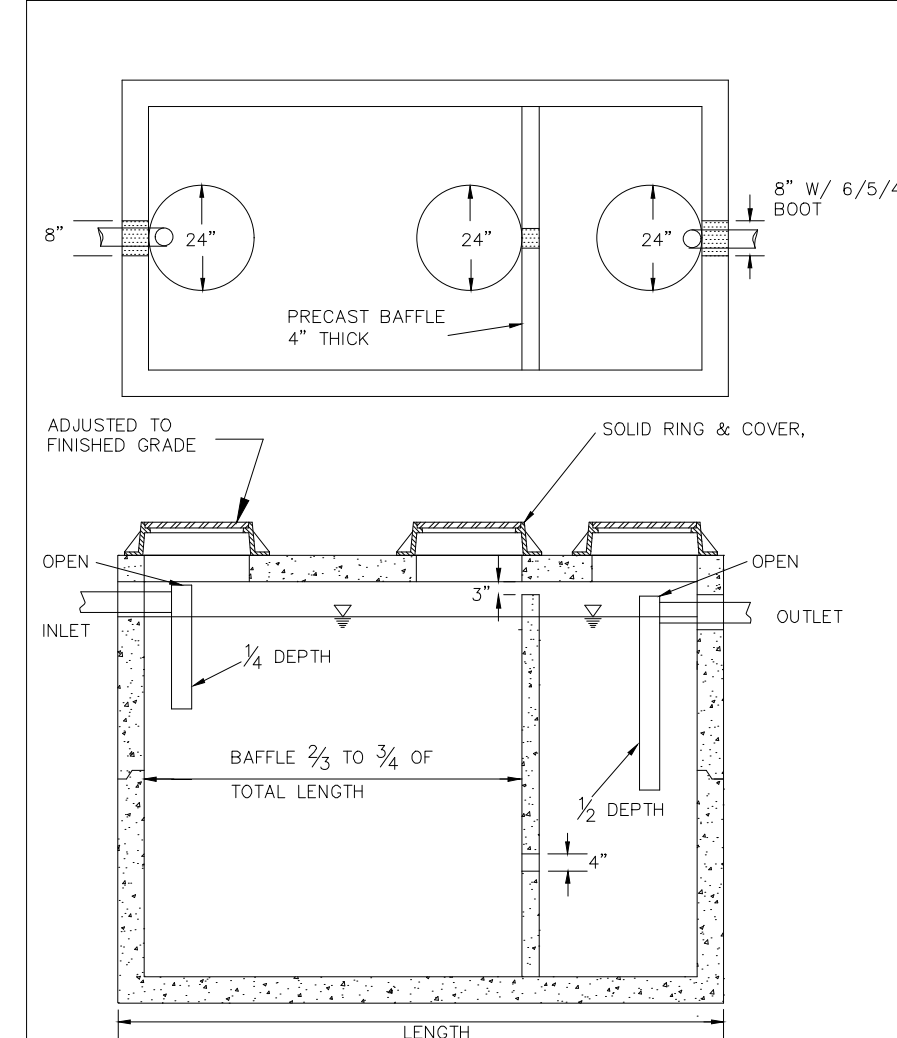
TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC GRAVITY STORM DRAIN & SANITARY SEWER PIPING



TRENCH SECTION FOR THE INSTALLATION OF REINFORCED CONCRETE PIPE



TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC PRESSURE PIPE



NOTES:

1. REINFORCEMENT: H-20 BRIDGE LOADING (TRAFFIC GRADE)
2. CONCRETE: 4000 PSI 9028 DAYS
3. EARTH COVER: 0' TO 5' MAX.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-40	RRH	3/27/04	D.H.L.	6/19/08

LOCALLY AVAILABLE SIZES

INTERCEPTOR CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
500	1000
550	1200
750	1600
1000	
1200	
1500	
2000	
2500	
3000	
4000	
5000	
6000	
8000	

NOTES:

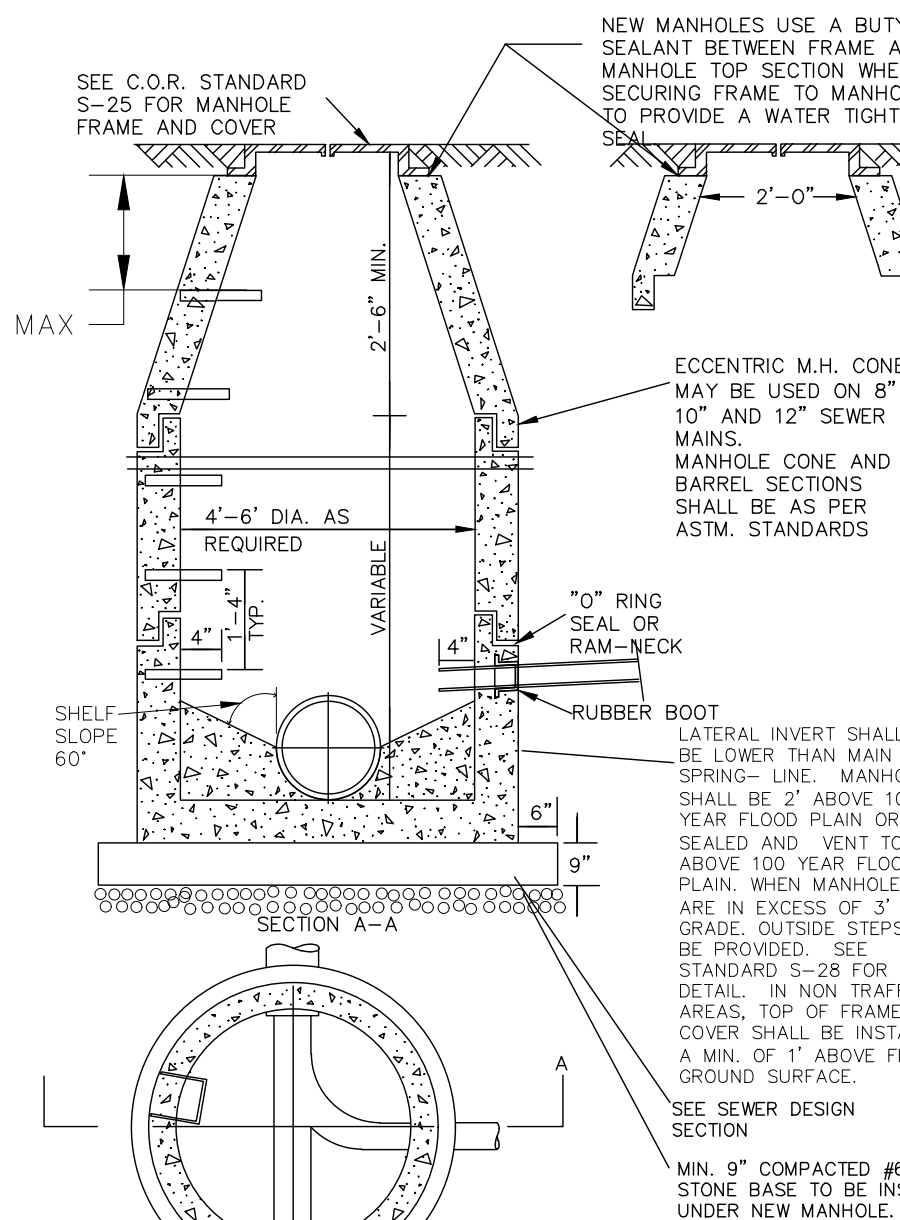
1. BAFFLE WALL LOCATED AT A DISTANCE FROM INLET WALL 2/3 TO 3/4 OF THE TOTAL LENGTH OF THE INTERCEPTOR OR SEPARATOR AS SHOWN ON DETAIL S-40.
2. EACH INTERCEPTOR OR SEPARATOR SHALL HAVE INLET AND OUTLET TEES. THE OUTLET TEE SHALL EXTEND 50% INTO THE LIQUID DEPTH. THE INLET TEE SHALL EXTEND 20% INTO THE LIQUID DEPTH. INLET AND OUTLET TEES MUST BE OPEN TO ALLOW THE COLLECTION OF F.O.G. SAMPLE.
3. ACCESS OPENINGS OVER EACH COMPARTMENT WITHIN THE INTERCEPTOR OR SEPARATOR SHALL BE 24 INCHES IN DIAMETER AND CONTAIN PROX. HOLES. ALL COVERS SHALL BE CONSTRUCTED OF CAST IRON OR EQUIVALENT TRAFFIC BEARING MATERIAL. COVERS MUST EXTEND TO FINISH GRADE AND BE INSTALLED TO EXCLUDE THE ENTRANCE OF STORMWATER INTO THE INTERCEPTOR OR SEPARATOR.
4. FULL SIZE 20# SWEET CLEANOUTS SHALL BE INSTALLED ON THE INLET AND OUTLET SIDES OF THE INTERCEPTOR OR SEPARATOR.
5. INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
6. CONCRETE: 4000 PSI @ 28 DAYS.
7. DESIGN: NO. 218 BUILDING CODE.
8. INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
9. INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR FIBERGLASS SHALL INCLUDE A MINIMUM 5000 PSI TENSILE STRENGTH, 15000 PSI FLEXURAL STRENGTH, AND 800000 PSI TENSILE MODULUS.
10. ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-41	RRH	3/27/04	D.H.L.	6/19/08

NOTES:

1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	RRH	12-2-82	RRH	3-30-00

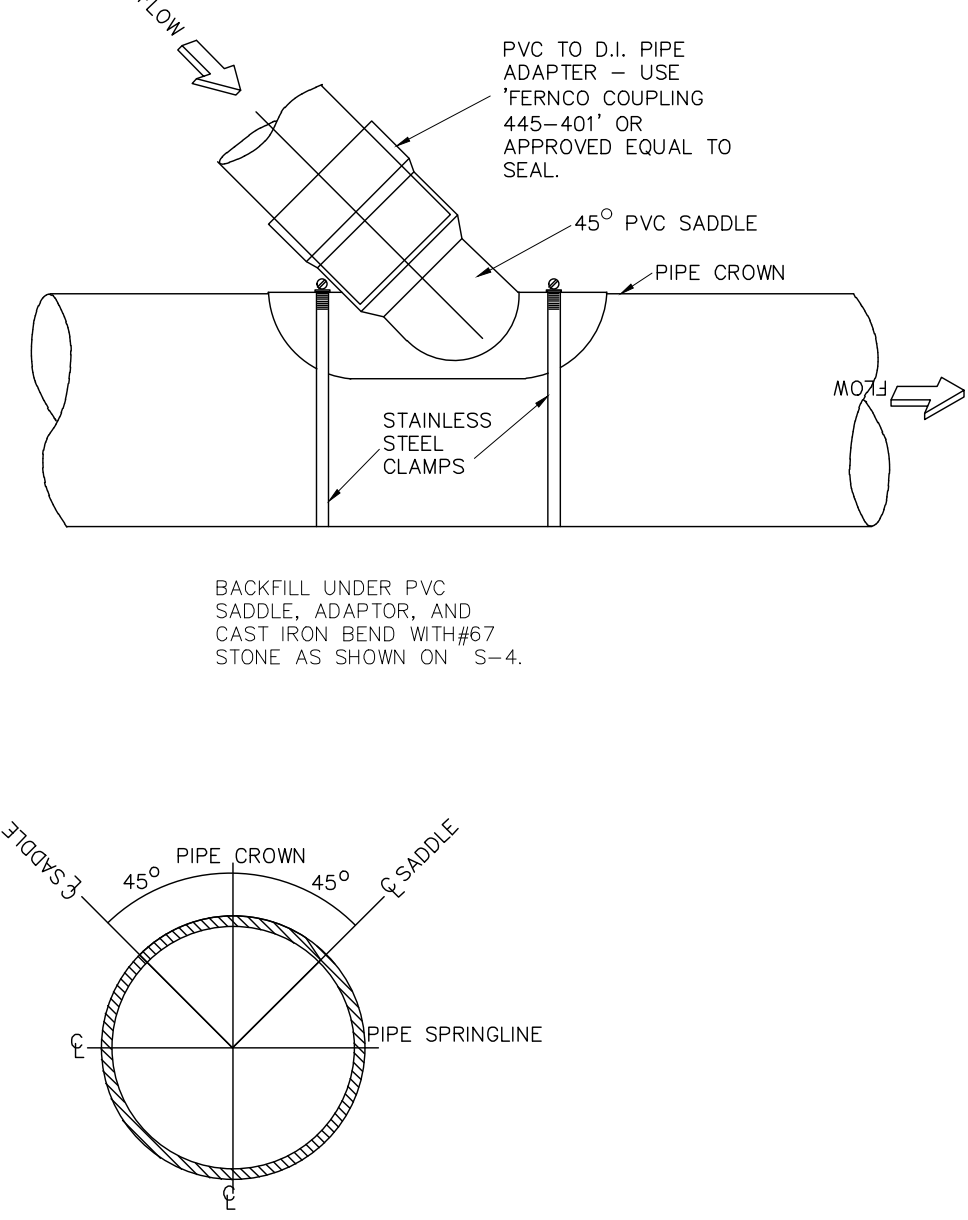


DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	RRH	3-30-00	D.H.L.	6-18-08

NOTES:

1. THE FULL LENGTH OF THE SERVICE DITCH SHALL BE COMPACTED IN 6" LIFTS WITH MECHANICAL TAMP MACHINE. FOR PVC INSTALLATIONS, SADDLE AND BARRIL MUST BE BEDDED IN #67 STONE. BEDDING AND HANDING DETAILS S-41 OR S-42 ACCORDING TO PIPE MATERIAL.
2. 8" DIA. OR 12" TAPPING SADDLE OR IN-LINE WPE.
3. 1" DIA. OR 1/8" BEND MIN. GRADE 12".
4. 1" DIA. OR 1/8" BEND MIN. GRADE 12".
5. 1" DIA. OR 1/8" BEND MIN. GRADE 12".

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30	Y.C.A.	6-92	A.B.B.	6-8-00
	RRH	3-30-00	D.H.L.	6-18-08

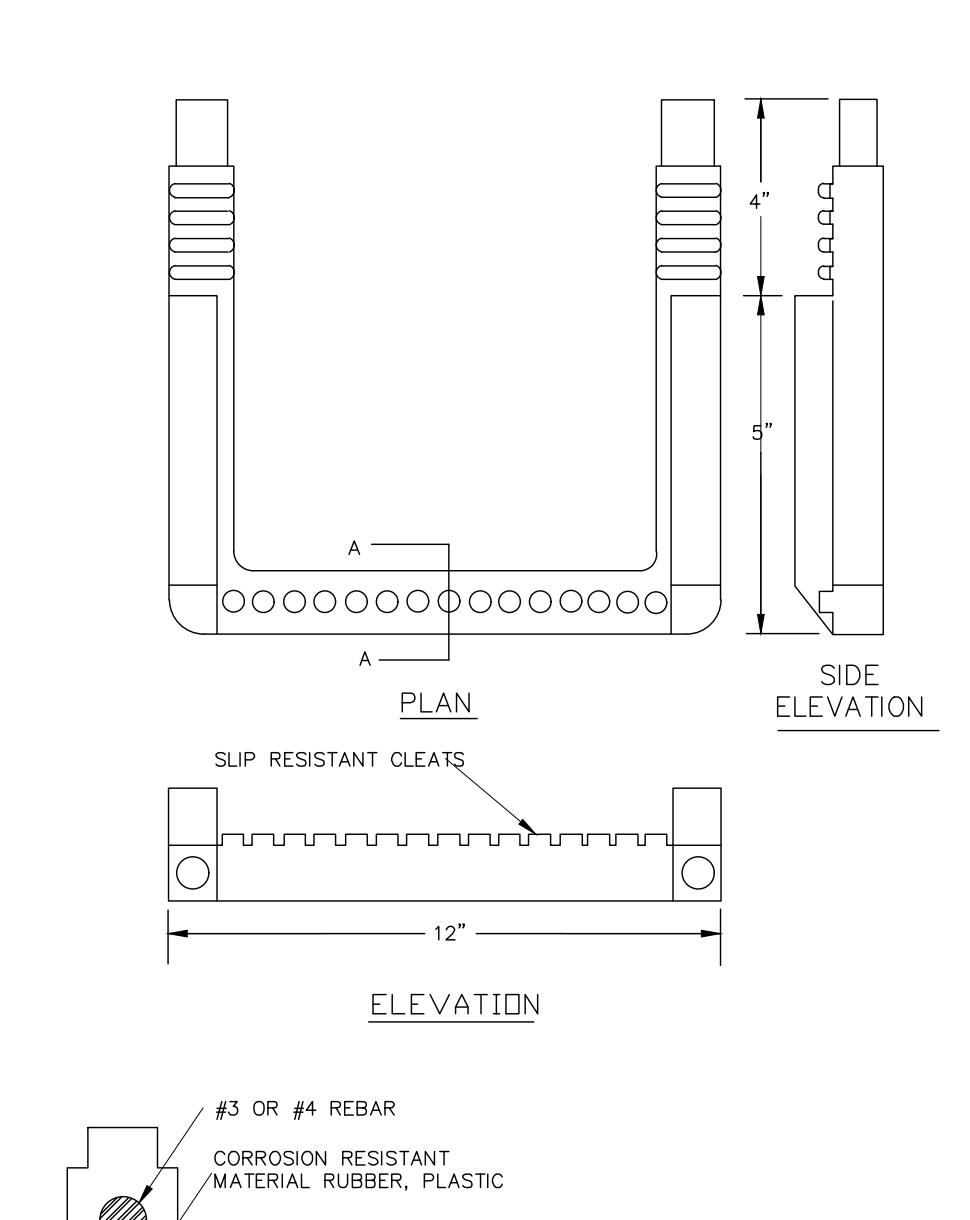


DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-31	RRH	3-1-87		
		3-30-00		

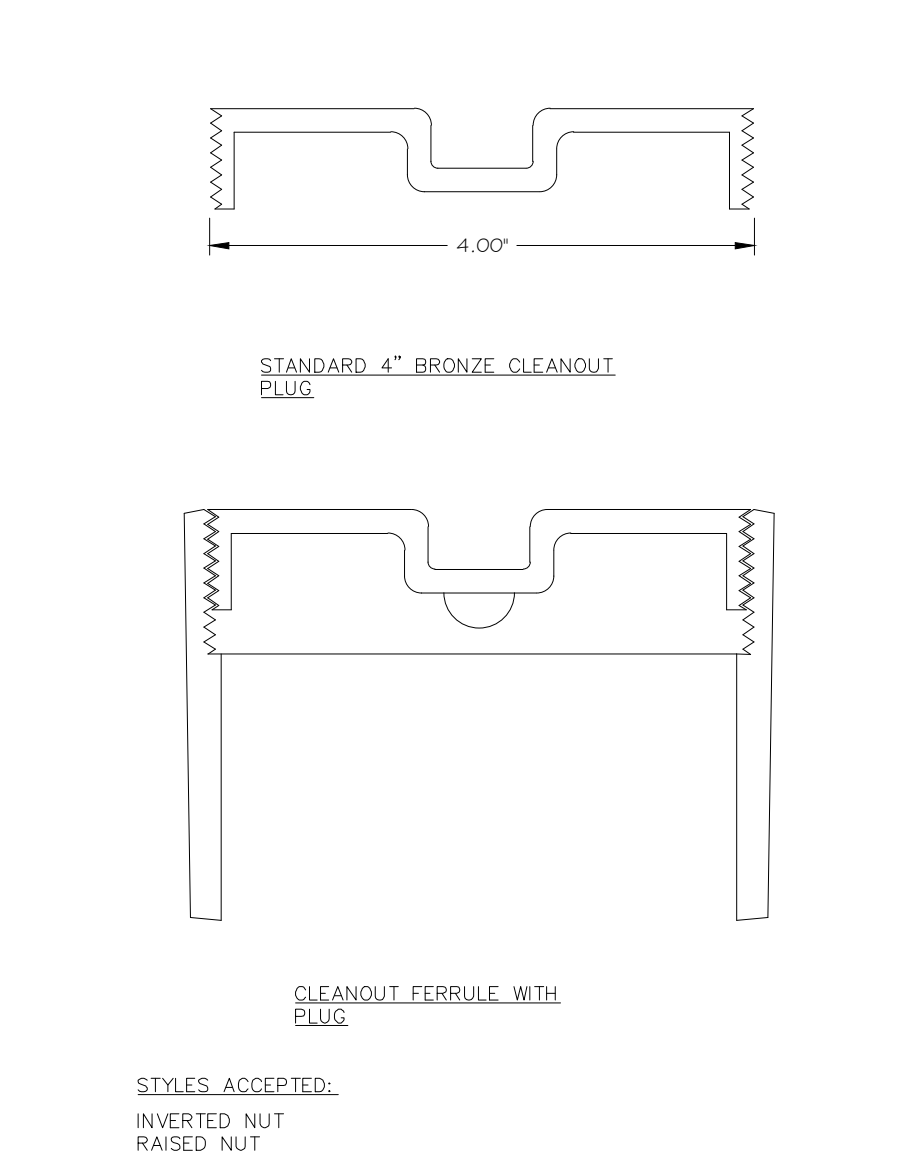
NOTES:

1. IN NC DOT MAINTAINED ROADWAYS ENCRoACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH ASHTO T-99 AS MODIFIED BY NC DOT.
4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH ASHTO T-80 AS MODIFIED BY NC DOT.
5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE FACED.
6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.
9. NO HAND PATCHING ALLOWED.
10. PAVEMENT CUTS WITHIN NC DOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCRoACHMENT PERMIT.

