

MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN

V5 - Rcvd
12-6-2023

FOR HARRIS CREEK FARMS

ROLESVILLE, NORTH CAROLINA



VICINITY MAP
SCALE: 1" = 2000'

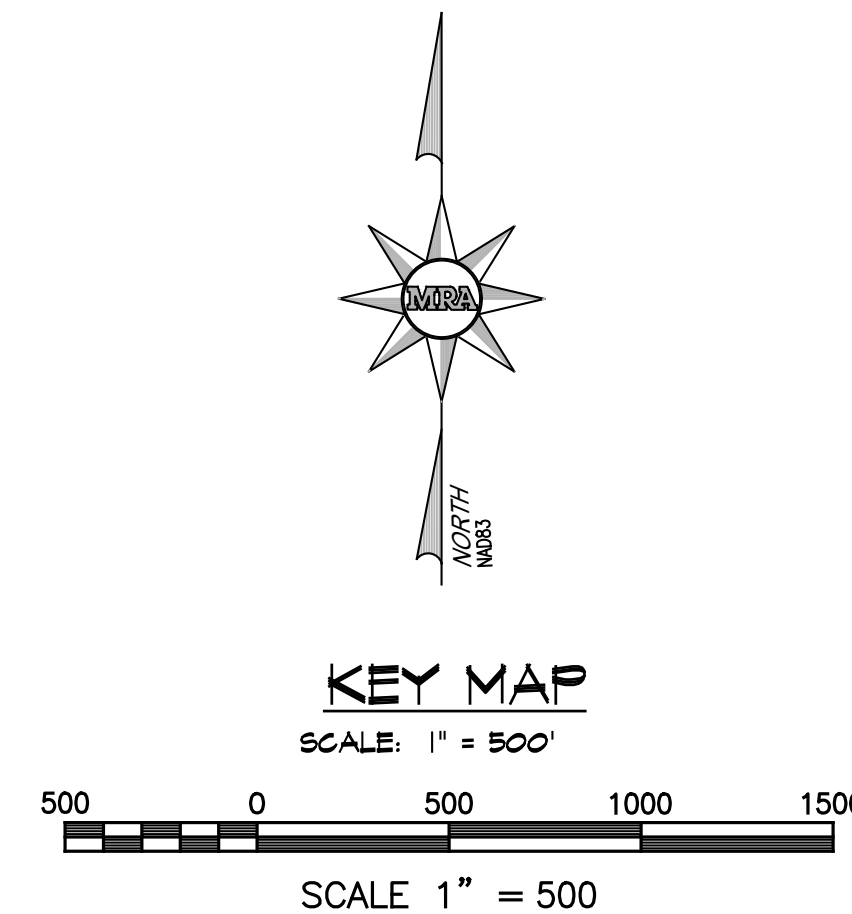
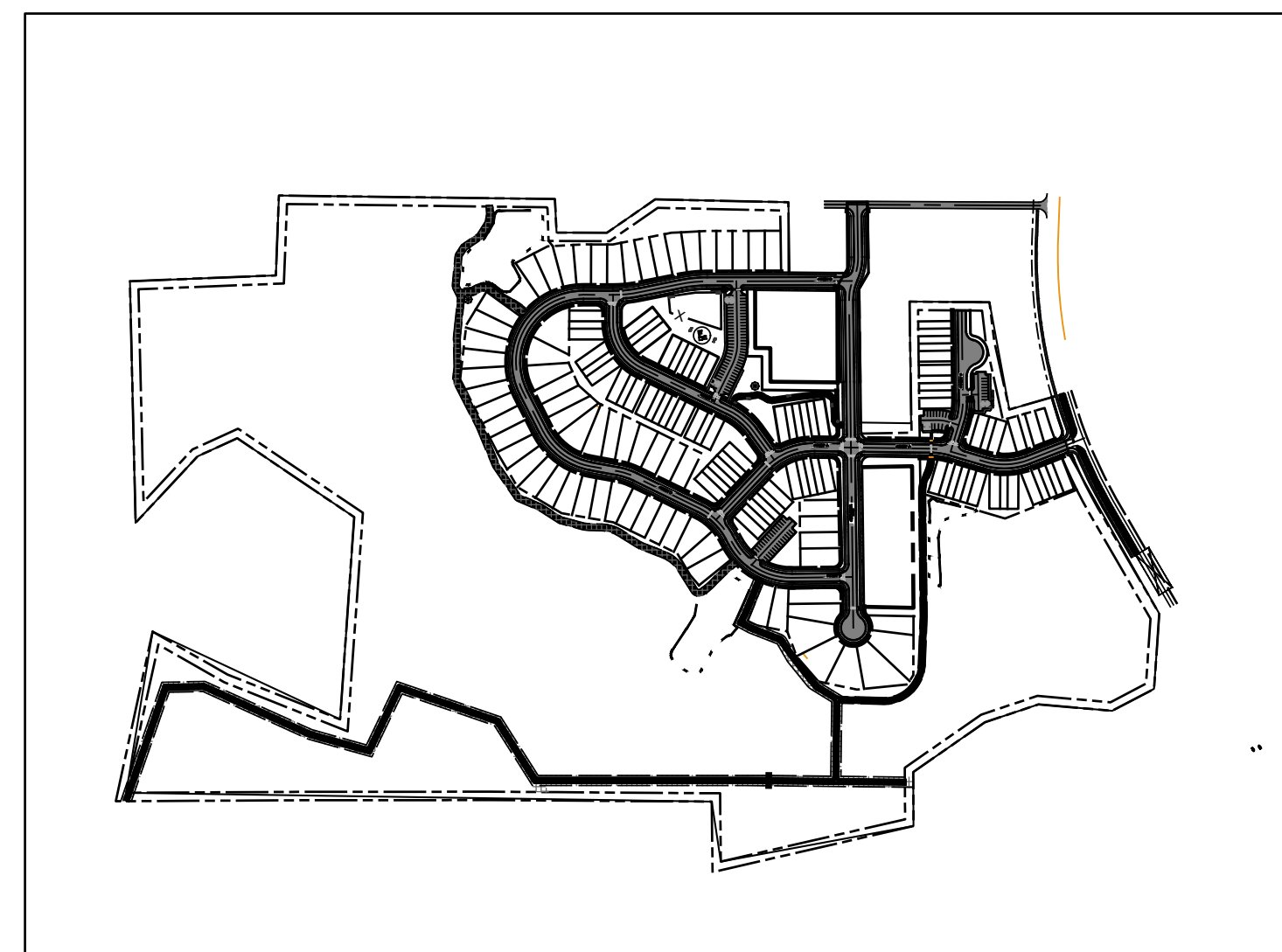
AGENCY CONTACTS

- A. Town of Rolesville
Planning Department
502 Southtown Circle
Rolesville, NC 27571
- B. Wake County
Watershed Management
Waverly F. Akins Building
337 S. Salisbury St
Raleigh, NC 27601
Contact: Karyn Pageau
Phone: (919)-796-8769
Email: karyn.pageau@wakegov.com
- C. City of Raleigh Public Utilities Department
One Exchange Plaza
Suite 620
Raleigh, NC 27601
P.O. Box 590
Raleigh, NC 27602
Phone: 919-996-3245
Email: publicutilityinfo@raleighnc.gov
- D. NCDOT
Division 5, District 1 Office
4009 District Drive
Raleigh, NC 27607
Contact: Amy Neldringhaus, District Engineer
Phone: 919-733-3213
Email: anneldringhaus@ncdot.gov

Sheet List Table			
Sheet Number	Sheet Title	Date	Sheet Revision Number
CO.0	COVER - REZONING	6/1/2022	0/1/2023
CO.0A	VOLUNTARY REZONING CONDITIONS	6/1/2022	0/1/2023
CO.1	EXISTING CONDITIONS	6/1/2022	0/1/2023
CI.0	OVERALL SITE PLAN	6/1/2022	0/1/2023
CI.1	SITE PLAN - SHEET 1 OF 6	6/1/2022	0/1/2023
CI.2	SITE PLAN - SHEET 2 OF 6	6/1/2022	0/1/2023
CI.3	SITE PLAN - SHEET 3 OF 6	6/1/2022	0/1/2023
CI.4	SITE PLAN - SHEET 4 OF 6	6/1/2022	0/1/2023
CI.5	SITE PLAN - SHEET 5 OF 6	6/1/2022	0/1/2023
CI.6	SITE PLAN - SHEET 6 OF 6	6/1/2022	0/1/2023
CI.7	OVERALL ZONING PLAN	6/1/2022	0/1/2023

STREET DATA	
STREET A	1200 LF
STREET B	2,368 LF
STREET C	450 LF
STREET D	743 LF

CASE NUMBER:
MA 22-08



SITE DATA

OWNER	CHEN, PING 10030 GREEN LEVEL CHURCH RD STE 802 CARY, NC 27513
SITE ADDRESS	4128 UNIVERSAL DR WAKE FOREST, NC 27507-6356
PIN	175121101, 1751315216, 1751315365, 1751315464, 1751315515, 1751315665, 1751315765, 1751315865, 1751315945, 1751315946, 1751315947, 1751315952, 1751316016, 1751316013, 1751316104, 1751316303, 1751316440, 1751411554, 1751316544
DEED BOOK/PAGE/MAP	018453/00623/1751 01, 018453/00542/1751 01
CURRENT ZONING	R30
PROPOSED ZONING	RH-CZ, RH-CZ
MIN. LOT SIZE	5000 SQ FT (SINGLE FAMILY CLUSTER) 2000 SQ FT (TOWNHOMES)
LAND USE	RESIDENTIAL
PROPOSED DEVELOPMENT	144 UNITS 68 SINGLE FAMILY UNITS 81 TOWNHOUSE UNITS
TOTAL SITE AREA	94.19 ACRES
RESIDENTIAL HIGH DENSITY	30.32 ACRES (12.95 AC. + 17.37 AC (ADDITIONAL OPEN SPACE))
RESIDENTIAL MEDIUM DENSITY	63.87 ACRES
PROPOSED DENSITY	TOWNHOMES (RH-CZ) 40 UNITS/AC MAX 81/2.45 = 6.26 UNITS/DEV. AC (PROVIDED) SINGLE FAMILY (RH-CZ) 5.0 UNITS/AC (MAX) 68/63.87 = 1.07 UNITS/AC (PROVIDED) TOTAL PROJECT DENSITY 1.60 UNITS/AC
FLOOD PLAIN/ZONE	ZONE AE/ZONE X
FIRM PANEL NO	5720175100K
WATERSHED PROTECTION	NONE
MINIMUM LOT WIDTH	20' TOWNHOMES 40' SINGLE FAMILY (CLUSTER)
OPEN SPACE	RESIDENTIAL HIGH DENSITY PASSIVE: 2.10 (REQUIRED) 44.74 (PROVIDED) RESIDENTIAL MEDIUM DENSITY PASSIVE: 4.70 (REQUIRED) 17.37 (PROVIDED) IMPROVED OPEN SPACES: REQUIRED: SMALL: 1 MEDIUM: 2 LARGE: 0 PROVIDED: SMALL: 1 0.73 AC (TOTAL PROVIDED) MEDIUM: 1 1.01 AC (TOTAL PROVIDED) LARGE: 1 13.74 AC (TOTAL PROVIDED)
PARKING	REQUIRED: 2.0/DWELLING UNIT PLUS 0.25 GUEST SPACES/DWELLING UNIT 81 UNITS X 2.25 = 183 SPOTS PROVIDED: 81 UNITS X 1 (DRIVEWAY) = 81 SPOTS PARKING LOTS = 116 SPOTS TOTAL PROVIDED = 197 SPOTS
SETBACKS	TOWNHOMES: FRONT: 20' SIDE: 10' REAR: 15' CORNER: 15' MIN. WIDTH BETWEEN STRUCTURES: 30' SINGLE FAMILY (CLUSTER): FRONT: 20' SIDE: 5' REAR: 20' CORNER: 10' (CLUSTER)

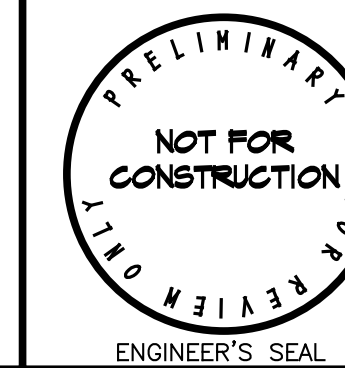
PROJECT TEAM

- DEVELOPER/
OWNER: THE CSC GROUP LLC
10030 GREEN LEVEL CHURCH RD STE 802
CARY, NC 27513
ATTN: PING CHEN
919-796-0424
- LAND PLANNERS,
CIVIL ENGINEER: MORRIS & RITCHE ASSOCIATES OF NC, PC
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27545
ATTN: MR. JEREMY M KEENEY, PE, PLS
- SURVEYOR: GIL CLARK SURVEYING
P.O. BOX 1245
KNIGHTDALE, NORTH CAROLINA 27545
ATTN: WALLACE G. CLARK, JR
- ENVIRON.
CONSULTANT: MORRIS & RITCHE ASSOCIATES OF NC, PC
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27545
ATTN: MR. JAMIE B. GUERRERO, PE, CPSM

GENERAL NOTES

- OPEN SPACE IN EXCESS OF 40% PROPOSED ON SITE PER LDO SECTION 3.1.D FOR CLUSTER DEVELOPMENTS
- PROPOSED BUFFERS SHALL BE PLANNED AS SEPARATE TRACTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OR SIMILAR

FOR SITE PLAN REVIEW ONLY
NOT FOR CONSTRUCTION
PLAN IS SUBJECT TO REVISIONS
DURING THE CONSTRUCTION
APPROVAL PROCESS



COVER - REZONING
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/11/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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STATUS: PRELIMINARY NOT FOR CONSTRUCTION
REVISION: C
SHEET: CO.0

CAD FILE: S:\PROJECTS\2023\21790 - Jonesville R020-LDEVO Prelim\PLOT\CO-COVERS.dwg PLOT DATE/TIME: 11/21/2023 2:34 PM USER: mcmillan_cherles_d.

