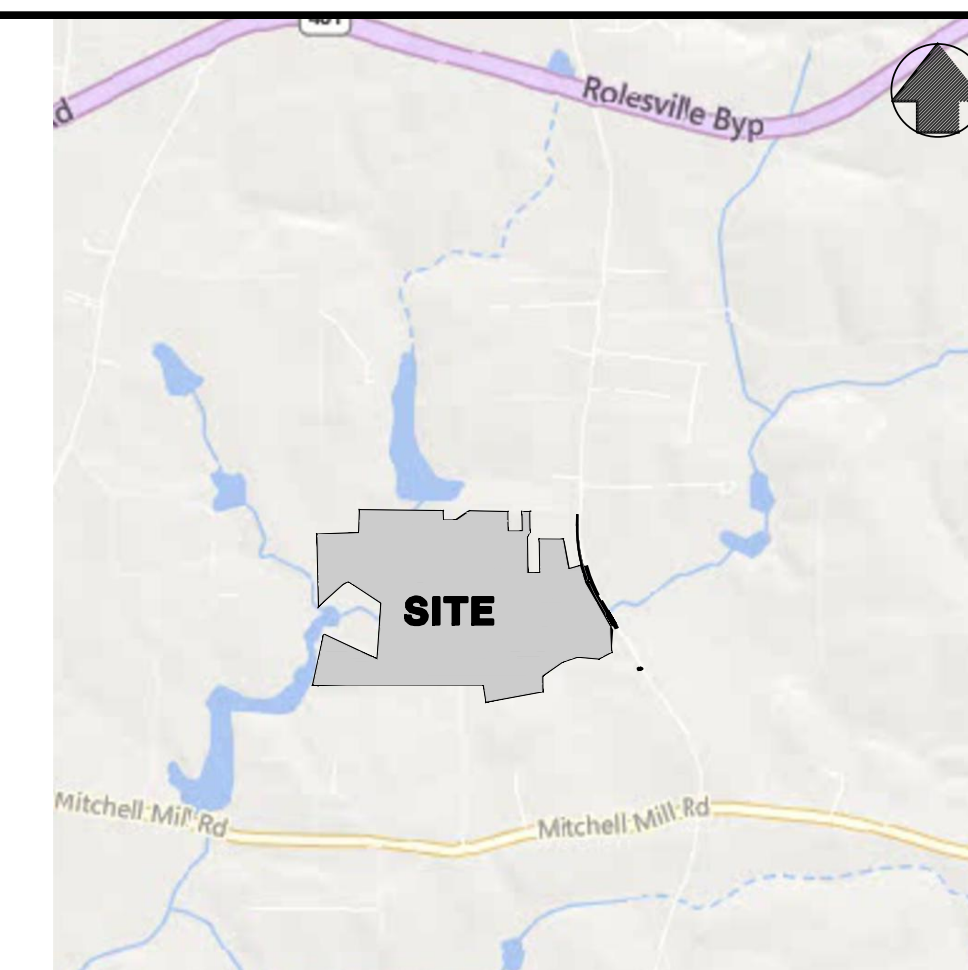


MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN FOR HARRIS CREEK FARMS

ROLESVILLE, NORTH CAROLINA



VICINITY MAP
SCALE: 1" = 2000'