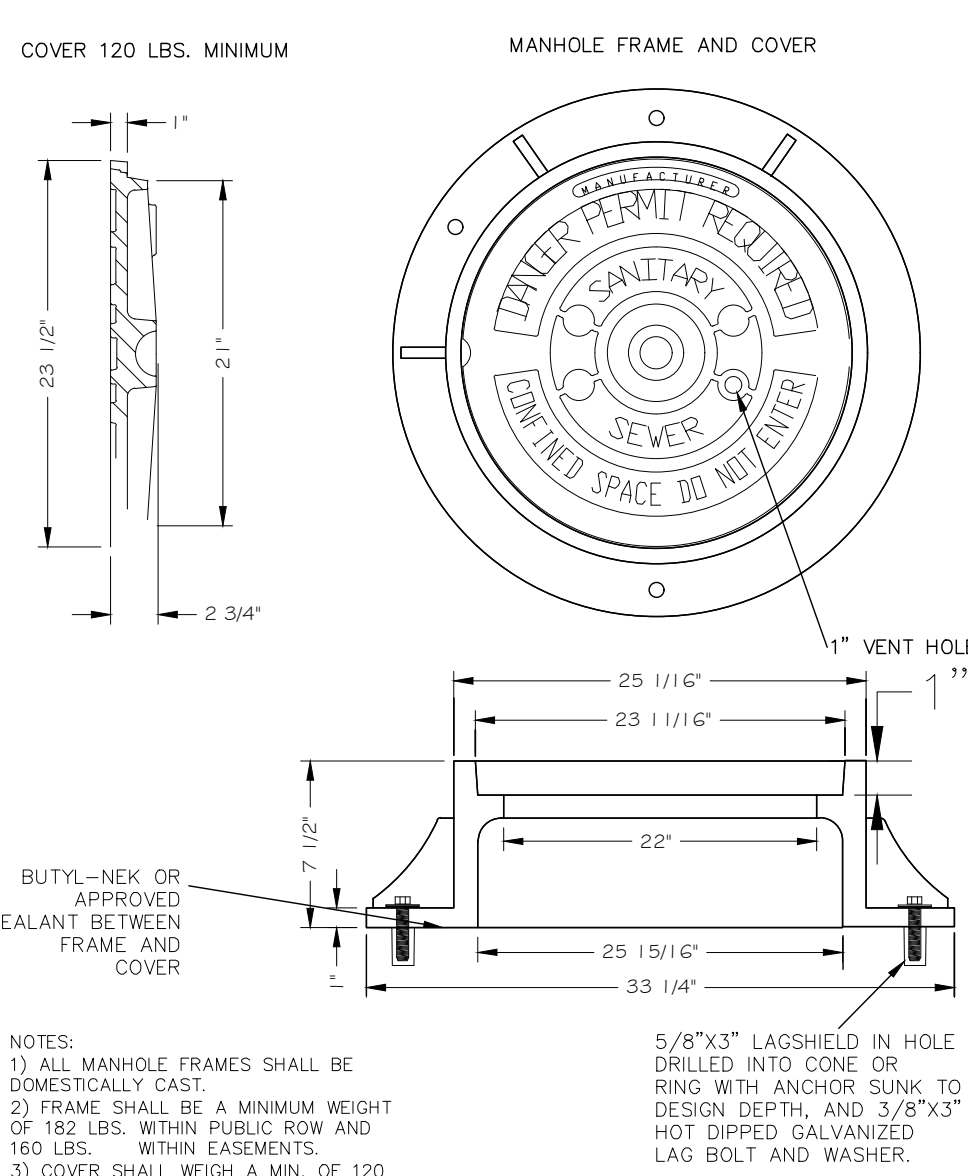
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-26	RRH	3-1-87	RRH	3-30-00
		3-1-87	D.H.L.	6/19/08



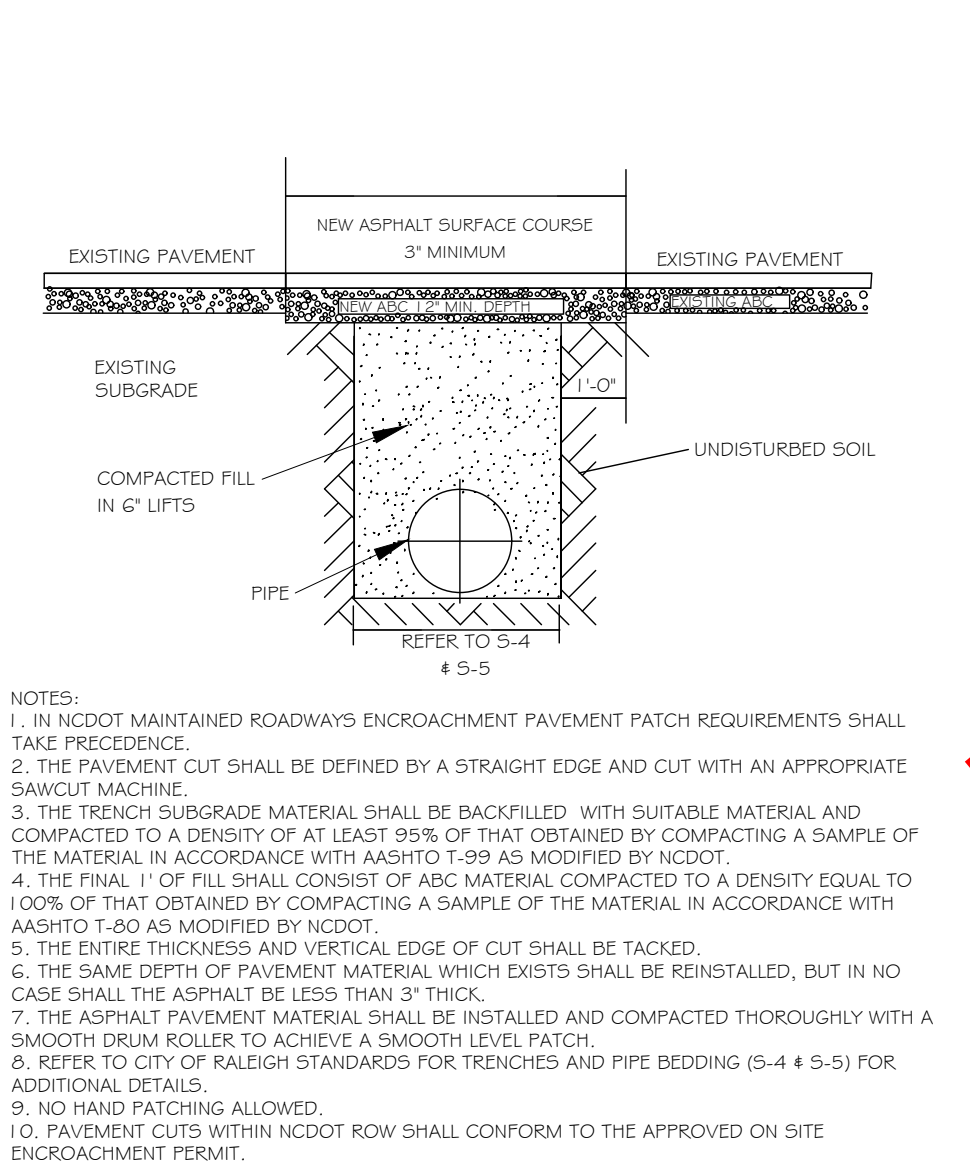
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-28	RRH	3-30-00		



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-27-98	RRH	3-30-00



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25	RRH	3-1-87	A.B.B.	2-21-00
		3-30-00	D.H.L.	6-18-08



DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C.	11-1-99	A.B.B.	4-13-00
	RRH	3-30-00	J.F.S.	10-8-10

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	11-MAY-21	REVISED PER REVIEW & OWNER COMMENTS
2	11-JUNE-21	REVISED PER REVIEW & OWNER COMMENTS
3	11-MAY-23	REVISED PER REVIEW & OWNER COMMENTS

CROSLAND SOUTHEAST
ELEVEN

DETAILS AT WALLBROOK (LOT 11)
Town of Rolesville Project No. SDP 23-04
US 401 Business / S. Main Street & Virginia Water Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
7755-B Chatham Blvd.
Charlotte, NC 27758
(704) 558-0888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLCTGN
Checked By: TGN
Project Number: 22049
Drawing Number: D-1404-SDP

C6.3

Date: May 1, 2023

GENERAL NOTES:

- THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY.
- THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A RAW CLOSURE OF 1:35,900.
- THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON FROM MARCH 16 THROUGH MARCH 19, 2020 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
- ELEVATIONS ARE BASED ON NAVD88 DATUM.
- THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, 1983, 2001 ADJUSTMENT, NAD83(2001).
- THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
- THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
- AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES.
- AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR LANDFILL.
- AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF A CEMETERY.
- AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

SETBACK REQUIREMENTS:

FRONT: 30'
SIDE: 15'
CORNER: 25'
REAR: 35'

(ZONING INFORMATION BASED ON INFORMATION AS SUPPLIED BY CURRENT COUNTY ZONING DEPARTMENT, NO ZONING REPORT OR LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY.)

RECORD LEGAL DESCRIPTION

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 P.M.:

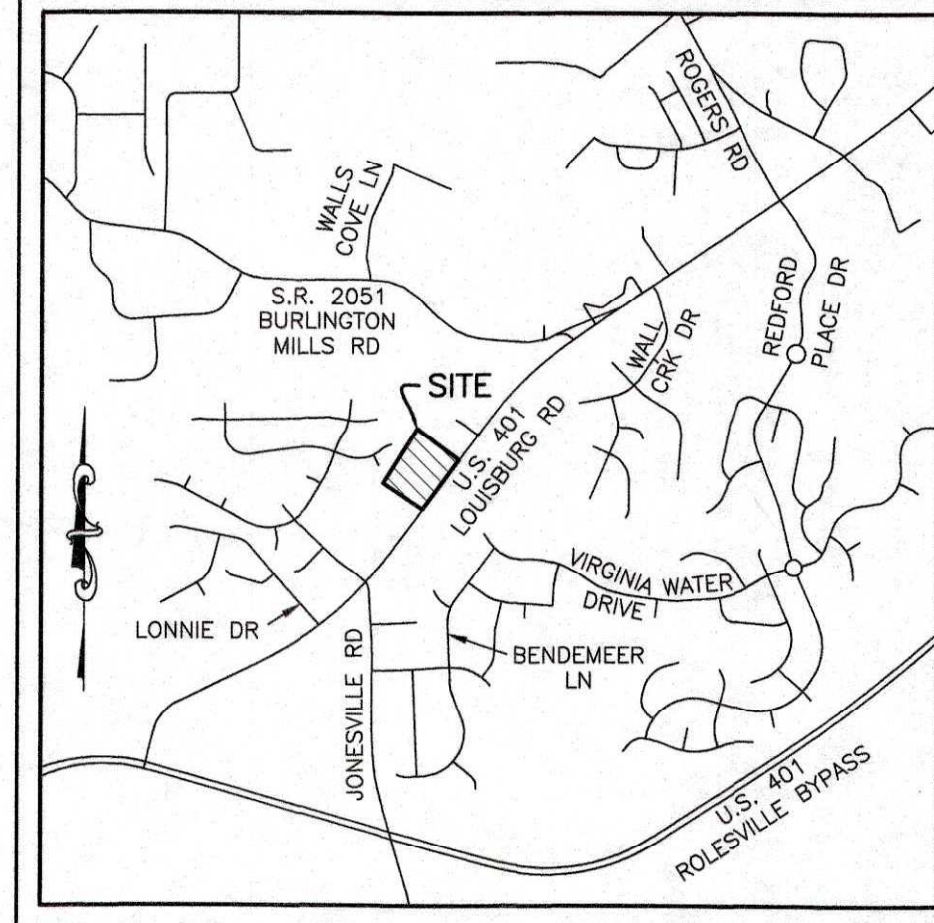
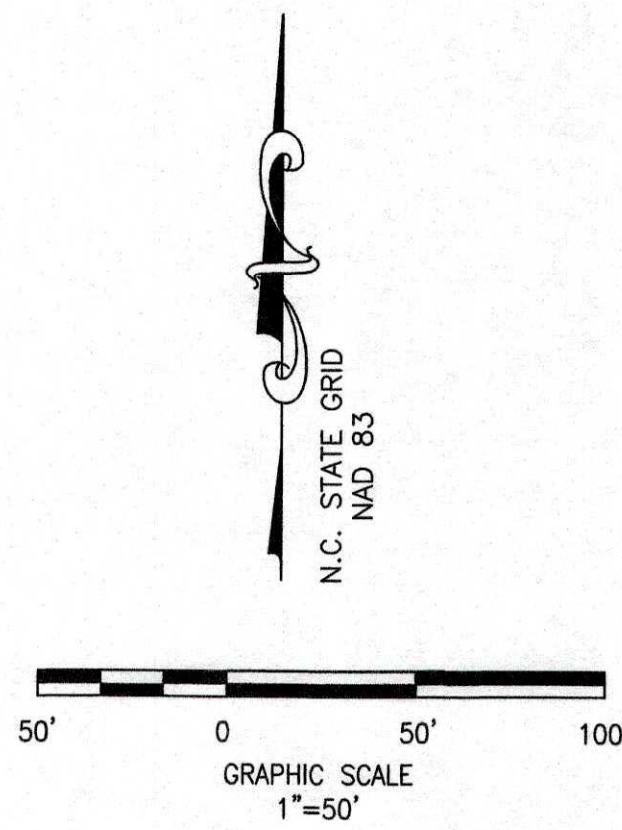
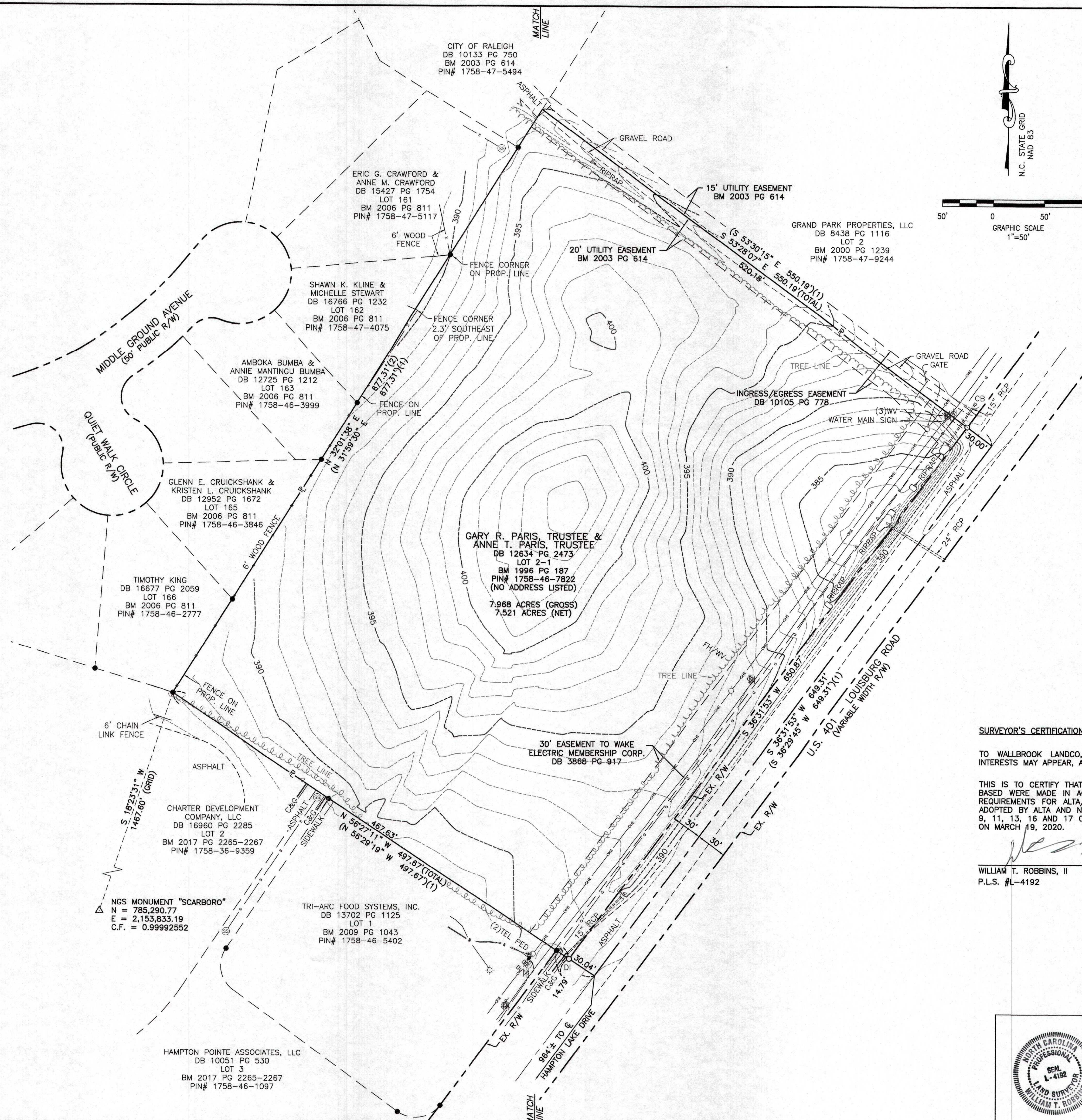
IN THE STATE OF NC, COUNTY OF WAKE,

BEING ALL OF LOT 2-1 OF THAT PLAT ENTITLED "PRELIMINARY SUBDIVISION PLAT AND RECOMBINATION SURVEY FOR TOMMY TWITTY," A COPY OF WHICH IS RECORDED IN BOOK OF MAPS 1996, PAGE 187, WAKE COUNTY REGISTRY.

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 202000244CA2, WITH AN EFFECTIVE DATE OF MARCH 6, 2020 AT 5:00 P.M.:

- (ITEM 3) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO CITY OF RALEIGH RECORDED IN BOOK 10105 AT PAGE 778. [PLOTTED HEREON]
- (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT PAGE 917. [PLOTTED HEREON]
- (ITEM 5) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED HEREON]
- (ITEM 6) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT PAGE 187 SHOWS THE FOLLOWING LOCATED ON THE LAND:
 - OVERHEAD LINE [PLOTTED HEREON]
 - POWER POLE [PLOTTED HEREON]
 - RIGHT OF WAY FOR U.S. HIGHWAY 401 (LOUISBURG ROAD) [PLOTTED HEREON]



VICINITY MAP
SCALE: 1"=2000'

LEGEND

- (1) = RECORD DATA PER BM 1996 PG 187
- (2) = RECORD DATA PER BM 2006 PG 811
- = FOUND IRON PIPE
- = SET IRON PIN
- △ = NGS MONUMENT
- P = PROPERTY LINE
- R/W = RIGHT OF WAY
- CB = CATCH BASIN
- C&G = CURB AND GUTTER
- CL = CENTERLINE
- DI = DROP INLET
- FH = FIRE HYDRANT
- LP = LIGHT POLE
- PP = POWER POLE
- RCP = REINFORCED CONCRETE PIPE
- = SIGN
- = SANITARY SEWER MANHOLE
- = TELEPHONE PEDESTAL
- WM = WATER METER
- WV = WATER VALVE
- = ELECTRIC LINE
- = GAS LINE
- = OVERHEAD ELECTRIC LINE
- = SANITARY SEWER LINE
- = TELEPHONE LINE
- = WATER LINE

SURVEYOR'S CERTIFICATION:

TO WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 19, 2020.

William T. Robbins, II
WILLIAM T. ROBBINS, II
P.L.S. #L-4192
DATE: 2/28/2020

JMT JOHNSON, MIRMIRAN & THOMPSON
Engineering A Brighter Future®
9201 Arbutum Parkway Suite 310 Richmond, Virginia 23236
PHONE: (804)-323-9900 FAX: (804)-323-0596
EMAIL: jmtva@jmt-engineering.com

REVISION #	DATE	REASON FOR REVISION

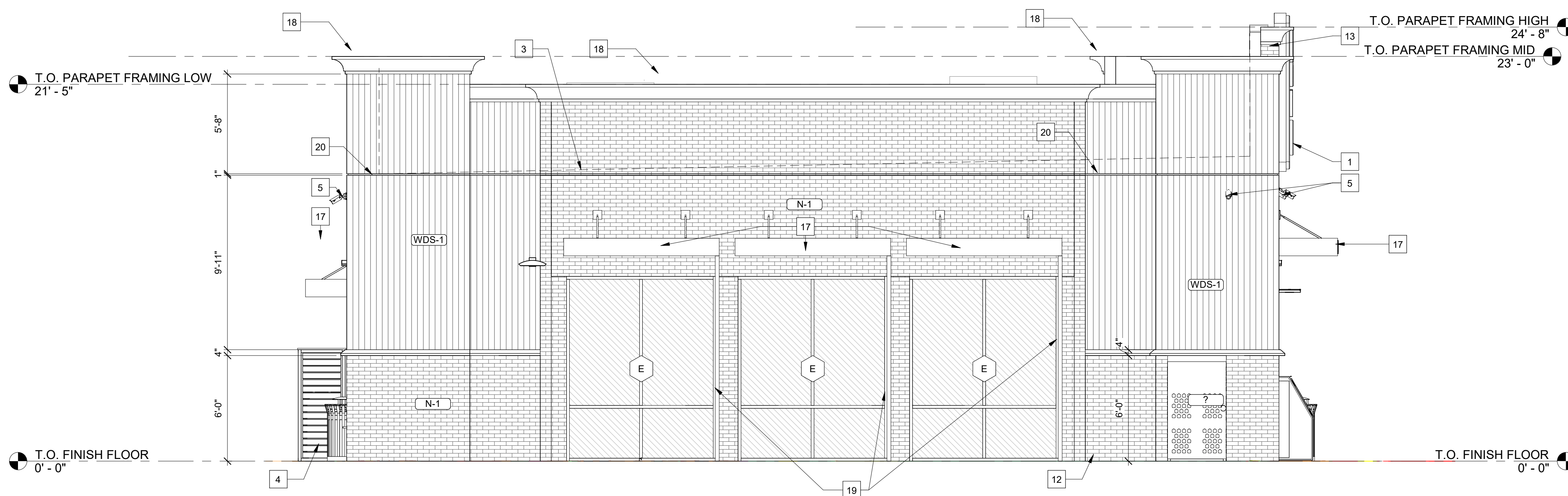


ALTA/NSPS LAND TITLE SURVEY
PREPARED FOR
WALLBROOK LANDCO, LLC
WAKE FOREST TOWNSHIP
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
DRAWN BY: JSZ PROJECT#: JMT# 20-00915-001
CHECKED BY: WTR CONTRACT#: DATE: 03/28/2020 SCALE: 1"=50' SHEET 1 OF 1

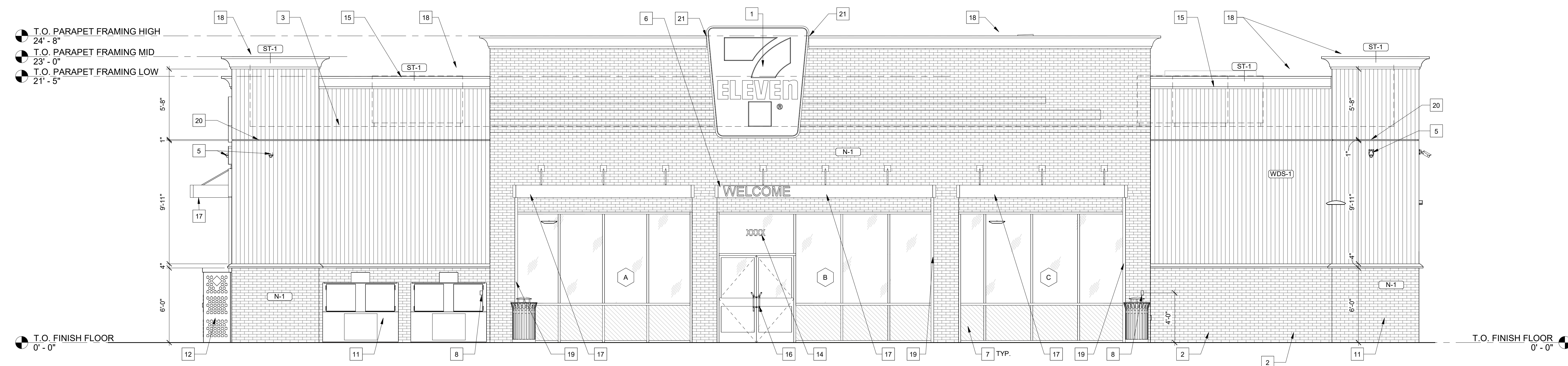
GENERAL NOTES	
A.	SIGNAGE UNDER SEPARATE PERMIT AND SHOWN FOR GENERAL REFERENCE AND COORDINATION PURPOSED ONLY. REFER TO APPROVED SIGNAGE DRAWINGS BY SIGNAGE COMPANY.
B.	CONTRACTOR TO SUPPLY REQUIRED POWER AND CONNECTION TO ALL SIGNAGE. COORDINATE WITH SIGNAGE COMPANY.