VOLUNTARY REZONING CONDITIONS

1. THE SUBJECT PROPERTY SHALL BE DEVELOPED IN GENERAL COMPLIANCE WITH THE MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN, DATED 7/24/2023.
2. THE DEVELOPMENT SHALL CONSIST OF MAXIMUMS OF 68 SINGLE-FAMILY DETACHED DWELLING UNITS/LOTS AND 81 SINGLE-FAMILY ATTACHED (TOWNHOME) DWELLING UNITS/LOTS AS DETAILED IN THE MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN, DATED 7/24/2023.
3. THE MAXIMUM ALLOWABLE DENSITY WITHIN THE RH-CZ ZONING SHALL BE 6.0 UNITS/ACRE.
4. DWELLING UNIT FAÇADE ANTI-MONOTONY: IN ORDER TO PROMOTE VARIATION IN HOME APPEARANCE, NO SINGLE-FAMILY FRONT FAÇADE SHALL BE DUPLICATED FOR THREE (3) LOTS IN A ROW, OR DIRECTLY ACROSS THE STREET. FOR CORNER LOTS, THIS SHALL APPLY TO THE LOTS DIAGONALLY ACROSS THE INTERSECTION.
5. GARAGE DOOR SHALL EITHER CONTAIN WINDOWS OR CARRIAGE STYLE ADORNMENTS .
6. SINGLE-FAMILY ATTACHED (TOWNHOMES) SHALL HAVE:
 - a. CEMENTITIOUS SIDING THAT SHALL VARY IN TYPE AND COLOR WITH BRICK, SHAKES, BOARD AND BATTEN, OR STONE ACCENTS PROVIDED AS DECORATIVE FEATURES.
 - b. ARTICULATION IN THE END UNIT SIDE ELEVATIONS, WHICH INCLUDES TWO OF THE FOLLOWING: SIDE ENTRY, WINDOWS (TWO OR MORE), PARTIAL MASONRY, TWO TYPES OF FINISHES (I.E. HORIZONTAL SIDING WITH BOARD AND BATTEN OR SHAKES IN GABLES), AND ROOFLINE CHANGES.
 - c. FIRST FLOOR GLAZING WHICH SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING: GARAGE DOORS WITH GLASS WINDOWS, OR FRONT DOORS WITH WINDOWS OR SIDELIGHTS.
 - d. 8" MINIMUM EAVES AND RAKES ON FRONT, REAR, AND SIDES.
7. SINGLE-FAMILY DETACHED DWELLING UNITS SHALL:
 - a. BE A MINIMUM OF 1,500 HEATED SQUARE FEET.
 - b. HAVE CEMENTITIOUS SIDING THAT SHALL VARY IN TYPE AND COLOR WITH BRICK, SHAKES, BOARD AND BATTEN, OR STONE ACCENTS PROVIDED AS DECORATIVE FEATURES
 - c. HAVE AT LEAST TWO TYPES OF FINISHES ON THE FRONT: LAP SIDING, MASONRY, SHAKES, AND BOARD AND BATTEN.
8. A HOMEOWNERS ASSOCIATION (HOA) SHALL BE CREATED, AND ALL OPEN SPACES OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN, DATED 7/24/2023, SHALL BE OWNED AND MAINTAINED BY THE HOA.
9. FOUNDATIONS: TOP OF SLABS SHALL BE ELEVATED A MINIMUM OF 18 INCHES ABOVE FINISHED GRADE FOR ALL DWELLING UNITS. ALL FOUNDATIONS SHALL BE TREATED WITH MASONRY ON THE FRONT AND STREET-FACING SIDES FOR A MINIMUM OF 10".
10. RECREATIONAL AMENITIES: THE FOLLOWING RECREATIONAL AMENITIES SHALL BE CONSTRUCTED AS OBSERVED IN MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN, DATED 7/24/2023. PUBLIC GREENWAY (APPROXIMATELY 5,600 LINEAR FEET), PRIVATE MULTI-USE PATHS (APPROXIMATELY 410 LINEAR FEET), GAZEBOs, PLAYGROUNDS, AND A DOG PARK. AMENITIES SHALL BE BUILT AS PART OF THE SUBDIVISION INFRASTRUCTURE WITHIN THE PHASE IT IS LOCATED.
11. AT LEAST TWENTY PERCENT (20%) OF THE LANDSCAPING PLANTED IN COMMON AREAS ON THE SUBJECT PROPERTY SHALL UTILIZE PLANT MATERIALS THAT ARE LISTED AS NATIVE POLLINATOR PLANTS ON NORTH CAROLINA WILDLIFE FEDERATION ("NCWF") OR OTHER RESOURCES FOR NATIVE PLANTS RECOMMENDED BY THE NCWF ON THEIR WEBSITE, CURRENTLY FOUND AT [HTTP://NCWF.ORG/HABITAT/NATIVE-POLLINATOR-PLANTS/](http://ncwf.org/habitat/native-pollinator-plants/). WHERE EVERGREEN PLANTINGS OR STREET TREES ARE REQUIRED BY THE TOWN OF ROLESVILLE LDO, POLLINATOR PLANTINGS SHALL NOT BE REQUIRED. SUCH PLANTINGS SHALL CLEARLY BE SHOWN IN CONSTRUCTION DRAWINGS AND INSTALLED AS PART OF SUBDIVISION INFRASTRUCTURE. NOTHING HEREIN SHALL BE CONSTRUCTED TO LIMIT THE PLANTS MATERIALS PERMITTED ON INDIVIDUAL RESIDENTIAL LOTS.
12. THE DEVELOPMENT SHALL PROVIDE A 5' WIDE SIDEWALK ALONG THE 560 LINEAR FEET OF JONESVILLE RD RUNNING FROM THE SITE DRIVE NORTH TO UNIVERSAL DRIVE. THE SIDEWALK SHALL BE LOCATED PER ULTIMATE SECTION OF JONESVILLE RD AS SHOWN ON THE TOWN OF ROLESVILLE TRANSPORTATION PLAN. THE SIDEWALK SHALL BE LOCATED WITHIN A SIDEWALK EASEMENT. THE DEVELOPMENT SHALL ATTEMPT TO PROCURE A SIDEWALK EASEMENT FOR CONSTRUCTION. IN THE EVENT THAT THE DEVELOPMENT IS UNABLE TO OBTAIN AN EASEMENT FOR SIDEWALK CONSTRUCTION, THE DEVELOPMENT MAY PAY FEE-IN-LIEU TO TOWN OF ROLESVILLE FOR THE 560 LINEAR FEET OF 5' WIDE SIDEWALK CONSTRUCTION.
13. THE DEVELOPMENT SHALL ATTEMPT TO PROCURE AN EASEMENT ALONG UNIVERSAL DRIVE IN ORDER TO PAVE UNIVERSAL DRIVE FROM THE INTERSECTION OF GIDEON DRIVE TO THE INTERSECTION OF JONESVILLE RD. UNIVERSAL DRIVE SHALL BE PAVED WITH A 20' WIDE ASPHALT SURFACE COAT OVER TOP OF THE EXISTING PRIVATE GRAVEL ACCESS DRIVE. IN THE EVENT THAT THE DEVELOPMENT IS UNABLE TO OBTAIN AN EASEMENT FOR SAID PAVING, THE DEVELOPMENT SHALL NOT BE REQUIRED TO PURSUE FURTHER RESOLUTION RELATED TO THE PAVING OF UNIVERSAL DRIVE.
14. PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT FOR A DWELLING UNIT, THE DEVELOPMENT SHALL DONATE THIRTY FIVE THOUSAND DOLLARS AND NO CENTS (\$35,000.00) TO HOMES FOR HEROES.
15. TRANSPORTATION IMPROVEMENTS: TO ADDRESS TRANSPORTATION IMPACTS REASONABLY EXPECTED TO BE GENERATED BY THE DEVELOPMENT, THE FOLLOWING ROAD IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH PLANS APPROVED BY NCDOT AND THE TOWN OF ROLESVILLE.

US 401 BYPASS AND JONESVILLE ROAD

1. CONDUCT A FULL SIGNAL WARRANT ANALYSIS PRIOR TO FULL BUILD-OUT OF THE PROPOSED DEVELOPMENT AND INSTALL A TRAFFIC SIGNAL IF WARRANTED AND APPROVED BY THE TOWN AND NCDOT.

US 401 BYPASS AND EASTERN U-TURN LOCATION

1. CONDUCT A FULL SIGNAL WARRANT ANALYSIS PRIOR TO FULL BUILD-OUT OF THE PROPOSED DEVELOPMENT AND INSTALL A TRAFFIC SIGNAL IF WARRANTED AND APPROVED BY THE TOWN AND NCDOT.

MITCHELL MILL ROAD AND JONESVILLE ROAD / PEBBLES ROAD

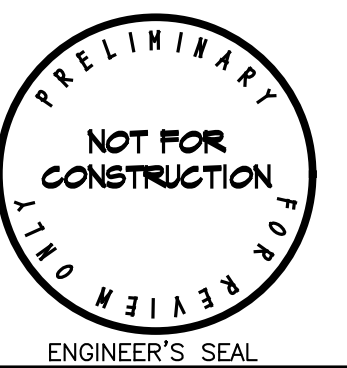
1. CONSTRUCT A SOUTHBOUND (JONESVILLE ROAD) LEFT-TURN LANE WITH AT LEAST 100 FEET OF STORAGE AND APPROPRIATE DECEL AND TAPER.
2. CONSTRUCT A WESTBOUND (MITCHELL MILL ROAD) RIGHT-TURN LANE WITH AT LEAST 100 FEET OF STORAGE AND APPROPRIATE DECEL AND TAPER.
3. CONSTRUCT AN EASTBOUND (MITCHELL MILL ROAD) LEFT-TURN LANE WITH AT LEAST 100 FEET OF STORAGE AND APPROPRIATE DECEL AND TAPER.
4. CONDUCT A FULL SIGNAL WARRANT ANALYSIS PRIOR TO FULL BUILD-OUT OF THE PROPOSED DEVELOPMENT AND INSTALL A TRAFFIC SIGNAL IF WARRANTED AND APPROVED BY THE TOWN AND NCDOT.

JONESVILLE ROAD AND SITE DRIVE

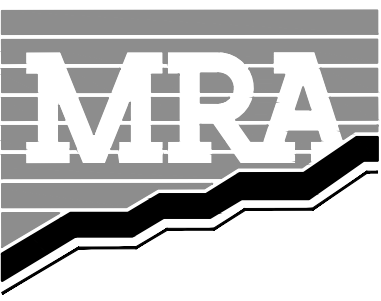
1. CONSTRUCT THE EASTBOUND APPROACH (SITE DRIVE) WITH ONE INGRESS LANE AND ONE EGRESS LANE.
2. PROVIDE STOP-CONTROL FOR THE EASTBOUND APPROACH (SITE DRIVE).

CAD FILE: S:\PROJECTS\2023\217190 - Jonesville R0420-LDEVO Prelim\PL01\CO-COVER.dwg PLOT DATE/TIME: 11/21/2023 2:31 PM USER: mcmillon_cherles d.

No.	DATE	REVISIONS	
O	06/01/2022	ORIGINAL SUBMITTAL	
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO.: 21790
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C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



VOLUNTARY REZONING CONDITIONS
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



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REVISION C

SHEET: CO.0A

PARCELS INCLUDED IN DEVELOPMENT

PARCEL	OWNER	PIN NUMBER	AREA	DEED BOOK	PAGE NUMBER	USE	CURRENT ZONING
1	CHEN, PING	175712781	71.52 AC	00623	00623	RESIDENTIAL	R-30
2	CHEN, PING	175712781	0.44 AC	00623	00623	RESIDENTIAL	R-30
3	CHEN, PING	175712781	0.46 AC	00623	00623	RESIDENTIAL	R-30
4	CHEN, PING	175712781	0.46 AC	00623	00623	RESIDENTIAL	R-30
5	CHEN, PING	175712781	0.46 AC	00623	00623	RESIDENTIAL	R-30
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EXISTING CONDITIONS NOTES:

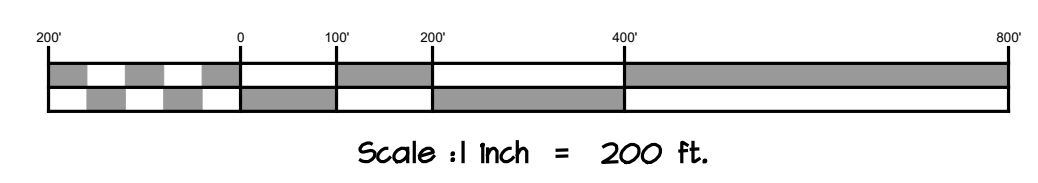
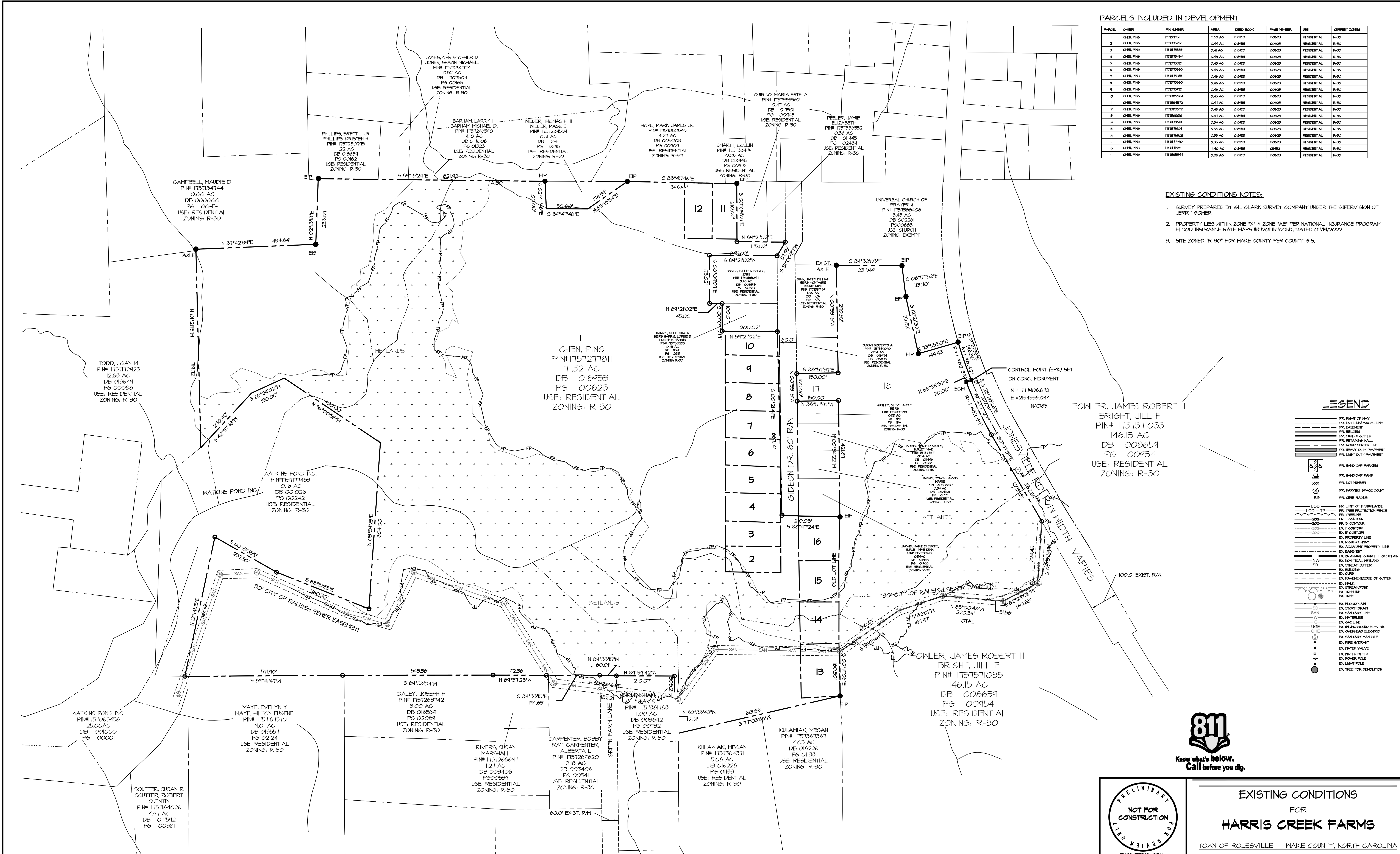
- SURVEY PREPARED BY GIL CLARK SURVEY COMPANY UNDER THE SUPERVISION OF JERRY GOWER.
- PROPERTY LIES WITHIN ZONE "X" & ZONE "AE" PER NATIONAL INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS #120101000K, DATED 07/14/2022.
- SITE ZONED "R-30" FOR WAKE COUNTY PER COUNTY GIS.

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- FR. HANDICAP PARKING
- FR. HANDICAP RAMP
- FR. LOT NUMBER
- FR. PARKING SPACE COUNT
- FR. CURB RADIUS
- FR. LIMIT OF DISTURBANCE
- FR. TREE PROTECTION FENCE
- FR. TREE LINE
- FR. 1' CONTOUR
- FR. 2' CONTOUR
- FR. 3' CONTOUR
- FR. 4' CONTOUR
- FR. 5' CONTOUR
- FR. PROPERTY LINE
- FR. RIGHT-OF-WAY
- FR. ADJACENT PROPERTY LINE
- FR. EASEMENT
- FR. 18" ANNUAL CHANCE FLOODPLAIN
- FR. NON-TIDAL WETLAND
- FR. STREAM BUFFER
- FR. EASEMENT
- FR. GARD
- FR. PAVEMENT/EDGE OF BITTER
- FR. HALL
- FR. STREAM/POUD
- FR. TREE LINE
- FR. TREE
- FR. FLOODPLAIN
- FR. STORM DRAIN
- FR. SANITARY LINE
- FR. WATERLINE
- FR. GAS LINE
- FR. UNDERGROUND ELECTRIC
- FR. OVERHEAD ELECTRIC
- FR. SANITARY HANKLE
- FR. FIRE HYDRANT
- FR. WATER VALVE
- FR. WATER METER
- FR. POWER POLE
- FR. LIGHT POLE
- FR. TREE FOR DEMOLITION

FOWLER, JAMES ROBERT III
BRIGHT, JILL F
PIN# 175751035
146.15 AC
DB 008659
PG 00954
USE: RESIDENTIAL
ZONING: R-30

CHEN, PING
PIN#175127811
71.52 AC
DB 018453
PG 00623
USE: RESIDENTIAL
ZONING: R-30



No.	DATE	REVISIONS
0	06/01/2022	ORIGINAL SUBMITTAL
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS
C	01/10/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS

PRELIMINARY NOT FOR CONSTRUCTION

EXISTING CONDITIONS FOR HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

MRA

MORRIS & RITCHE ASSOCIATES OF NC, PC
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ENGINEER'S SEAL

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

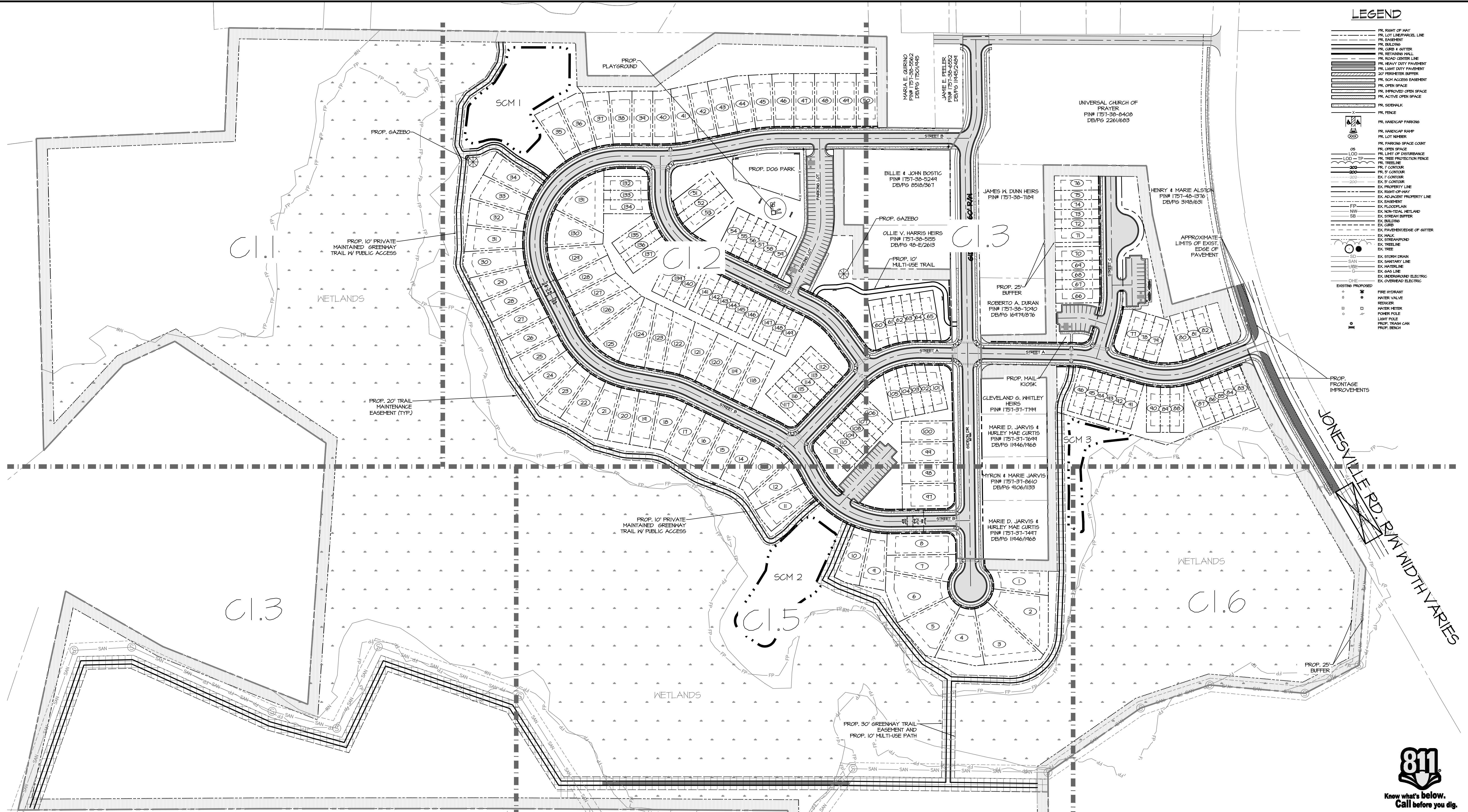
REVISION: **C**

SHEET: **CO.1**

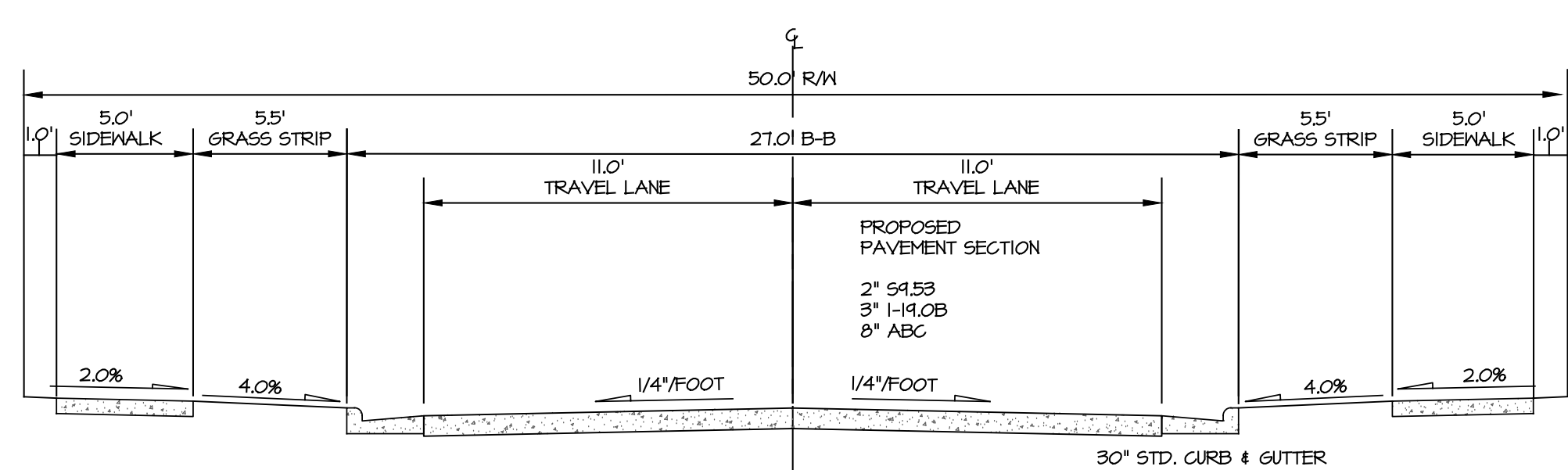
CAD FILE: S:\PROJ\15071907_2021\1790 - Jonesville R0420-LDEVO-PLOT\1790-EXISTING CONDITIONS.dwg PLOT DATE/TIME: 11/21/2023 2:34 PM USER: mcannon, charles.d.

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. 20' PERMETER BUFFER
- PR. SCH ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF PAVEMENT
- EX. MAIL
- EX. DRIVEWAY
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REGULOR
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



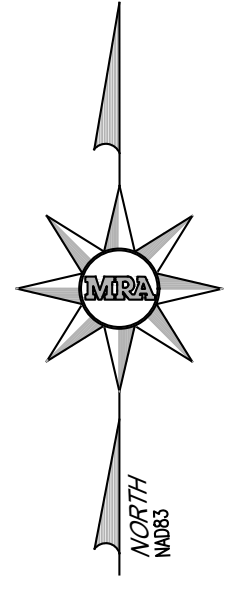
TYPICAL CROSS SECTION



N.T.S.

REQUIRED PARKING

REQUIRED:	2.0/DWELLING UNIT PLUS 0.25 GUEST SPACES/DWELLING UNIT 81 UNITS X 2.25 = 183 SPOTS REQUIRED
PROVIDED:	81 UNITS X 1 (DRIVEWAY) = 81 SPOTS PARKING LOTS = 116 SPOTS (1 HANDICAP) TOTAL PROVIDED = 191 SPOTS



Scale: 1 Inch = 100 Ft.



OVERALL SITE PLAN
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



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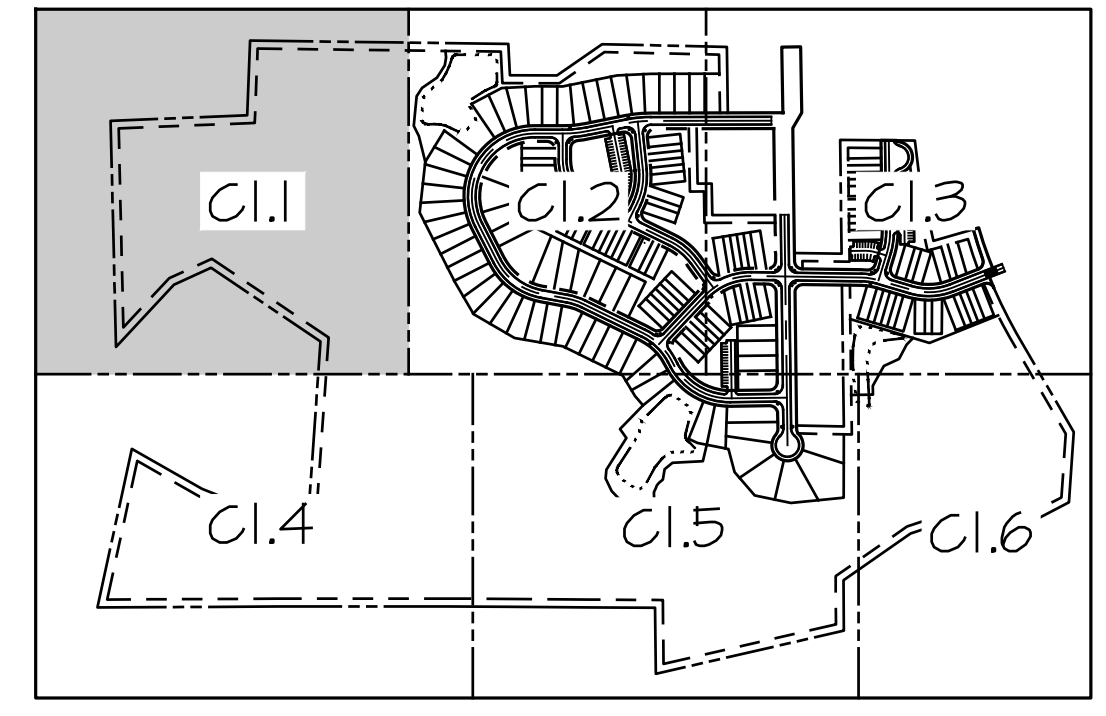
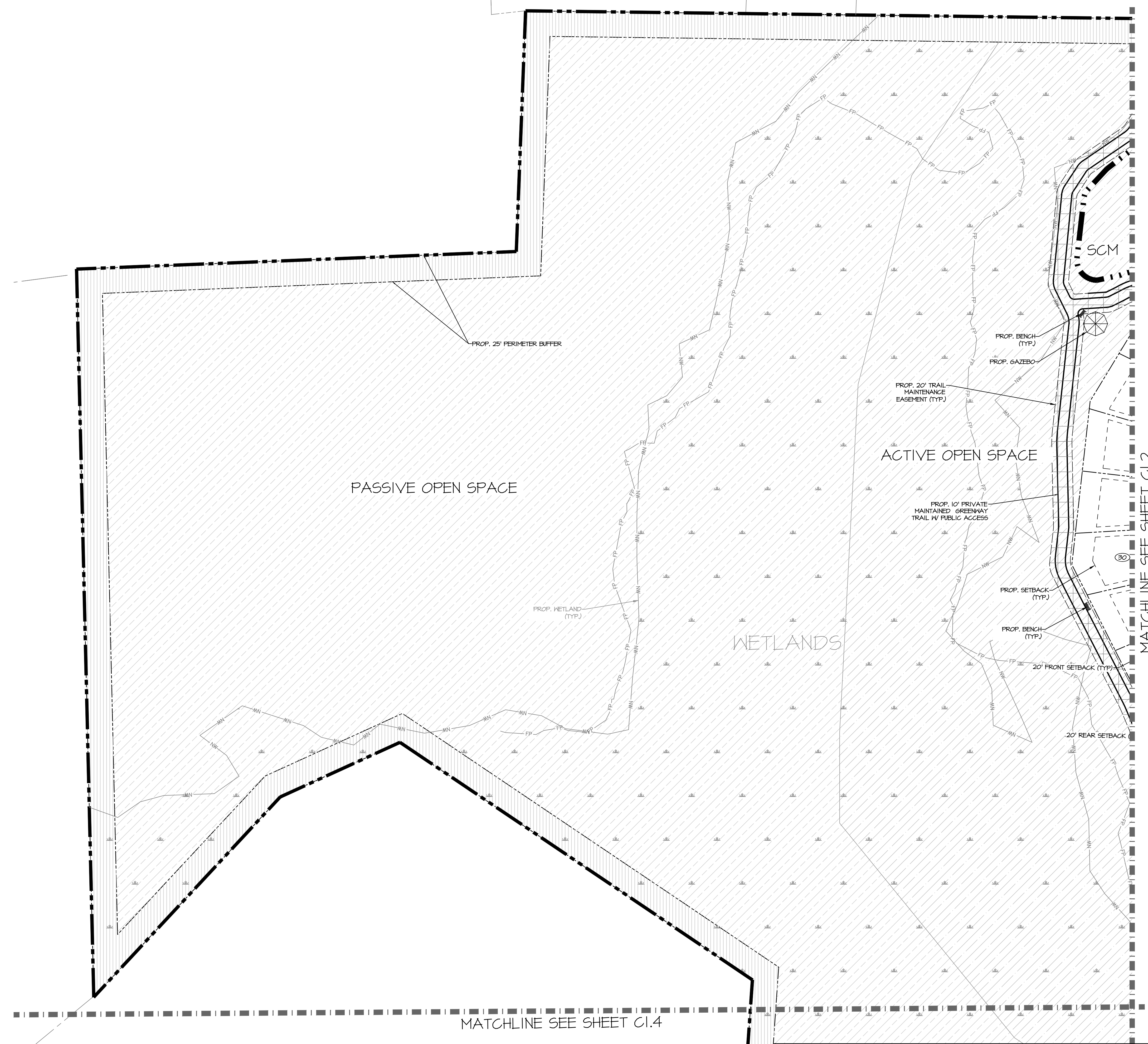
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A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/10/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **C** SHEET: **C1.0**

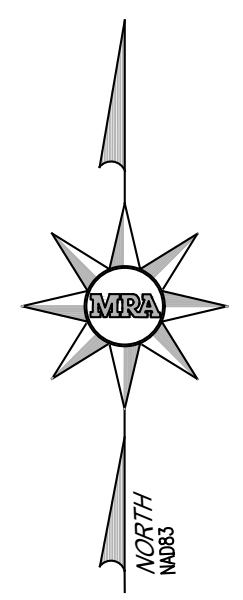
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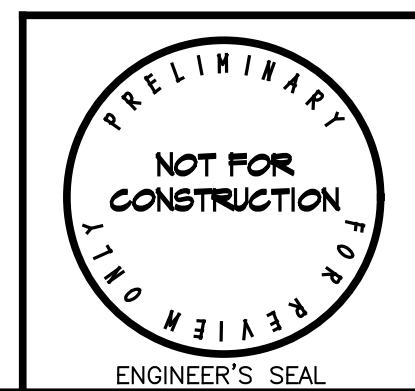


KEY PLAN
NOT TO SCALE



LEGEND

- PR, RIGHT OF WAY
- PR, LOT LINE/PAVING LINE
- PR, EASEMENT
- PR, BUILDING
- PR, CURB & GUTTER
- PR, RETAINING WALL
- PR, ROAD CENTER LINE
- PR, HEAVY DUTY PAVEMENT
- PR, LIGHT DUTY PAVEMENT
- PR, 20' PERIMETER BUFFER
- PR, SCM ACCESS EASEMENT
- PR, OPEN SPACE
- PR, IMPROVED OPEN SPACE
- PR, ACTIVE OPEN SPACE
- PR, SIDEWALK
- PR, FENCE
- PR, HANDICAP PARKING
- PR, HANDICAP RAMP
- PR, LOT NUMBER
- PR, PARKING SPACE COUNT
- PR, OPEN SPACE
- PR, LIMIT OF DISTURBANCE
- PR, TREE PROTECTION FENCE
- PR, TREE LINE
- PR, F CONTOUR
- PR, F CONTOUR
- EX, F CONTOUR
- EX, F CONTOUR
- EX, PROPERTY LINE
- EX, RIGHT-OF-WAY
- EX, ADJACENT PROPERTY LINE
- EX, EASEMENT
- EX, FLOODPLAIN
- EX, NON-TOTAL WETLAND
- EX, STREAM BUFFER
- EX, BUILDING
- EX, GARS
- EX, PAVEMENT/EDGE OF CUTTER
- EX, HALK
- EX, STREAM/POD
- EX, TREE LINE
- EX, TREE
- EX, STORM DRAIN
- EX, SANITARY LINE
- EX, WATERLINE
- EX, GAS LINE
- EX, UNDERGROUND ELECTRIC
- EX, OVERHEAD ELECTRIC



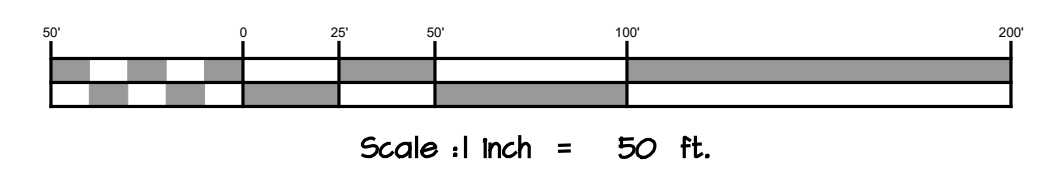
SITE PLAN - SHEET 1 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



