

PARKER RIDGE AMENITY PLAN

82 SCHOOL STREET
ROLESVILLE, NORTH CAROLINA 27571

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10
PREVIOUS REZONING APPLICATION: MA22-03



ENLARGEMENT
SCALE: 1" = 200'

SITE DATA (TO BE REVISED UPON FINAL PLATTING)

PIN #: 58884270
TOTAL ACREAGE: 1.29 ACRES
CURRENT USE: VACANT
PROPOSED USE: AMENITY CENTER
ZONING: RH/RM
WATERSHED: LOWER NEUSE RIVER
RIVER BASIN: NEUSE
CURRENT IMPERVIOUS (TO REMAIN): 0.35 AC
PROPOSED ADDITIONAL IMPERVIOUS: 0.24 AC
FINAL IMPERVIOUS: 0.59 AC
BLDG HT: 21'-6"
BLDG SF: 1,063 SF
TREE COVERAGE DATA: NO EXISTING TREES IN PROJECT SCOPE AREA

SHEET INDEX

L4-0	AMENITY - COVER SHEET
L4-1	AMENITY - EXISTING CONDITIONS PLAN
L4-2	AMENITY - LAYOUT AND HARDSCAPE PLAN
L4-3	AMENITY - GRADING, DRAINAGE AND UTILITIES PLAN
L4-4	AMENITY - PLANTING PLAN
L4-5	AMENITY - SITE AND PLANTING DETAILS (1 OF 2)
L4-6	AMENITY - SITE AND PLANTING DETAILS (2 OF 2)
L4-7	AMENITY - EROSION CONTROL PLAN
A1.0	AMENITY - BATH HOUSE PLAN
A2.0	AMENITY - BATH HOUSE ELEVATIONS
L4-0 DEP	LIGHTING PLAN WITH GRID
L4-1 DEP	LIGHTING PLAN WITHOUT GRID

Parking Clubhouse	Bldg	Unit	Per Unit	Additional
Building	1063	sf	1 / 1000	sf
Acre	1.29	ac	5/ac	
Total				9

PARKER RIDGE SUBDIVISION ZONING CONDITIONS

- DEVELOPMENT OF THE PROPERTY SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE ACCOMPANYING EXHIBIT C CONCEPT PLAN. LOCATIONS SHOWN FOR COMMITTED ELEMENTS INCLUDING, BUT NOT LIMITED TO GREENWAYS, STREETS, AND OPEN AREAS SHOWN ON EXHIBIT C, ARE CONCEPTUAL AND PROVIDED FOR ILLUSTRATION AND CONTEXT ONLY. FINAL LOCATIONS OF ELEMENTS SHALL BE DETERMINED AT SUBSEQUENT STAGES OF APPROVAL. DEVELOPER SHALL BE ENTITLED TO A CREDIT AGAINST THE PROJECT'S PARKS AND RECREATION FEES FOR THE COSTS TO CONSTRUCT PUBLIC GREENWAYS.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED RESIDENTIAL HIGH DENSITY (THE "RH PARCEL"):
 - LIVE-WORK UNIT.
 - RESIDENTIAL CARE (ALF, ILF, CCF).
 - TELECOMMUNICATIONS TOWER.
- THE RH PARCEL SHALL HAVE A MAXIMUM OF 120 TOWNHOUSE DWELLINGS.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED RESIDENTIAL MEDIUM DENSITY (THE "RM PARCEL"):
 - TELECOMMUNICATIONS TOWER.
 - THE RM PARCEL SHALL HAVE A MAXIMUM OF 170 SINGLE-FAMILY DETACHED DWELLINGS.
- A SINGLE-FAMILY DETACHED HOME SHALL BE DEVELOPED AND DONATED AS PART OF WOUNDED WARRIOR HOMES, OPERATION COMING HOME, OPERATION FINALLY HOME, OR SIMILAR ORGANIZATION PROVIDING HOMES TO VETERANS. DEVELOPER SHALL BE ENTITLED TO A WAIVER OF ALL TOWN OF ROLESVILLE PERMIT FEES FOR THIS HOME.
- THE DEVELOPMENT SHALL INCLUDE AT LEAST ONE POLLINATOR GARDEN. THE POLLINATOR GARDEN SHALL BE A LANDSCAPED GARDEN IN WHICH AT LEAST SEVENTY FIVE PERCENT (75%) OF ALL PLANTS, EXCLUDING GRASSES, ARE NATIVE MILKWEEDS AND OTHER NECTAR-RICH FLOWERS.
- PERIMETER BUFFERS SHALL BE PROVIDED AS SHOWN ON THE CONCEPT PLAN. TYPE 3 AND TYPE 4 PERIMETER BUFFERS MAY INCLUDE 6' FENCES INSTEAD OF WALLS.
- ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A 2 CAR GARAGE.
 - ALL GARAGE DOORS SHALL HAVE WINDOWS.
 - GROUND FLOOR ELEVATION AT THE FRONT DOOR SHALL BE A MINIMUM OF 12" ABOVE AVERAGE GRADE ACROSS THE FRONT FACADE OF THE HOUSE.
 - A MINIMUM 24" STONE OR MASONRY WATER TABLE ALONG THE FRONT ELEVATION.
- IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKEBOARD AND BATTEN.
- ROOF PITCHES ON THE MAIN ROOF WILL HAVE A PITCH BETWEEN 5 ON 12 AND 12 ON 12.
- ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD.
- MINIMUM 12" FRONT OVERHANGS.
- A COVERED STOOP OR PORCH AT LEAST 20 SF AND 5 FT DEEP.
- ALL WINDOWS ON FRONT FACADES SHALL HAVE SHUTTERS OR WINDOW TRIM.
- A MINIMUM 64 SF REAR PATIO.
- AT LEAST ONE WINDOW ON EACH SIDE ELEVATION.
- NO SINGLE-FAMILY DETACHED HOME SHALL BE CONSTRUCTED WITH A FRONT ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE HOME ON EITHER SIDE OF IT OR DIRECTLY ACROSS FROM IT, AND A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
- ALL TOWNHOUSE DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A 1 OR 2 CAR GARAGE.
 - A MINIMUM 24" STONE OR MASONRY WATER TABLE ALONG THE FRONT ELEVATION.
 - IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKEBOARD AND BATTEN.
 - ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD.
 - MINIMUM 12" FRONT OVERHANGS.
 - A COVERED STOOP OR PORCH AT LEAST 20 SF AND 5 FT DEEP.
 - SHUTTERS OR WINDOW TRIM SHALL BE ON FRONT FACADE WINDOWS.
 - A MINIMUM 64 SF REAR PATIO SHALL BE PROVIDED ON FRONT LOADED TOWNHOUSES.
 - AT LEAST ONE WINDOW ON EACH SIDE ELEVATION (EXCLUDING INTERIOR UNITS).
 - NO TOWNHOUSE SHALL BE PAINTED A COLOR THAT IS IDENTICAL TO THE HOME ADJACENT ON EITHER SIDE OF IT, AND A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
- THE DEVELOPER SHALL OFFER TO DEDICATE THE SECTION OF LAND LABELED AS "PARCEL - A - TOWN OF ROLESVILLE PARK EXPANSION" ON THE CONCEPT PLAN FOR USE AS A PUBLIC PARK. THIS LAND SHALL COUNT TOWARD OPEN SPACE REQUIREMENTS FOR THE OVERALL DEVELOPMENT.
- THE PROJECT SHALL HAVE A PUBLIC GREENWAY STUBBED TO THE 307 S, MAIN STREET PROPERTY LINE.

NEAR "ACCESS C" AS SHOWN ON THE "PARKER RIDGE TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED FEBRUARY 2, 2023 (THE "TIA"), NOTWITHSTANDING THE FOREGOING, THE PROJECT SHALL NOT HAVE A PUBLIC STREET ACCESS TO SCHOOL STREET.

13. DEVELOPER SHALL DESIGN AND CONSTRUCT: (1) THE PUBLIC COLLECTOR STREET IDENTIFIED AS ACCESS D IN THE TIA THAT EXTENDS THE STREET NETWORK WITHIN THE DEVELOPMENT THROUGH WAKE COUNTY PIN 178-98-8727 (THE "CAMPUS SITE") TO E YOUNG STREET ("ACCESS D ROUTE"), AND (2) A NORTHBOUND LEFT TURN LANE WITH 75 FEET OF FULL-WIDTH STORAGE AND APPROPRIATE TAPER FROM YOUNG STREET TO ACCESS D AS RECOMMENDED BY THE TIA ("TURN LANE") (ACCESS D ROUTE AND TURN LANE ARE COLLECTIVELY REFERRED TO AS THE "YOUNG STREET CONNECTION"). THE YOUNG STREET CONNECTION SHALL BE DESIGNED AND CONSTRUCTED TO TOWN OF ROLESVILLE AND NCDOT STANDARDS AND ACCESS D SHALL BE LOCATED IN SUBSTANTIAL CONFORMANCE WITH THE CORRIDOR SHOWN IN THE ATTACHED EXHIBIT E. THE STREET SECTION FOR ACCESS D SHALL BE CONSTRUCTED AS SHOWN IN THE ATTACHED EXHIBIT F. DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS TO DESIGN AND CONSTRUCT THE YOUNG STREET CONNECTION (THE "COSTS") AND DEVELOPER SHALL BE ENTITLED TO A CREDIT AGAINST THE PROJECT'S TRANSPORTATION IMPACT FEES FOR THE COSTS. CONSTRUCTION OF THE YOUNG STREET CONNECTION SHALL COMMENCE PRIOR TO APPROVAL OF THE 105TH DWELLING UNIT BUILDING PERMIT FOR THE PROJECT AND SHALL BE COMPLETE NOT LATER THAN APPROVAL OF THE 105TH DWELLING UNIT BUILDING PERMIT FOR THE PROJECT.