KEYNOTES	
1	INTERNALLY ILLUMINATED SIGNAGE BY SIGNAGE VENDOR. PROVIDE BLOCKING AS REQUIRED FOR THROUGH-T CONNECTIONS. REF. ELECTRICAL FOR POWER REQUIREMENTS.
2	ICE MERCHANT/SER (3RD PARTY VENDOR). UNIT SHALL NOT BLOCK STOREFRONT. UNIT PLACED AGAINST WALL.
3	ROOF LINE BEYOND, TYP.
4	CO2 TANK/CAGE
5	SECURITY CAMERA. REF. ELECTRICAL LOW VOLTAGE PLAN FOR ADDITIONAL INFORMATION.
6	VINYL SIGNAGE BY SIGNAGE VENDOR.
7	3M WINDOW FILM AT LEAN BAR. REF. EQ SHEETS.
8	EMERGENCY SHUT-OFF FOR FUEL DISPENSERS MOUNTED AT 48" A.F.F.
10	ELECTRICAL OUTLET MOUNTED AT 40" A.F.F. FOR FUTURE AMAZON LOCKERS. REF. ELECTRICAL.
11	EXTERIOR ELECTRICAL OUTLET MOUNTED AT 24" A.F.F.. REF. ELECTRICAL.
12	PROPANE (3RD PARTY VENDOR)
13	NICHHA FINISH TO WRAP END OF PARAPET WALL.
14	6" WHITE VINYL STREET ADDRESS. REF. SHEET EQ1.0.
15	RTU. REF. MECHANICAL.
16	EXTERIOR ALUMINUM STOREFRONT DOOR & FRAME. TYP.. REF. SHEET A6.0.
17	PRE-FAB METAL CANOPY. REF TO EXTERIOR FINISH SCHEDULE
18	20 GA. PRE-FINISHED METAL COPING. REF. TO EXTERIOR FINISH SCHEDULE
19	CANOPY DOWNSPOUT. PAINT TO MATCH CANOPY FINISH (MATTE BLACK). TYP.
20	NICHHA HORIZONTAL COMPRESSION JOINT
21	GC TO COORDINATE OPENING IN CORNICE WITH SIGNAGE INSTALLATION FOR CLEAN FIT AND FINISH.

REVISIONS		
NO.	DATE	DESCRIPTION



2
A3.0 EXTERIOR BUILDING - WEST
1/4" = 1'-0"



1
A3.0 EXTERIOR BUILDING - SOUTH
1/4" = 1'-0"

7- ELEVEN 9350 CST
748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



Architect Name - RYAN M. FAUST
Architect Number - 14521

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Drawing Size: 30 x 42
Project #: 22050
Drawn By: JAM
Checked By: CCMB

Title:
EXTERIOR ELEVATIONS

Sheet Number:
A3.0

Date: 01/26/2024

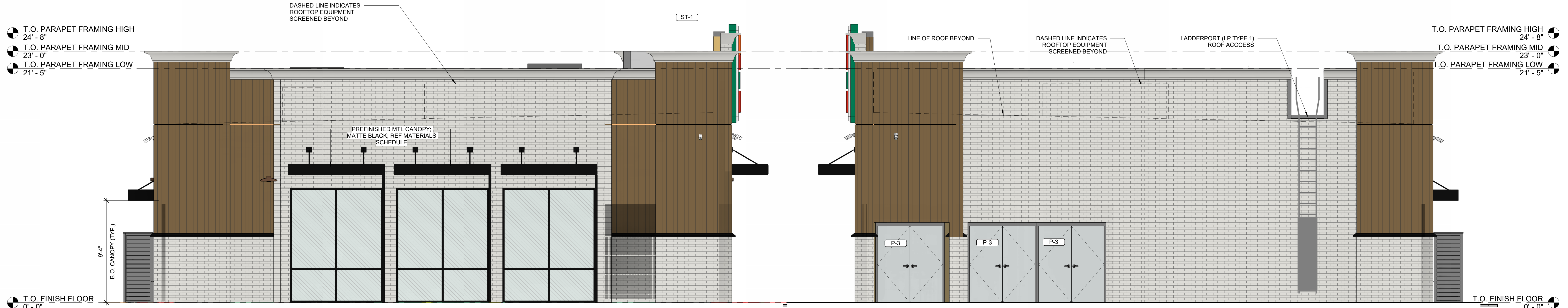
REVISIONS

NO. DATE DESCRIPTION

EXTERIOR MATERIALS SCHEDULE					
CODE	DESCRIPTION	COLOR	MANUFACTURER	MODEL	COMMENTS
FIBER CEMENT PANEL					
FC-2	FIBER CEMENT PANELS - VINTAGE BRICK		NICHHA	SHALE BROWN	PAINTED SW7005
N-1	FIBER CEMENT PANELS - VINTAGE BRICK		NICHHA	AWP 3030	PAINTED P-1
METAL					
MT-3	PRE-FINISHED ALUMINUM CANOPY	MATTE BLACK	MAPES ARCHITECTURAL CANOPIES	MAPES LUMINSHADE CANOPY	MATTE BLACK BAKED ENAMEL WITH REAR GUTTER CONNECTIONS
PAINT					
P-1	EXTERIOR UTILITIES	PURE WHITE	SHERWIN WILLIAMS	SW7005	SEE PAINT SCHEDULE FOR ADDITIONAL INFORMATION
P-3			SHERWIN WILLIAMS		SEE PAINT SCHEDULE FOR ADDITIONAL INFORMATION
ROOFING					
MR-1	MEMBRANE ROOFING SYSTEM	WHITE	DURO-LAST	WHITE 40MIL SINGLE-PLY PVC ROOFING MEMBRANE	
STOREFRONT					
S-1	ALUMINUM STOREFRONT FRAMING	#29 BLACK	KAWNEER	451T VG	

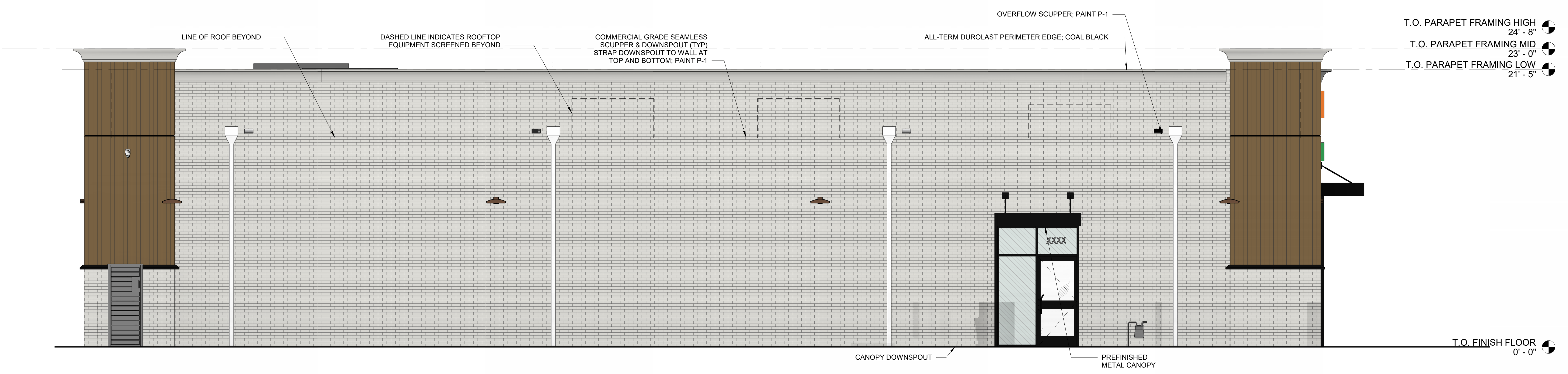


4 EXTERIOR BUILDING - SOUTH COLOR
1/4" = 1'-0"



3 ELEVATION - FACING EAST
1/4" = 1'-0"

2 ELEVATION - FACING WEST
1/4" = 1'-0"



1 EXTERIOR BUILDING - NORTH COLOR
1/4" = 1'-0"

7- ELEVEN 9350 CST

748 SOUTH MAIN STREET
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Drawing Size: 30 x 42
Project #: 22050
Drawn By: JAM
Checked By: CCMB

Title:
EXTERIOR COLORED ELEVATIONS

Sheet Number:
R1.00

Date: 01/26/2024

EXTERIOR MATERIALS SCHEDULE					
CODE	DESCRIPTION	COLOR	MANUFACTURER	MODEL	COMMENTS
FIBER CEMENT PANEL					
FC-2	FIBER CEMENT PANELS - VINTAGE BRICK		NICHIHA	SHALE BROWN	PAINTED SW7005
N-1	FIBER CEMENT PANELS - VINTAGE BRICK		NICHIHA	AWP 3030	PAINTED P-1
METAL					
MT-3	PRE-FINISHED ALUMINUM CANOPY	MATTE BLACK	MAPES ARCHITECTURAL CANOPIES	MAPES LUMINSHADE CANOPY	MATTE BLACK BAKED ENAMEL WITH REAR GUTTER CONNECTIONS
PAINT					
P-1	EXTERIOR UTILITIES	PURE WHITE	SHERWIN WILLIAMS	SW7005	SEE PAINT SCHEDULE FOR ADDITIONAL INFORMATION
P-3			SHERWIN WILLIAMS		SEE PAINT SCHEDULE FOR ADDITIONAL INFORMATION
ROOFING					
MR-1	MEMBRANE ROOFING SYSTEM	WHITE	DURO-LAST	WHITE 40MIL SINGLE-PLY PVC ROOFING MEMBRANE	
STOREFRONT					
S-1	ALUMINUM STOREFRONT FRAMING	#29 BLACK	KAWNEER	451T VG	

buf
STUDIO

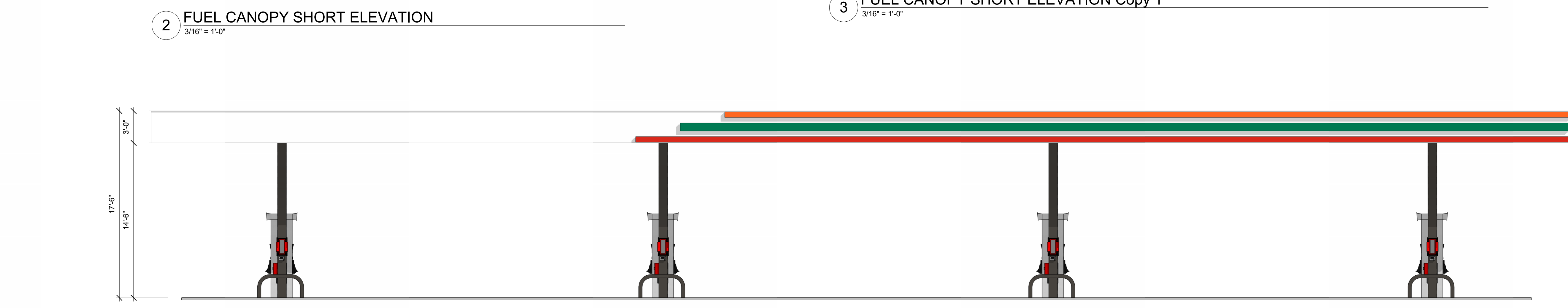
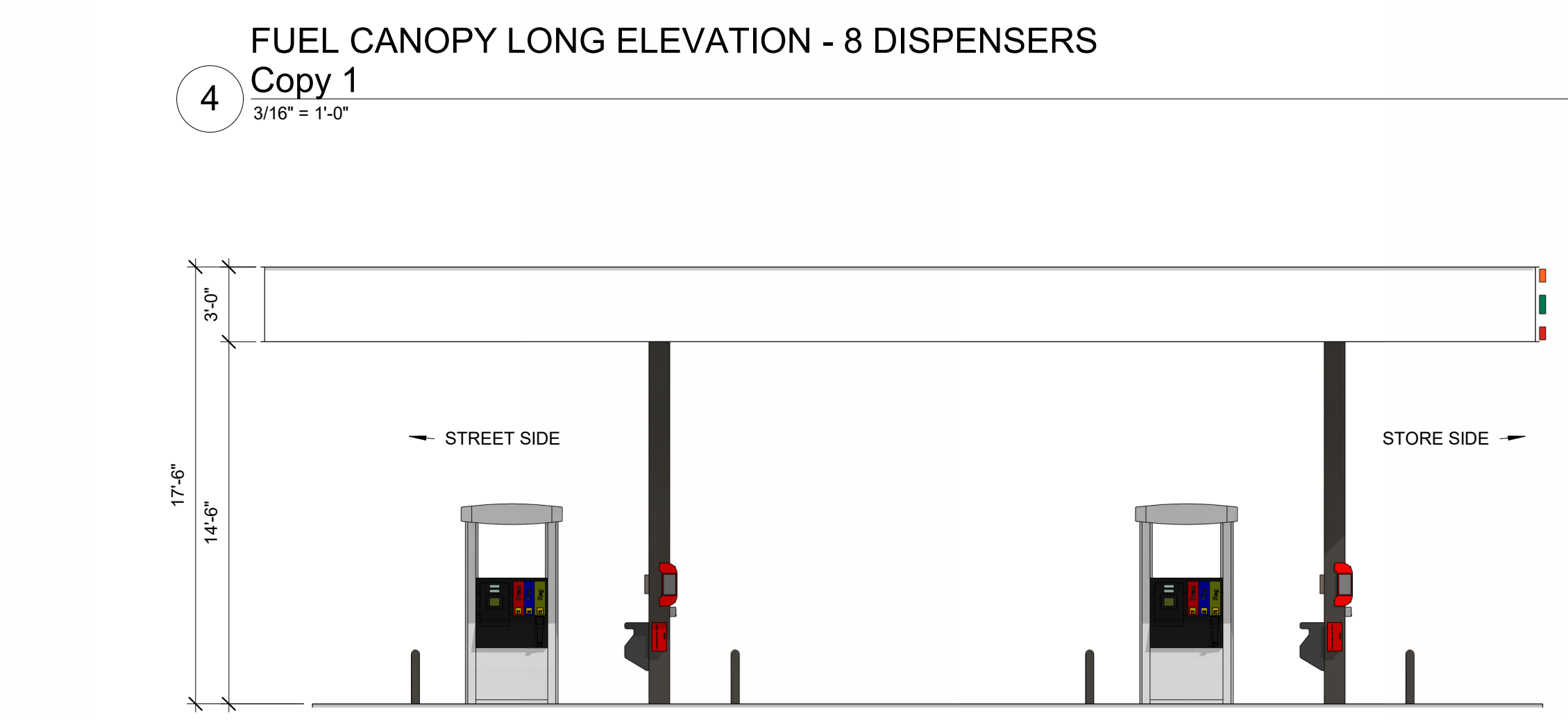
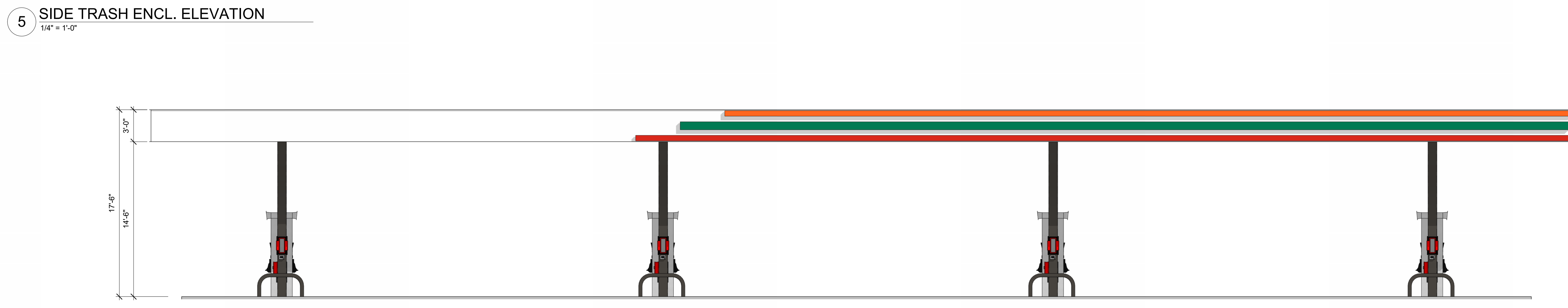
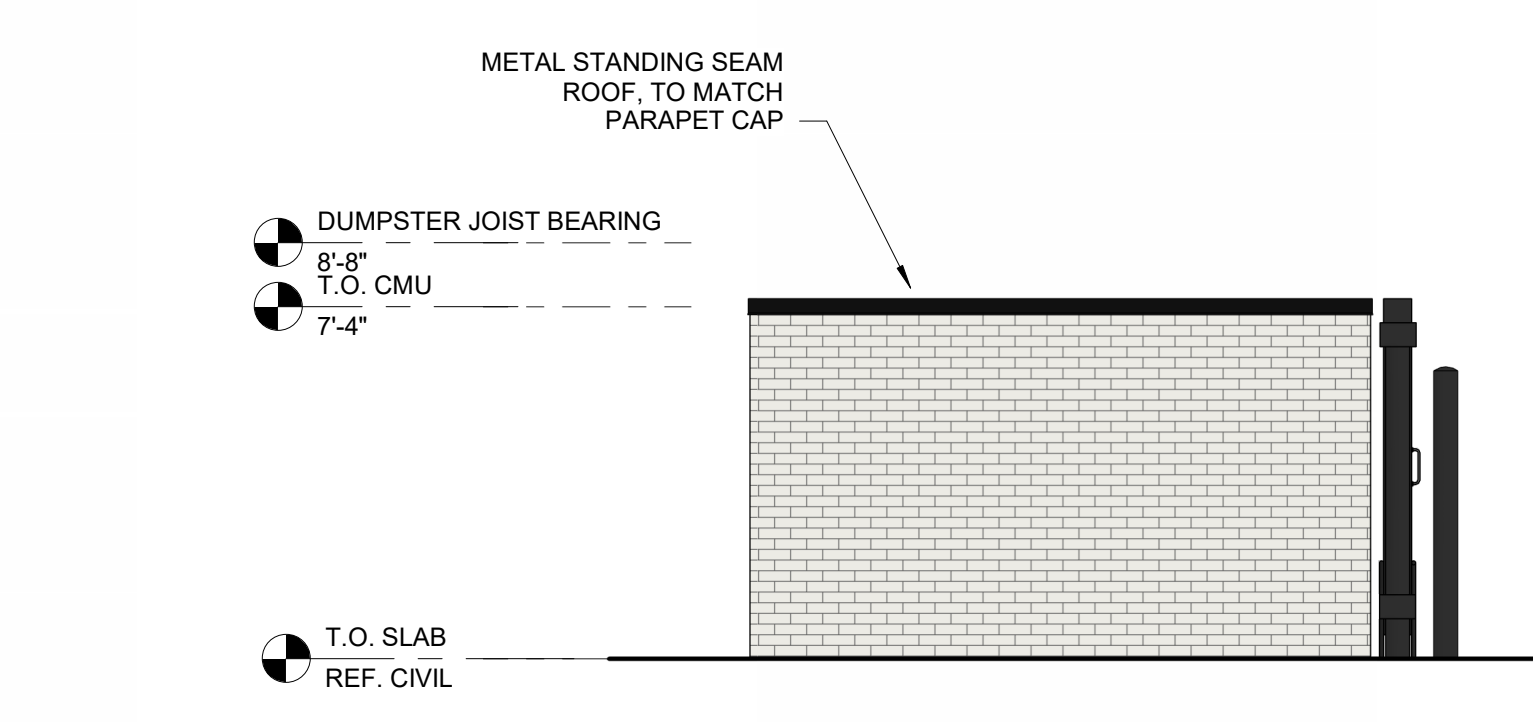
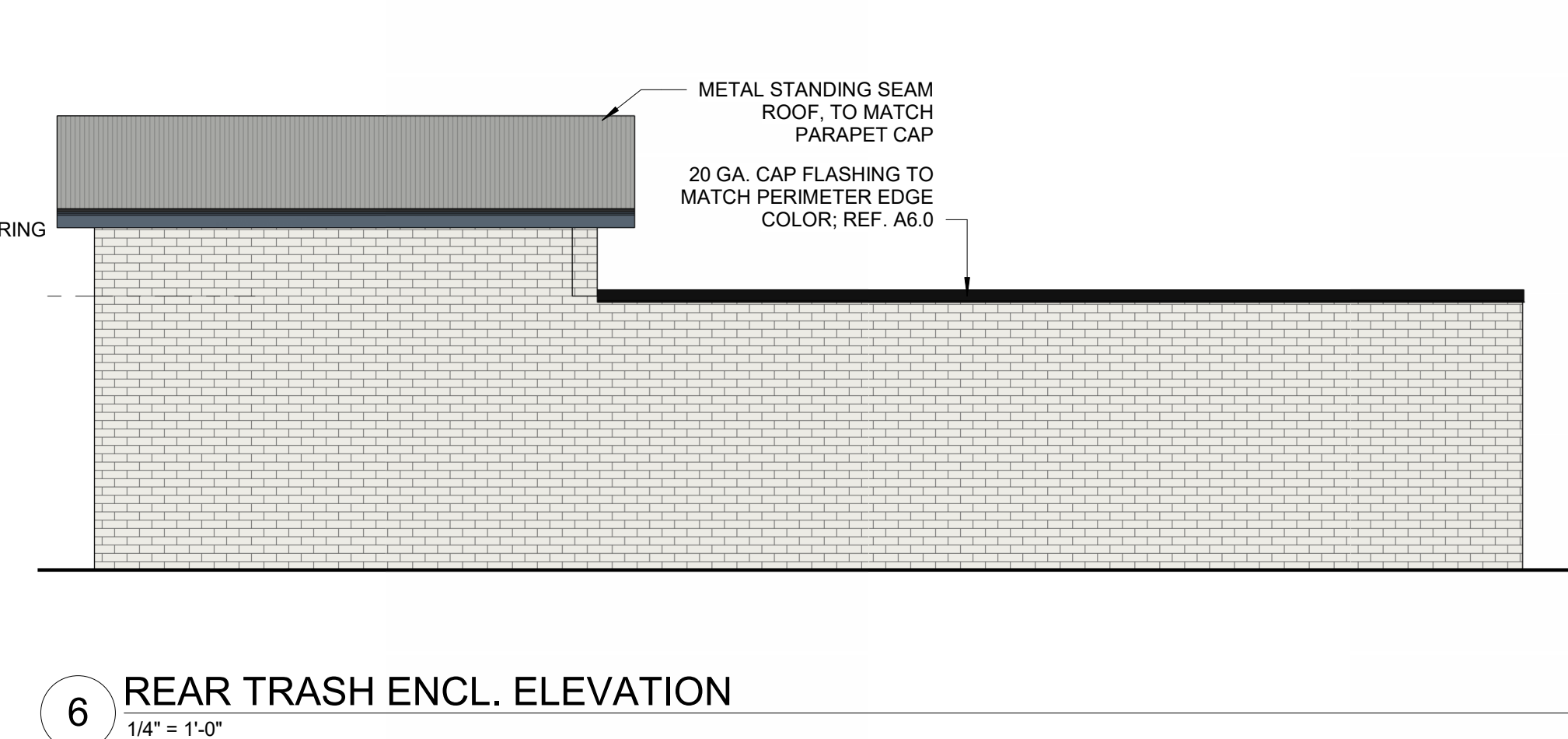
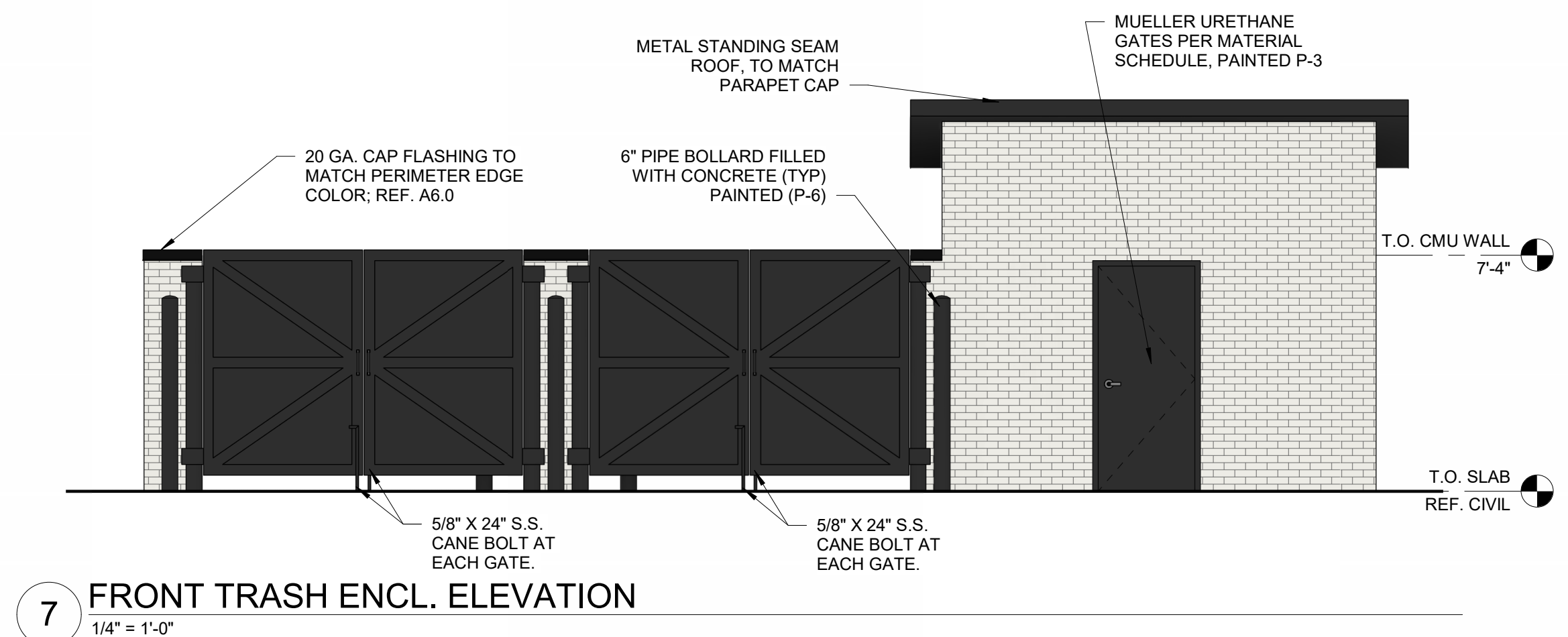
702 SE 5TH ST. SUITE 50
BENTONVILLE, AR 72712
TEL: 479.579.9959