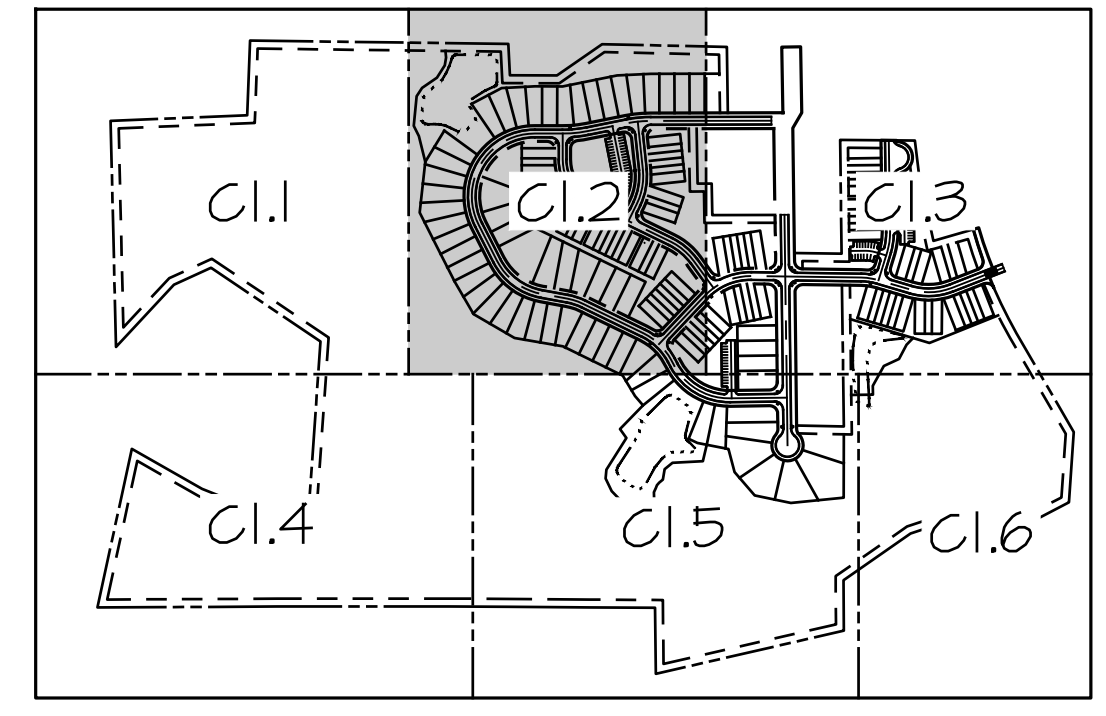
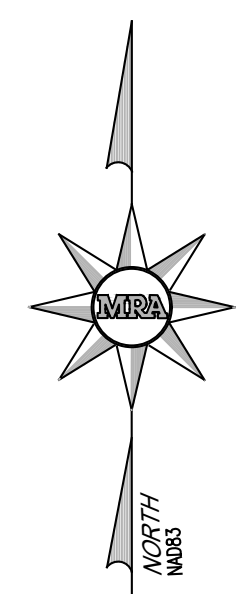
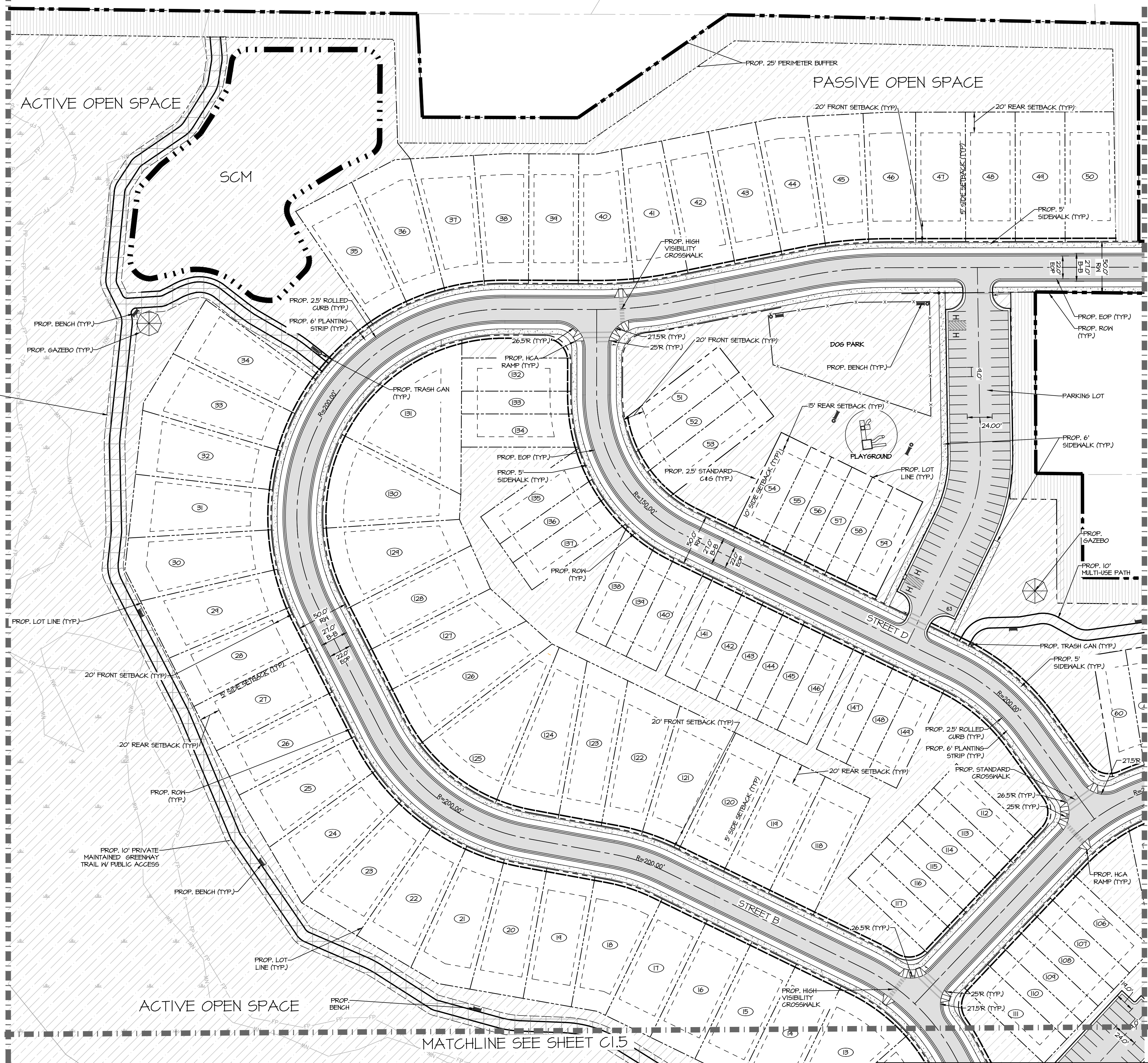
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O	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **C** SHEET: **C1.1**



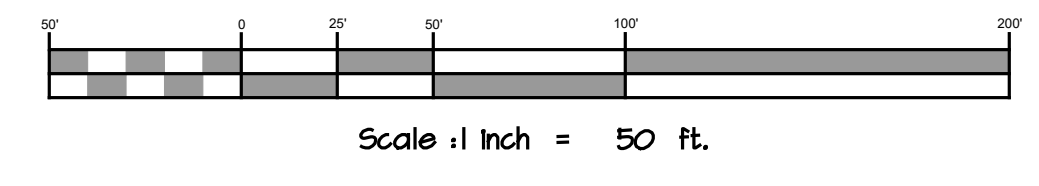
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KEY PLAN
NOT TO SCALE

LEGEND

PR. RIGHT OF WAY	PR. LOT LINE	PR. LOT NUMBER	PR. LOT NUMBER
PR. EASEMENT	PR. BUILDING	PR. PARKING SPACE COUNT	PR. OPEN SPACE
PR. CURB & GUTTER	PR. RETAINING WALL	PR. LIMIT OF DISTURBANCE	PR. TREE PROTECTION FENCE
PR. ROAD CENTER LINE	PR. HEAVY DUTY PAVEMENT	PR. TREE LINE	PR. 1' CONTOUR
PR. LIGHT DUTY PAVEMENT	PR. 20' PERIMETER BUFFER	PR. 5' CONTOUR	PR. 5' CONTOUR
PR. SOA ACCESS EASEMENT	PR. OPEN SPACE	EX. 1' CONTOUR	EX. PROPERTY LINE
PR. IMPROVED OPEN SPACE	PR. ACTIVE OPEN SPACE	EX. RIGHT-OF-WAY	EX. ADJACENT PROPERTY LINE
PR. SIDEWALK	PR. FENCE	EX. EASEMENT	EX. FLOODPLAIN
PR. HANDICAP PARKING	PR. HANDICAP RAMP	EX. FLOOR PLAN	EX. NON-TIDAL WETLAND
PR. LOT NUMBER	PR. PARKING SPACE COUNT	EX. STREAM BUFFER	EX. BUILDING
PR. OPEN SPACE	PR. LIMIT OF DISTURBANCE	EX. CURB	EX. PAVEMENT/EDGE OF GUTTER
PR. TREE PROTECTION FENCE	PR. TREE LINE	EX. MALK	EX. STORMWATER
PR. 1' CONTOUR	PR. 5' CONTOUR	EX. TREE LINE	EX. TREE
PR. 5' CONTOUR	EX. PROPERTY LINE	EX. SPOON DRAIN	EX. SANITARY LINE
EX. 1' CONTOUR	EX. RIGHT-OF-WAY	EX. WATERLINE	EX. GAS LINE
EX. PROPERTY LINE	EX. ADJACENT PROPERTY LINE	EX. INTERGROUND ELECTRIC	EX. OVERHEAD ELECTRIC
EX. EASEMENT	EX. FLOODPLAIN	EX. OVERHEAD ELECTRIC	
EX. FLOOR PLAN	EX. NON-TIDAL WETLAND		
EX. STREAM BUFFER	EX. BUILDING		
EX. CURB	EX. PAVEMENT/EDGE OF GUTTER		
EX. MALK	EX. STORMWATER		
EX. TREE LINE	EX. TREE		
EX. SPOON DRAIN	EX. SANITARY LINE		
EX. WATERLINE	EX. GAS LINE		
EX. INTERGROUND ELECTRIC	EX. OVERHEAD ELECTRIC		
EXISTING PROPOSED			
FIRE HYDRANT	WATER VALVE	REXUSER	WATER METER
POWER POLE	LIGHT POLE	PROP. TRASH CAN	PROP. BENCH



PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN - SHEET 2 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

ENGINEER'S SEAL

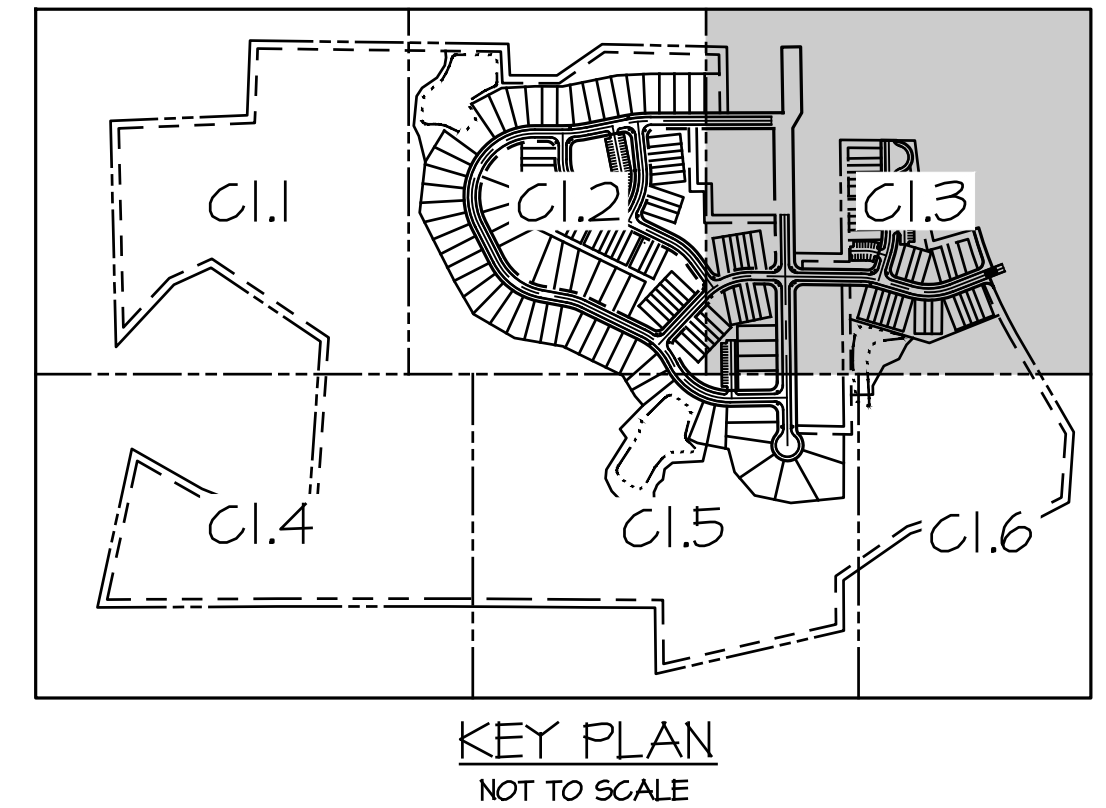
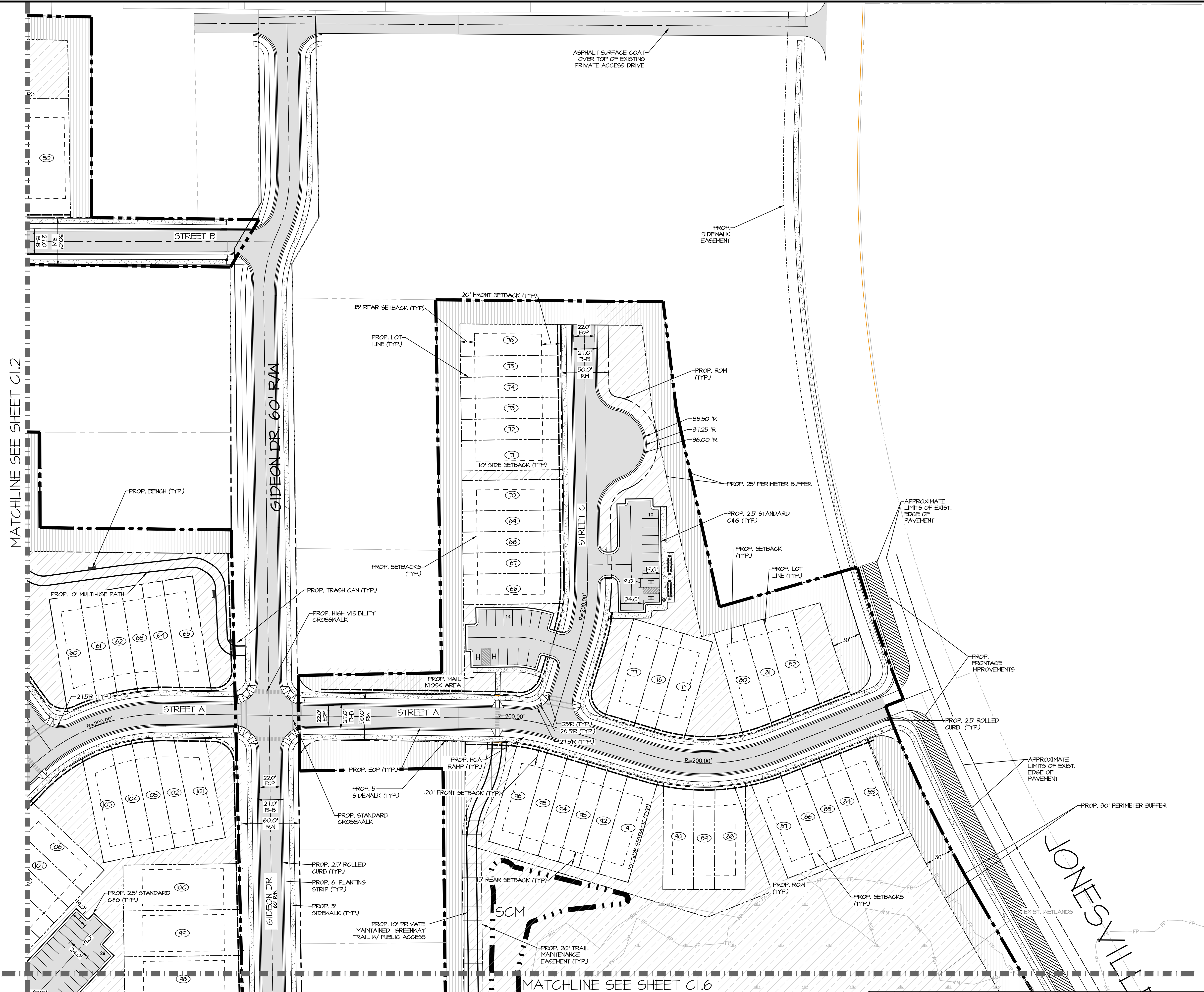
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A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE:	AS SHOWN	
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C	01/01/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER:	JMK	
			DRAWN BY:	ER/JM	
			DESIGN BY:	PKN	
			REVIEW BY:	PKN	

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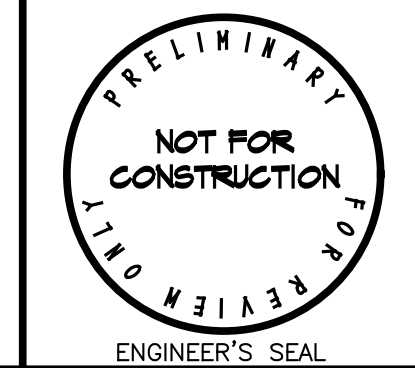
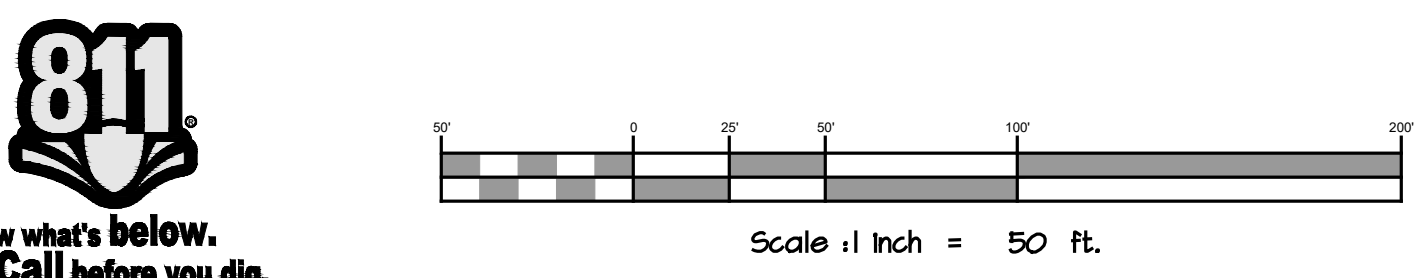


LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- 20' PERIMETER BUFFER
- PR. SIDEWALK EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- OS
- PR. OPEN SPACE
- LOD
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- LOD - TP
- PR. TREE LINE
- 200
- PR. 1' CONTOUR
- 100
- PR. 5' CONTOUR
- 50
- PR. 10' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVED/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/POD
- EX. TRENCH
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATER LINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- PR. FIRE HYDRANT
- PR. WATER VALVE
- PR. REDUCER
- PR. WATER METER
- PR. POWER POLE
- PR. LIGHT POLE
- PR. TRASH CAN
- PR. BENCH

MATCHLINE SEE SHEET C1.2

MATCHLINE SEE SHEET C1.6



SITE PLAN - SHEET 3 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



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MATCHLINE SEE SHEET C1.1

ACTIVE OPEN SPACE

PASSIVE OPEN SPACE

PROP. 25' PERIMETER BUFFER

EXIST. WETLANDS (TYP.)

EXIST. SEWER (TYP.)