WHILE IT IS ANTICIPATED THAT THIS CONDITION WILL BE CLARIFIED BY A FORMAL DEVELOPMENT AGREEMENT, REIMBURSEMENT AGREEMENT, OR OTHER WRITTEN AGREEMENT BETWEEN THE DEVELOPER AND THE TOWN, THE ABSENCE OF SUCH A SUBSEQUENT WRITTEN AGREEMENT SHALL NOT BE DEEMED TO INVALIDATE THIS CONDITION. THIS CONDITION IS SUBJECT TO THE FOLLOWING CAVEATS:

- IN THE EVENT THE CAMPUS SITE, AN APPROVED ALIGNMENT WITHIN THE EXHIBIT E CORRIDOR, OR NECESSARY RIGHTS-OF-WAY, EASEMENTS, OR OTHER PROPERTY RIGHTS ARE MADE UNAVAILABLE TO THE PROJECT, THIS CONDITION SHALL BE DEEMED EXTINGUISHED.
- IN THE EVENT THE TOWN COMMENCES DESIGN AND/OR DEVELOPMENT OF ANY PART OF THE YOUNG STREET CONNECTION, THE DEVELOPER OBLIGATIONS FOR DESIGN AND/OR DEVELOPMENT, AS APPROPRIATE, FOR THOSE PORTIONS OF THE YOUNG STREET CONNECTION SHALL BE DEEMED EXTINGUISHED. FOR PURPOSES OF CLARITY, DEVELOPER SHALL REMAIN ENTITLED TO A CREDIT AGAINST THE PROJECT'S TRANSPORTATION IMPACT FEES FOR REMAINING COSTS.

"PROJECT" SHALL MEAN "PARKER RIDGE" AS DESCRIBED BY MA 22-03 AND ANX 22-06.

"DEVELOPER" SHALL MEAN LENNAR CAROLINAS LLC, AND ITS SUCCESSORS AND ASSIGNS.

PROJECT OWNER AND CONSULTANT INFORMATION

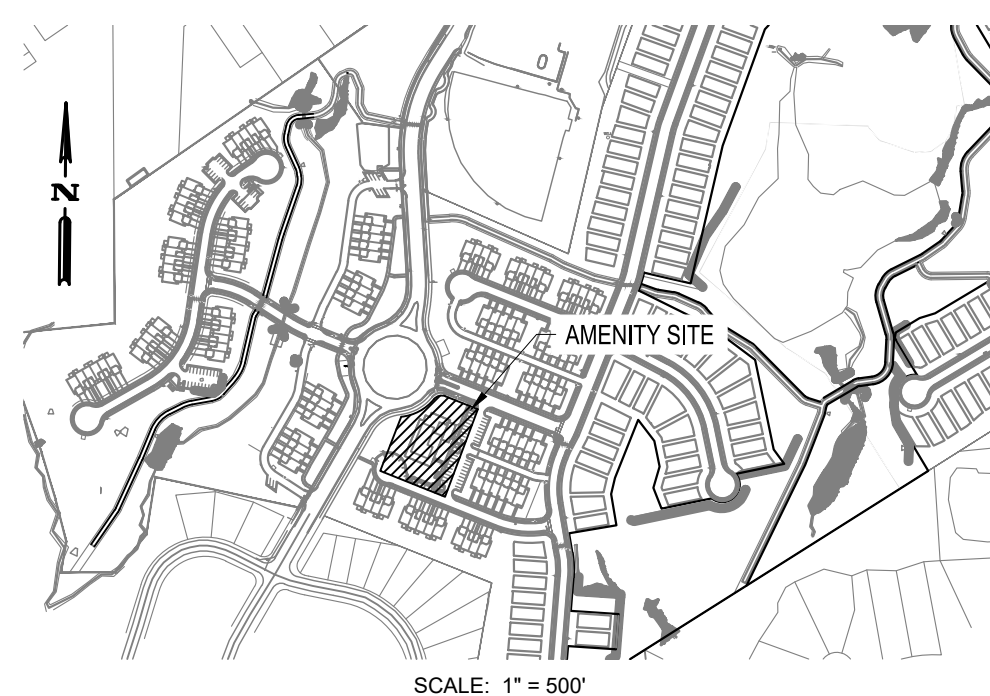
OWNER/DEVELOPER: LENNAR CORPORATION 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE, NC 27560 (919) 863-6461	ENGINEER: BGE, INC 5400 WADE PARK BOULEVARD RALEIGH, NORTH CAROLINA 27607 (919) 276-0111	BOUNDARY SURVEYOR: JOHNSON, MIRMIRAN & THOMPSON, INC. 9201 ARBORETUM PARKWAY SUITE 310 RICHMOND, VA 23236 (804) 267-1258	TOPOGRAPHIC SURVEYOR: ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE SUITE 102 CARY, NC 27511 (919) 460-2024
CONTACT: MICHAEL TAYLOR, PE LEED AP	CONTACT: DEBRA FERM, P.E.	CONTACT MICHAEL ZMUDA, L.S., P.S.	CONTACT: JAMES WHITACRE, P.E., L.S.

SITE LOCATION MAP
NOT TO SCALE

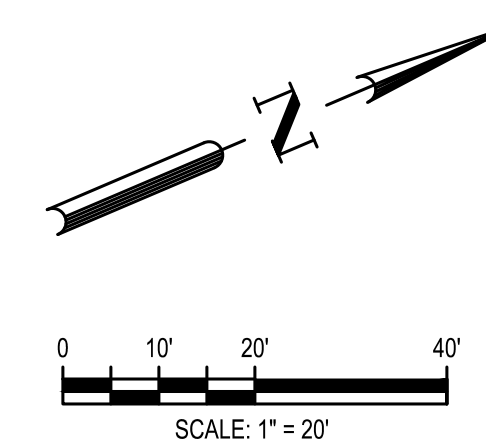


FILE NUMBER:
8430-03
DATE: 04/16/2025

L4-0

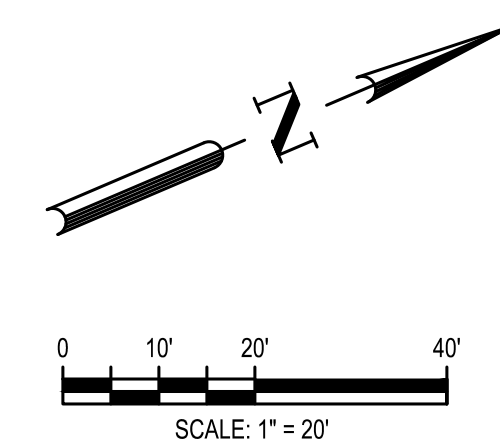
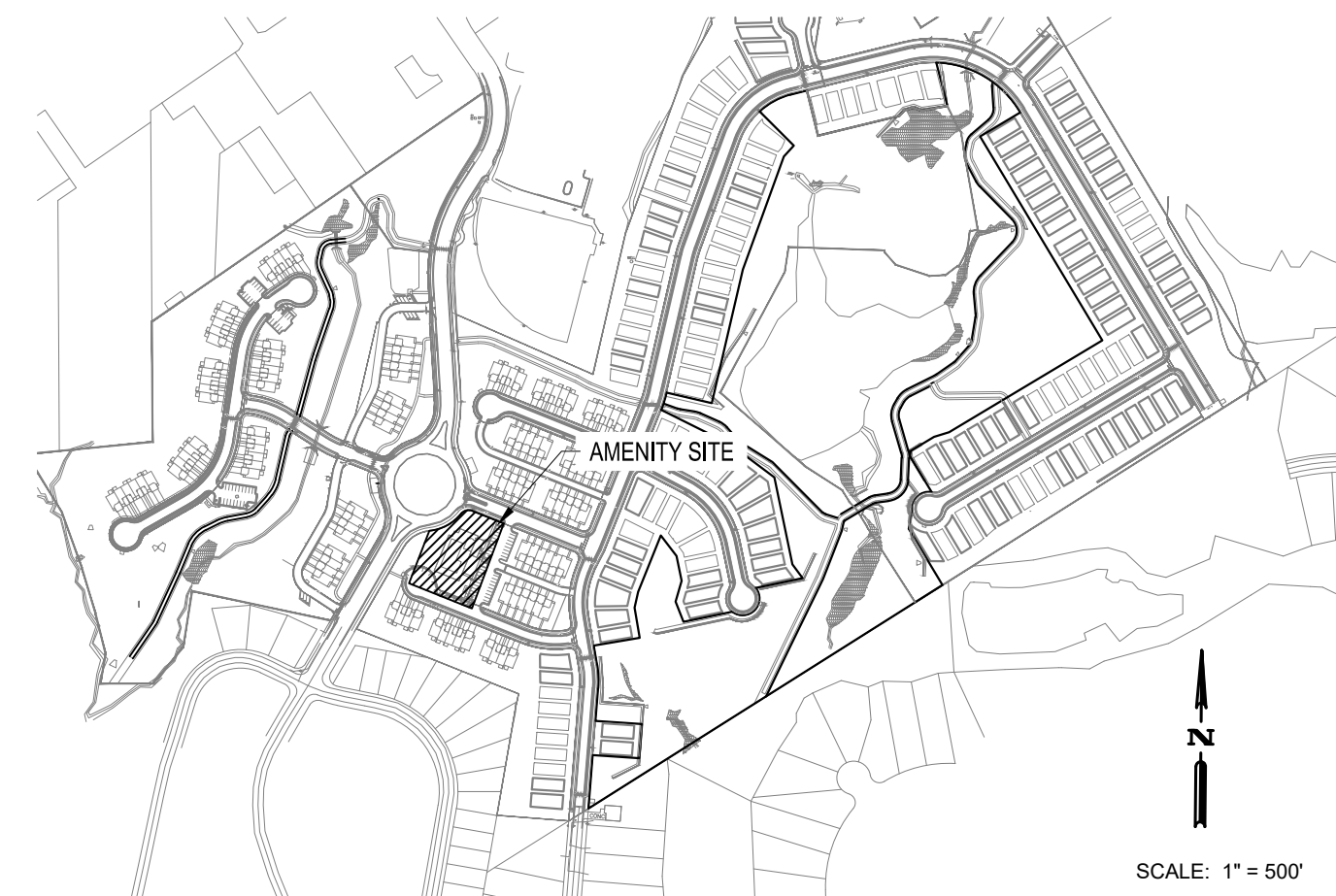


SITE DEVELOPMENT PLAN
MOLESVILLE CASE NUMBER: SDP-24-10



Know what's below.
Call before you dig.