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Contractor is responsible for confirming and correlating dimensions at job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

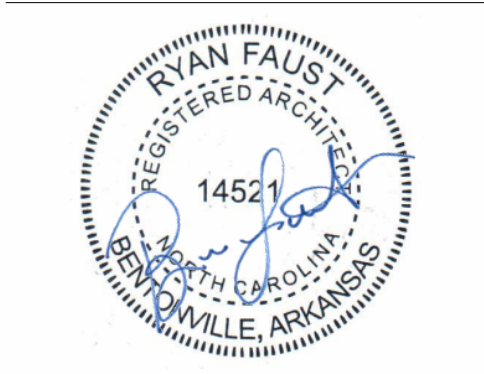
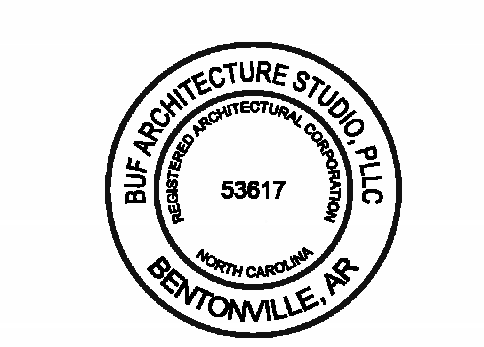
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REVISIONS	
NO.	DATE



7- ELEVEN 9350 CST

748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



Architect Name - RYAN M. FAUST
Architect Number - 14521

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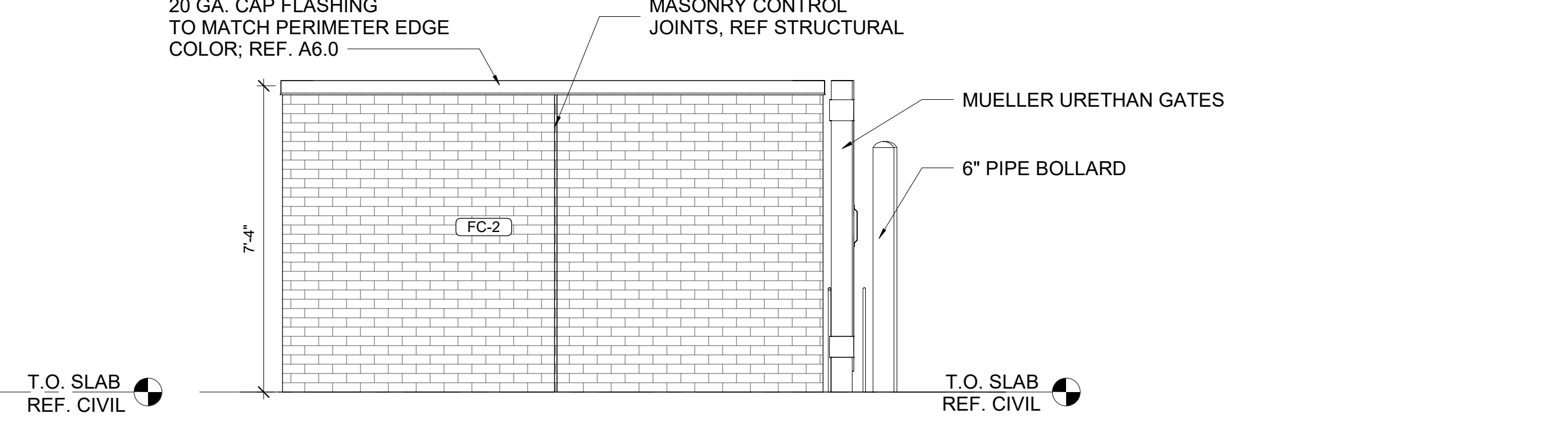
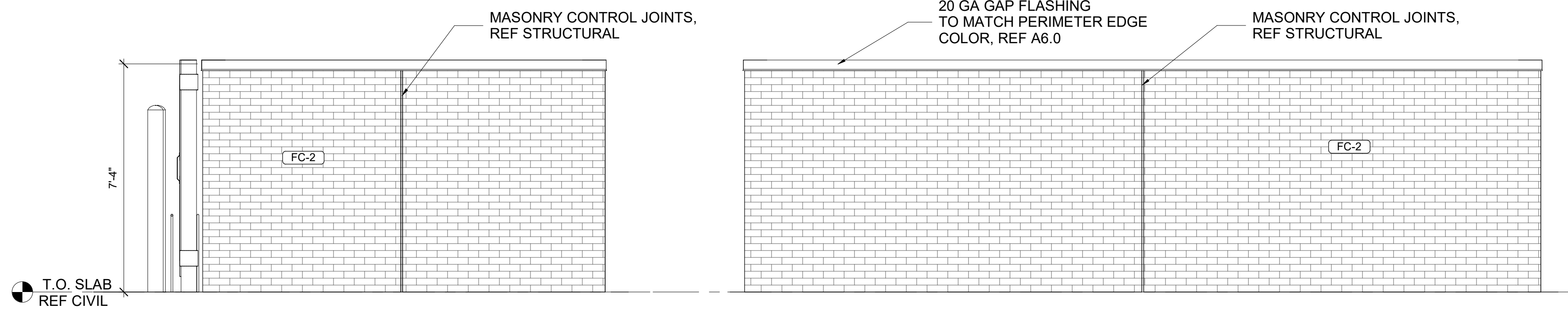
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Drawn By: JAM
Checked By: CCMB

Title:
EXTERIOR COLORED ELEVATIONS

Sheet Number:
R1.01

Date: 01/26/2024

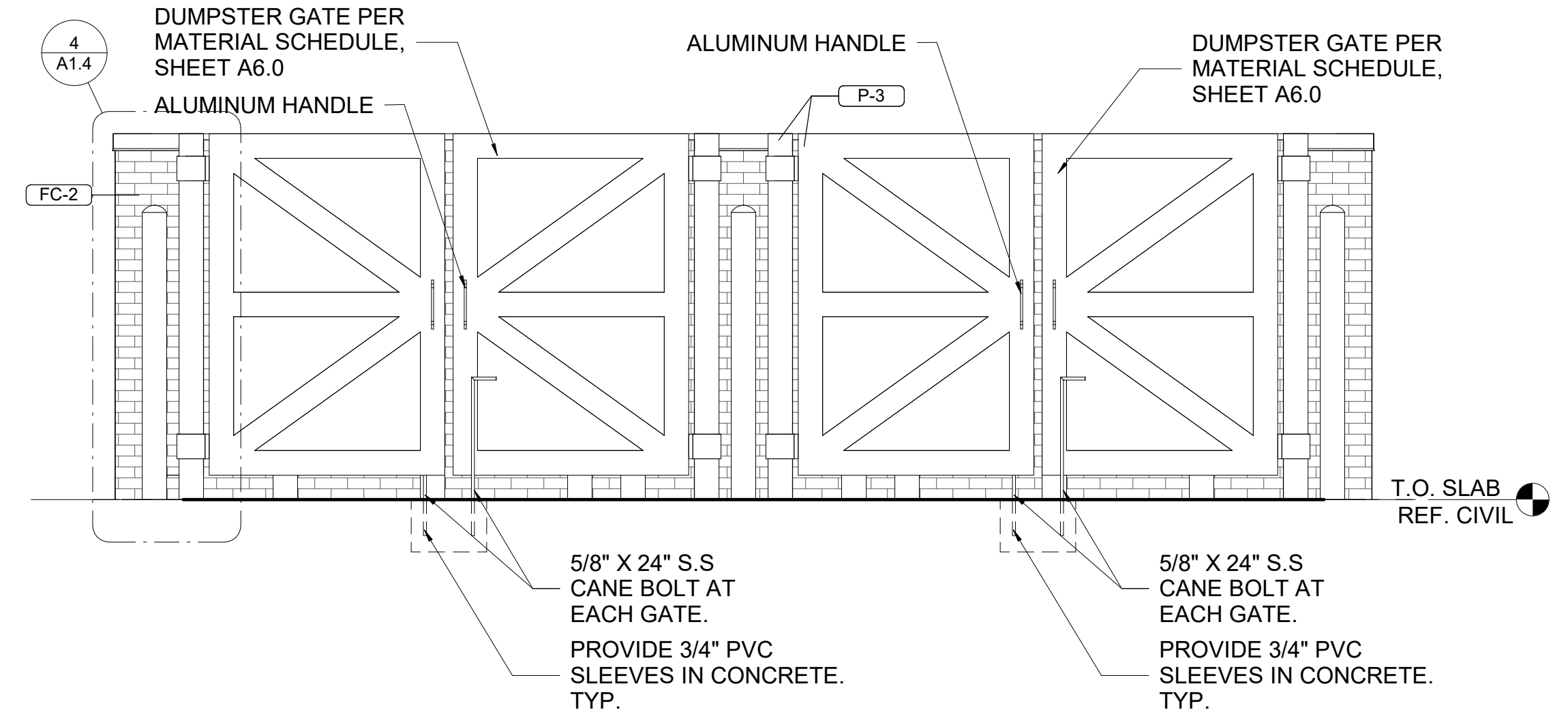
REVISIONS		
NO.	DATE	DESCRIPTION



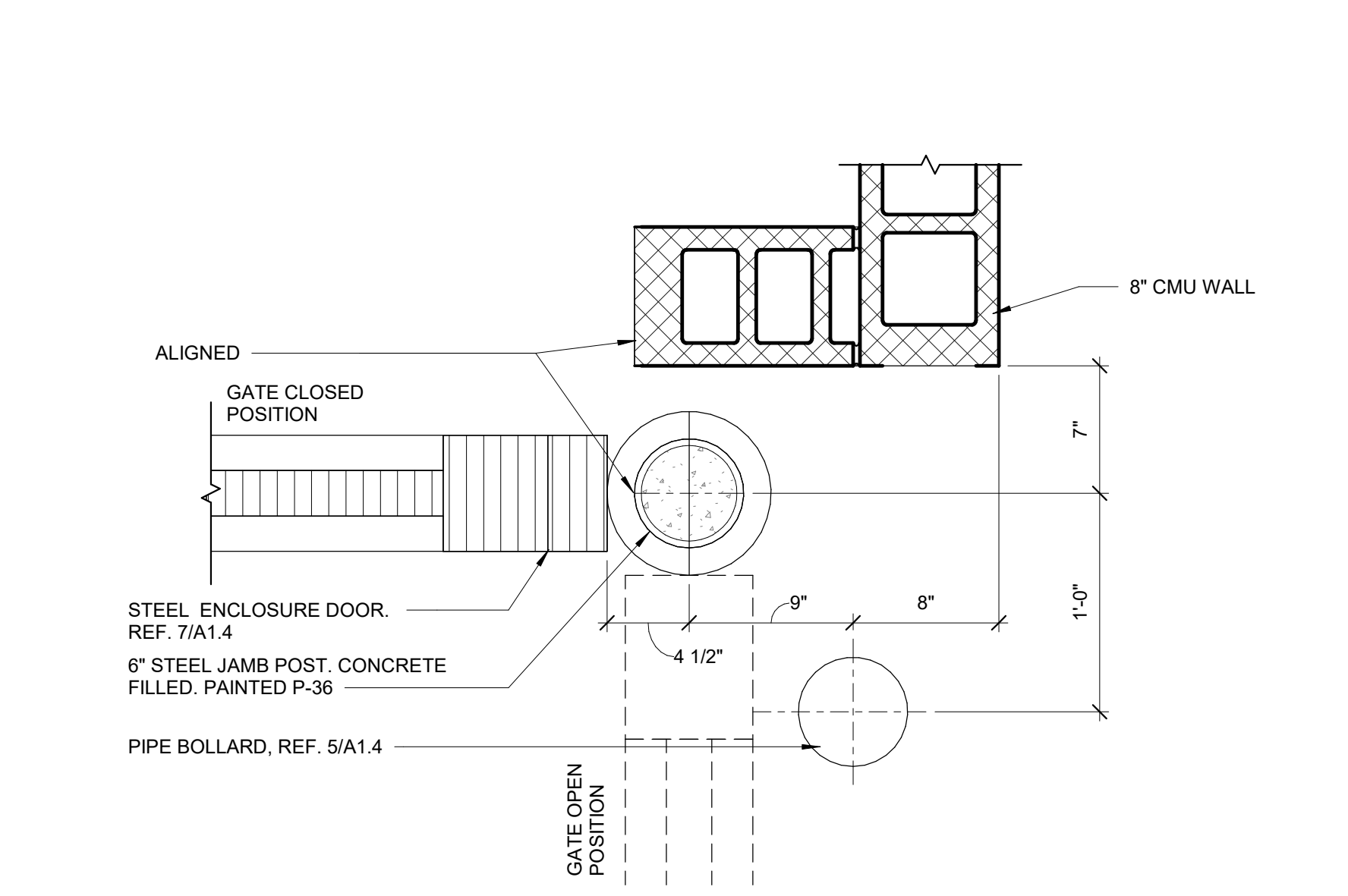
10 SIDE DUMPSTER ENCL. ELEVATION
3/8" = 1'-0"

9 REAR DUMPSTER ENCL. ELEVATION
3/8" = 1'-0"

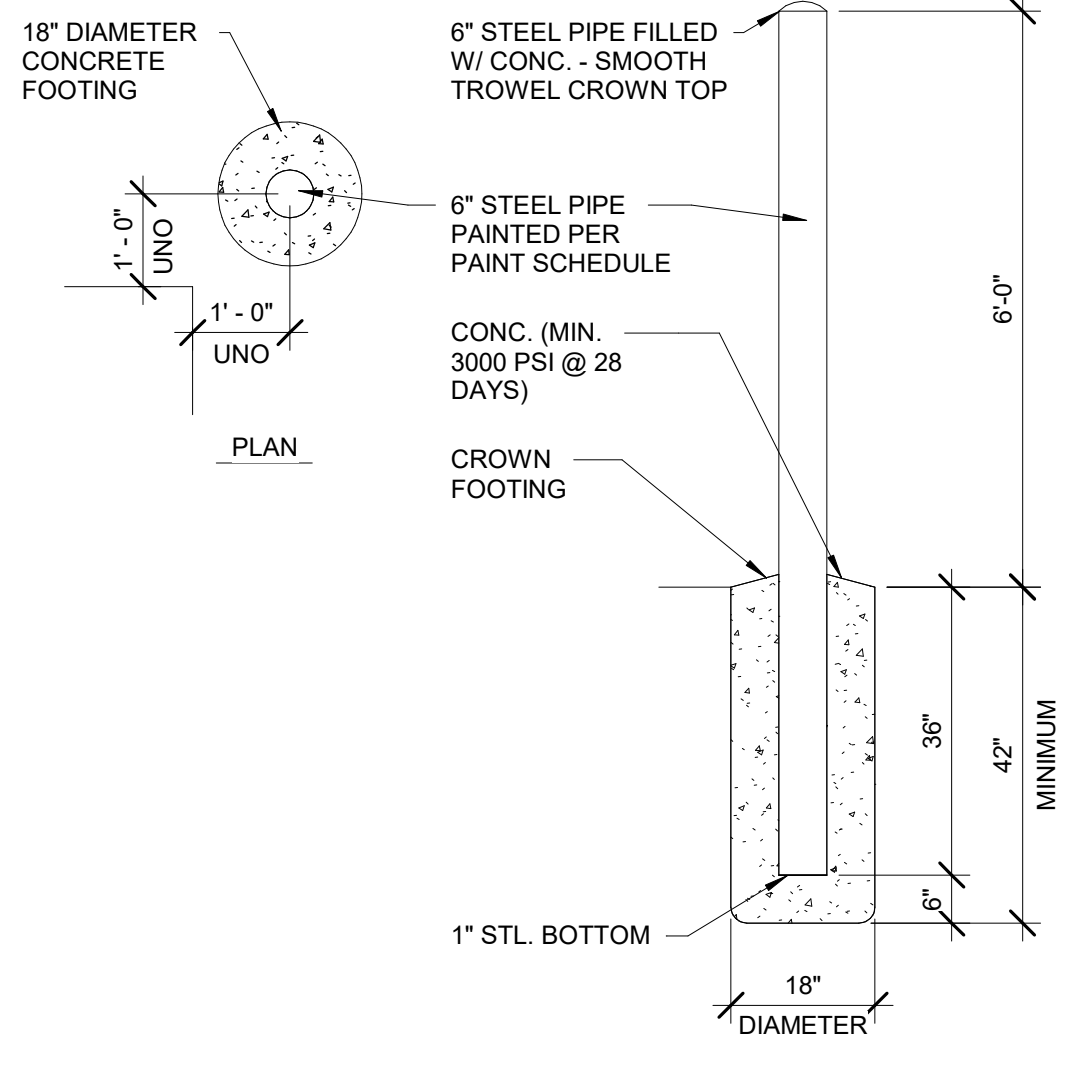
8 SIDE DUMPSTER ENCL. ELEVATION
3/8" = 1'-0"



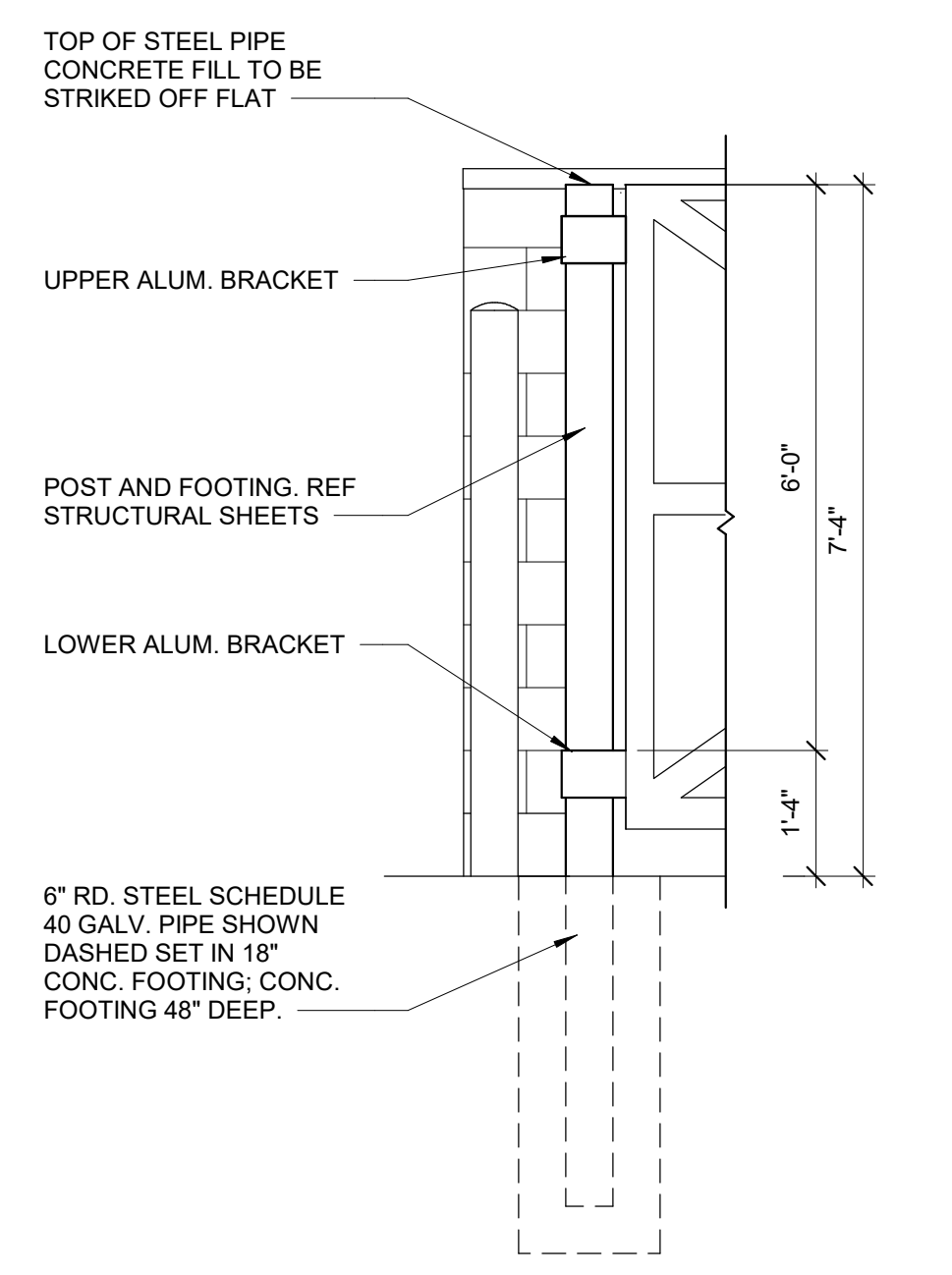
7 FRONT DUMPSTER ENCL. ELEVATION
3/8" = 1'-0"