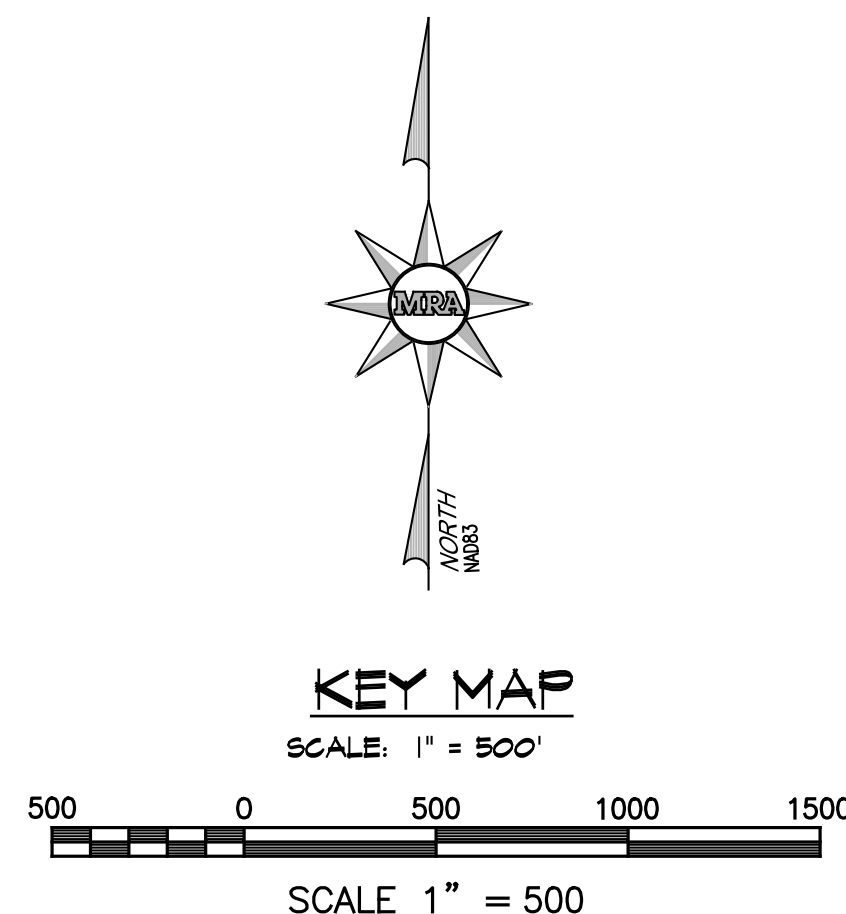
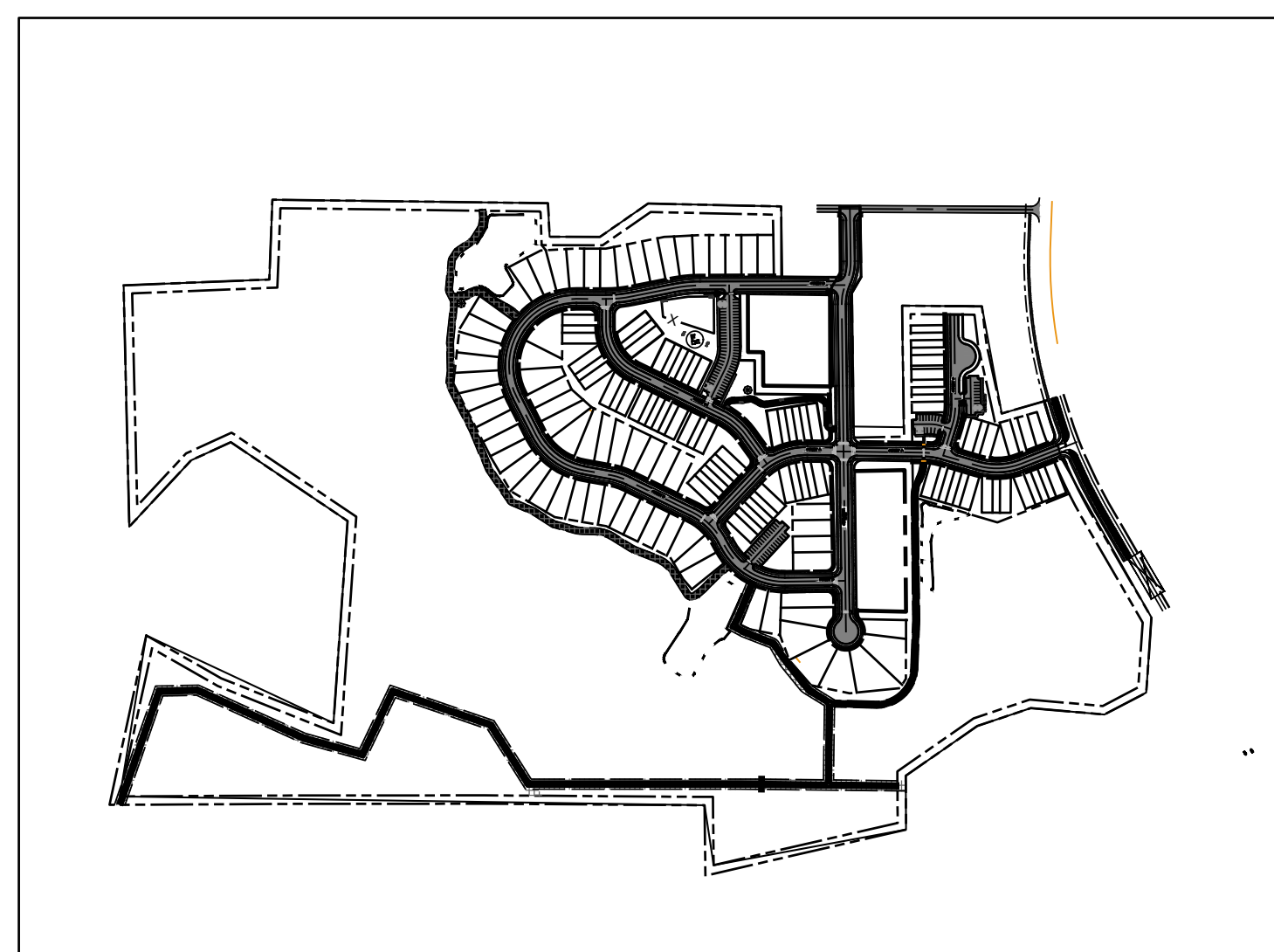
AGENCY CONTACTS