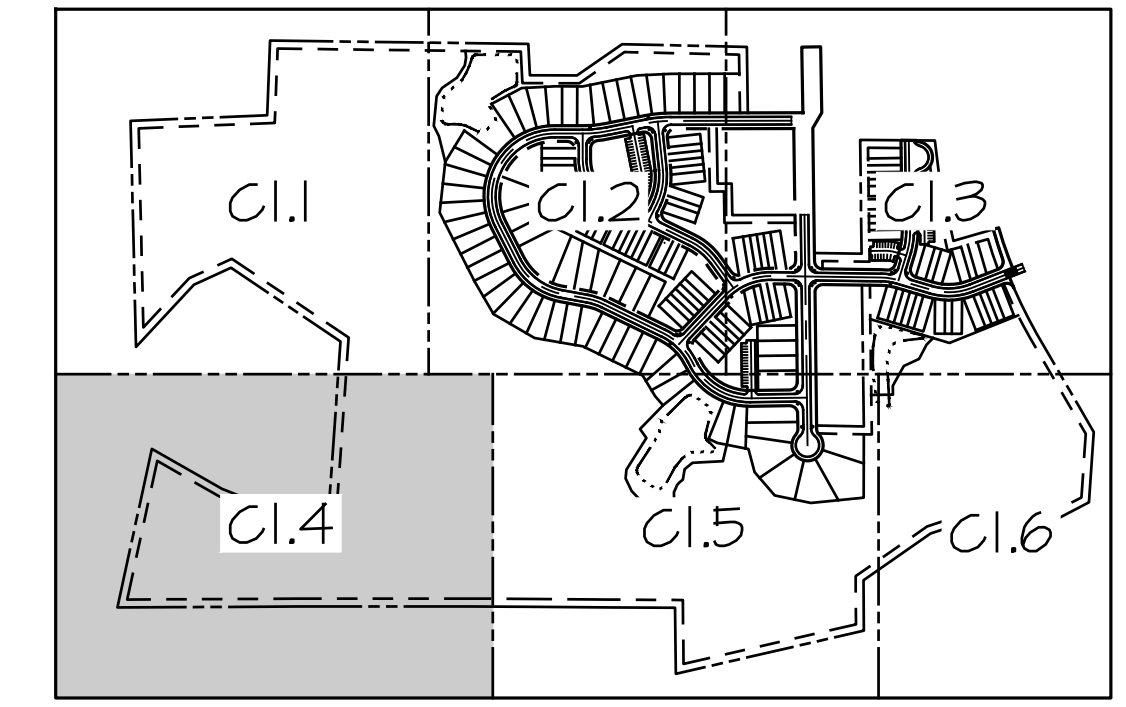
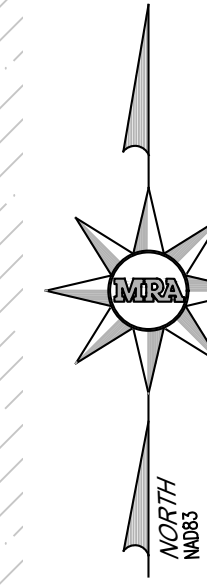
EXIST. SEWER EASEMENT (TYP.)

PROP. 30' GREENWAY EASEMENT (TYP.) AND PROP. 10' MULTI-USE PATH (TYP.)

PROP. 25' PERIMETER BUFFER

ADJACENT PROPERTY OWNER (TYP.)

MATCHLINE SEE SHEET C1.5

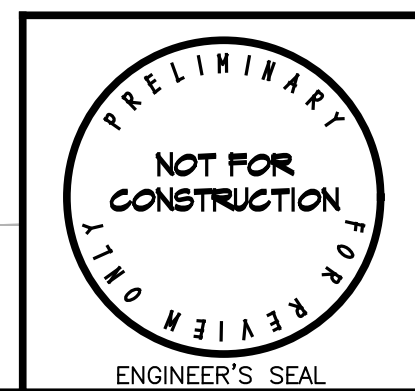
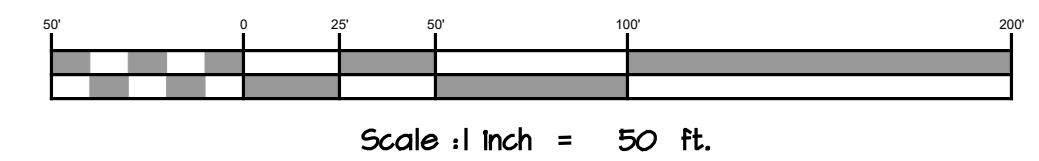


KEY PLAN NOT TO SCALE

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. LIGHT EXITS PAVEMENT
- PR. 20' FISHWATER BUFFER
- PR. 50% ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBERS
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LINE OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 5' CONTOUR
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/POUND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REDDER
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH

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SITE PLAN - SHEET 4 OF 6
 FOR
HARRIS CREEK FARMS
 TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

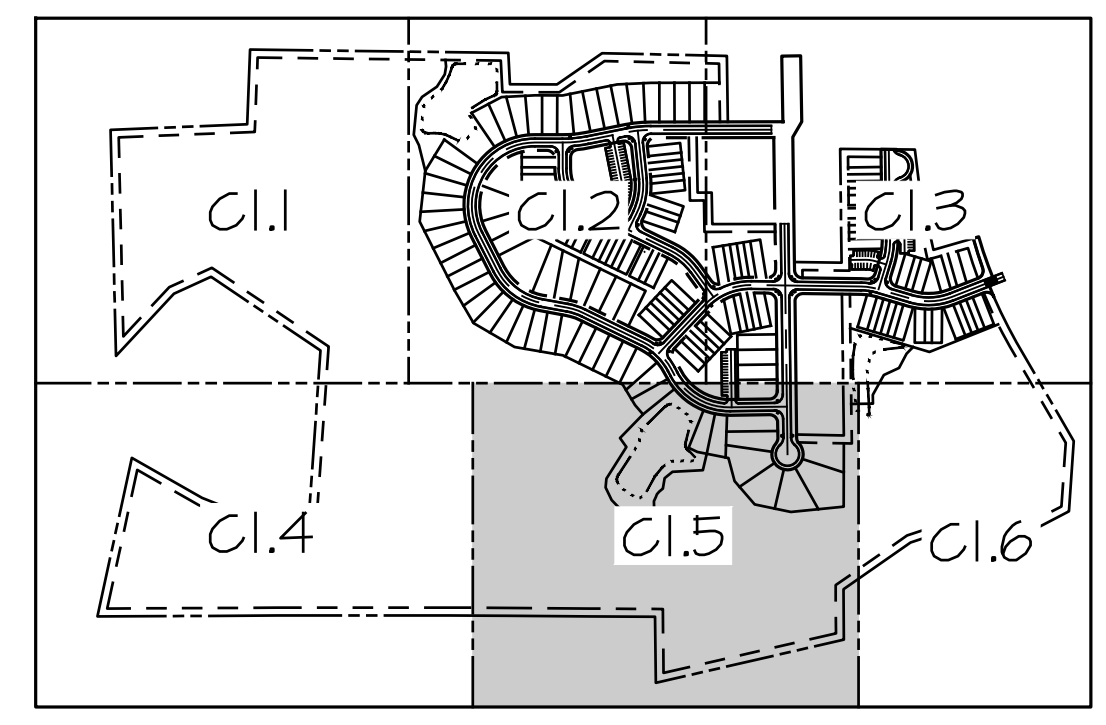
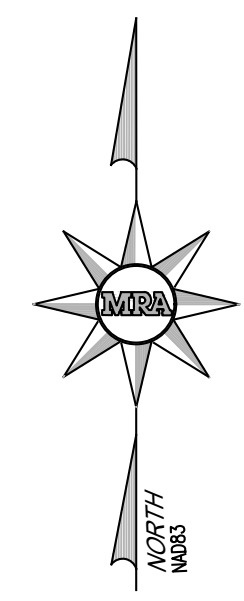
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B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



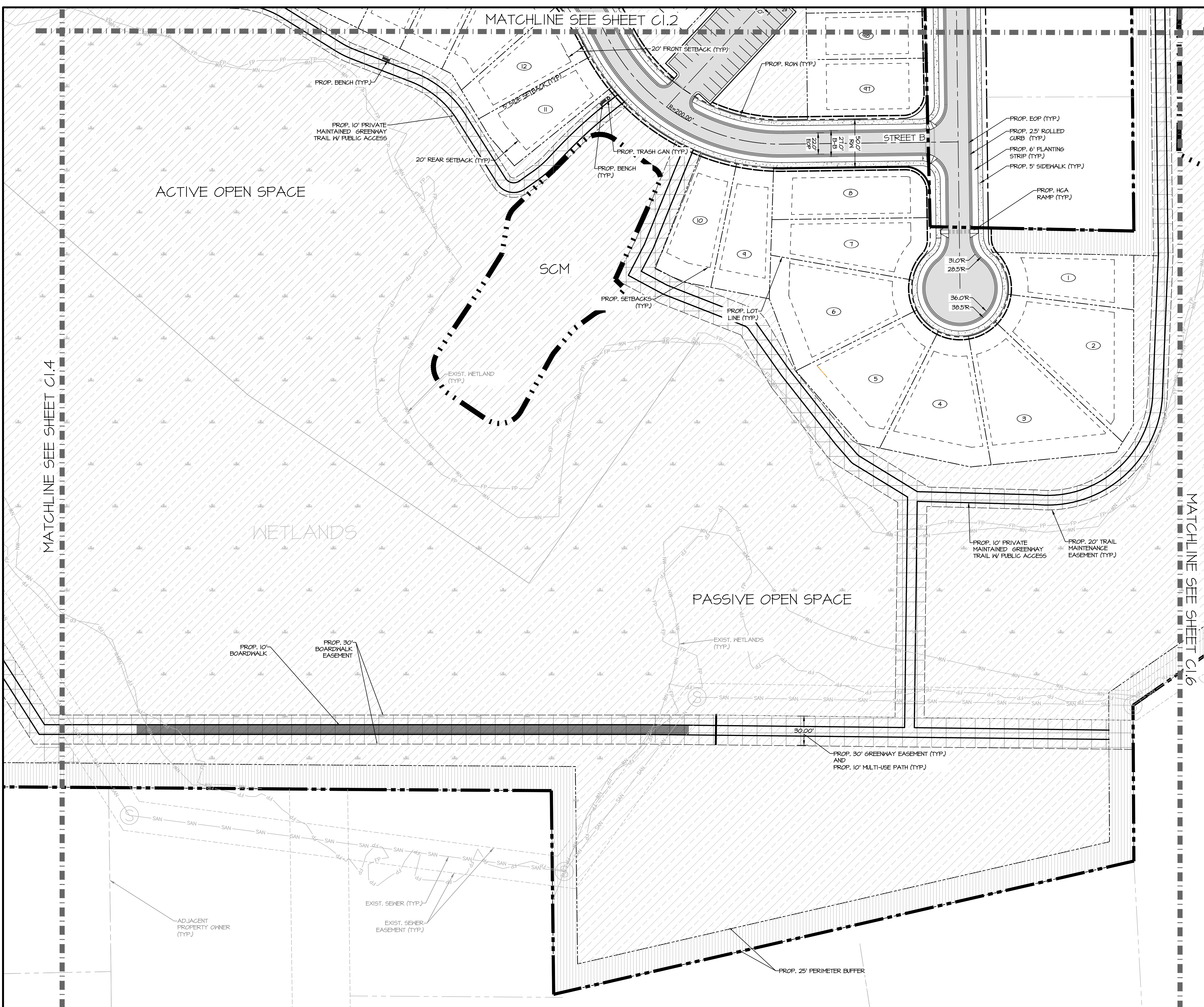
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MATCHLINE SEE SHEET C1.2



KEY PLAN
NOT TO SCALE

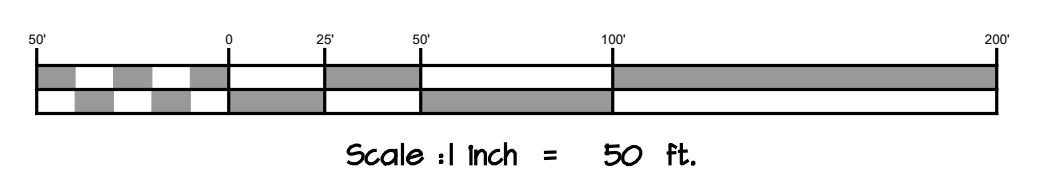


LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBERS
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LINE OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1" CONTOUR
- PR. 2" CONTOUR
- PR. 3" CONTOUR
- PR. 4" CONTOUR
- PR. 5" CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/POUND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATER LINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REDUCER
- WATER HEATER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH

MATCHLINE SEE SHEET C1.4

MATCHLINE SEE SHEET C1.6



CAD FILE: S:\PROJECTS\2023\1790 - Jonesville R0420-LDEMO Prelim\1790-15-SITE PLANNING 1790.dwg PLOT DATE/TIME: 11/21/2023 2:40 PM USER: mcmillon, chonies d.

PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN - SHEET 5 OF 6

FOR
HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

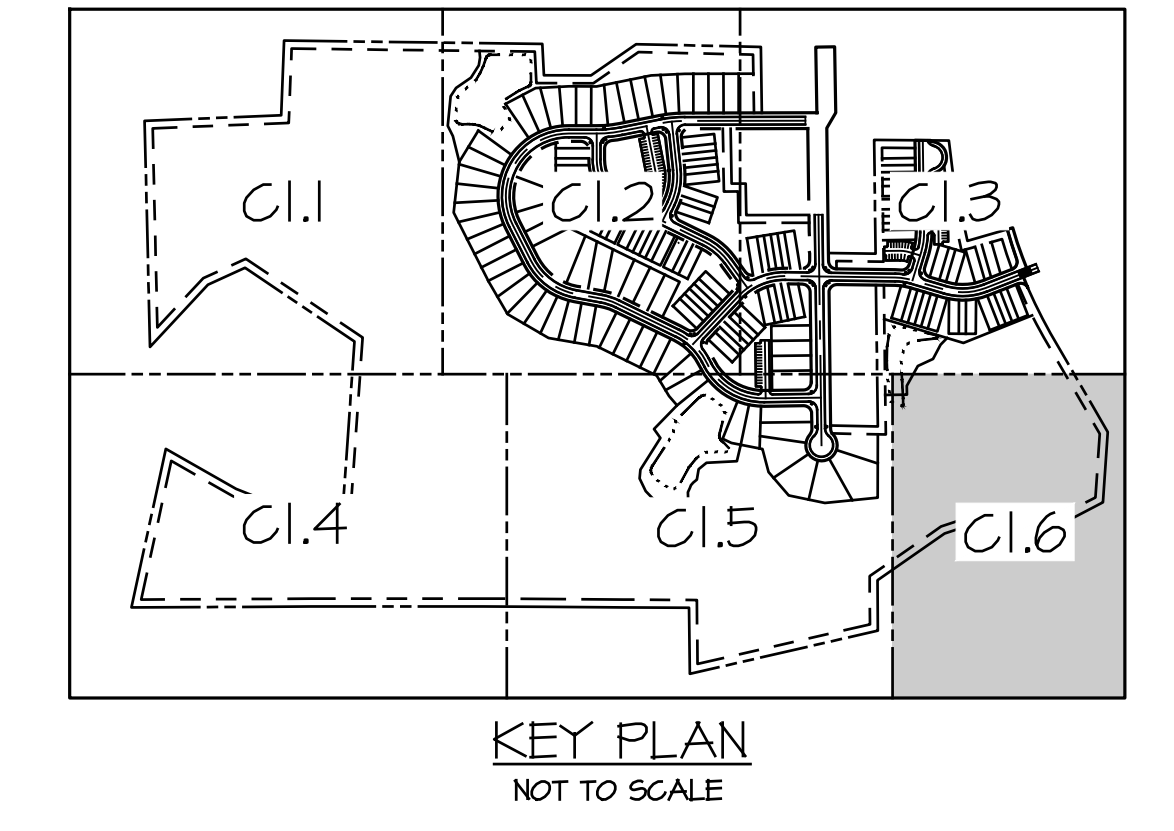
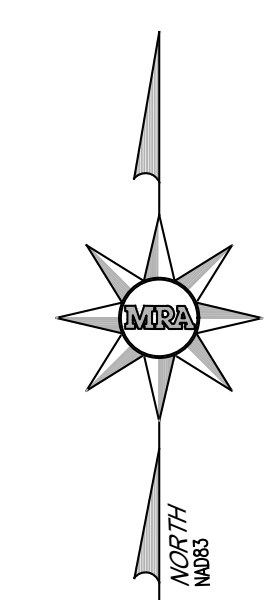
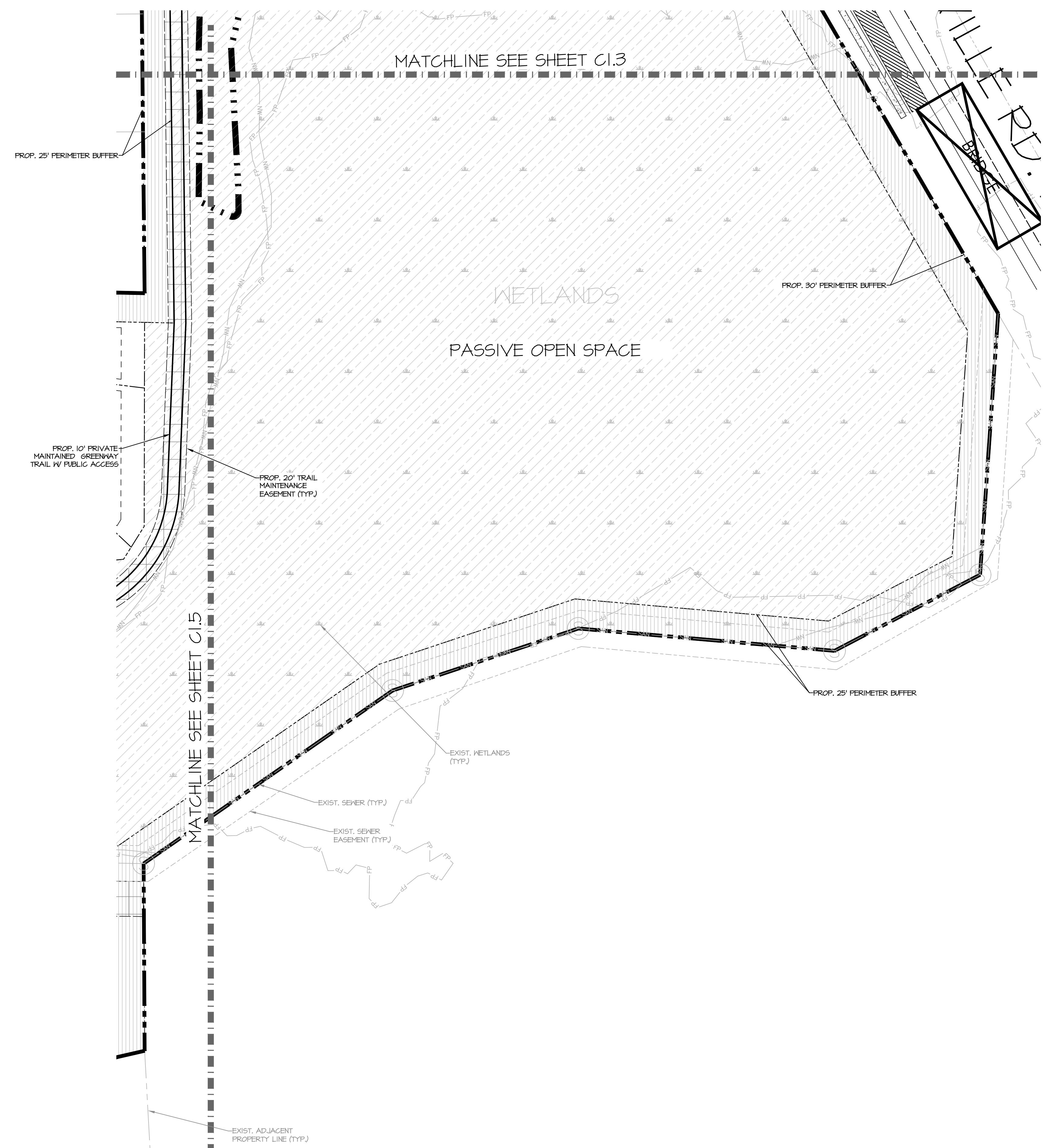
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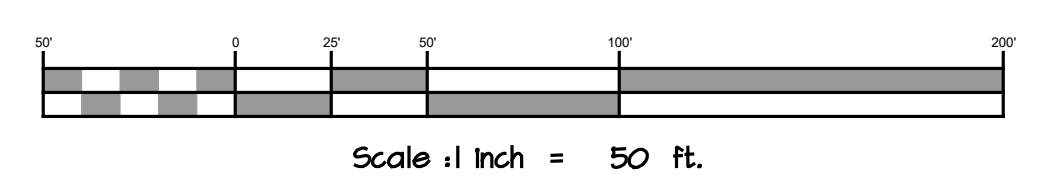
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			REVIEW BY: PKN