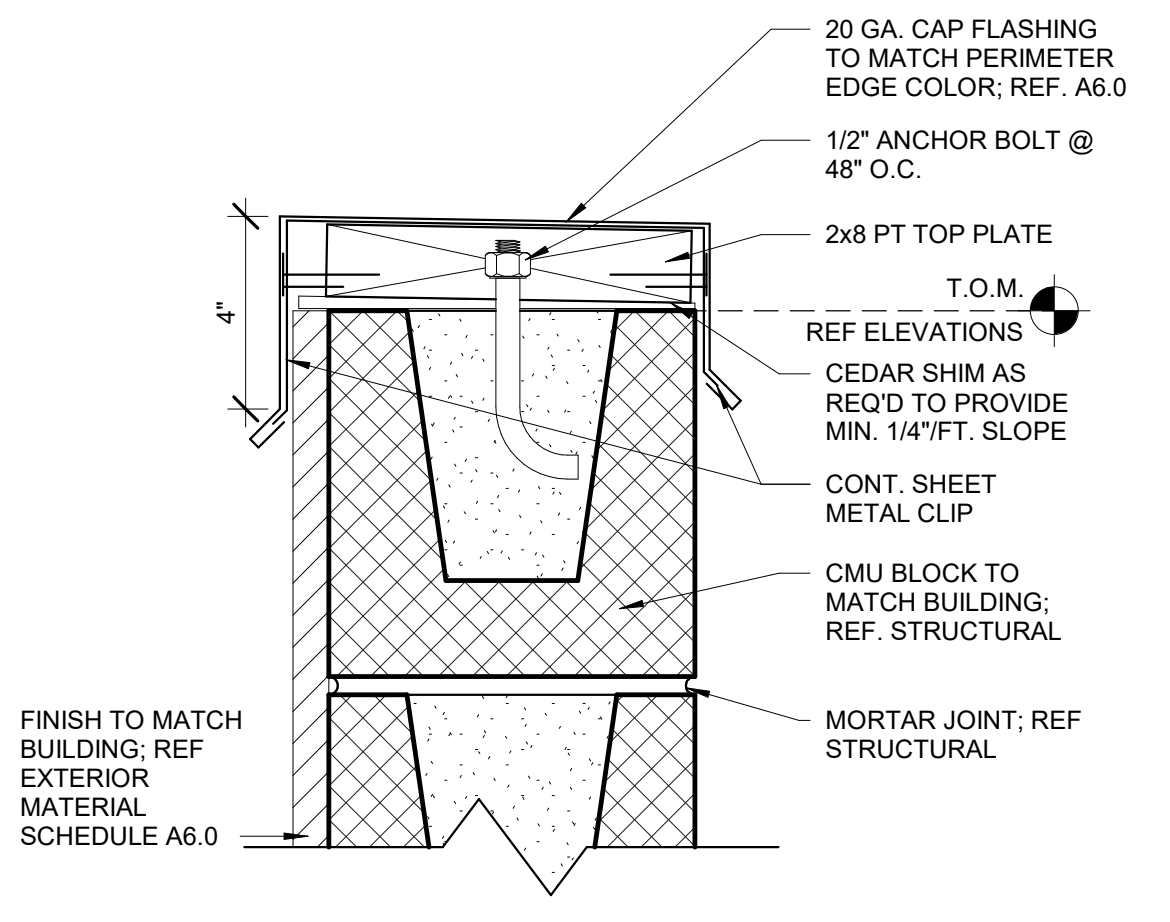
6 DETAIL - GATE
1 1/2" = 1'-0"



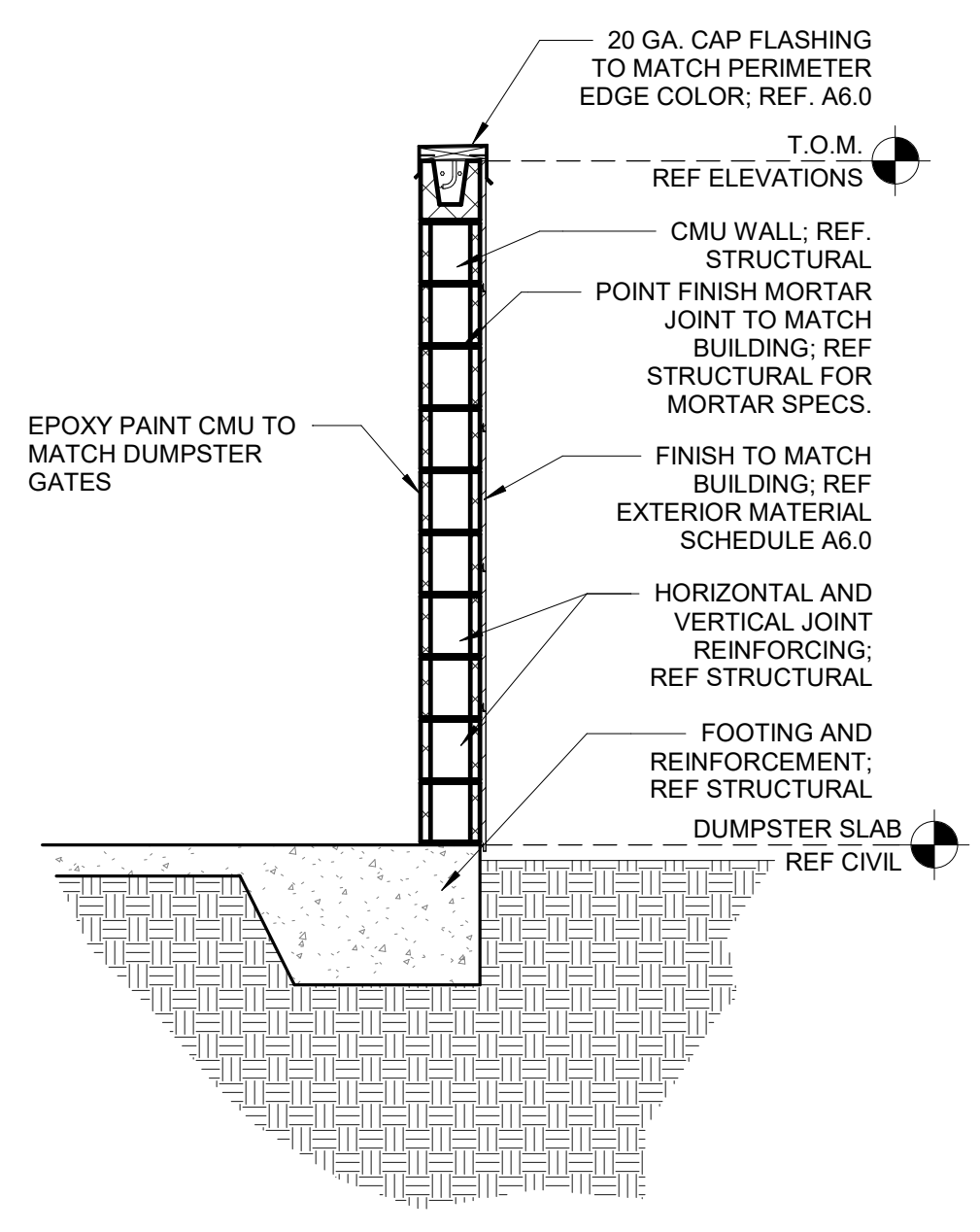
5 TYPICAL BOLLARD SECTION
1/2" = 1'-0"



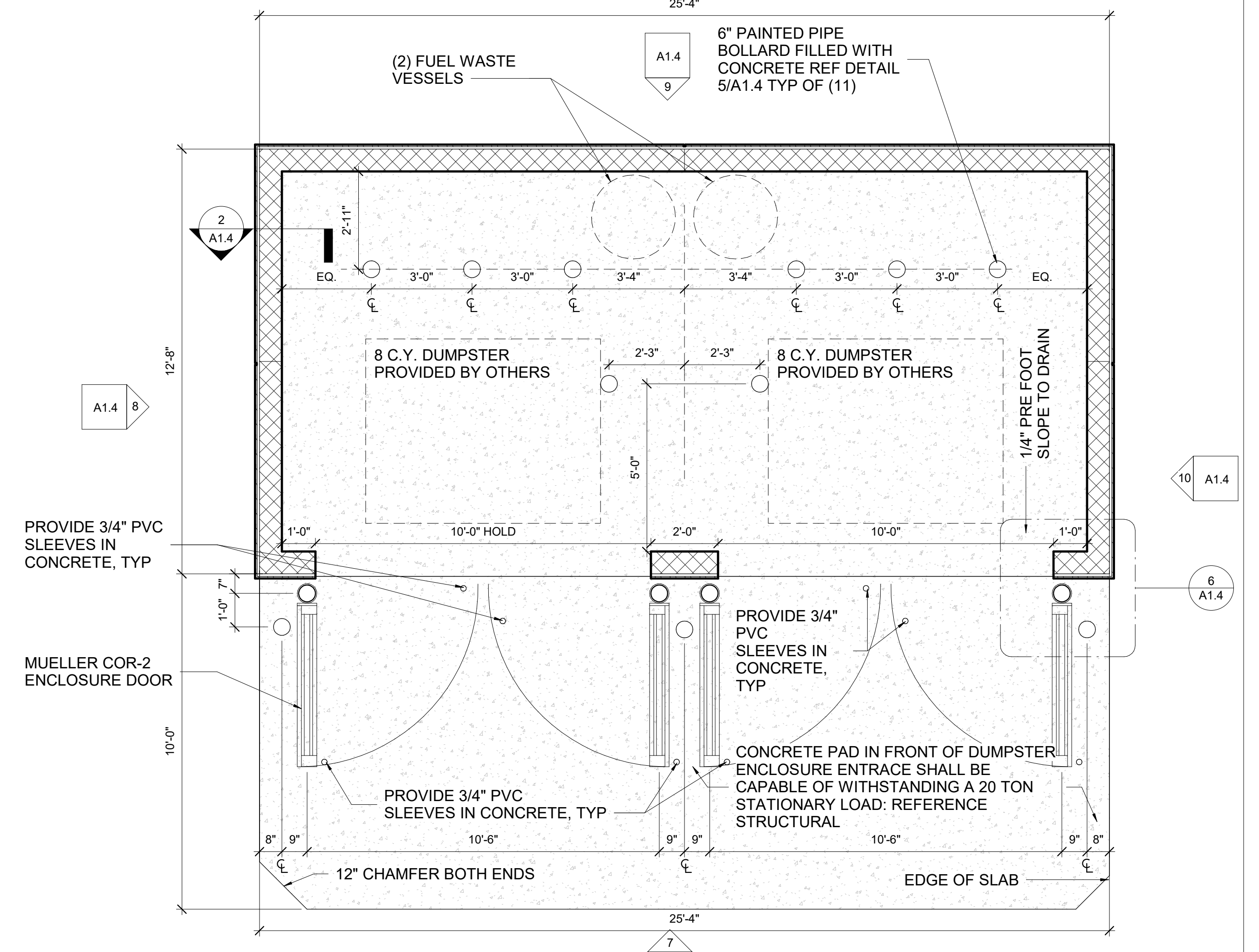
4 GATE BOLLARD DETAIL
1/2" = 1'-0"



3 DETAIL - COPING
3" = 1'-0"



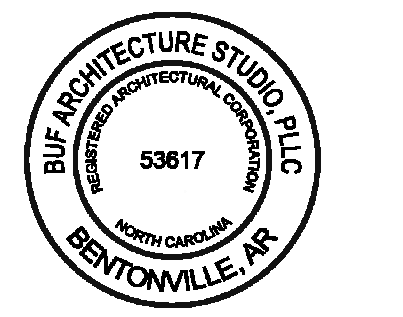
2 DUMPSTER ENCL. WALL SECTION
1/2" = 1'-0"



1 TRASH ENCLOSURE PLAN
3/8" = 1'-0"

7- ELEVEN 9350 CST

748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



Architect Name - RYAN M. FAUST
Architect Number - 14521

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Drawing Size: 30 x 42
Project #: 22050
Drawn By: JAM
Checked By: CCMB
Title: TRASH ENCLOSURE & DETAILS

Sheet Number:
A1.4

Date: 01/26/2024

REVISIONS

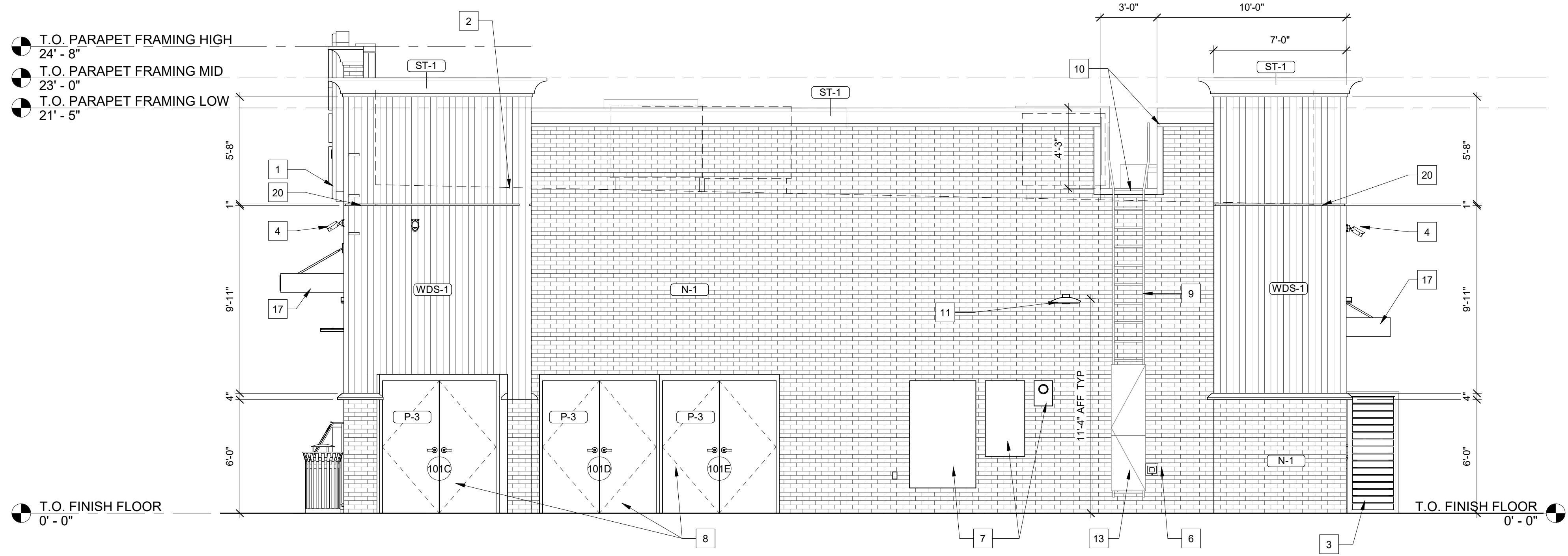
NO. DATE DESCRIPTION

GENERAL NOTES

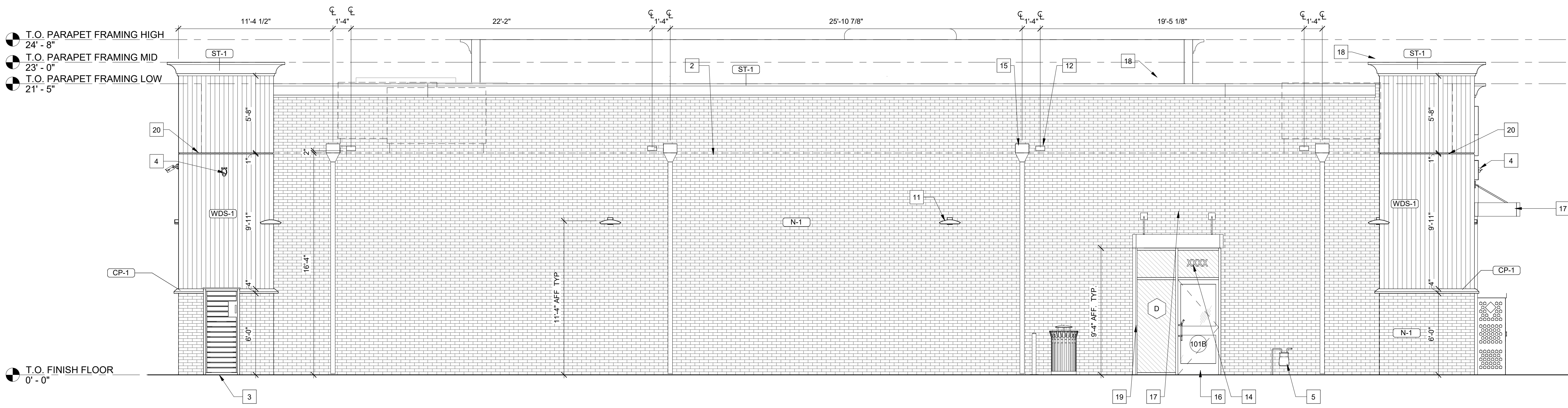
- A. SIGNAGE UNDER SEPARATE PERMIT AND SHOWN FOR GENERAL REFERENCE AND COORDINATION PURPOSES ONLY. REFER TO APPROVED SIGNAGE DRAWINGS BY SIGNAGE COMPANY.
- B. CONTRACTOR TO SUPPLY REQUIRED POWER AND CONNECTION TO ALL SIGNAGE. COORDINATE WITH SIGNAGE COMPANY.

KEYNOTES

- 1 INTERNALLY ILLUMINATED SIGNAGE BY SIGNAGE VENDOR. PROVIDE BLOCKING AS REQUIRED FOR THRU-BOLT CONNECTIONS. REF. ELECTRICAL FOR POWER REQUIREMENTS.
- 2 ROOF LINE BEYOND, TYP.
- 3 CO2 TANK/CAGE
- 4 SECURITY CAMERA, REF. ELECTRICAL LOW VOLTAGE PLAN FOR ADDITIONAL INFORMATION.
- 5 GAS METER.
- 6 HOSE BIB, REF. PLUMBING.
- 7 PAINT ALL EXPOSED UTILITIES P-1
- 8 EXTERIOR HM DOOR AND FRAME, TYP. REF. SHEET A6.0.
- 9 ROOF ACCESS LADDER, REF. EXTERIOR ELEVATIONS AND DETAILS ON A7.1 & A7.2
- 10 WRAP EDGES OF PARAPET WALL IN BRASS METAL, REF. DETAILS ON A7.2.
- 11 WALL PACK, SEE ELECTRICAL.
- 12 OVERFLOW SCUPPER, TO BE 2" ABOVE PRIMARY DRAIN SYSTEM, TYP.
- 13 LOCKING SECURITY DOOR. REFER MANUF. SPECS.
- 14 6" WHITE VINYL STREET ADDRESS, REF. SHEET EQ1.0
- 15 PRE-FINISHED METAL SCUPPER AND DOWNSPOUT - REF. TO EXTERIOR FINISH SCHEDULE.
- 16 EXTERIOR ALUMINUM STOREFRONT DOOR & FRAME, TYP., REF. SHEET A6.0.
- 17 PRE-FAB METAL CANOPY; REF TO EXTERIOR FINISH SCHEDULE.
- 18 20 GA. PRE-FINISHED METAL COPING, REF. TO EXTERIOR FINISH SCHEDULE
- 19 CANOPY DOWNSPOUT, PAINT TO MATCH CANOPY FINISH (MATTE BLACK), TYP.
- 20 NICHHA HORIZONTAL COMPRESSION JOINT



2 EXTERIOR BUILDING - EAST
A3.1 1/4" = 1'-0"



1 EXTERIOR BUILDING - NORTH
A3.1 1/4" = 1'-0"

7- ELEVEN 9350 CST

748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



Architect Name - RYAN M. FAUST
Architect Number - 14521
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Drawing Size: 30 x 42
Project #: 22050
Drawn By: JAM
Checked By: CCMB