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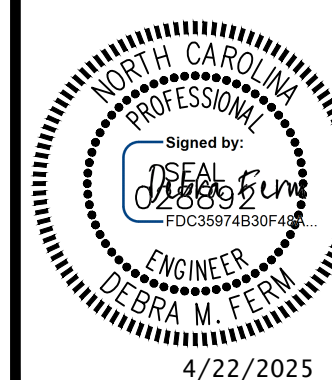


Parking Clubhouse	Bldg	Unit	Per Unit	Additional
Building	1063	sf	1 / 1000 sf	2
Acre	1.29	ac	5/ac	7
Total				9

SITE DEVELOPMENT PLAN
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L4-2

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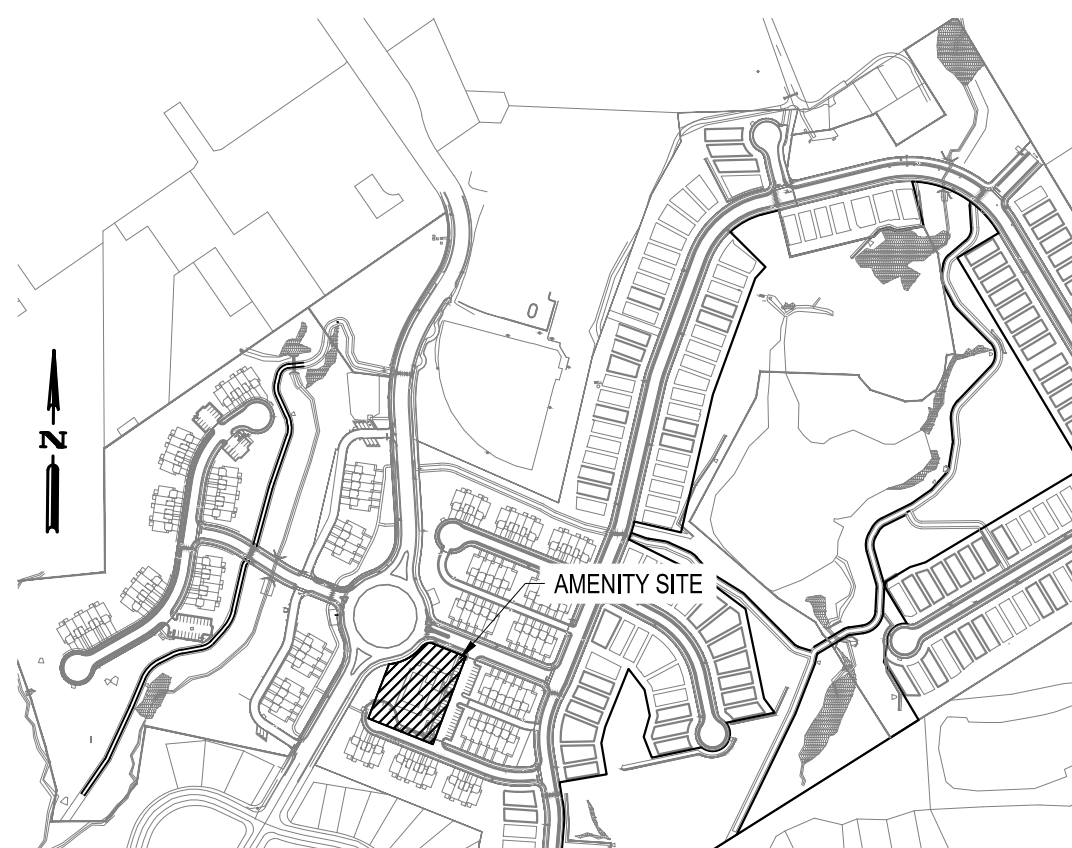
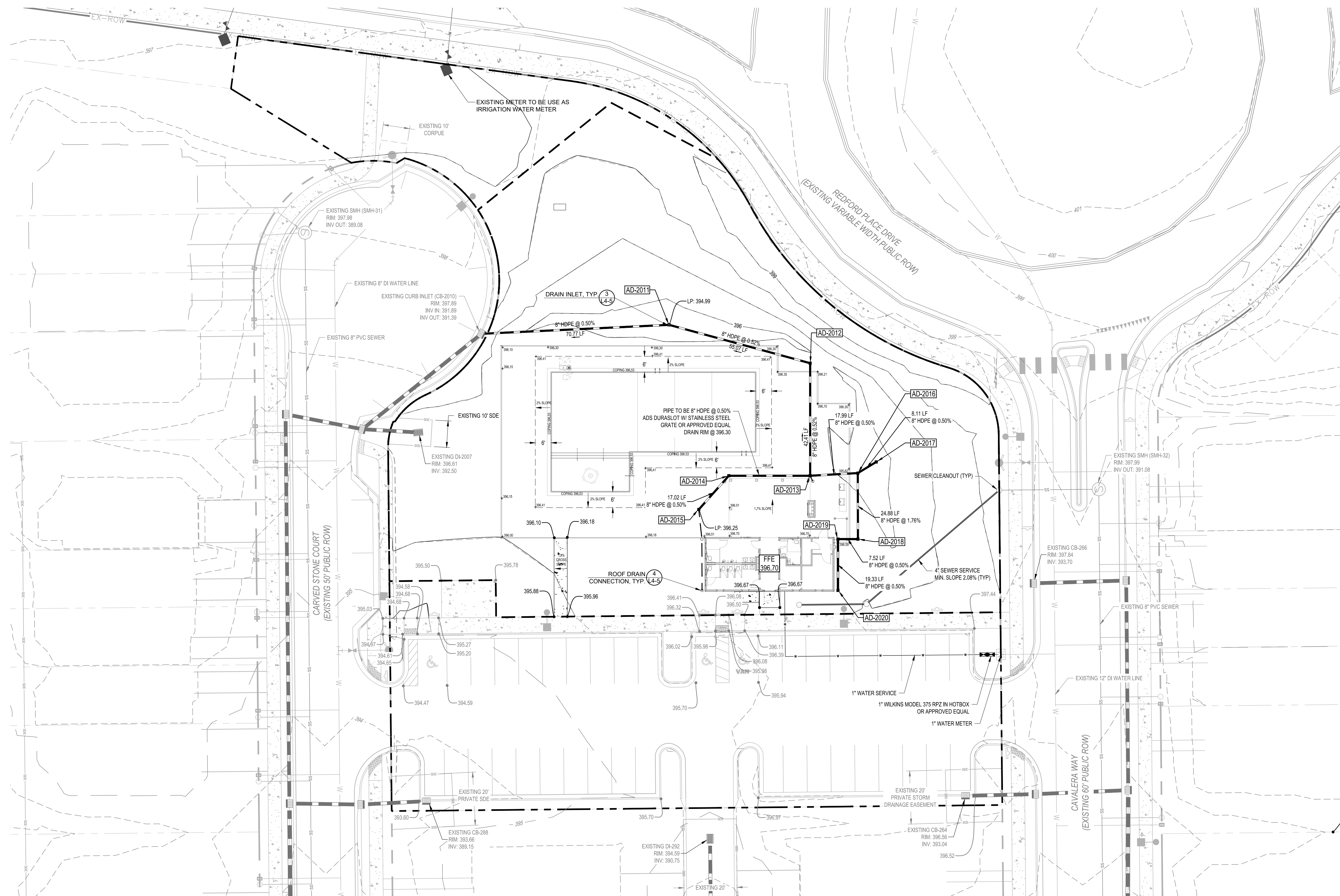
DESIGNED BY:	DF/CD
DRAWN BY:	DF/JWM
REVIEWED BY:	DF



**LENNAR
CORPORAION**
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE / NORTH CAROLINA / 27560

PARKER RIDGE
AMENITY CENTER

AMENITY - LAYOUT AND HARDSCAPE PLAN



SCALE: 1" = 500'

STRUCTURE DATA TABLE						
STRUCTURE NAME	RIM ELEV.	PIPE IN SIZE	INV. IN	INV. OUT	PIPE OUT SIZE	PIPE OUT TO NODE
AD-2011	394.99	8"	392.36 (NE)	392.16 (S)	8"	CB-2010
AD-2012	396.13	8"	392.65 (E)	392.65 (SW)	8"	AD-2011
AD-2013	396.30	8"	394.15 (S) 393.73 (N)	393.07 (W)	8"	AD-2012
AD-2014	396.30	8"	394.50 (SE)	394.30 (N)	8"	AD-2013
AD-2015	396.25	8"		394.58 (NW)	8"	AD-2014
AD-2016	395.74	8"	394.09 (E) 393.56 (N)	393.36 (S)	8"	AD-2013
AD-2017	395.27			393.60 (S)	8"	AD-2016
AD-2018	396.52	8"	394.72 (S)	394.52 (W)	8"	AD-2016
AD-2019	396.65	8"	394.96 (E)	394.76 (N)	8"	AD-2018
AD-2020	396.72			395.05 (W)	8"	AD-2019









NOTE: ALL HDPE TO BE ADS N-12 DUAL WALL OR APPROVED EQUAL

PROPOSED GRADING AND DRAINAGE LEGEND

The diagram illustrates a proposed stormwater management system layout. It includes the following components and elevations:

- PROPOSED BORING:** Indicated by a symbol at the top left.
- PROPOSED DETENTION:** Represented by a horizontal line with a dashed center.
- PROPOSED CLEARING LIMITS:** Indicated by two horizontal lines with elevations of 450 and 449.
- PROPOSED MAJOR CONTOUR:** A horizontal line.
- PROPOSED MINOR CONTOUR:** A horizontal line.
- PROPOSED SPOT:** Two spot elevations: 100.XX and 100.XX.
- PROPOSED GRADING ARROW:** An arrow pointing left labeled "H/V" and an arrow pointing right labeled "X/X%".
- PROPOSED SWALE:** A horizontal line with a central depression.
- PROPOSED STORM:** A horizontal line with a central depression.
- PROPOSED STORM SYMBOL:** A symbol representing a storm event.
- PROPOSED BUILDING SPOT:** Two spot elevations: 01-FES and 02-CB.
- PROPOSED STEM WALL:** A horizontal line with a central depression.
- FINISHED PAD ELEVATION:** A horizontal line with a central depression.