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LEGEND

---	PR. RIGHT OF WAY
---	PR. LOT LINE/PARCEL LINE
---	PR. EASEMENT
---	PR. BUILDING
---	PR. CURB & GUTTER
---	PR. RETAINING WALL
---	PR. ROAD CENTER LINE
---	PR. HEAVY DUTY PAVEMENT
---	PR. LIGHT DUTY PAVEMENT
---	20' PERIMETER BUFFER
---	PR. 50% ACCESS EASEMENT
---	PR. OPEN SPACE
---	PR. IMPROVED OPEN SPACE
---	PR. ACTIVE OPEN SPACE
---	PR. SIDEWALK
---	PR. FENCE
---	PR. HANDICAP PARKING
---	PR. HANDICAP RAMP
---	PR. LOT NUMBER
---	PR. PARKING SPACE COUNT
---	PR. OPEN SPACE
---	PR. LIMIT OF DISTURBANCE
---	PR. TREE PROTECTION FENCE
---	PR. TREE LINE
---	PR. 1' CONTOUR
---	PR. 5' CONTOUR
---	EX. 1' CONTOUR
---	EX. 5' CONTOUR
---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT PROPERTY LINE
---	EX. EASEMENT
---	EX. FLOORPLAN
---	EX. NON-TOTAL WETLAND
---	EX. STREAM BUFFER
---	EX. BUILDING
---	EX. CURB
---	EX. PAVEMENT/EDGE OF GUTTER
---	EX. WALK
---	EX. STREAM/POUND
---	EX. TREE LINE
---	EX. TREE
---	EX. STORY DRAIN
---	EX. SANITARY LINE
---	EX. WATERLINE
---	EX. GAS LINE
---	EX. UNDERGROUND ELECTRIC
---	EX. OVERHEAD ELECTRIC
---	EXISTING PROPOSED
---	FIRE HYDRANT
---	WATER VALVE
---	REXUSER
---	WATER METER
---	POWER POLE
---	LIGHT POLE
---	PROP. TRASH CAN
---	PROP. BENCH



PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN - SHEET 6 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

ENGINEER'S SEAL

No.	DATE	REVISIONS	
O	06/01/2022	ORIGINAL SUBMITTAL	
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO.: 21790
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

MRA

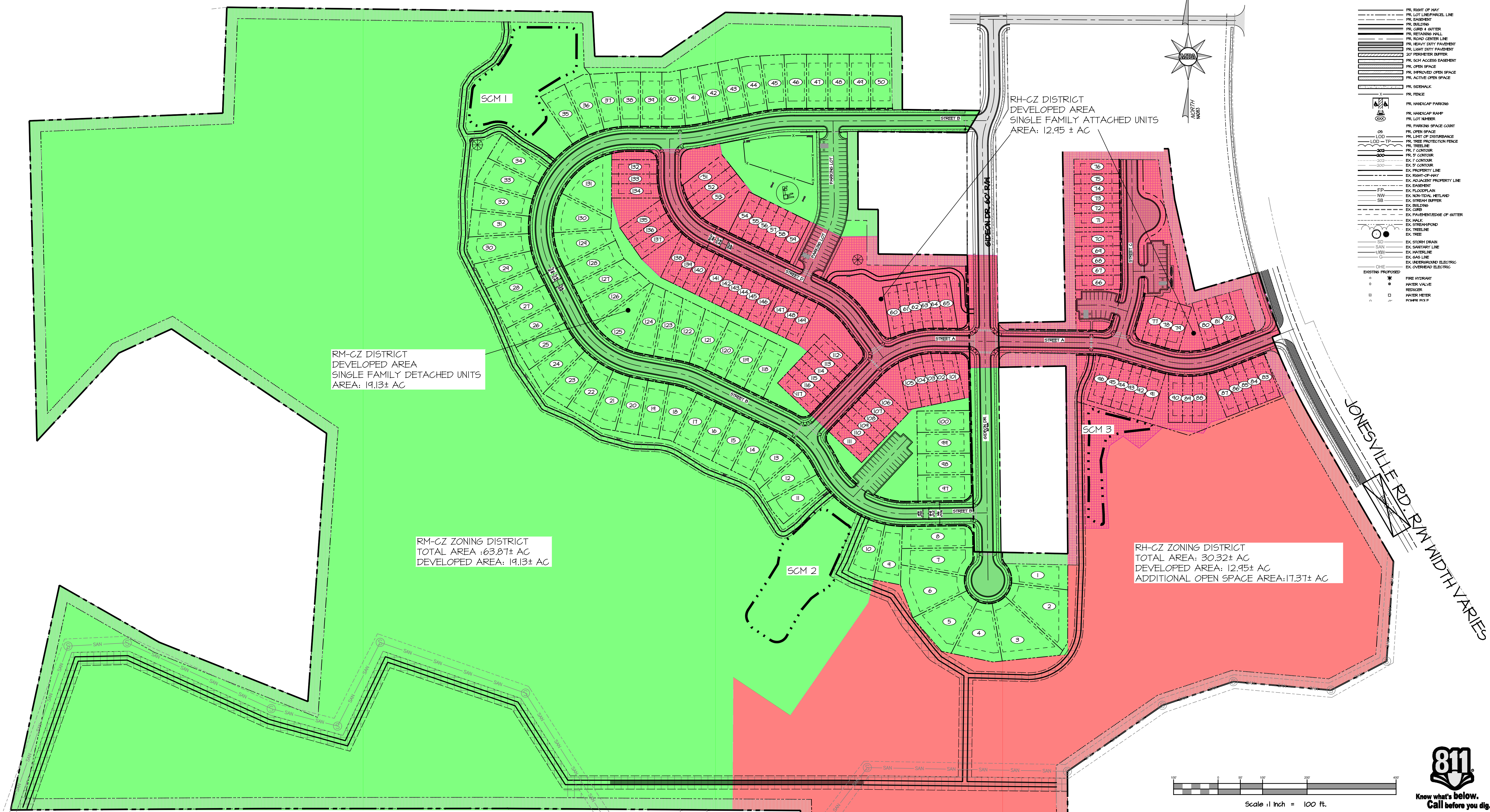
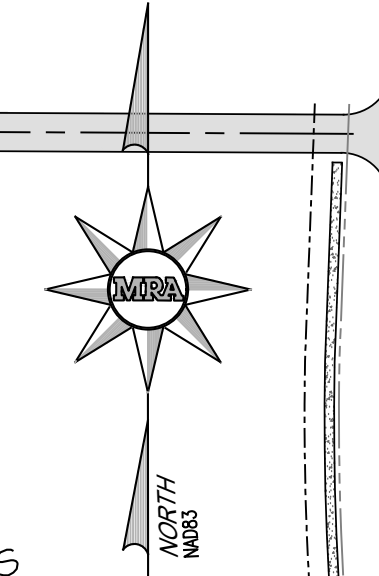
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CAD FILE: S:\PROJ\150715071 - Jonesville R6020-LDEVO Prelim\150715071-OVERALL SITE PLAN.dwg PLOT DATE/TIME: 11/21/2023 2:40 PM USER: mcmillan, charles.d.

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROW CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- 20' PERIMETER BUFFER
- PR. SCM ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. MALE
- EX. STREHWAY/ROAD
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. SAN LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC



RM-CZ DISTRICT
DEVELOPED AREA
SINGLE FAMILY DETACHED UNITS
AREA: 14.13± AC

RM-CZ ZONING DISTRICT
TOTAL AREA :63.87± AC
DEVELOPED AREA: 14.13± AC

RH-CZ DISTRICT
DEVELOPED AREA
SINGLE FAMILY ATTACHED UNITS
AREA: 12.95 ± AC

RH-CZ ZONING DISTRICT
TOTAL AREA: 30.32± AC
DEVELOPED AREA: 12.95± AC
ADDITIONAL OPEN SPACE AREA: 17.37± AC

JONESVILLE RD - R/W WIDTH VARIES

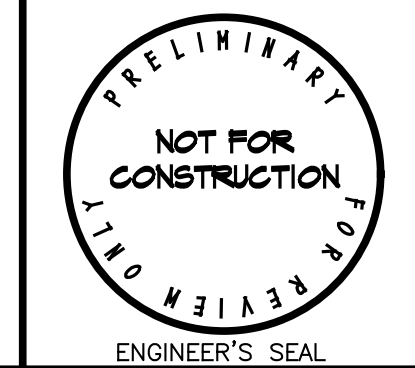
LEGEND

- RESIDENTIAL MEDIUM DENSITY-
CONDITIONAL ZONING:
- RESIDENTIAL HIGH DENSITY-
CONDITIONAL ZONING
DEVELOPED AREA:
- RESIDENTIAL HIGH
DENSITY- CONDITIONAL
ZONING OPEN SPACE AREA

	DEVELOPED AREA:	TOTAL AREA:	UNITS:	DENSITY:
RESIDENTIAL MEDIUM DENSITY- CONDITIONAL ZONING:	14.13 ACRES	63.87 ACRES	68 SF UNITS	68/63.87 = 1.07 UNITS/ACRE
RESIDENTIAL HIGH DENSITY- CONDITIONAL ZONING DEVELOPED AREA:	12.95 ACRES	-	81 TH UNITS	81/12.95 = 6.26 UNITS/ DEVELOPED ACRE
RESIDENTIAL HIGH DENSITY- CONDITIONAL ZONING OPEN SPACE AREA	-	17.37 ACRES		

RESIDENTIAL MEDIUM DENSITY OPEN SPACE	REQUIRED:	4.70 AC
	PROVIDED:	44.74 AC
RESIDENTIAL HIGH DENSITY OPEN SPACE	REQUIRED:	2.10 AC
	PROVIDED:	17.37 AC

Scale: 1 Inch = 100 ft.



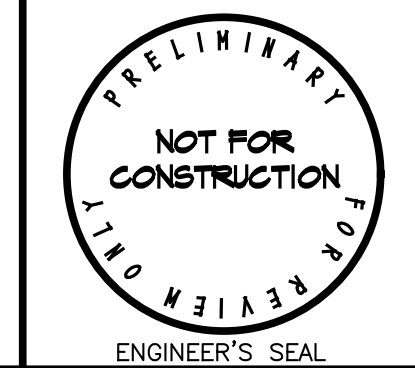
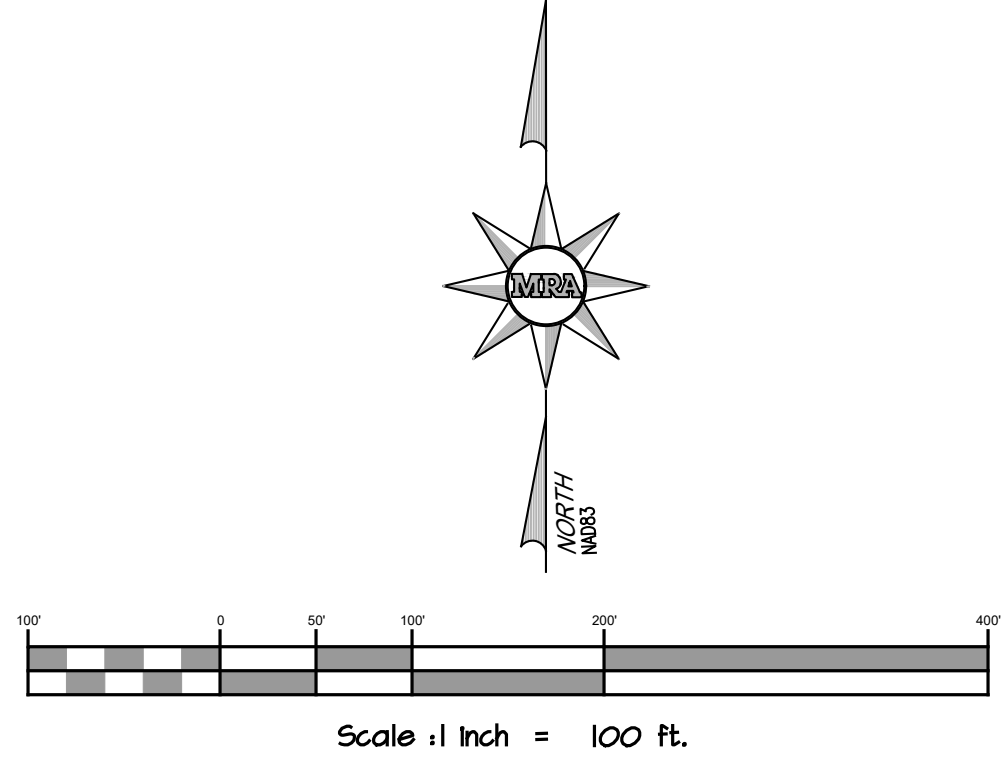
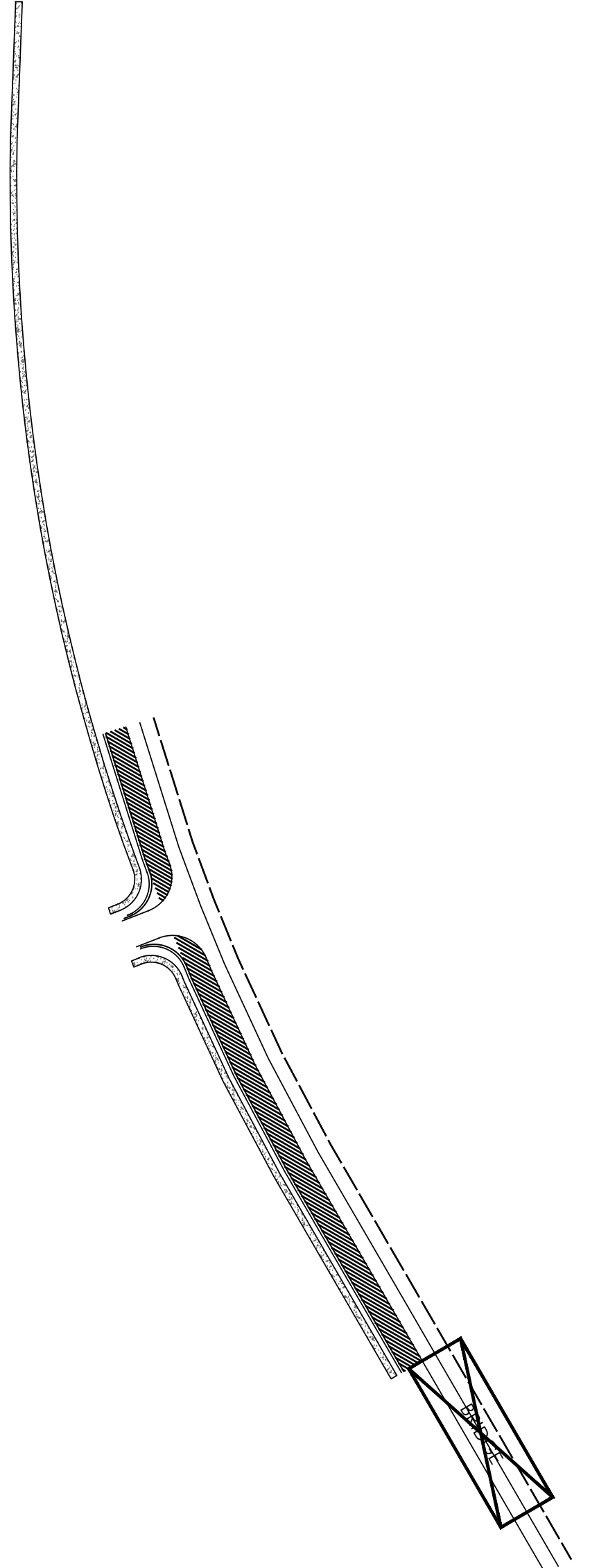
OVERALL ZONING PLAN
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	JOB NO.:
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	8/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