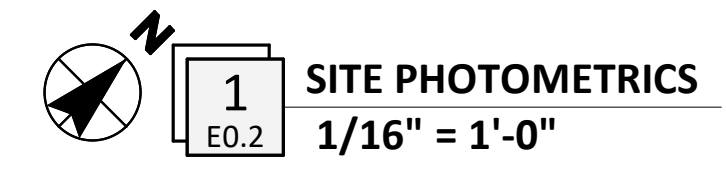
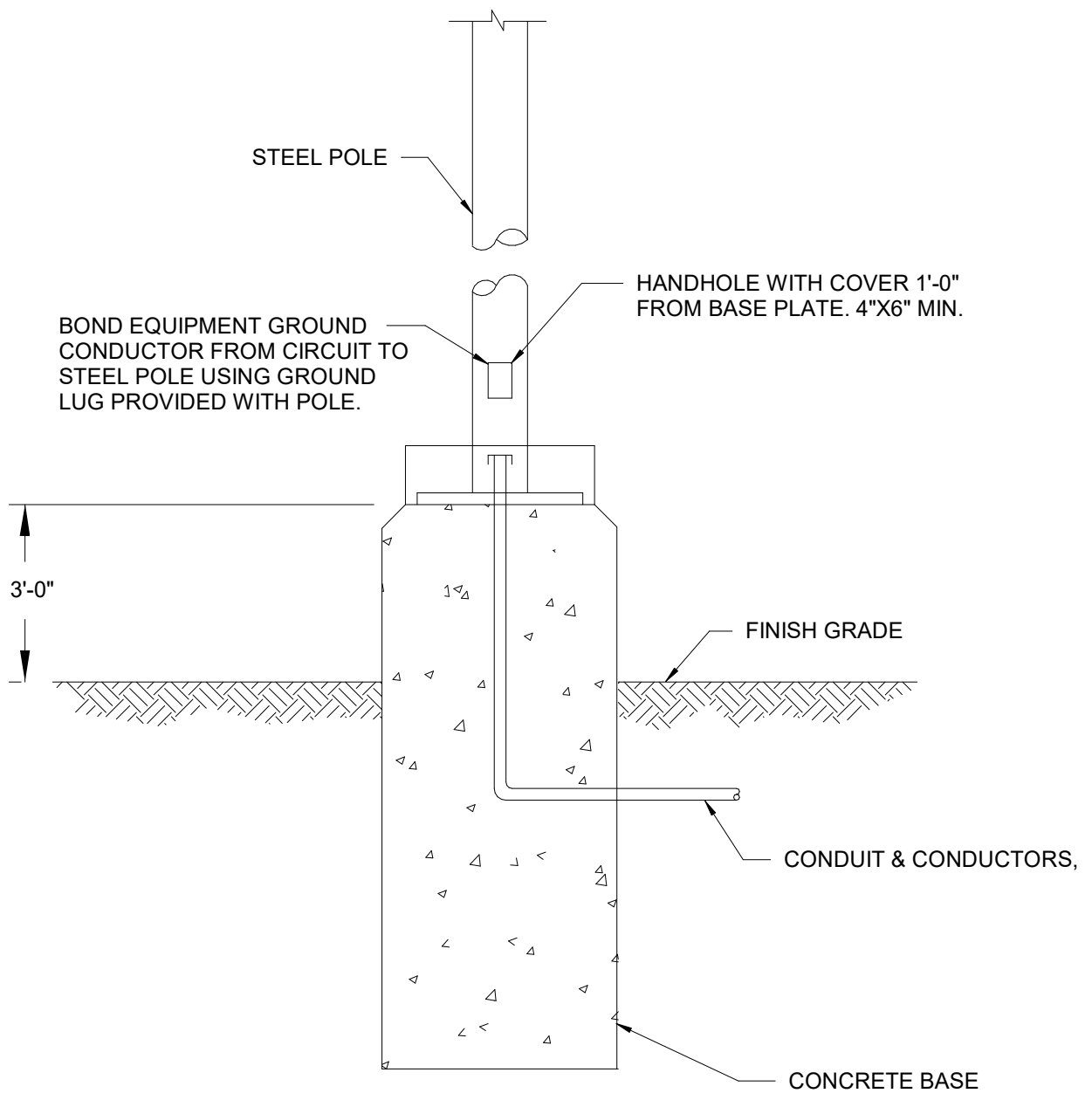
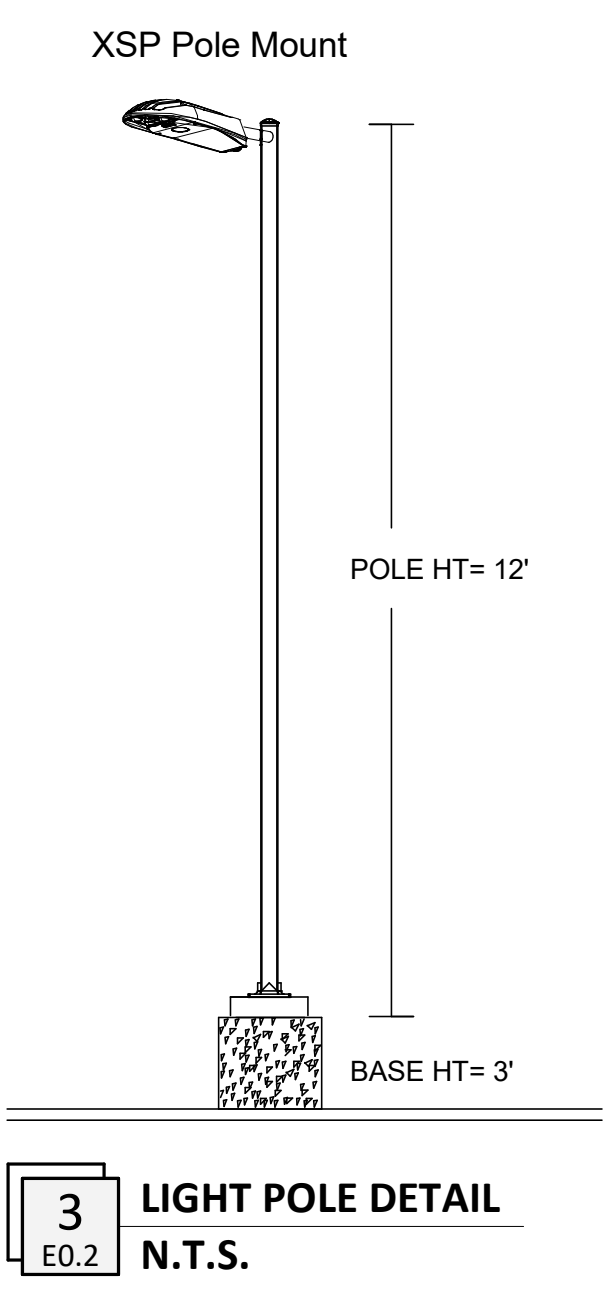
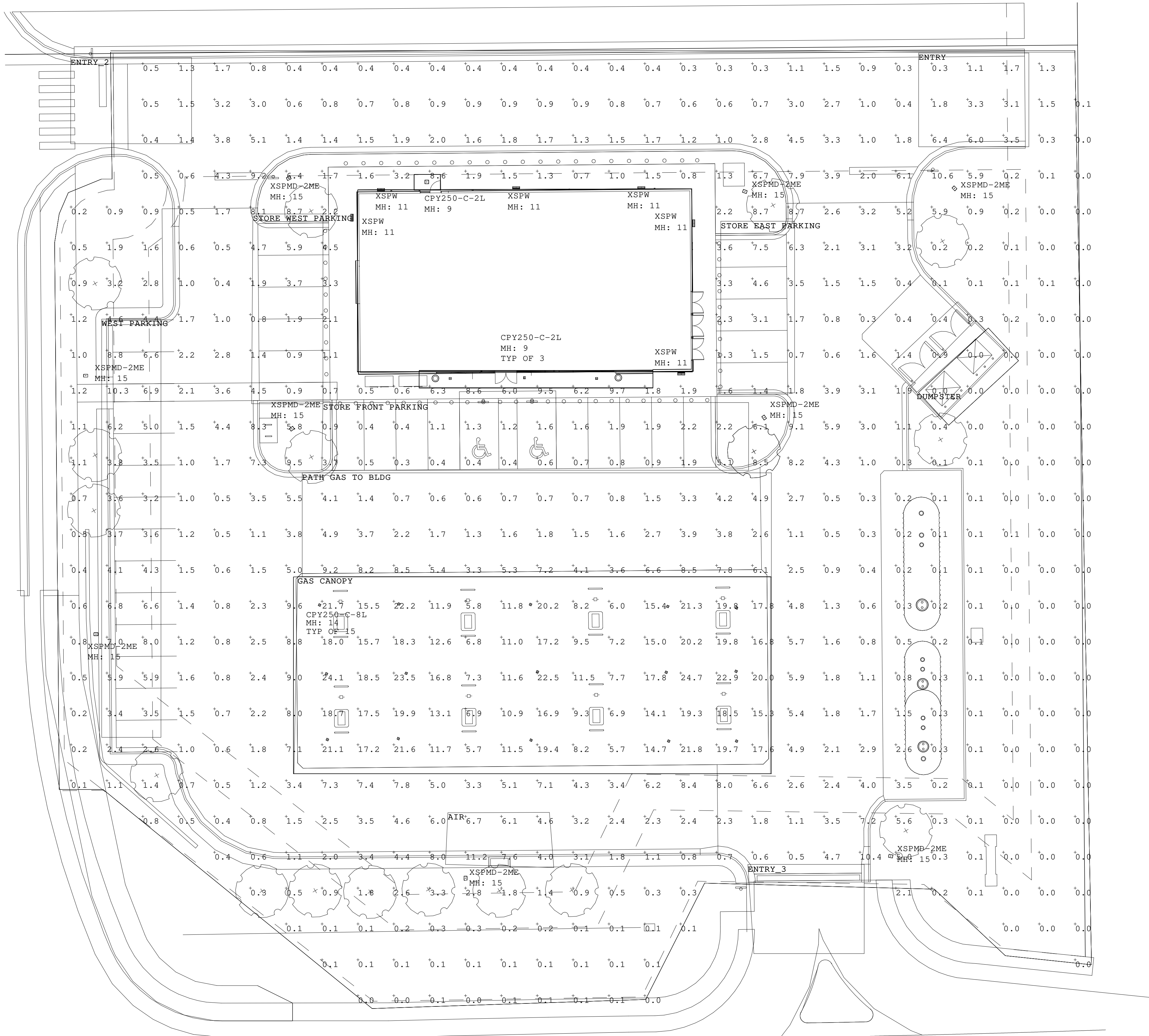
Title:
EXTERIOR ELEVATIONS

Sheet Number:
A3.1

Date: 01/26/2024

Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
□	15	CPY250-C-8L	Single	CPY250-C-8L-57K7-F-UL-DM-WH-HZ	1.000	8475	53	795
□	3	CPY250-C-2L	SINGLE	CPY250-C-2L-57K7-F-UL-DM-BK-HZ	1.000	2326	13.5	40.5
□	1	CPY250-C-2L	SINGLE	CPY250-C-2L-50K9-F-UL-DM-BK-HZ	1.000	1730	14	14
▬	6	XSPW	SINGLE	XSPW-B-WM-3ME-4L-57K-UL-BK	1.000	4270	31	186
□	9	XSPMD-2ME	SINGLE	XSPMD-D-HT-2ME-12L-57K7-UL-BK-N_W_XA-SP1BLS	1.000	9150	95	855

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
AIR	Illuminance	Fc	6.7	11.2	4.0	1.7	2.8
DUMPSTER	Illuminance	Fc	0.6	0.9	0.3	2.0	3.0
ENTRY	Illuminance	Fc	3.0	6.4	0.3	10.1	21.3
ENTRY_2	Illuminance	Fc	0.9	1.5	0.4	2.3	3.8
ENTRY_3	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.
GAS CANOPY	Illuminance	Fc	15.4	24.7	5.7	2.7	4.3
PATH GAS TO BLDG	Illuminance	Fc	3.6	9.2	0.6	6.0	15.3
STORE EAST PARKING	Illuminance	Fc	3.2	7.5	0.7	4.6	10.7
STORE FRONT PARKING	Illuminance	Fc	1.4	5.1	0.3	4.6	17.0
STORE WEST PARKING	Illuminance	Fc	2.5	5.9	0.7	3.6	8.4
WEST PARKING	Illuminance	Fc	5.5	10.3	3.2	1.7	3.2



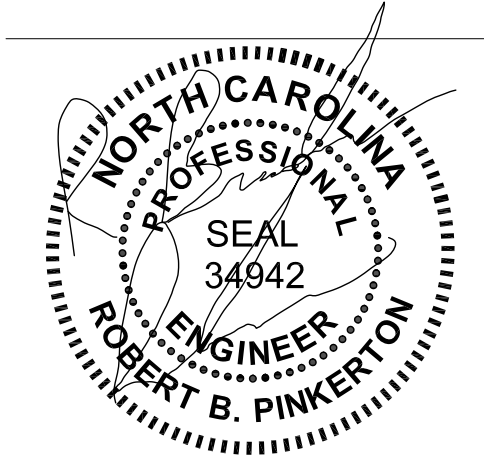
Robert B. Pinkerton
5500 W Pinnacle Pointe Drive, Suite 200
Rogers, Arkansas 72758

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REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

7- ELEVEN 9350 CST
748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



Engineer Name - ROBERT B. PINKERTON
Engineer Number - 34942

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Drawing Size: 30 x 42
Project #: 22050
Drawn By: ADF
Checked By: ADF

Title: SITE PHOTOMETRICS

Sheet Number: E0.2

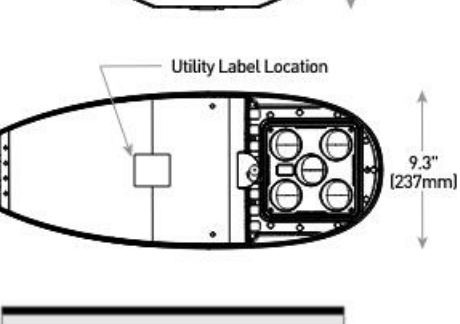
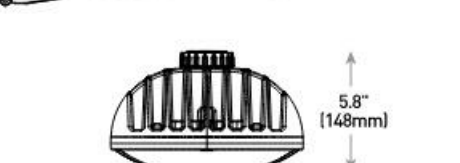
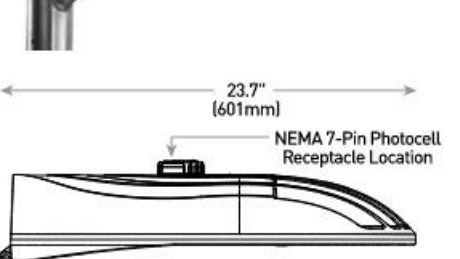
Date: 04/09/2024

4/9/2024 9:15:14 AM

XSP Series

XSPMD LED Street/Area Luminaire - Medium

Rev. Date: W/ 02/20/2023



Performance Summary
NanoDim™ Precision Delivery Grid™ optic
Assembled in the USA by Cree Lighting from US and imported parts

Efficiency Up to 125 LF/W
CRI Midrange (70-90)
CCT: 3000K, 4000K, 5000K, 5700K
Limited Warranty: 10 years on luminaires; 10 years on Colorfast DeltaQual™ finish; up to 5 years for Synapse™ accessories; 1 year on luminaire accessories

Table with 2 columns: Backlight Control Board (LED SPRLB, Phosphor, Polycarbonate construction) and Driver Cap (XSP-DRIVGCM, XSP-DRIVGCM).

Ordering Information table with columns for Product, Version, Int, Optic, Lumens, CCT/B, Voltage, Color, Label/Receptacle, Options.

XSPMD LED Street/Area Luminaire - Medium

Product Specifications

CONSTRUCTION & MATERIALS
Die cast aluminum housing
Tool-less entry
Mounts on 1.25" (32mm) Ø, 1.64" (42mm) O.D. or 2" (51mm) Ø (2.375" (60mm) O.D. horizontal tension limitation is 200lbs) in length and is adjustable +/- 5° to allow for future heighting includes two sets 1-level to and in feeding

ELECTRICAL SYSTEM
Input Voltage: 120-277V or 347-480V 50/60Hz
Power Factor: > 0.9 at full load
Total Harmonic Distortion - < 20% at full load

MECHANICAL & VOLUNTARY QUALIFICATIONS
UL Listed
Suitable for wet locations
Compliant with ANSI C136.31-2001, 30 bridge and overpass vibration standards

Product Specifications

SYNAPSE™ SIMPLYSMART INTELLIGENT CONTROL
FOR NON-STREET LIGHTING APPLICATIONS ONLY
The XSP Series is compatible with the Synapse™ SimplySmart platform. A highly intuitive connected lighting solution for Street and Area applications only.

SWAN Wireless Control Accessories (for Non-Street Lighting Applications only)
Synapse Wireless Sensor
Wide Area
Motion and light sensor

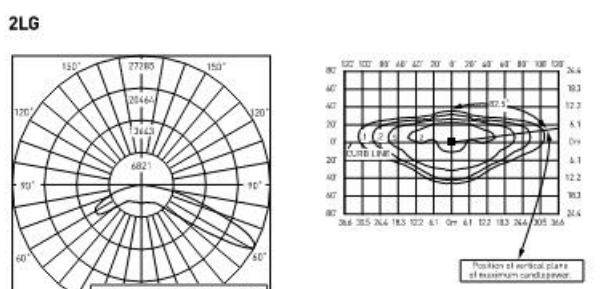
ELECTRICAL SYSTEM
Input Voltage: 120-277V or 347-480V 50/60Hz
Power Factor: > 0.9 at full load
Total Harmonic Distortion - < 20% at full load

MECHANICAL & VOLUNTARY QUALIFICATIONS
UL Listed
Suitable for wet locations
Compliant with ANSI C136.31-2001, 30 bridge and overpass vibration standards

XSPMD LED Street/Area Luminaire - Medium

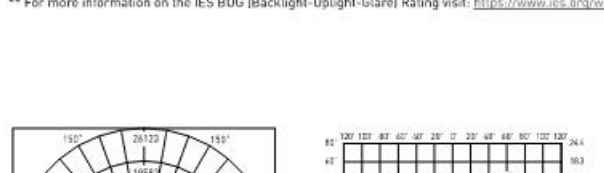
Photometry
All published luminaires photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: http://cree.com/lighting/products/outdoor/street-and-area/street-area

2LG

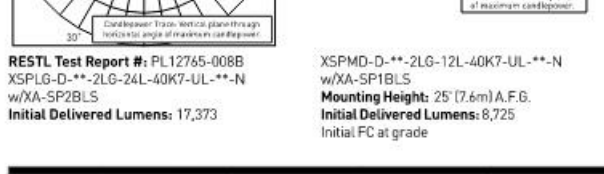


Type II Long Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

Type II Medium Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.



Type II Long w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

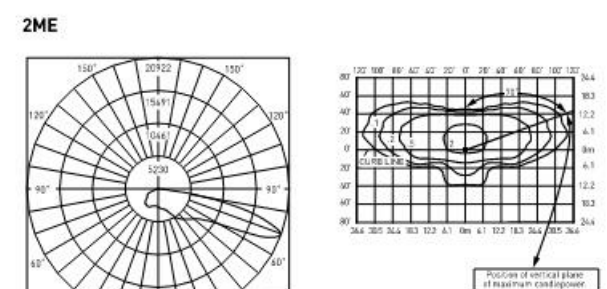


Type II Medium w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

XSPMD LED Street/Area Luminaire - Medium

Photometry
All published luminaires photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: http://cree.com/lighting/products/outdoor/street-and-area/street-area

2ME

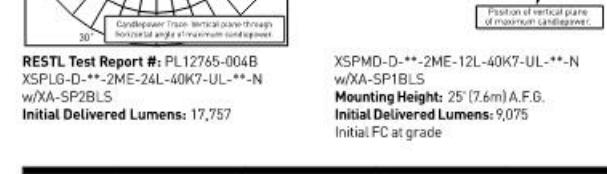


Type II Long w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

Type II Medium w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.



Type II Long w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.



Type II Medium w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.



CREE LIGHTING

USA: cree.com/us (800) 234-4800
Canada: cree.com/ca (800) 473-1234



USA: cree.com/us (800) 234-4800
Canada: cree.com/ca (800) 473-1234



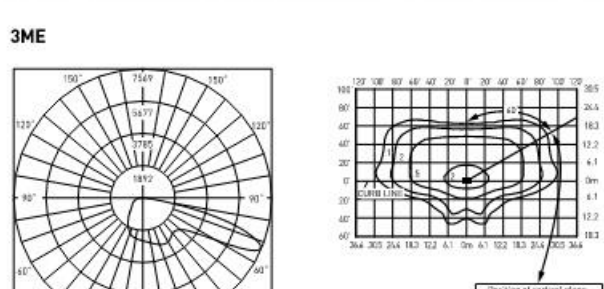
USA: cree.com/us (800) 234-4800
Canada: cree.com/ca (800) 473-1234



XSPMD LED Street/Area Luminaire - Medium

Photometry
All published luminaires photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: http://cree.com/lighting/products/outdoor/street-and-area/street-area

2ME



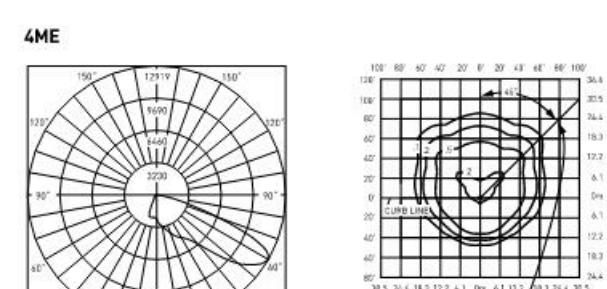
Type III Medium Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

Type III Medium w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

XSPMD LED Street/Area Luminaire - Medium

Photometry
All published luminaires photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: http://cree.com/lighting/products/outdoor/street-and-area/street-area

2ME



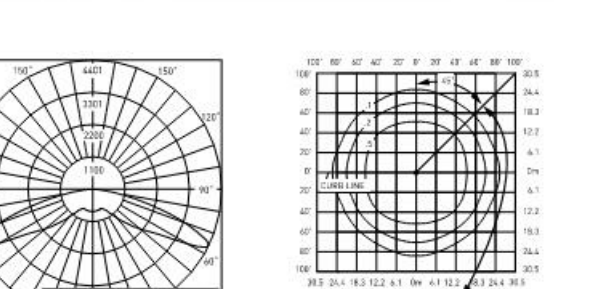
Type III Medium Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

Type III Medium w/LS Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

XSPMD LED Street/Area Luminaire - Medium

Photometry
All published luminaires photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: http://cree.com/lighting/products/outdoor/street-and-area/street-area

2SH



Type V Short Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

Type V Short Distribution table with columns for Lumens Package, Initial, Delivered, Intensity, etc.

XSPMD LED Street/Area Luminaire - Medium

Field Adjustable Output (01/06/07/04/05/04/03/02/01) Option Description
The Field Adjustable Output option enables the street and area luminaire with the XSP Series on this page to be tuned to the exact needs of a particular application

Locked Lumens Output (08/07/04/05/04/03/02/01) Option Description
The Locked Lumens Output option on this page permanently locks the lumens output on the XSP Series street and area luminaire to the setting selected.

Q & X Option Power & Lumen Data - 12L

Large data table with columns for System Name, System Watts, System Lumens, Lumens Values, Label Lumens, Utility Label.



CREE LIGHTING

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Canada: cree.com/ca (800) 473-1234



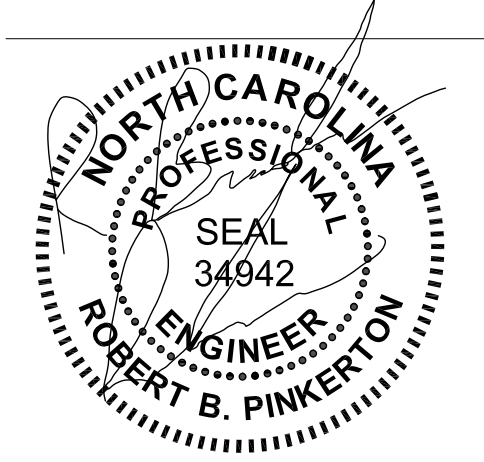
Robert B. Pinkerton
5500 W Pinnacle Pointe Drive, Suite 200
Rogers, Arkansas 72758

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Contractor is responsible for confirming and correlating dimensions at job site, the Architect shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

Table with 2 columns: NO., DATE, DESCRIPTION

7 - ELEVEN 9350 CST
748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



Engineer Name - ROBERT B. PINKERTON
Engineer Number - 34942

Drawing Size: 30 x 42
Project #: 22950

Drawn By: ADF
Checked By: ADF

Lighting Fixture Details

Sheet Number: E0.3

Date: 04/09/2024

4/9/2024 9:22:19 AM

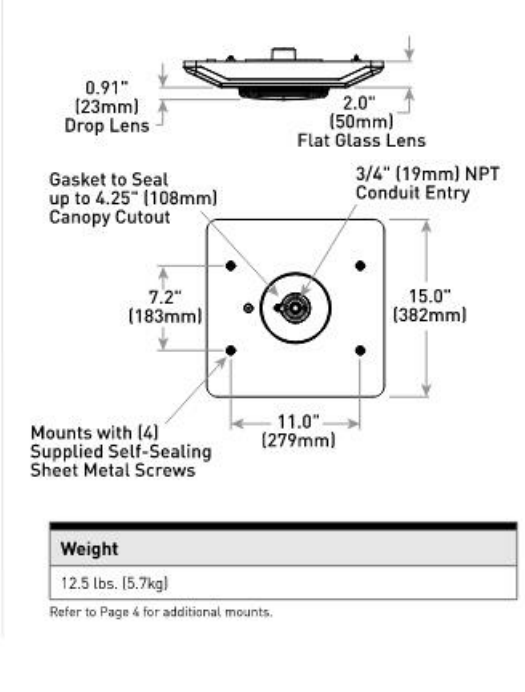
CPY Series - Version C
CPY250° LED Canopy/Soffit Luminaire

Rev. Date: V10.0(10/2023)

Product Description
The CPY250° LED Canopy/Soffit Luminaire has an extremely thin profile constructed of rugged cast aluminum. It can be surface mounted away from below the canopy deck and can be pendant mounted. Direct lighting of the LED is eliminated with a highly efficient patented filter or 0.91" (23mm) drop glass lens.

Efficiency Up to 165 LPW
CRI: Minimum 70 CRI (80k, 97k), 80 CRI (30k), 90 CRI (40k, 50k)
 CCT: 3000K, 4000K, 5000K, 5700K
 Limited Warranty*: 10 years on luminaire/5 years on Colorfast DeltaQualifier® finish/5 years for BML sensor/lens up to 5 years for Synapsis® accessories/1 year for field-installed accessories

Mounting: DM Mount / DM Mount with HZ Option
Direct Mount Luminaire
Direct Mount Luminaire with HZ Option



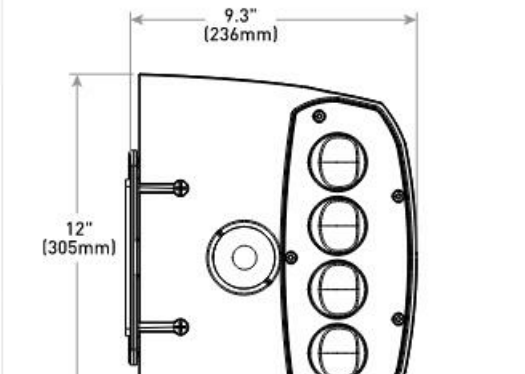
XSP Series
XSPW™ LED Wall Mount Luminaire featuring TrueWhite® Technology

Rev. Date: Version 06.08/2022

Product Description
The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation on outdoor standard gang J-Boxes and mud ring single gang J-Boxes.