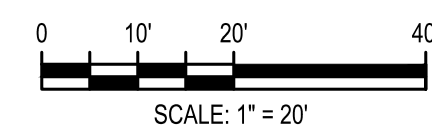
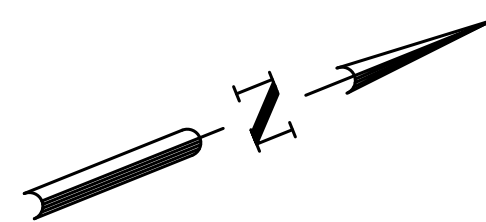
PROPOSED UTILITY LEGEND

	PROPOSED DOMESTIC WATER
	PROPOSED FIRE WATER
	PROPOSED IRRIGATION
	PROPOSED SANITARY
	PROPOSED EASEMENT
	PROPOSED STORM EASEMENT
	TREE PROTECTION FENCE
	EXISTING STORM EASEMENT

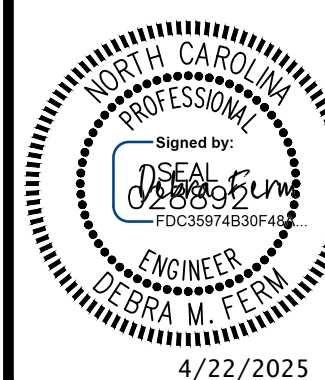
NOTE: WHERE DISCHARGE TO THE STORM SEWER IS NOT POSSIBLE AND A SWIMMING POOL IS CONNECTED TO THE SANITARY SEWER SYSTEM FOR THE PURPOSES OF DRAINING OR FLUSHING THE POOL / FOUNTAIN OR BACKWASHING THE FILTERS, THE DRAINAGE SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE TO THE SANITARY SEWER DOES NOT EXCEED 50 GPM.

NOTE: EXISTING (PER CID-23-06) PARKING LOT SPOT GRADES ARE SHOWN IN GRAY AND FOR REFERENCE ONLY.

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L4-3

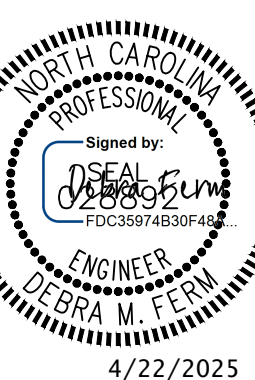
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PARKER RIDGE
AMENITY CENTER

82 SCHOOL STREET
ROLESVILLE / NORTH CAROLINA / 27571

AMENITY - GRADING,
DRAINAGE AND
UTILITIES PLAN



FILE NUMBER:
8430-03

DATE: 04/16/2025

L4-3

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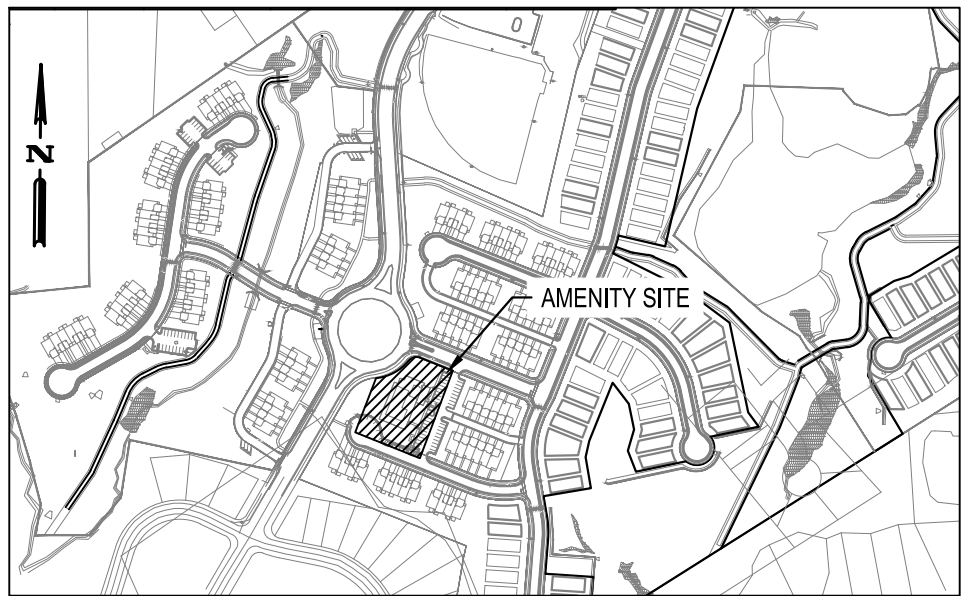
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	2	03/03/2025	PER TOWN OF ROLESVILLE COMMENT
	1	01/02/2025	PER TOWN OF ROLESVILLE COMMENT

DESIGNED BY: DE/C

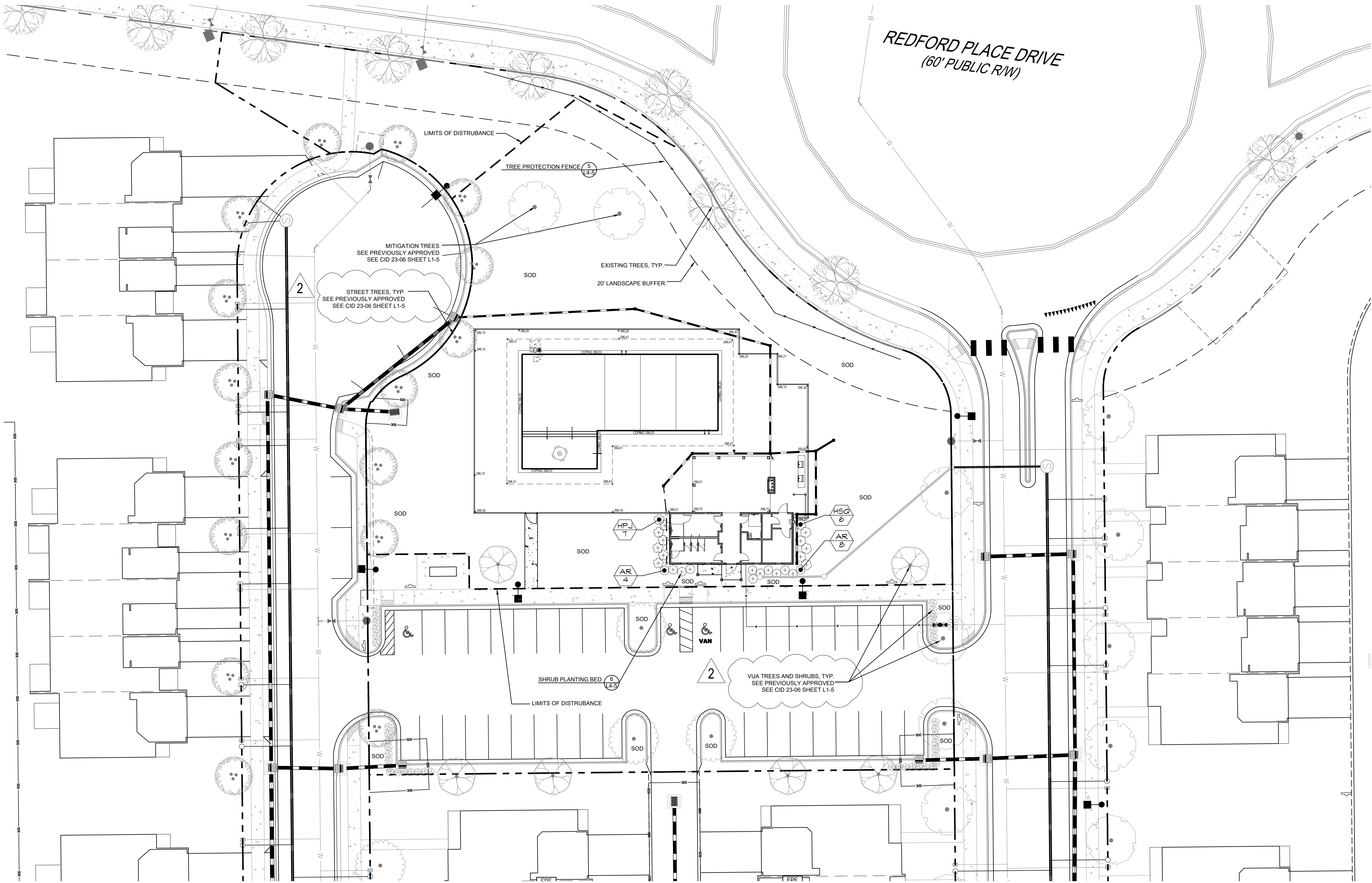
DRAWN BY: DF/JV

REVIEWED BY: DF

1000



SCALE: 1" = 500'



SODDING NOTES

SITE PREPARATION

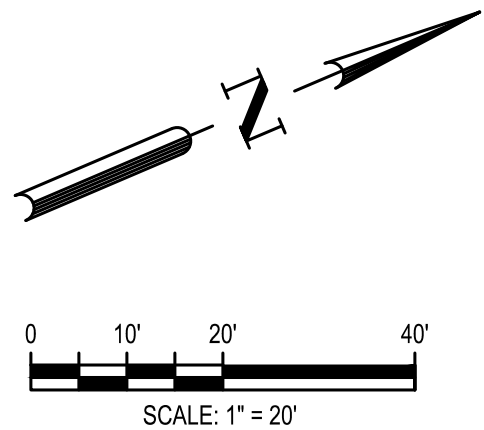
- CONTRACTOR TO FINE GRADE ALL SOD AREAS PRIOR TO INSTALLATION
- CONTRACTOR TO LOOSEN SOIL TO A DEPTH OF 4" BY DISKING, RAKING, ROTO-TILLING, OR OTHER ACCEPTABLE MEANS, AND RAKE SMOOTH ENSURING ALL ROOTS, DEBRIS, AND STONES GREATER THAN 1"Ø ARE REMOVED.
- CONTRACTOR TO PROVIDE A SOIL pH AND NUTRIENT TEST TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION, AND AMEND SOIL AS NEEDED PER LOCAL COOPERATIVE EXTENSION OFFICE GUIDELINES TO ACHIEVE IDEAL GROWING CONDITIONS FOR BOTH TURF AND LANDSCAPE BEDS.
- ALL SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF SOD.