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OVERALL UTILITY & LIGHTING
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	
O	06/01/2022	ORIGINAL SUBMITTAL	
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO.: 21790
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
C	01/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



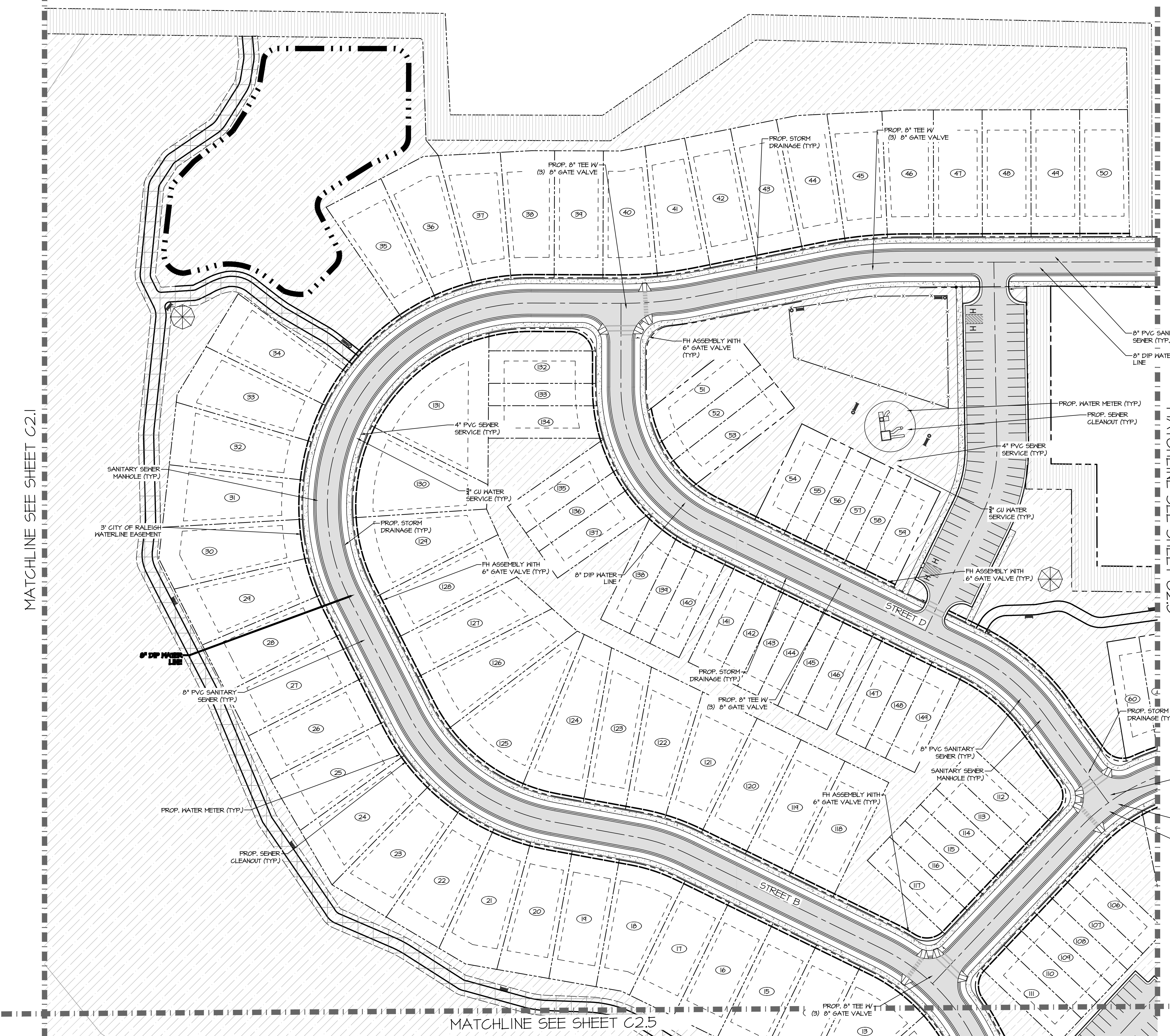
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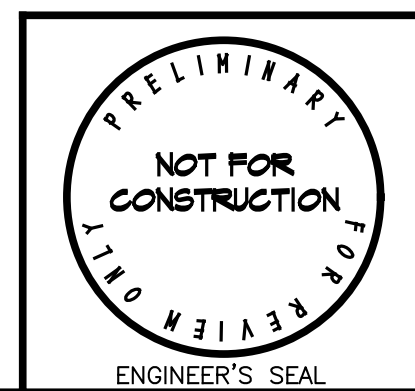
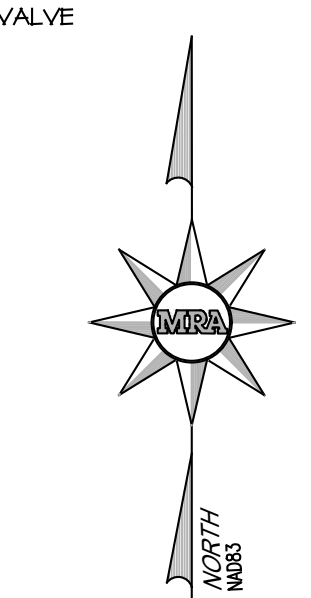
PR. RIGHT OF WAY	PR. LOT LINE/PAVEMENT LINE
PR. EASEMENT	PR. SANITARY SEWER
PR. BUILDING	PR. WATER SERVICE LINE
PR. CURB & GUTTER	PR. SAN SEWER MANHOLE
PR. RETAINING WALL	PR. GATE VALVE
PR. ROAD CENTER LINE	PR. REDUCER
PR. LIGHT DUTY PAVEMENT	PR. SEWER CLEANOUT
PR. HEAVY DUTY PAVEMENT	PR. WATER METER
PR. STORM DRAIN	PR. CATCH BASIN
PR. WATERLINE	PR. FIRE HYDRANT
PR. SANITARY SEWER	PR. TEMP. BLOCK/RY VALVE
PR. SAN SEWER SERVICE LINE	PR. LIMIT OF DISTURBANCE
PR. WATER SERVICE LINE	PR. F. CONTOUR
PR. SAN SEWER MANHOLE	PR. G. CONTOUR
PR. GATE VALVE	PR. F. CONTOUR
PR. REDUCER	PR. G. CONTOUR
PR. SEWER CLEANOUT	EX. PROPERTY LINE
PR. WATER METER	EX. RIGHT-OF-WAY
PR. CATCH BASIN	EX. EASEMENT
PR. FIRE HYDRANT	EX. FLOOR PLAN
PR. TEMP. BLOCK/RY VALVE	EX. NON-TOTAL FETLAND
PR. LIMIT OF DISTURBANCE	EX. TRENCH CENTER
PR. F. CONTOUR	EX. BUILDING
PR. G. CONTOUR	EX. GROUND
EX. PROPERTY LINE	EX. PAVEMENT/EDGE OF DRIVE
EX. RIGHT-OF-WAY	EX. WALL
EX. EASEMENT	EX. STREAM/POUND
EX. FLOOR PLAN	EX. TREE
EX. NON-TOTAL FETLAND	EX. STORM DRAIN
EX. TRENCH CENTER	EX. SANITARY LINE
EX. BUILDING	EX. WATERLINE
EX. GROUND	EX. GAS LINE
EX. PAVEMENT/EDGE OF DRIVE	EX. UNDERGROUND ELECTRIC
EX. WALL	EX. OVERHEAD ELECTRIC
EX. STREAM/POUND	EX. FIRE HYDRANT
EX. TREE	EX. WATER VALVE
EX. STORM DRAIN	EX. WATER METER
EX. SANITARY LINE	EX. POWER POLE
EX. WATERLINE	EX. LIGHT POLE
EX. GAS LINE	
EX. UNDERGROUND ELECTRIC	
EX. OVERHEAD ELECTRIC	
EX. FIRE HYDRANT	
EX. WATER VALVE	
EX. WATER METER	
EX. POWER POLE	
EX. LIGHT POLE	



MATCHLINE SEE SHEET C2.3

MATCHLINE SEE SHEET C2.1

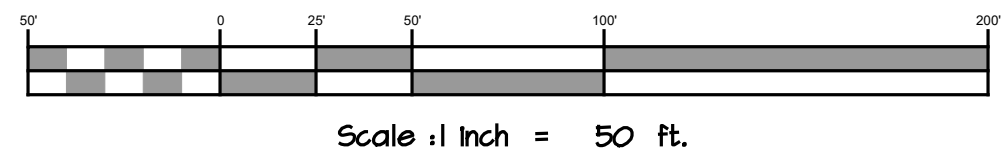
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UTILITY & LIGHTING SHEET 2 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

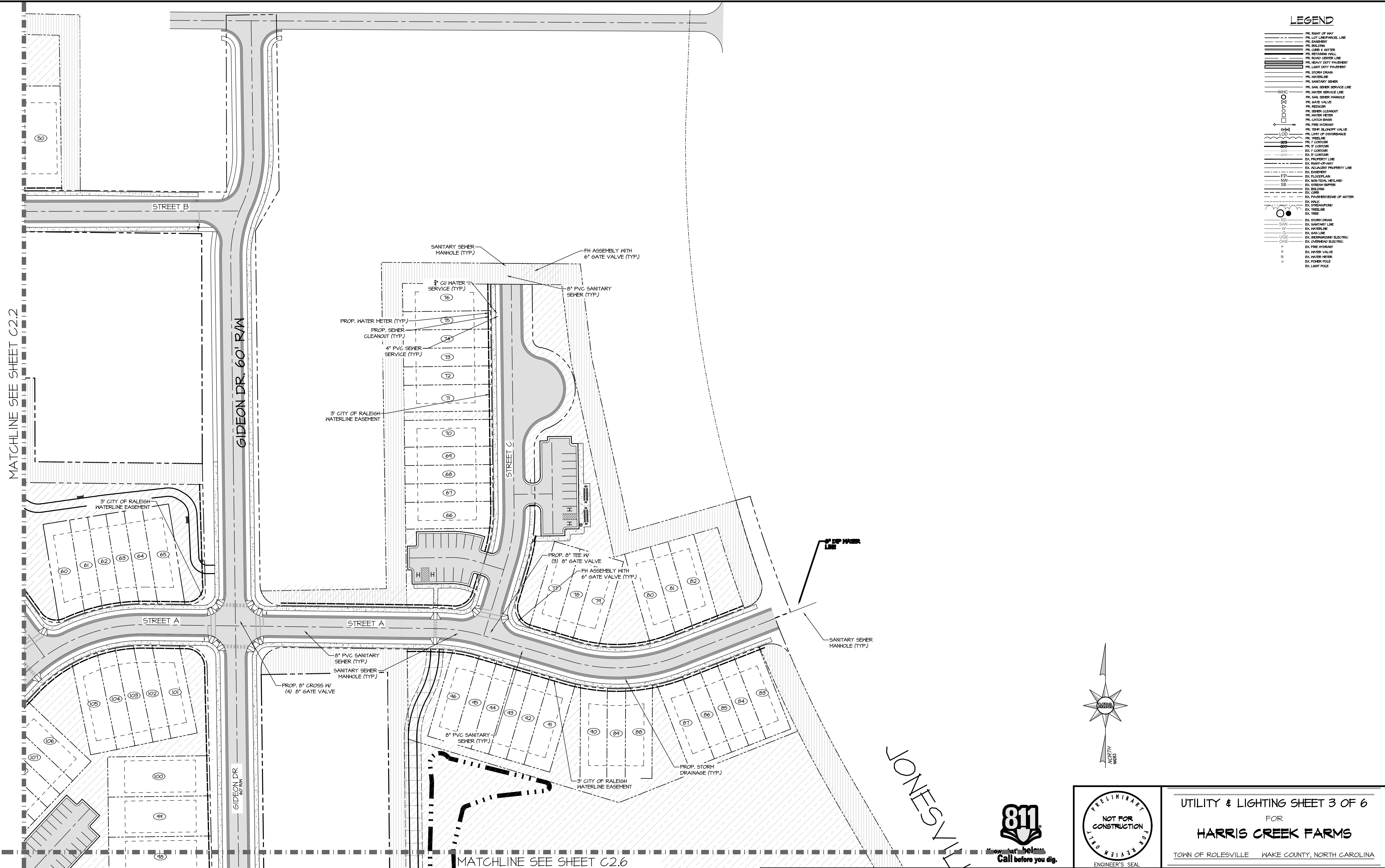
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No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/10/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



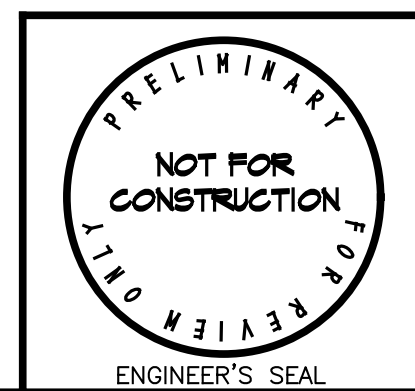
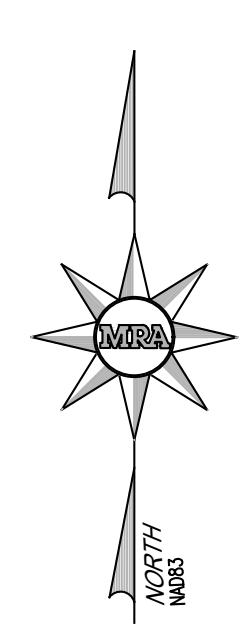
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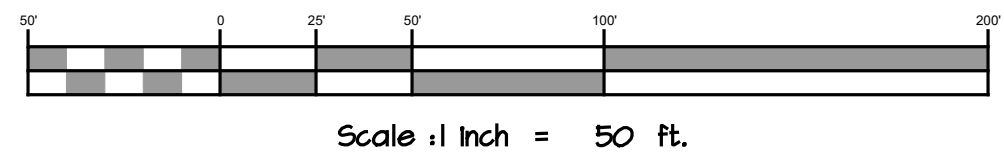
PR. RIGHT OF WAY	PR. SANITARY SERVICE LINE
PR. LOT LINE/PAVEMENT LINE	PR. WATER SERVICE LINE
PR. PAVEMENT	PR. SAN SEWER MANHOLE
PR. CURB & GUTTER	PR. GATE VALVE
PR. BUILDING	PR. REDUCER
PR. RETAINING WALL	PR. SEWER CLEANOUT
PR. ROAD CENTER LINE	PR. WATER METER
PR. HEAVY DUTY PAVEMENT	PR. CATCH BASIN
PR. LIGHT DUTY PAVEMENT	PR. FIRE HYDRANT
PR. STORM DRAIN	PR. FIRE ESCAPE VALVE
PR. WATERLINE	PR. LIMIT OF DISTURBANCE
PR. SANITARY SEWER	PR. TREE LINE
PR. SAN SEWER SERVICE LINE	PR. F. CONTOUR
PR. WATER SERVICE LINE	PR. D. CONTOUR
PR. SAN SEWER MANHOLE	PR. E. CONTOUR
PR. GATE VALVE	EX. PROPERTY LINE
PR. REDUCER	EX. RIGHT-OF-WAY
PR. SEWER CLEANOUT	EX. EASEMENT
PR. WATER METER	EX. FLOOR PLAN
PR. CATCH BASIN	EX. NON-TOTAL FETLAND
PR. FIRE HYDRANT	EX. TRENCH EXTERIOR
PR. FIRE ESCAPE VALVE	EX. BUILDING
PR. LIMIT OF DISTURBANCE	EX. PAVEMENT/EDGE OF GUTTER
PR. TREE LINE	EX. WALK
PR. F. CONTOUR	EX. STREAM/POND
PR. D. CONTOUR	EX. TREE LINE
PR. E. CONTOUR	EX. TREE
EX. PROPERTY LINE	EX. STORM DRAIN
EX. RIGHT-OF-WAY	EX. SANITARY LINE
EX. EASEMENT	EX. WATERLINE
EX. FLOOR PLAN	EX. GAS LINE
EX. NON-TOTAL FETLAND	EX. UNDERGROUND ELECTRIC
EX. TRENCH EXTERIOR	EX. OVERHEAD ELECTRIC
EX. BUILDING	EX. FIRE HYDRANT
EX. PAVEMENT/EDGE OF GUTTER	EX. WATER VALVE
EX. WALK	EX. WATER METER
EX. STREAM/POND	EX. POWER POLE
EX. TREE LINE	EX. LIGHT POLE
EX. TREE	
EX. STORM DRAIN	
EX. SANITARY LINE	
EX. WATERLINE	
EX. GAS LINE	
EX. UNDERGROUND ELECTRIC	
EX. OVERHEAD ELECTRIC	
EX. FIRE HYDRANT	
EX. WATER VALVE	
EX. WATER METER	
EX. POWER POLE	
EX. LIGHT POLE	