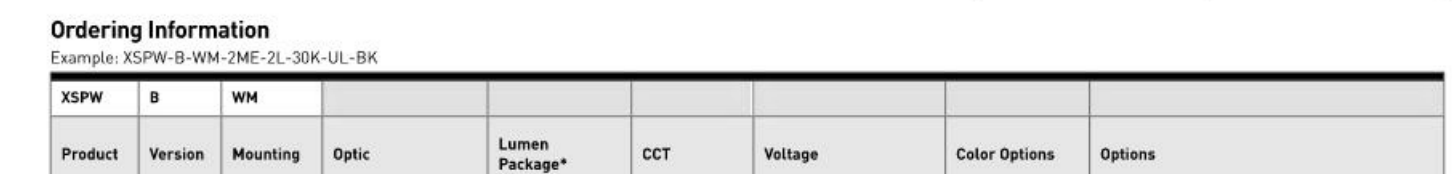
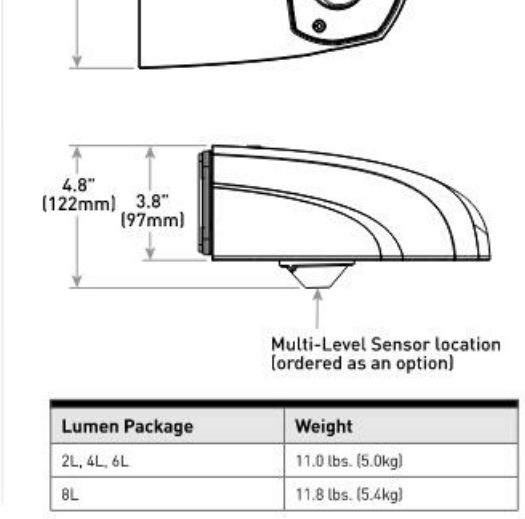


Performance Summary
NanoOptic® Precision Delivery Grid™ optic
Assembled in the USA by Cree Lighting from US and imported parts



Efficiency Up to 130 LPW
CRI: Minimum 70 CRI (3000K, 4000K, 5700K), 90 CRI (3000K)
 CCT: 3000K, 4000K, 5000K, 5700K

Mounting: WM Mount
Direct Mount Luminaire
Direct Mount Luminaire with HZ Option



CPY250° LED Canopy/Soffit Luminaire - Version C

Product Specifications
CONSTRUCTION & MATERIALS
• Slim, low profile design
• Easy housing and wiring from below the deck
• Luminaire housing is constructed of rugged cast aluminum with integral heat sink specifically designed for LED applications
• Flat lens is 1/2" tempered solid glass
• Drop lens is 1/2" tempered solid glass
• Direct mount is suitable for use in single or double skin canopies with a maximum of 10/20mm wide panels and a minimum 22 gauge (0.037") range thickness

Electrical Data*
Lumen Package System Watts Total Current (A)
1L 16 6.11 0.07 0.06 0.05 N/A N/A

CPY Series Version C Ambient Adjusted Lumen Maintenance Factors
Ambient Initial Reported* 20% to Reported* 75% to Reported* 100% to Reported* LMF LMF LMF LMF
5°C 2L 21L Pwssed 1.02 0.99 0.93 0.88 0.83

Operating Temperature Range
Lumen Package Direct Mount to Pwssed Direct Mount to Shred Metal/Suspended
1L -40°C to +45°C -40°C to +50°C
2L -40°C to +45°C -40°C to +50°C

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov



CPY250° LED Canopy/Soffit Luminaire - Version C

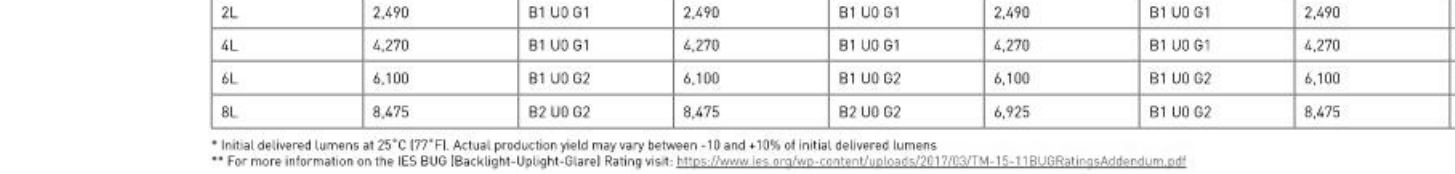
Photometry
All published luminaires photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <http://www.cree.com/Products/outdoor/canopy-and-soffit/led-cpy-series>



Drop Lens Distribution
Lumen Package Initial Delivered Lumens* BUS Ratings** Per TM-15-11 Initial Delivered Lumens* BUS Ratings** Per TM-15-11

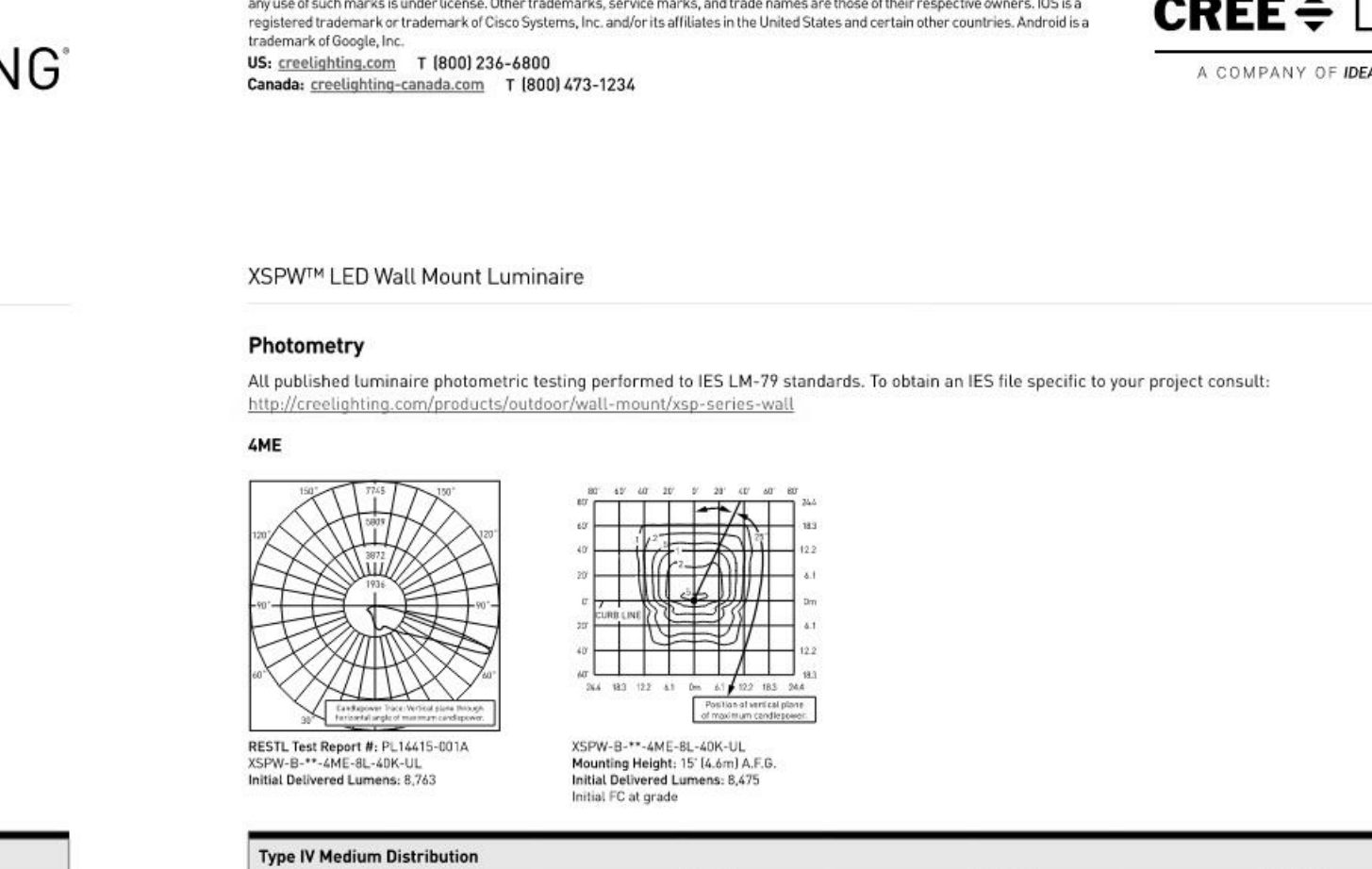
Flat Lens Distribution
Lumen Package Initial Delivered Lumens* BUS Ratings** Per TM-15-11 Initial Delivered Lumens* BUS Ratings** Per TM-15-11

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov



CPY250° LED Canopy/Soffit Luminaire - Version C

H6 Mount
H6 Mount with HZ Option
PD Mount
PD Mount with HZ Option
FM Mount
FM Mount with HZ Option



Type II Medium Distribution
Lumen Package Initial Delivered Lumens* BUS Ratings** Per TM-15-11 Initial Delivered Lumens* BUS Ratings** Per TM-15-11

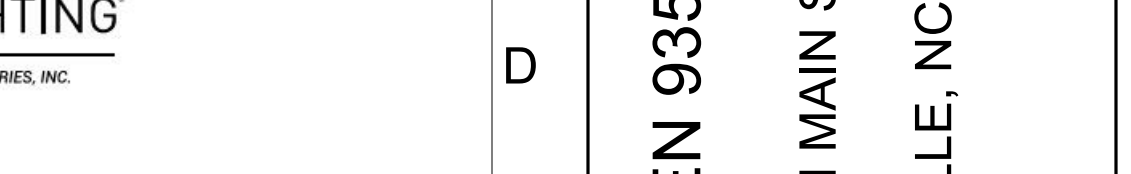
CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov



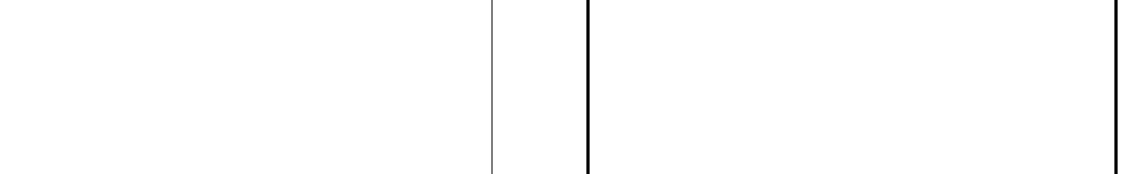
REVISIONS
NO. DATE DESCRIPTION

Table with 3 columns: No., Date, Description

Robert B. Pinkerton
5500 W Pinnacle Pointe Drive, Suite 200
Rogers, Arkansas 72758

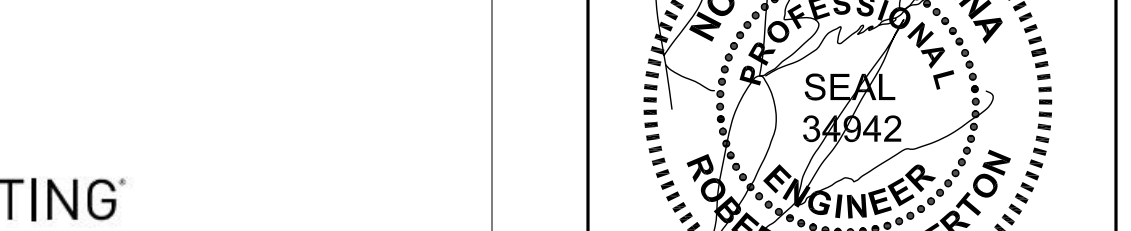


7 - ELEVEN 9350 CST
748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



Type II Medium Distribution
Lumen Package Initial Delivered Lumens* BUS Ratings** Per TM-15-11 Initial Delivered Lumens* BUS Ratings** Per TM-15-11

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.P65Warnings.ca.gov



Engineer Name - ROBERT B. PINKERTON
Engineer Number - 34942
Drawing No: 30 x 42
Project #: 22050
Checked By: ADP
Drawn By: ADP
Title: LIGHTING FIXTURE DETAILS
Sheet Number: E0.4
Date: 04/09/2024

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CREE LIGHTING

CPY Series LED Luminaire

IMPORTANT SAFEGUARDS

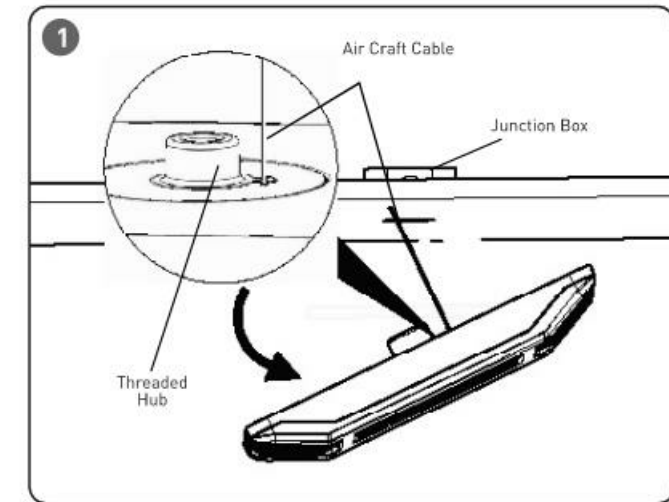
When using electrical equipment, basic safety precautions should always be followed including the following:

READ AND FOLLOW ALL SAFETY INSTRUCTIONS

- For use in CLASS I, DIVISION 2, Groups A, B, C and D Hazardous Locations.
- DANGER - Risk of shock** - Disconnect power before installation.
- DANGER - Risque de choc** - Couper l'alimentation avant l'installation. Ce produit doit être installé conformément à NEC ou votre code électrique local. Si vous n'êtes pas familiarisé avec ces codes et exigences, consultez un électricien qualifié.
- DO NOT lift luminaire by the power leads or cord.

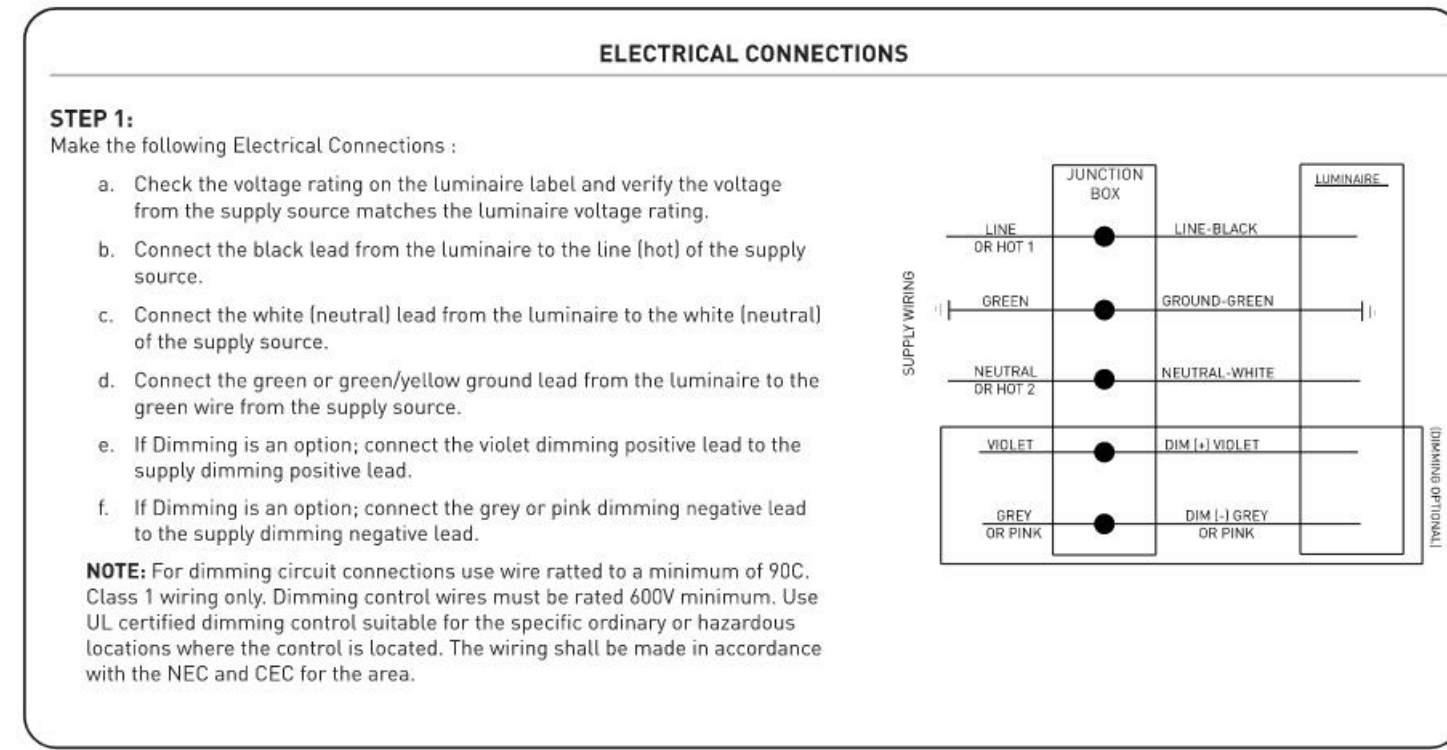
SAVE THESE INSTRUCTIONS FOR FUTURE REFERENCE

TO INSTALL:



LUMINAIRE INSTALLATION

- NOTE:** Customer supplied junction box needs to be 4" square or octagon.
- STEP 1:** Locate Air Craft Cable on the fixture and attach it to the customer supplied junction box with a number 8 machine screw. Then carefully let the fixture hang down for wiring. See Figure 1.
- STEP 2:** Make wiring connections to junction box per "Electrical Connections" section on the back page.
- STEP 3:** To mount luminaire to ceiling, feed the threaded hub into the junction box, making sure no wires are pinched and luminaire is flush with ceiling.
- STEP 4:** Insert and tighten (4) supplied sheet metal screws to metal ceiling. If ceiling isn't metal use appropriate customer supplied hardware. See Figure 2.



CREE LIGHTING

XSP Series LED Street and Area Light

IMPORTANT SAFEGUARDS

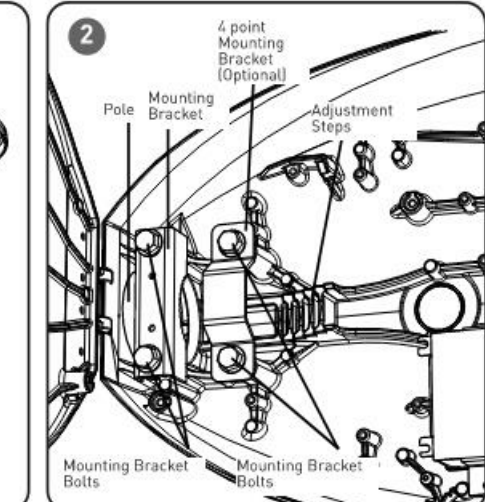
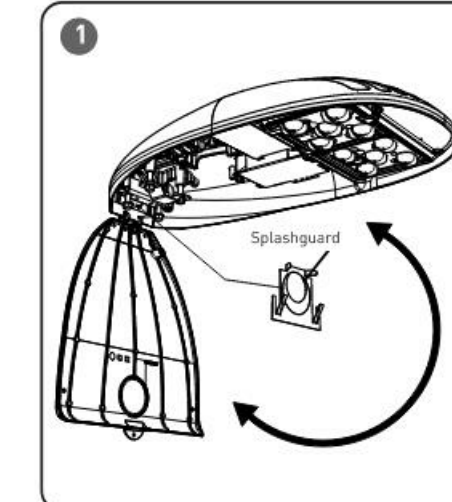
When using electrical equipment, basic safety precautions should always be followed including the following:

READ AND FOLLOW ALL SAFETY INSTRUCTIONS

- DANGER - Risk of shock** - Disconnect power before installation.
- DANGER - Risque de choc** - Couper l'alimentation avant l'installation. Ce produit doit être installé conformément à NEC ou votre code électrique local. Si vous n'êtes pas familiarisé avec ces codes et exigences, consultez un électricien qualifié.
- If NEMA® photo control is installed refer to NEMA® Receptacle section for instructions.
- If mounting bolts are completely removed in the field they should be hand threaded (prior to use of power tools) to ensure proper engagement of the threads when re-installing. Failure to pre-start threads may result in cross-threading or stripping of the bolts during reinstallation.

SAVE THESE INSTRUCTIONS FOR FUTURE REFERENCE

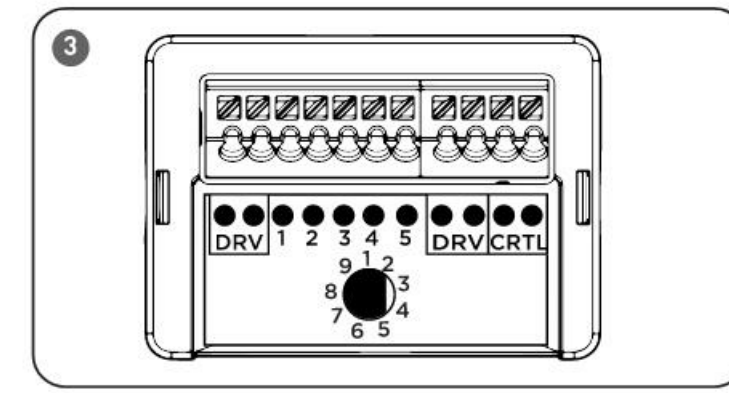
TO INSTALL:



Pipe Size	Pipe Position	Bolt Torque Required (in-lbs)	Bolt Torque Required (N-m)
1.66 in O.D.	-0.0 degrees tilt	200	22
	+2.5 degrees tilt	200	22
	-2.5 degrees tilt	200	22
2.38 in O.D.	-0.0 degrees tilt	200	22
	+2.5 degrees tilt	200	22
	-2.5 degrees tilt	200	22

LUMINAIRE INSTALLATION

- STEP 1:** DO NOT remove splashguard from fixture. If mounting fixture to 1.5 IP pipe (1.66 O.D.), there is no need to modify the splashguard. If mounting fixture onto 2.0 IP pipe (2.38 O.D.), remove the knockout of the splashguard thru the rear opening of the fixture while the fixture is closed. See Figure 1.
- STEP 2:** To open cover, hold fixture and loosen the captive D-ring and allow the cover to swing open. Splashguard may dislodge from fixture, but should be repositioned once ready to mount. See Figure 1.
- STEP 3:** Slide fixture on to pole through opening on the rear of housing and through splashguard. See Figure 2.
- STEP 4:** To level fixture, use bubble level located inside housing. Adjust leveling of fixture from side to side. To level from front to back, slide pole to different step in upper housing. Each step changes the angle in 2.5° degree increments. See Figure 2.
- STEP 5:** Once desired position is achieved, tighten mounting bolts to the appropriate torque values specified in TORQUE VALUES table to above. See Figure 2 use 7/16" socket wrench.
- NOTE:** Luminaires with 4 point mount will have (2) mounting brackets and (4) mounting bolts. See Figure 2.
- STEP 6:** IMPORTANT - DO NOT exceed these torque levels on the mount bolts. Exceeding recommended torque value resulting in excessive deformation of mounting bracket will cause stripping of mount hardware which could lead to an unsafe mounting condition.
- STEP 7:** Reference Electrical Connections section for completing electrical connections.