NO SODDED AREAS SHALL BE INSTALLED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING, HAVE OCCURRED.

SOD INSTALLATION

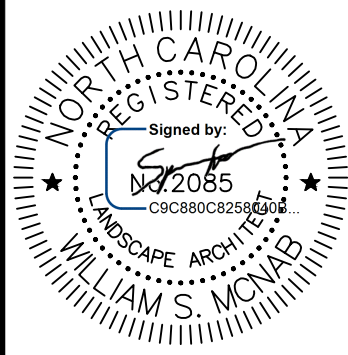
- CONTRACTOR TO ENSURE SOD AREAS UTILIZE ROLLS THAT ARE NOT BROKEN OR STRETCHED AND FREE OF DISEASE, PESTS, AND THATCH.
- SODDING SHALL OCCUR IN EARLY SPRING OR EARLY FALL AND SHALL BE INSTALLED WITHIN 24 HOURS OF ARRIVING ON SITE UNLESS APPROVED OTHERWISE BY LANDSCAPE ARCHITECT.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS ON SITE AND HAVE STAGGERED JOINTS. SOD SHALL BE STAKED ON SLOPES GREATER THAN 3:1 OR IN DRAINAGE SWALES.
- CONTRACTOR TO APPLY STARTER FERTILIZER AT TIME OF SODDING AT A RATE RECOMMENDED BY THE MANUFACTURER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND CONTINUED MAINTENANCE OF SODDED AREAS UNTIL PROJECT COMPLETION

PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT	SPR	CONT
SHRUBS							
	AR	11	Abella x 'Rose Creek'	Rose Creek Abella	24" ht	18" spr	3 gal
	HPJ	7	Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea	24" ht	18" spr	3 gal
	HSQ	6	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	24" ht	18" spr	3 gal



SCALE: 1" = 20'

SITE DEVELOPMENT PLAN
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L4-4

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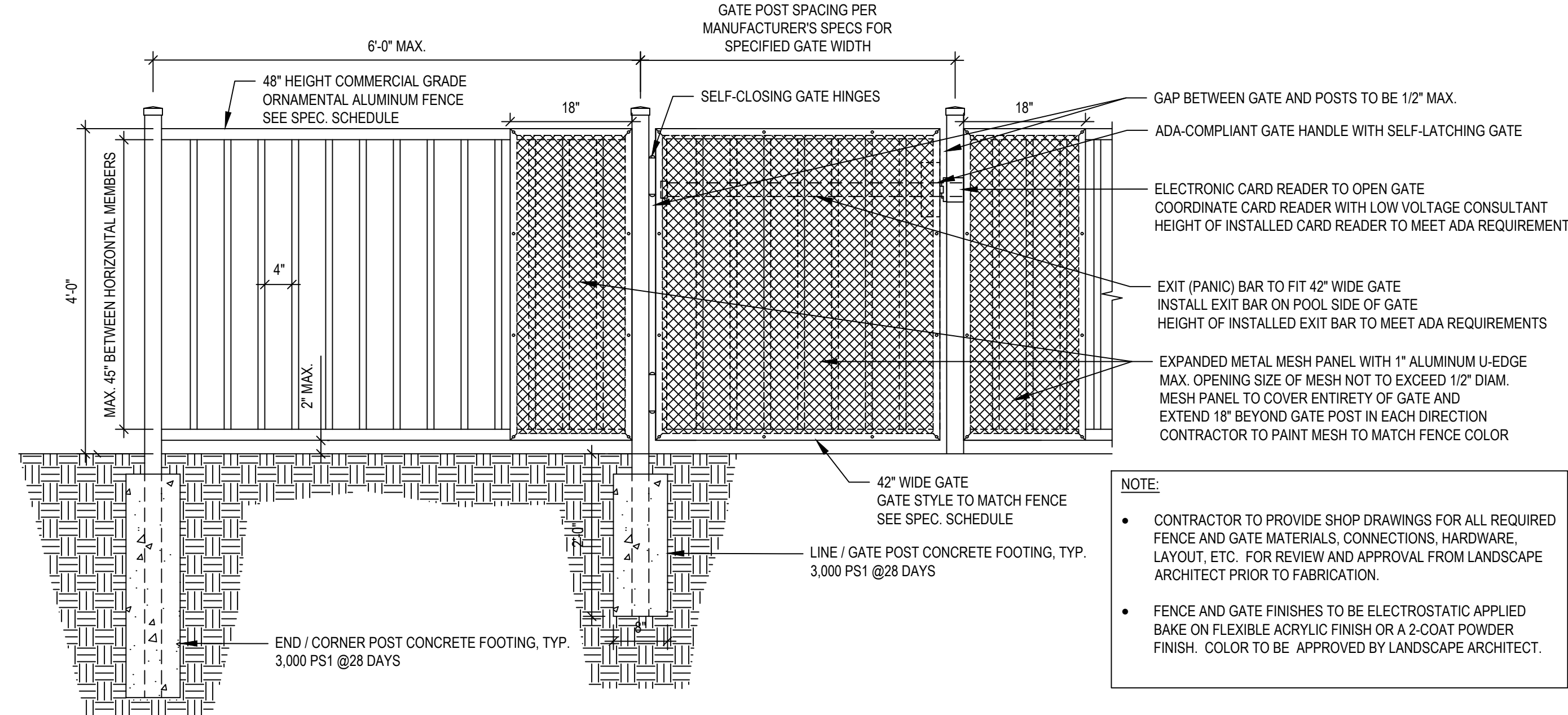
PARKER RIDGE
AMENITY CENTER
SDP-24-10
82 SCHOOL STREET
ROLESVILLE / NORTH CAROLINA / 27571

AMENITY - PLANTING PLAN

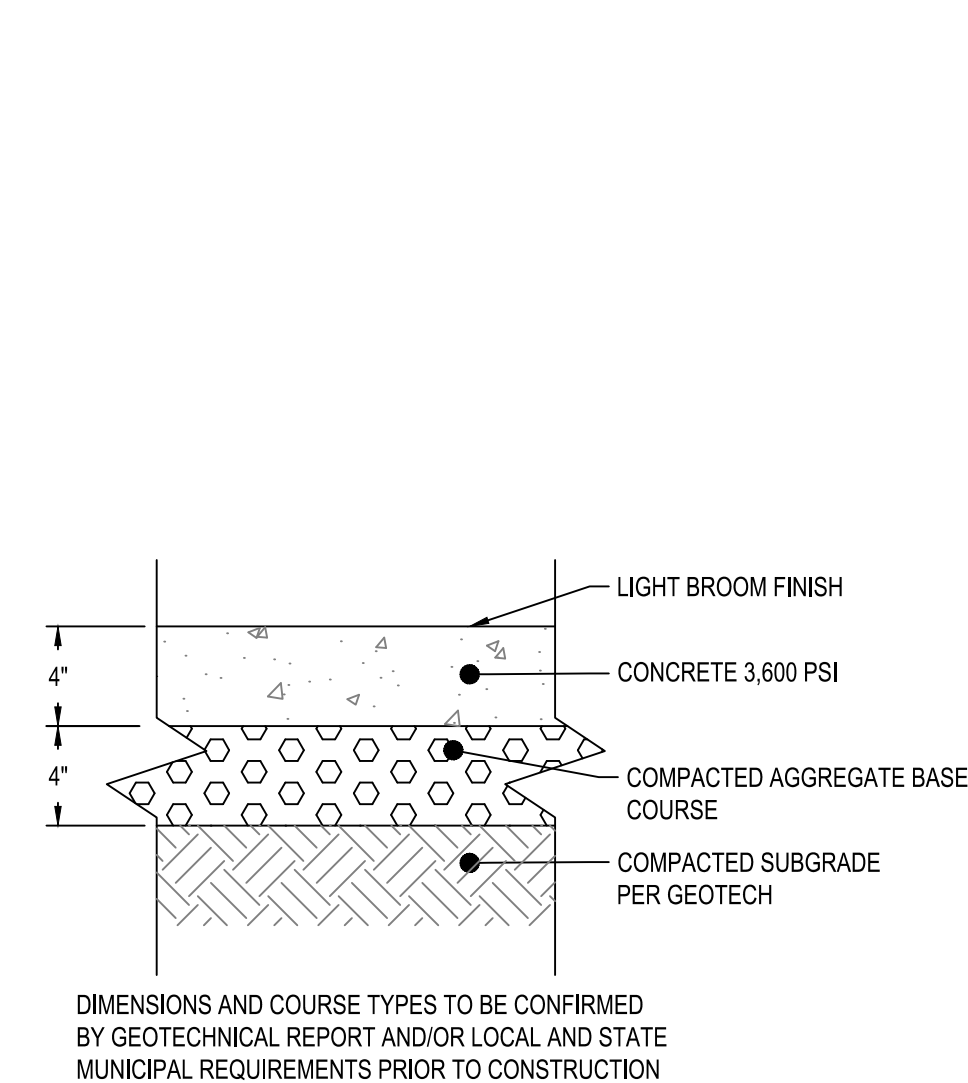
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DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