UTILITY & LIGHTING SHEET 3 OF 6
 FOR
HARRIS CREEK FARMS
 TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



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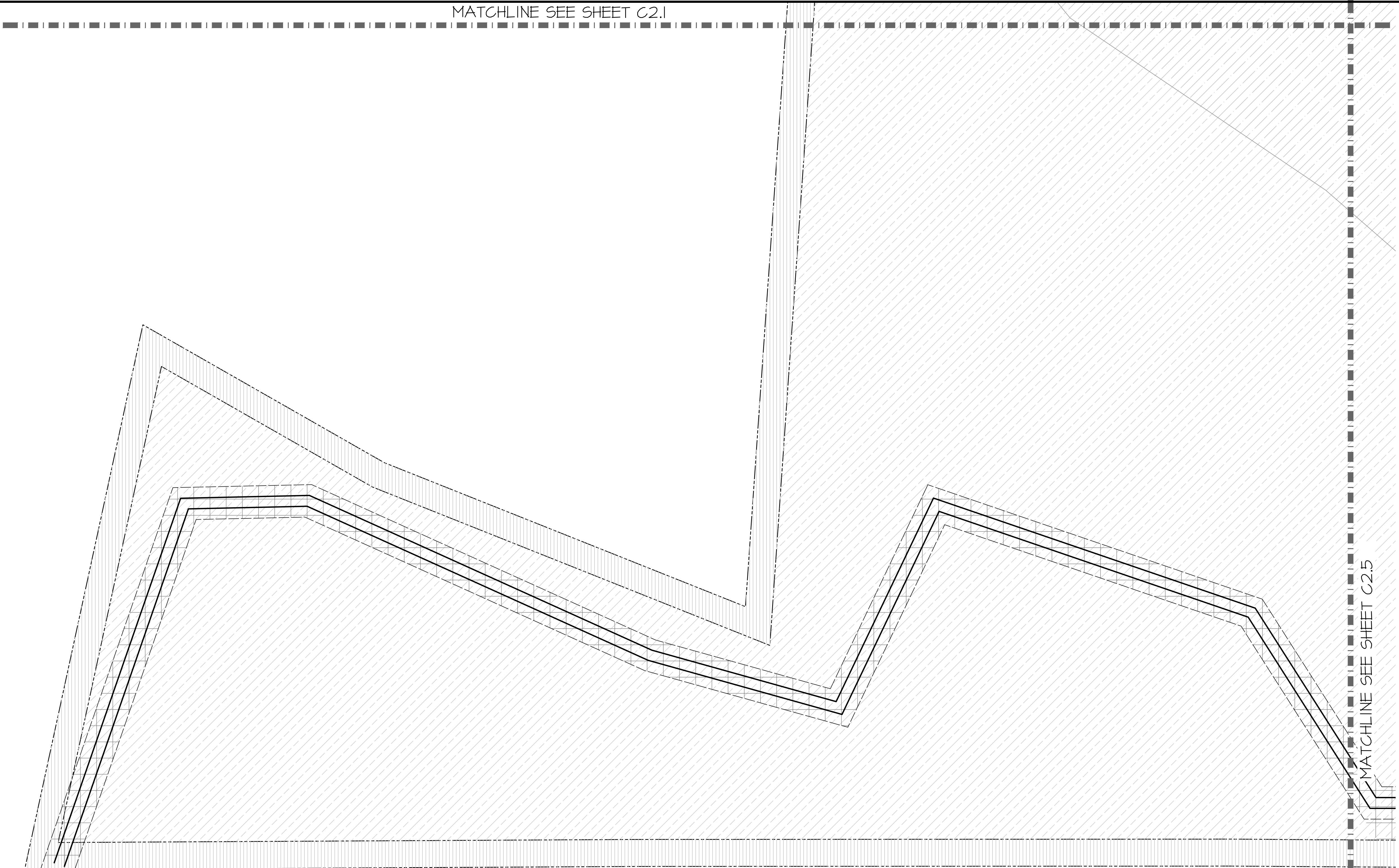
No.	DATE	REVISIONS	
0	06/01/2022	ORIGINAL SUBMITTAL	
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO.: 21790
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C	01/11/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **C** SHEET: **C2.3**

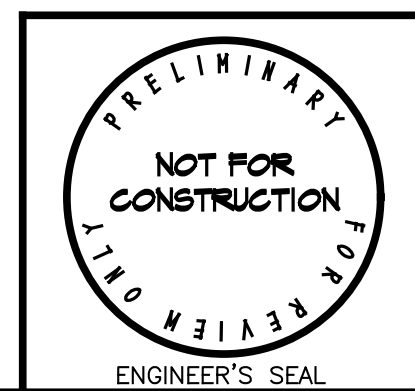
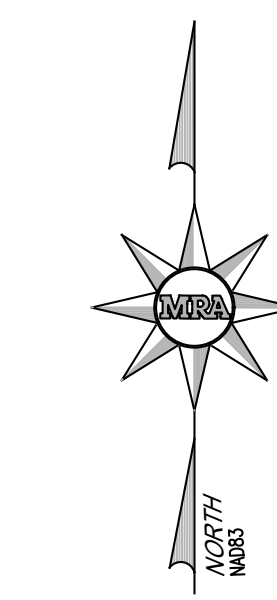
MATCHLINE SEE SHEET C2.1

LEGEND

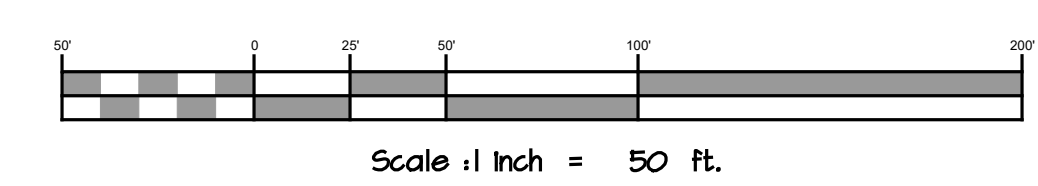
- PR RIGHT OF WAY
- PR LOT LINE/PARCEL LINE
- PR EASEMENT
- PR BUILDING
- PR CURB & GUTTER
- PR RETAINING WALL
- PR ROAD CENTER LINE
- PR HEAVY DUTY PAVEMENT
- PR LIGHT DUTY PAVEMENT
- PR STORM DRAIN
- PR WATERLINE
- PR SANITARY SEWER
- PR SAN SEWER SERVICE LINE
- PR WATER SERVICE LINE
- PR SAN SEWER MANHOLE
- PR GATE VALVE
- PR REDUCER
- PR SEWER CLEANOUT
- PR WATER METER
- PR CATCH BASIN
- PR FIRE HYDRANT
- PR FIRE BLOWOFF VALVE
- PR LIMIT OF DISTURBANCE
- PR TREE LINE
- PR F CONTOUR
- PR D CONTOUR
- EX F CONTOUR
- EX D CONTOUR
- EX PROPERTY LINE
- EX RIGHT-OF-WAY
- EX EASEMENT PROPERTY LINE
- EX EASEMENT
- EX FLOODPLAIN
- EX NON-TOTAL FETLAND
- EX FRESH WATER
- EX BUILDING
- EX PAVED/EDGE OF GUTTER
- EX WALK
- EX STREAM/POND
- EX TREE
- EX STORM DRAIN
- EX SANITARY LINE
- EX WATERLINE
- EX GAS LINE
- EX UNDERGROUND ELECTRIC
- EX OVERHEAD ELECTRIC
- EX FIRE HYDRANT
- EX WATER VALVE
- EX WATER METER
- EX POWER POLE
- EX LIGHT POLE



MATCHLINE SEE SHEET C2.5



UTILITY & LIGHTING SHEET 4 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



No.	DATE	REVISIONS	JOB NO.
O	06/01/2022	ORIGINAL SUBMITTAL	21790
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



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CAD FILE: S:\PROJ\15ACTY_2021\21790 - Jonesville R020-LDEV0 Prelim\PLOT\2-UTILITY Lighting.dwg PLOT DATE/TIME: 11/21/2023 2:41 PM USER: mcmillan, charles d.

MATCHLINE SEE SHEET C2.2

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PAVEMENT LINE
- PR. PAVEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. STORM DRAIN
- PR. WATERLINE
- PR. SANITARY SEWER
- PR. SAN. SEWER SERVICE LINE
- PR. WATER SERVICE LINE
- PR. SAN. SEWER MANHOLE
- PR. GATE VALVE
- PR. REDUCER
- PR. SEWER CLEANOUT
- PR. WATER METER
- PR. CATCH BASIN
- PR. FIRE HYDRANT
- PR. TEMP. BLOWOFF VALVE
- PR. LIMIT OF DISTURBANCE
- PR. F. CONTOUR
- PR. D. CONTOUR
- PR. S. CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ELEVATION PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM CENTER
- EX. BUILDING
- EX. SAND
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/SPOND
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. OVERHEAD ELECTRIC
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. WATER METER
- EX. POWER POLE
- EX. LIGHT POLE

MATCHLINE SEE SHEET C2.4

MATCHLINE SEE SHEET C2.6

SCM

STREET B

PROP. STORM DRAINAGE (TYP.)

8" DIP WATER LINE

8" PVC SANITARY SEWER (TYP.)

PROP. STORM DRAINAGE (TYP.)

PROP. 8" TEE W/ (3) 8" GATE VALVE

SANITARY SEWER MANHOLE (TYP.)

PROP. STORM DRAINAGE (TYP.)

4" PVC SEWER SERVICE (TYP.)

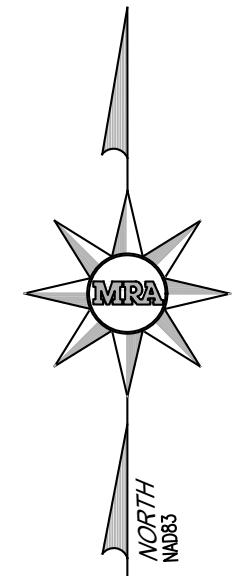
PROP. SEWER CLEANOUT (TYP.)

PROP. BLOWOFF ASSEMBLY (TYP.)

3" CU WATER SERVICE (TYP.)

PROP. WATER METER (TYP.)

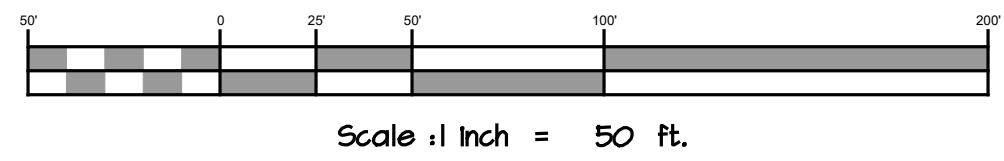
8" PVC SANITARY SEWER (TYP.)



UTILITY & LIGHTING SHEET 5 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND RD., STE 104
KNIGHTDALE, NC 27545
(984) 200-2103
LICENSE # C-4182
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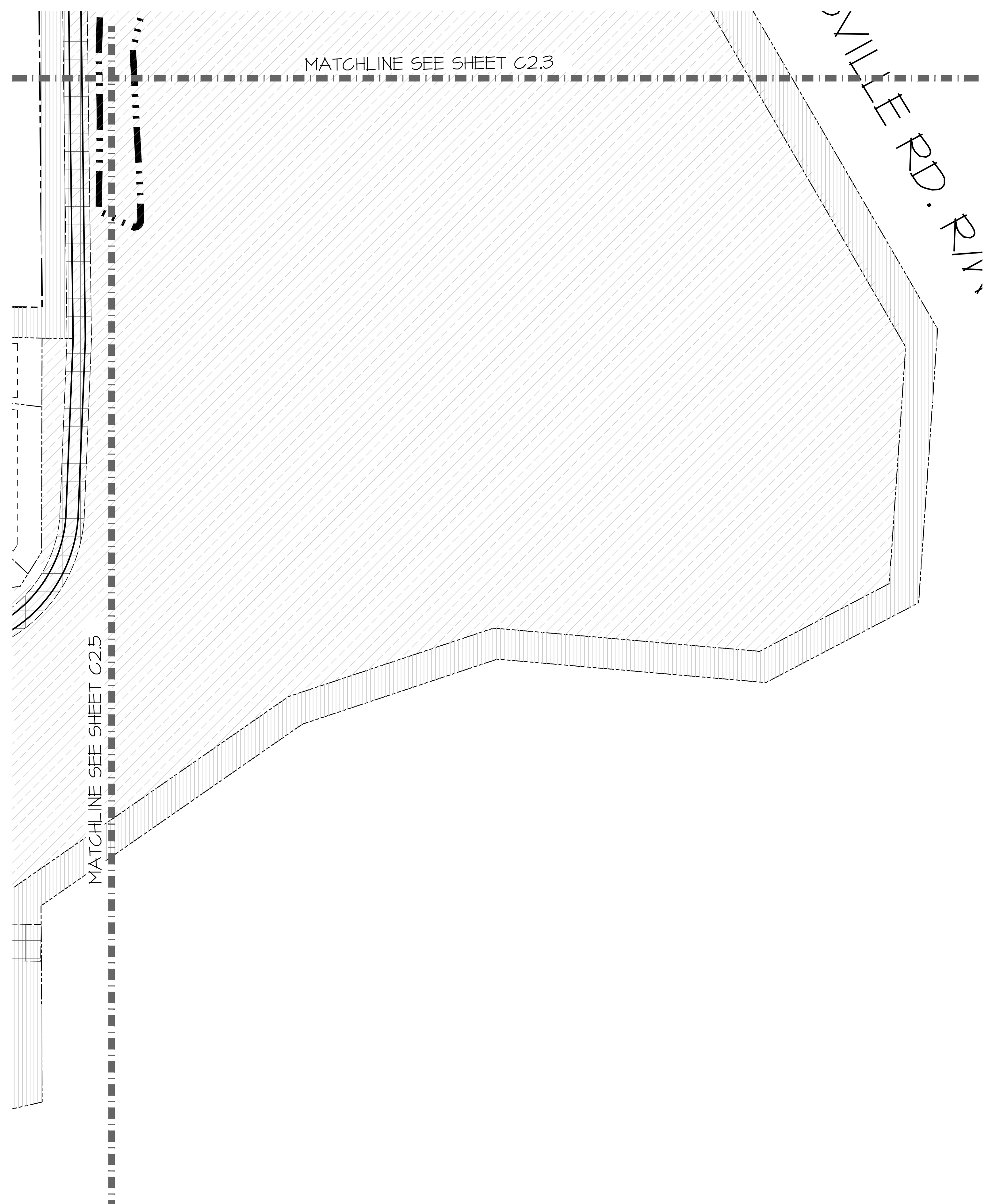


No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **C** SHEET: **C2.5**

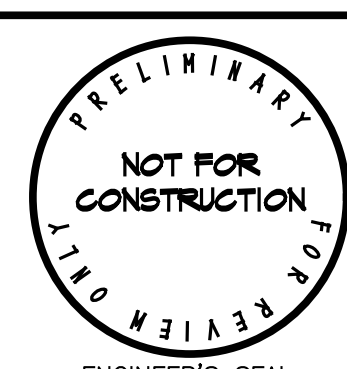
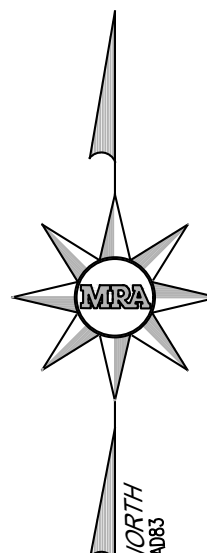
CAD FILE: S:\PROJ\15071907_2023\1790 - Jonesville R02024-DEVO Prelim\PLOT\2-UTILITY_LIGHTING.dwg PLOT DATE/TIME: 11/21/2023 2:41 PM USER: mcmillan.charles.d

CAD FILE: S:\PROJ\1507\1507.dwg ... JONESVILLE R020204-DEMO Prelim\1507-2\UTILITY Lighting.dwg PLOT DATE/TIME: 11/21/2023 2:41 PM USER: mcmillan, charles d.

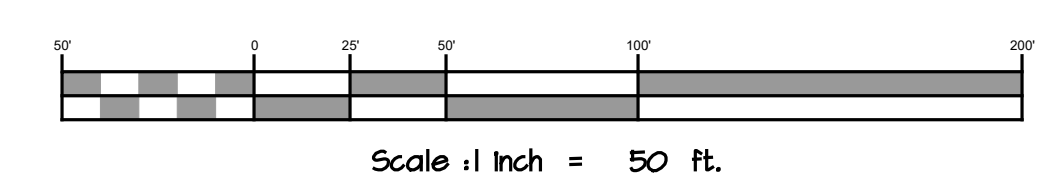


LEGEND

PR RIGHT OF WAY	PR LOT LINE/PAVEL LINE
PR EASEMENT	PR BUILDING
PR CURB & GUTTER	PR RETAINING WALL
PR ROAD CENTER LINE	PR HEAVY DUTY PAVEMENT
PR LIGHT DUTY PAVEMENT	PR STORM DRAIN
PR WATERLINE	PR SANITARY SEWER
PR SAN SEWER SERVICE LINE	PR WATER SERVICE LINE
PR SAN SEWER MANHOLE	PR GATE VALVE
PR REDUCER	PR SEWER CLEANOUT
PR WATER METER	PR CATCH BASIN
PR FIRE HYDRANT	PR FIRE HYDRANT VALVE
PR TREE LINE	PR LIMIT OF DISTURBANCE
PR F CONTOUR	PR F CONTOUR
PR D CONTOUR	PR D CONTOUR
EX PROPERTY LINE	EX RIGHT-OF-WAY
EX EASEMENT	EX FLOODPLAIN
EX NON-TOTAL FETLAND	EX STREAM EFTTER
EX BUILDING	EX GARD
EX PAVED/EDGE OF AVENUE	EX WALK
EX STREAM/POND	EX TREE LINE
EX TREE	EX STORM DRAIN
EX WATERF LINE	EX WATERLINE
EX GAS LINE	EX UNDERGROUND ELECTRIC
EX OVERHEAD ELECTRIC	EX FIRE HYDRANT
EX WATER VALVE	EX WATER METER
EX POWER POLE	EX LIGHT POLE



UTILITY & LIGHTING SHEET 6 OF 6
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