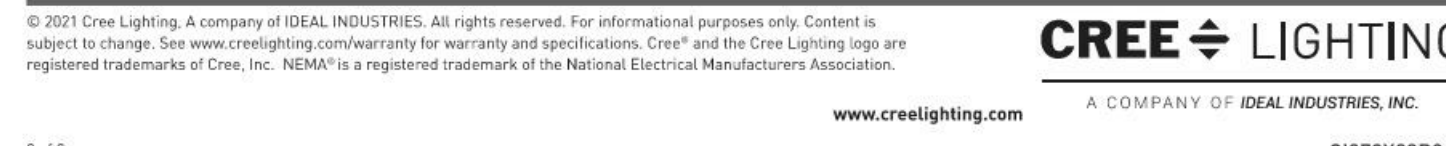


FIELD ADJUSTABLE DIMMING (OPTIONAL)

- NOTE:** This luminaire may be provided with field adjustable dimming. Luminaires leave the factory adjusted to the maximum setting specified when ordered. Verify which dimming module, either Figure 3 in the luminaire and visit www.creeighting.com products for the product specification sheet for lumen and power multipliers for each field adjustable output dim setting.
- STEP 1:** The Dimming Module is located inside the luminaire. Open the cover by loosening the captive D-ring and allow the cover to swing open.
- STEP 2:** Establish the desired input power multiplier by referring to the product dimming spec sheet and turn the switch to the correlating position. For the half moon shaped dial (Figure 3) the center of the flat side should be turned to the desired setting.
- STEP 3:** Adjust the Dimming Module, see Figure 3, to the selected position and close the cover ensuring no wires are pinched.
- NOTE:** The Utility Option will be limited to the highest setting ordered.

ELECTRICAL CONNECTIONS

- STEP 1:** For 120/277V/347V applications make the following Electrical Connections to the terminal block:
- Connect the black fixture lead to the voltage supply position of the terminal block.
 - Connect the white fixture lead to the neutral supply position of the terminal block.
 - Connect the green or green/yellow ground lead to the green wire position of the terminal block.
- For 208/240/480V applications, make the following Electrical Connections to the terminal block:
- Connect Hot 1 supply lead to the black lead.
 - Connect Hot 2 supply lead to the white lead.
 - Connect the green or green/yellow ground lead to the supply ground lead.
- Dimming capabilities may be accessible through optional Nema receptacle.
- NOTE:** Brown and orange leads on optional Nema Receptacle are not used and are capped off. No electrical connection is necessary.
- If Dimming is an option, connect the violet dimming positive lead to the supply dimming positive lead. If dimming is not being used ensure to cap off the violet lead.
 - If Dimming is an option, connect the grey or pink dimming negative lead to the supply dimming negative lead. If dimming is not being used ensure to cap off the grey or pink lead.
- STEP 2:** Push excess supply wires into pole.
- STEP 3:** Close cover re-tighten the captive D-ring, making sure that no wires are pinched and latches are fully engaged.



CREE LIGHTING

XSP Series LED Wall Pack

IMPORTANT SAFEGUARDS

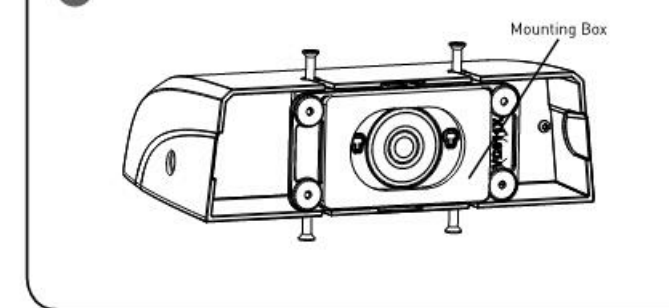
When using electrical equipment, basic safety precautions should always be followed including the following:

READ AND FOLLOW ALL SAFETY INSTRUCTIONS

- To reduce the risk of electrical shock, turn off power supply before installation or servicing.
- This luminaire must be installed in accordance with the NEC or your local electrical code. If you are not familiar with these codes and requirements, consult a qualified electrician.

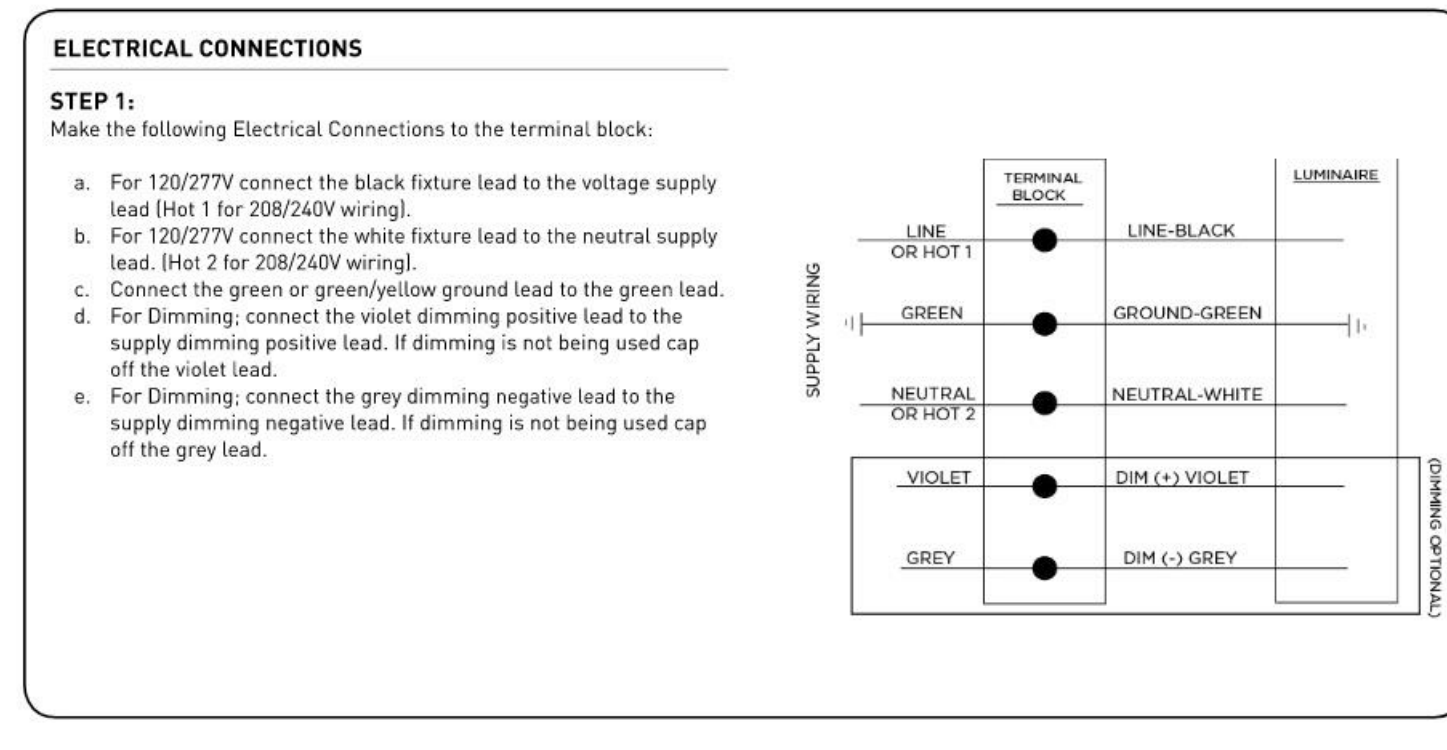
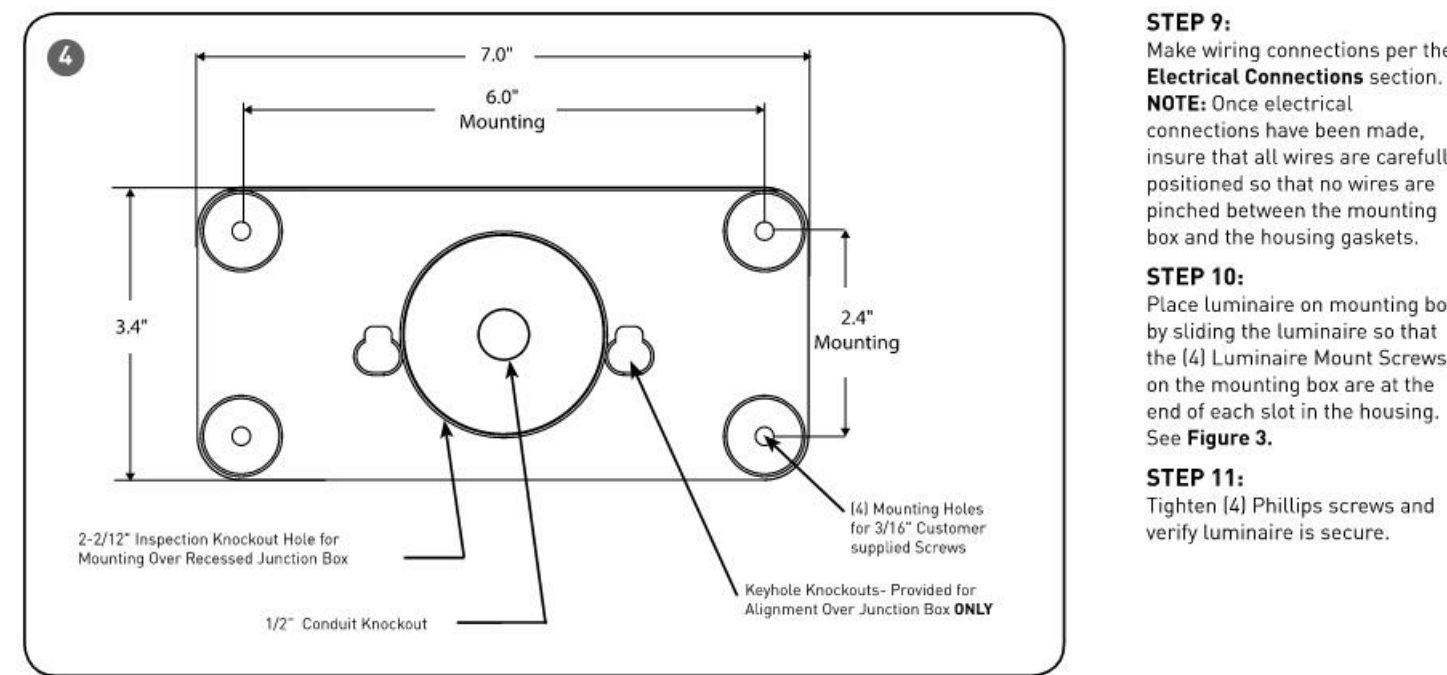
SAVE THESE INSTRUCTIONS FOR FUTURE REFERENCE

TO INSTALL:



WALL MOUNTING

- STEP 1:** Remove mounting box from the luminaire. See Figure 1.
- STEP 2:** IMPORTANT - If needed, the (2) Keyhole knockouts located inside box may be removed, but are for alignment only. See Figure 2. Luminaire is to be supported by (4) 3/16" mounting holes. The Mounting holes will accommodate a #10 Bolt. Select appropriate customer supplied mounting hardware for mounting surface. See Figure 2 and 4.
- STEP 3:** Place mounting box over junction box or conduit. If mounting over junction box a 2-1/2" inspection knockout hole is included. See Figure 2 and 4.
- STEP 4:** For surface wiring (4) 1/2" threaded holes are available. See Figure 2 and 4.
- STEP 5:** If mounting on a uneven surface, place a minimum of a 1/4" bead of high grade silicone on the back gasket encompassing the inspection Knockout hole on the back of the mounting box. See Figure 4.
- STEP 6:** If mounting over surface mounted conduit use the knockout conduit openings located on the top, bottom, or sides of the luminaire. Knockouts can be removed by using a hammer or pliers. See Figure 3.
- STEP 7:** Before securing to wall mounting surface, make sure mounting box is level.
- STEP 8:** Secure mounting box to wall.



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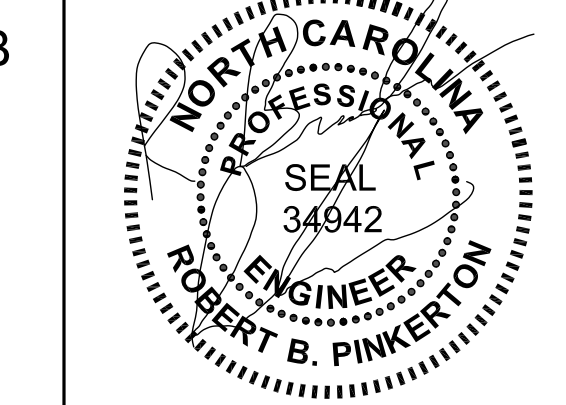
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REVISIONS

NO.	DATE	DESCRIPTION
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7 - ELEVEN 9350 CST
748 SOUTH MAIN STREET
ROLESVILLE, NC 27571



04/09/2024
Engineer Name - ROBERT B. PINKERTON
Engineer Number - 34942

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Drawing Size: 30 x 42	Project #: 22050
Drawn By: ADF	Checked By: ADF

Title:
LIGHTING FIXTURE DETAILS

Sheet Number:
E0.5

Date: 04/09/2024

TREE PRESERVATION AREA			
Wallbrook	Area (SF)	Acres	
Lot 1A (Publix)	289,488.0	6.65	
Lot 1B	100,018.8	2.30	
Lot 1C	82,590.5	1.90	
Lot 2	74,702.8	1.71	
Lot 3	47,515.5	1.09	
Lot 4	78,725.4	1.81	
Lot 5 (Boat Tract)	220,767.8	5.07	
Lot 6 (Townhomes)	876,206.2	20.11	
Lot 7	119,306.6	2.74	
Lot 8	232,868.9	5.35	
Right-of-Way (Future)	290,799.5	6.68	
WALLBROOK GROSS ACREAGE		55.39	
TREE PRESERVATION AREA	368,616.2	8.46	15.28%
QUALIFYING REPLACEMENT DECIDUOUS			12
QUALIFYING REPLACEMENT EVERGREEN			8

Paris Tract	Area (SF)	Acres	
Lot 9	86,013.5	1.97	
Lot 10	136,382.3	3.13	
Lot 11	70,406.6	1.62	
Right-of-Way (Future)	13,978.4	0.32	
PARIS TRACT GROSS ACREAGE		7.04	
TREE PRESERVATION AREA	16,399.5	0.38	5.35%
QUALIFYING REPLACEMENT DECIDUOUS			2
QUALIFYING REPLACEMENT EVERGREEN			0

MBW Tract	Area (SF)	Acres	
Lot 12	223,658.5	5.13	
Lot 13	60,807.1	1.40	
Lot 14	17,893.2	0.41	
MBW GROSS ACREAGE		6.94	
TREE PRESERVATION AREA	0.0	0.00	0.00%
QUALIFYING REPLACEMENT DECIDUOUS			1
QUALIFYING REPLACEMENT EVERGREEN			0

TREE REPLACEMENT - WALLBROOK						
Date	ToR Project #	Project Description	Deciduous	Total Provided / Required	Evergreen	Total Provided / Required
18-AUG-23	SOP 23-05	Publix at Wallbrook	12	12 / 12	8	8 / 8

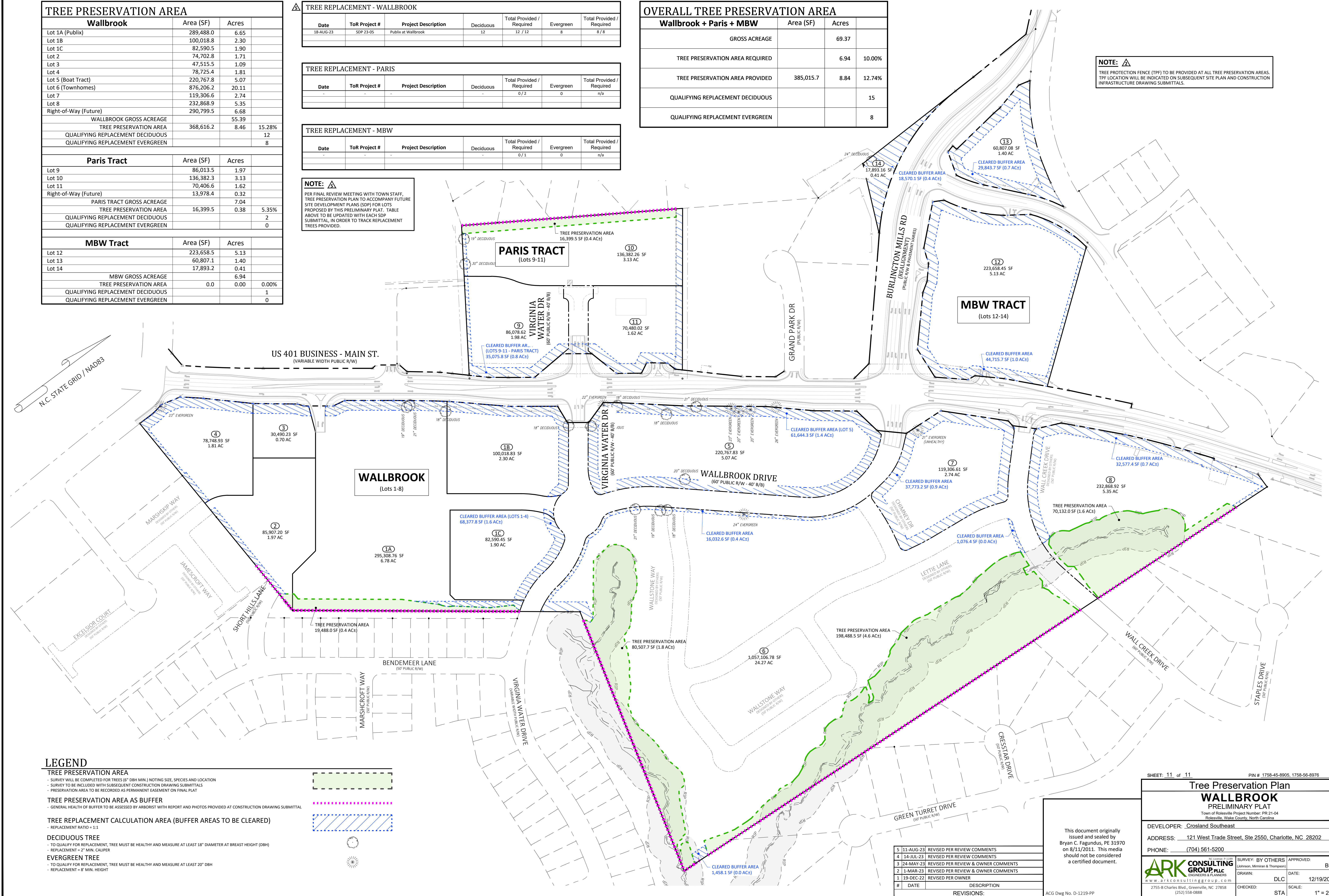
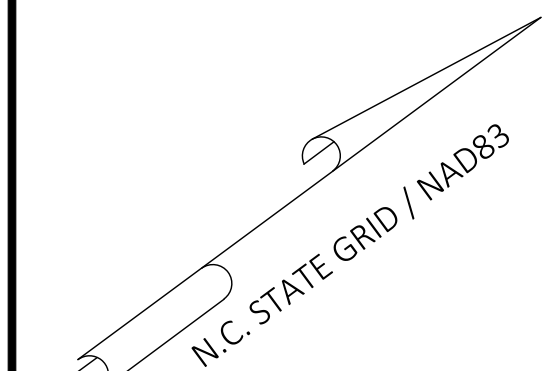
TREE REPLACEMENT - PARIS						
Date	ToR Project #	Project Description	Deciduous	Total Provided / Required	Evergreen	Total Provided / Required
				0 / 2	0	n/a

TREE REPLACEMENT - MBW						
Date	ToR Project #	Project Description	Deciduous	Total Provided / Required	Evergreen	Total Provided / Required
				0 / 1	0	n/a

NOTE: PER FINAL REVIEW MEETING WITH TOWN STAFF, TREE PRESERVATION PLAN TO ACCOMPANY FUTURE SITE DEVELOPMENT PLANS (SDP) FOR LOTS PROPOSED BY THIS PRELIMINARY PLAT. TABLE ABOVE TO BE UPDATED WITH EACH SDP SUBMITTAL, IN ORDER TO TRACK REPLACEMENT TREES PROVIDED.

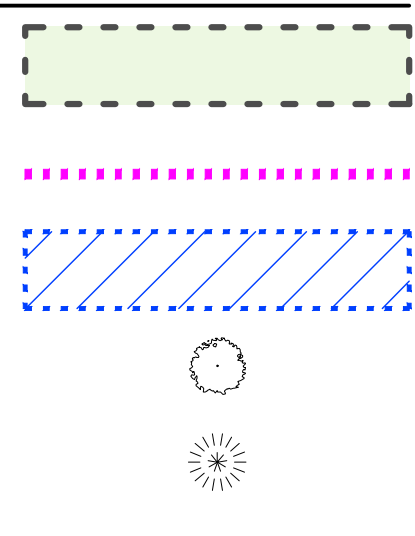
OVERALL TREE PRESERVATION AREA			
Wallbrook + Paris + MBW	Area (SF)	Acres	
GROSS ACREAGE		69.37	
TREE PRESERVATION AREA REQUIRED		6.94	10.00%
TREE PRESERVATION AREA PROVIDED	385,015.7	8.84	12.74%
QUALIFYING REPLACEMENT DECIDUOUS			15
QUALIFYING REPLACEMENT EVERGREEN			8

NOTE: TREE PROTECTION FENCE (TPF) TO BE PROVIDED AT ALL TREE PRESERVATION AREAS. TPF LOCATION WILL BE INDICATED ON SUBSEQUENT SITE PLAN AND CONSTRUCTION INFRASTRUCTURE DRAWING SUBMITTALS.



LEGEND

- TREE PRESERVATION AREA**
 - SURVEY WILL BE COMPLETED FOR TREES (6" DBH MIN.) NOTING SIZE, SPECIES AND LOCATION
 - SURVEY TO BE INCLUDED WITH SUBSEQUENT CONSTRUCTION DRAWING SUBMITTALS
 - PRESERVATION AREA TO BE RECORDED AS PERMANENT EASEMENT ON FINAL PLAT
- TREE PRESERVATION AREA AS BUFFER**
 - GENERAL HEALTH OF BUFFER TO BE ASSESSED BY ARBORIST WITH REPORT AND PHOTOS PROVIDED AT CONSTRUCTION DRAWING SUBMITTAL
- TREE REPLACEMENT CALCULATION AREA (BUFFER AREAS TO BE CLEARED)**
 - REPLACEMENT RATIO = 1:1
- DECIDUOUS TREE**
 - TO QUALIFY FOR REPLACEMENT, TREE MUST BE HEALTHY AND MEASURE AT LEAST 18" DIAMETER AT BREAST HEIGHT (DBH)
 - REPLACEMENT = 2" MIN. CALIPER
- EVERGREEN TREE**
 - TO QUALIFY FOR REPLACEMENT, TREE MUST BE HEALTHY AND MEASURE AT LEAST 20" DBH
 - REPLACEMENT = 8" MIN. HEIGHT



#	DATE	DESCRIPTION
5	11-AUG-23	REVISED PER REVIEW COMMENTS
4	14-JUL-23	REVISED PER REVIEW COMMENTS
3	24-MAY-23	REVISED PER REVIEW & OWNER COMMENTS
2	1-MAR-23	REVISED PER REVIEW & OWNER COMMENTS
1	19-DEC-22	REVISED PER OWNER

This document originally issued and sealed by Bryan C. Fagundus, PE 31970 on 8/11/2011. This media should not be considered a certified document.

SHEET: 11 of 11 PIN # 1758-45-8905, 1758-56-8976

Tree Preservation Plan
WALLBROOK
PRELIMINARY PLAT

DEVELOPER: Crosland Southeast
ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202
PHONE: (704) 561-5200

795-B Charles Blvd., Greenville, NC 27858
(252) 558-0888

APPROVED: BCF
DATE: 12/19/2022
SCALE: 1" = 200'

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