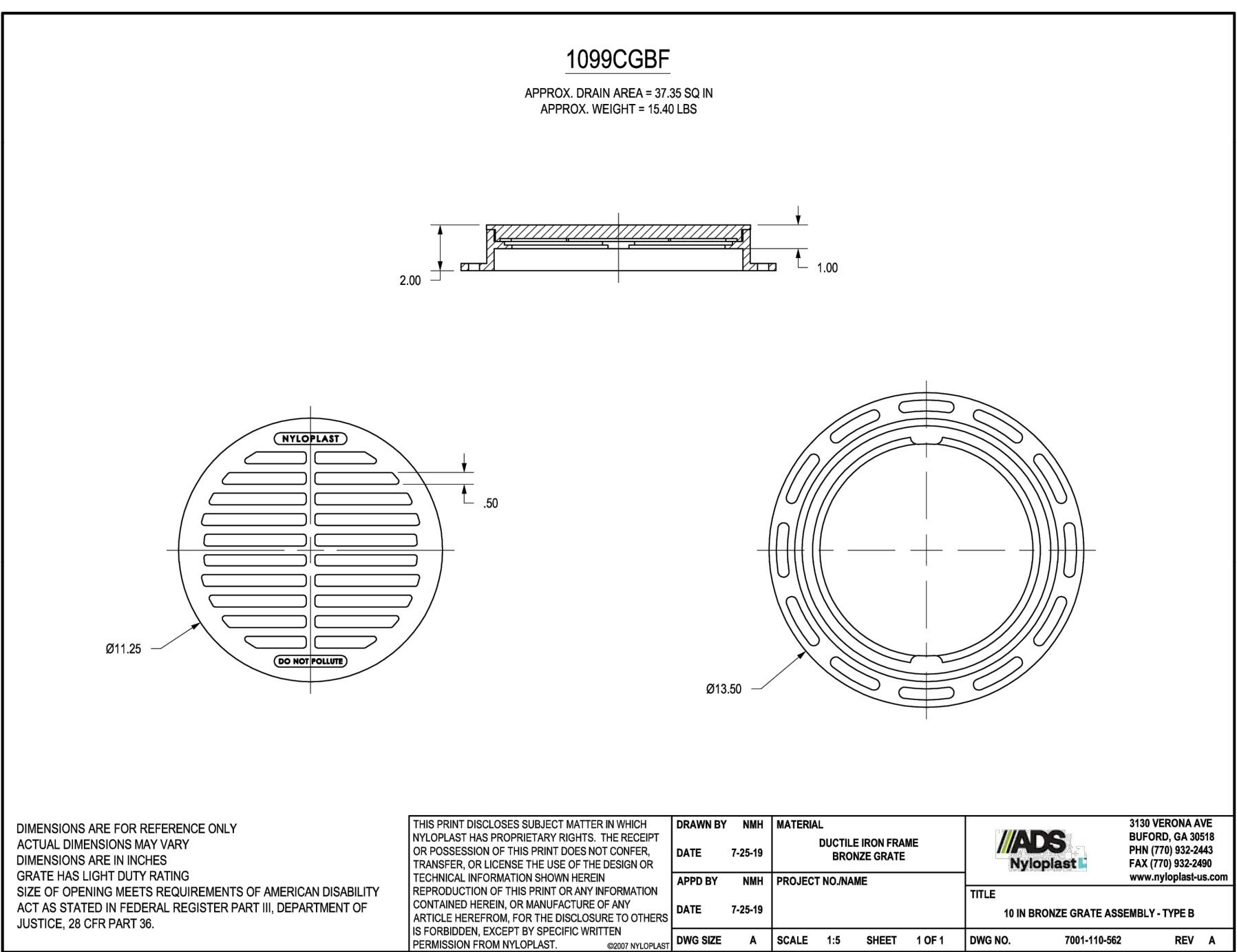
BCE
5438 WADE PARK BLVD., SUITE 420
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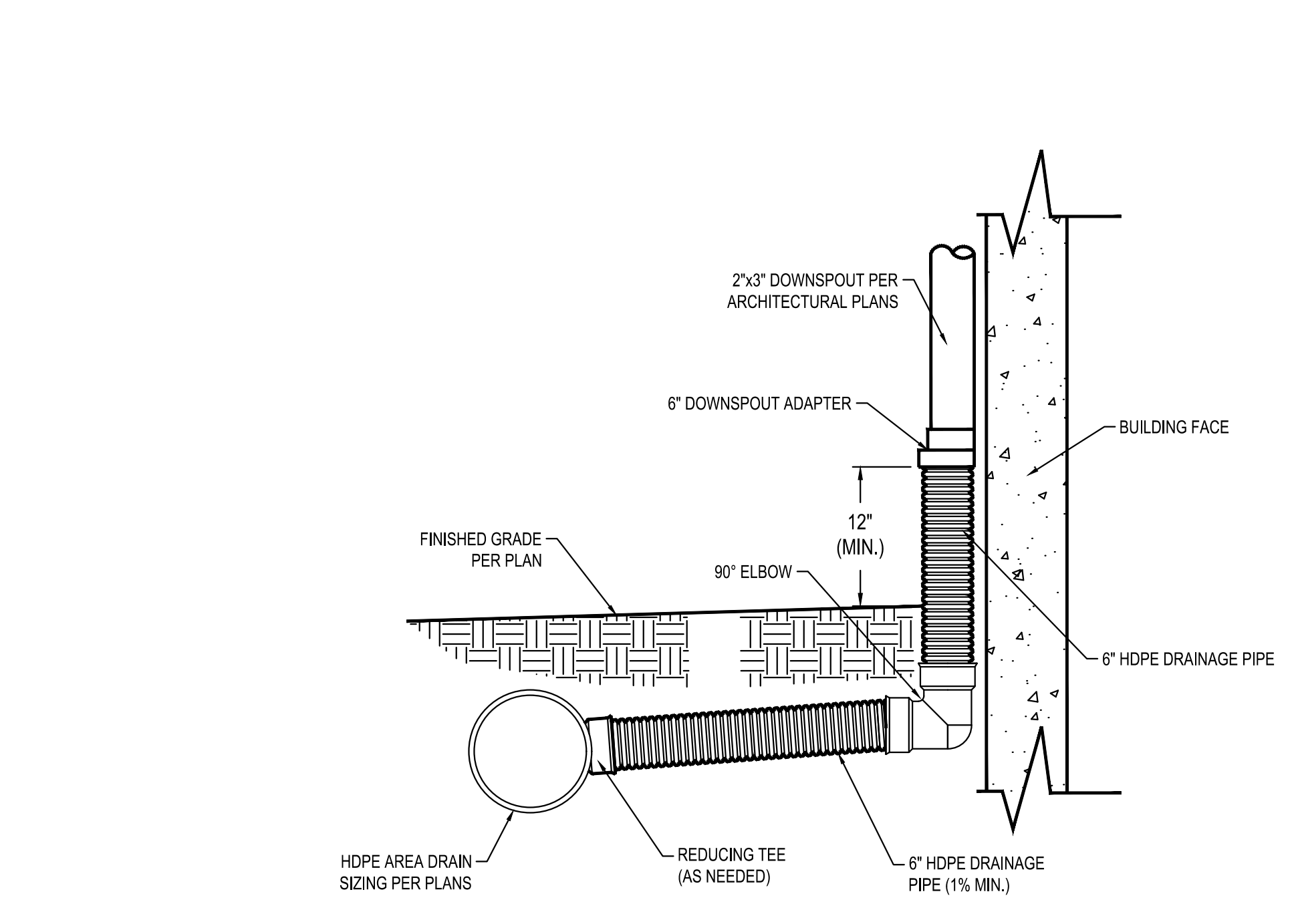
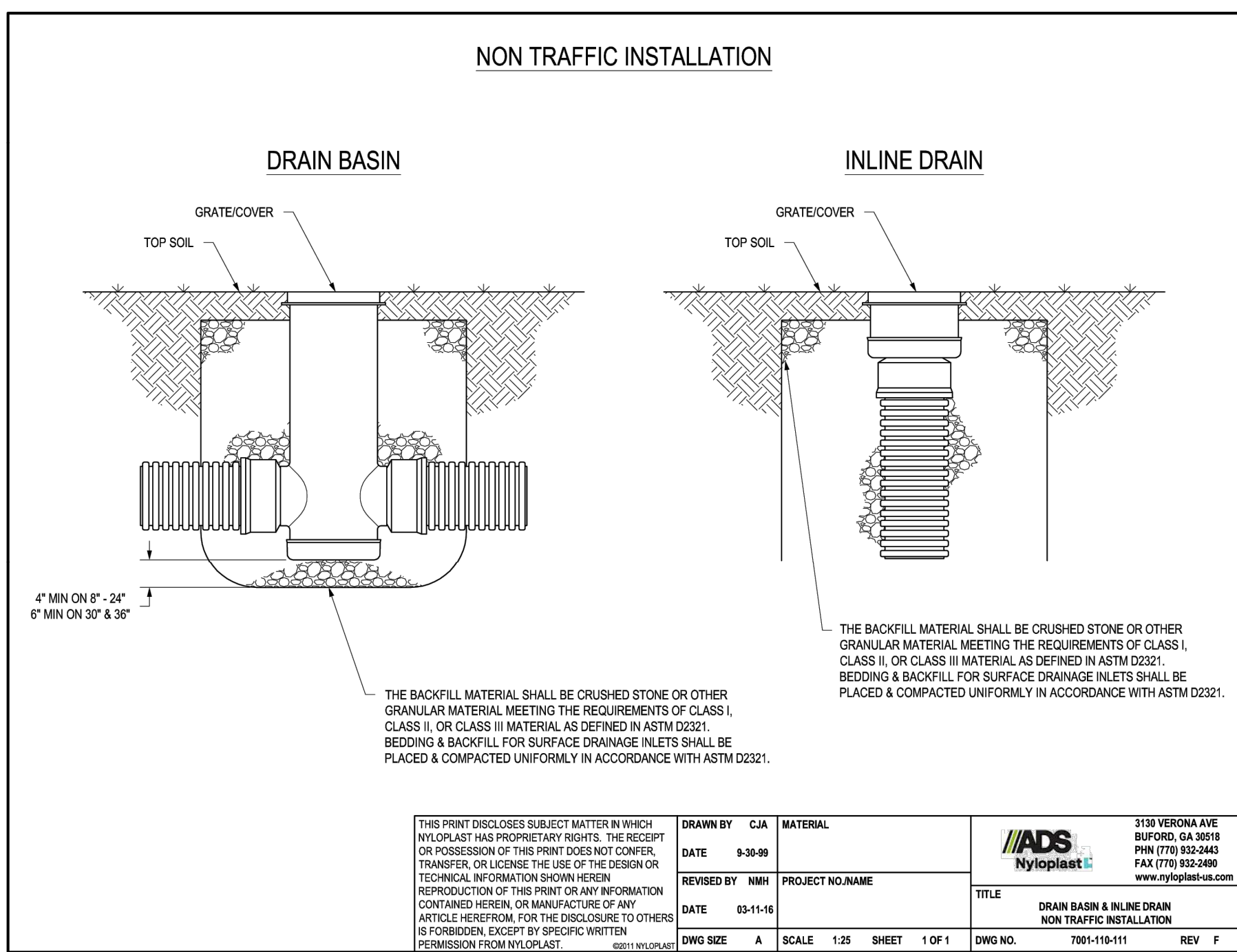
1 POOL FENCE AND GATE
SCALE: 3/4" = 1'-0"



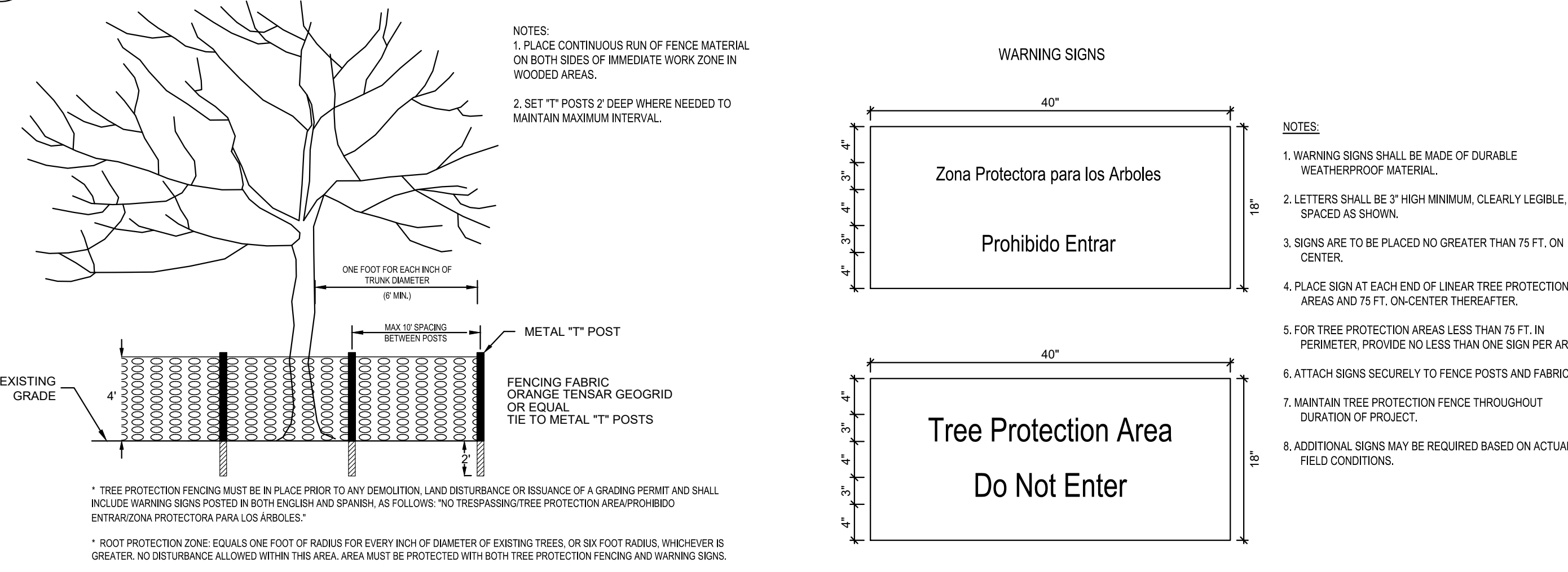
2 LIGHT DUTY CONCRETE SIDEWALK/PAVEMENT SECTION
NOT TO SCALE



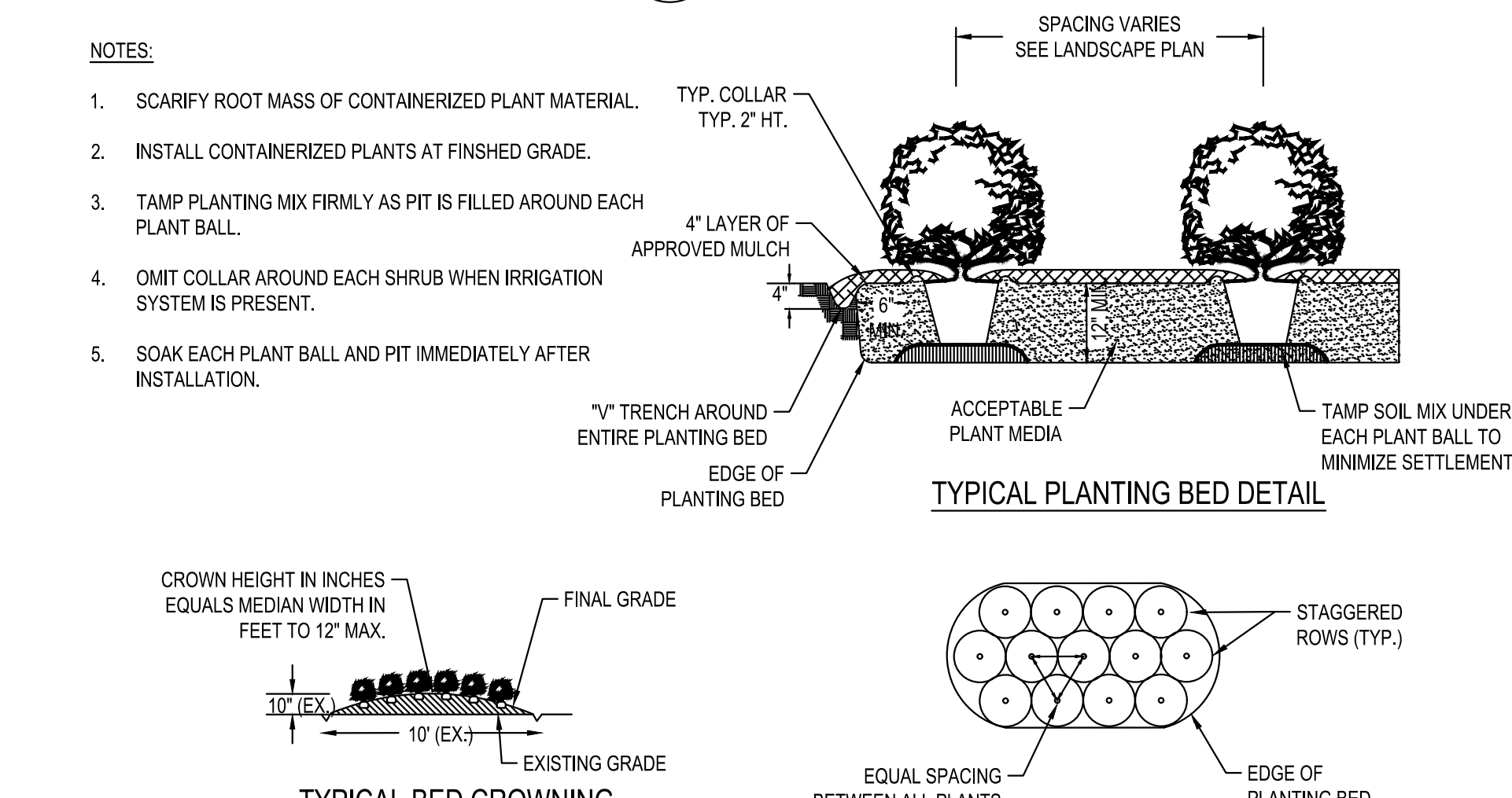
3 DRAIN INLET
NOT TO SCALE



4 6" HDPE ROOF DRAIN CONNECTION DETAIL
NOT TO SCALE



5 TREE PROTECTION FENCE DETAIL
NOT TO SCALE



6 SHRUB PLANTING BED DETAIL
NOT TO SCALE

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DESIGNED BY: DFI/CD
DRAWN BY: DFI/JWM
REVIEWED BY: DFI

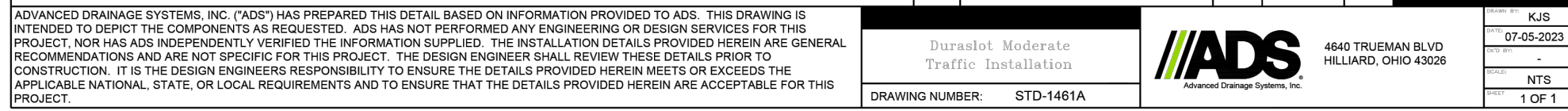
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LENNAR CORPORAION 1100 PERMETER PARK DRIVE, SUITE 112 MORRISVILLE / NORTH CAROLINA / 27560	PARKER RIDGE AMENITY CENTER SDP-24-10 82 SCHOOL STREET ROLESVILLE / NORTH CAROLINA / 27571
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AMENITY - SITE AND PLANTING DETAILS
(1 OF 2)

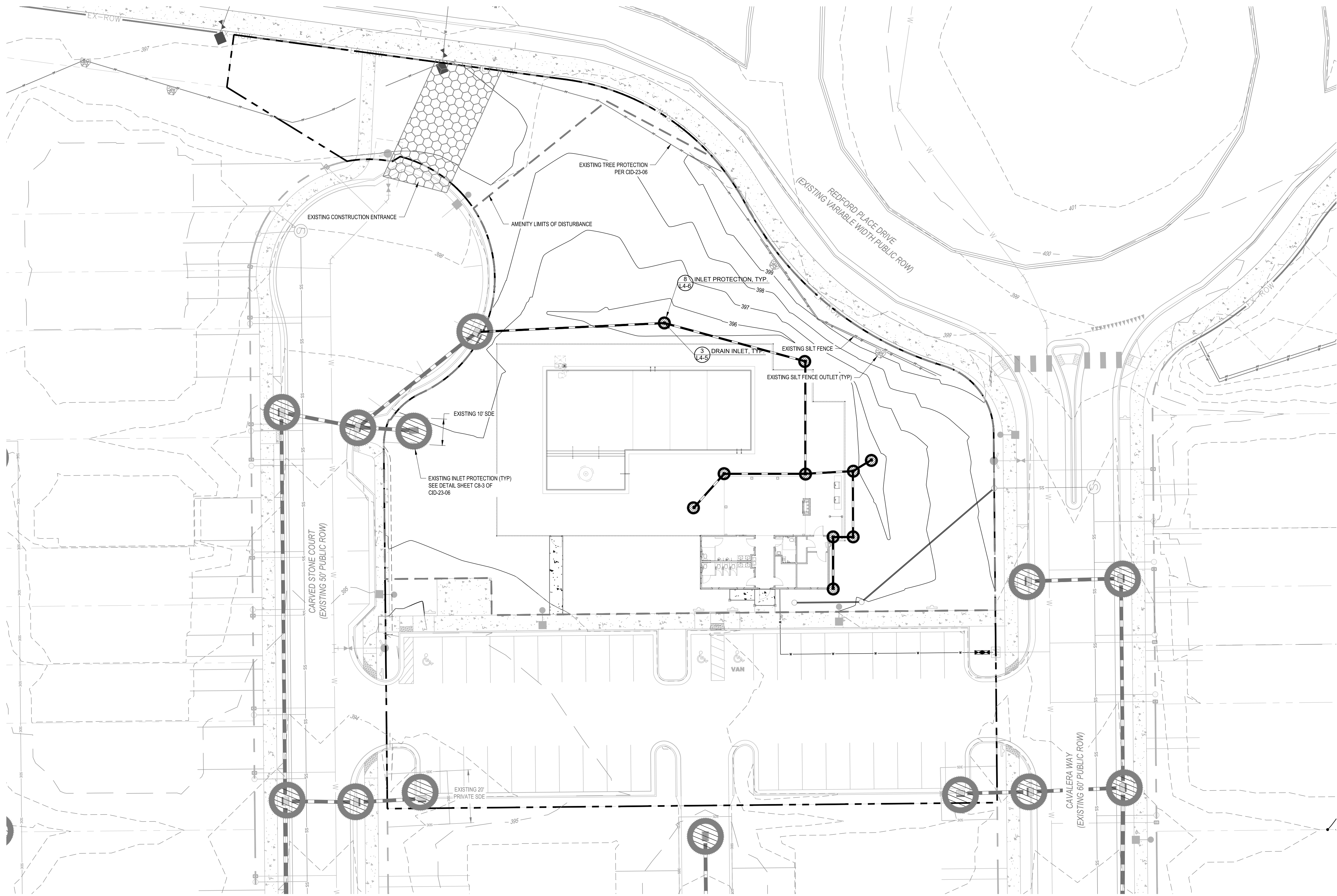
811
Know what's below.
Call before you dig.

FILE NUMBER:
8430-03
DATE: 04/16/2025
L4-5



Know what's below.
Call before you dig.

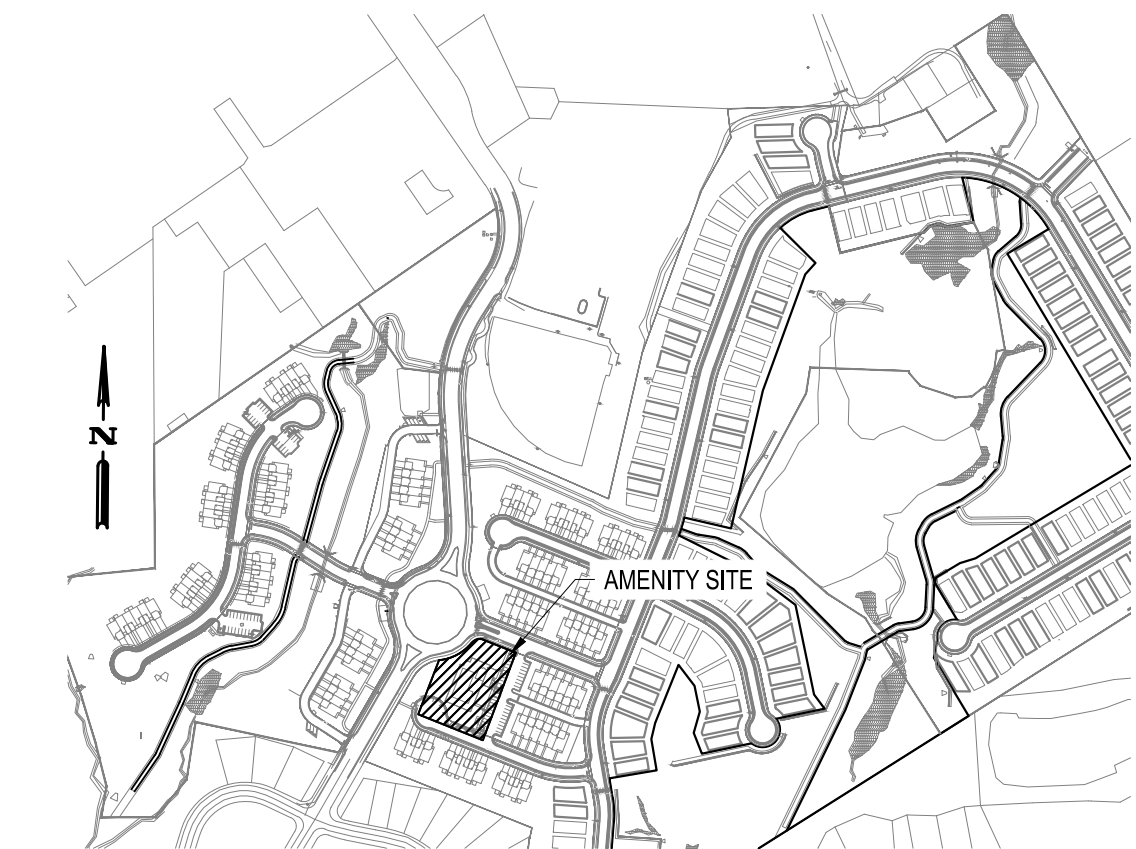




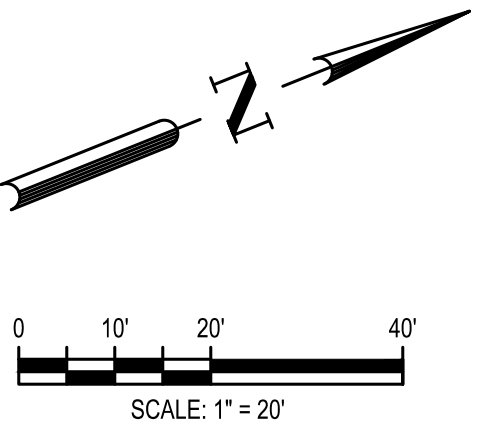
PROPOSED GRADING AND DRAINAGE LEGEND	
	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED CLEARING LIMITS
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED SWALE
	PROPOSED STORM
	PROPOSED STORM SYMBOL
	PROPOSED BUILDING SPOT
	PROPOSED STEM WALL
	FINISHED PAD ELEVATION

PROPOSED UTILITY LEGEND	
	PROPOSED DOMESTIC WATER
	PROPOSED FIRE WATER
	PROPOSED IRRIGATION
	PROPOSED SANITARY
	PROPOSED EASEMENT
	PROPOSED STORM EASEMENT
	TREE PROTECTION FENCE
	EXISTING STORM EASEMENT

NOTE: INITIAL SITE STABILIZATION TO BE PER CID-23-06



SCALE: 1" = 500'



SCALE: 1" = 20'

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



FILE NUMBER:
8430-03
DATE: 04/16/2025

L4-7

REV	DATE	DESCRIPTION
1	04/16/2025	PER TOWN OF ROLESVILLE COMMENT
2	03/03/2025	PER TOWN OF ROLESVILLE COMMENT
3	01/02/2025	PER TOWN OF ROLESVILLE COMMENT

DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

BCE
5438 WADE PARK BLVD, SUITE 420
RALEIGH NC 27607
WWW.BCEINC.COM
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CORPORAION
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AMENITY CENTER
SDP-24-10
82 SCHOOL STREET
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AMENITY - EROSION
CONTROL