- A. Town of Rolesville**
Planning Department
502 Southtown Circle
Rolesville, NC 27571
- B. Wake County**
Watershed Management
Waverly F. Akins Building
337 S. Salisbury St
Raleigh, NC 27601
Contact: Karyn Pageau
Phone: (919)-796-8769
Email: karyn.pageau@wakegov.com
- C. City of Raleigh Public Utilities Department**
One Exchange Plaza
Suite 620
Raleigh, NC 27601
P.O. Box 590
Raleigh, NC 27602
Phone: 919-996-3245
Email: publicutilityinfo@raleighnc.gov
- D. NCDOT**
Division 5, District 1 Office
4009 District Drive
Raleigh, NC 27607
Contact: Amy Neldringhaus, District Engineer
Phone: 919-733-3213
Email: anneldringhaus@ncdot.gov

Sheet List Table			
Sheet Number	Sheet Title	Date	Sheet Revision Number
CO.0	COVER - REZONING	6/1/2022	12/15/2023
CO.0A	VOLUNTARY REZONING CONDITIONS	6/1/2022	12/15/2023
CO.1	EXISTING CONDITIONS	6/1/2022	12/15/2023
CI.0	OVERALL SITE PLAN	6/1/2022	12/15/2023
CI.1	SITE PLAN - SHEET 1 OF 6	6/1/2022	12/15/2023
CI.2	SITE PLAN - SHEET 2 OF 6	6/1/2022	12/15/2023
CI.3	SITE PLAN - SHEET 3 OF 6	6/1/2022	12/15/2023
CI.4	SITE PLAN - SHEET 4 OF 6	6/1/2022	12/15/2023
CI.5	SITE PLAN - SHEET 5 OF 6	6/1/2022	12/15/2023
CI.6	SITE PLAN - SHEET 6 OF 6	6/1/2022	12/15/2023
CI.7	OVERALL ZONING PLAN	6/1/2022	12/15/2023

STREET DATA	
STREET A	1200 LF
STREET B	2,368 LF
STREET C	450 LF
STREET D	743 LF

CASE NUMBER:
MA 22-08



SITE DATA

OWNER	CHEN, PING 10030 GREEN LEVEL CHURCH RD STE 802 CARY, NC 27514
SITE ADDRESS	4428 UNIVERSAL DR WAKE FOREST, NC 27507-6356
PIN	175121101, 1751315216, 1751315365, 1751315464, 1751315515, 1751315665, 1751315765, 1751315865, 1751315945, 1751316064, 1751316112, 1751316212, 1751316316, 1751316413, 1751316514, 1751316613, 1751316714, 1751316814, 1751316914
DEED BOOK/PAGE/MAP	018453/00623/1751 01, 018453/00542/1751 01
CURRENT ZONING	R30
PROPOSED ZONING	RH-CZ, RH-CZ
MIN. LOT SIZE	5000 SQ FT (SINGLE FAMILY CLUSTER) 2000 SQ FT (TOWNHOMES)
LAND USE	RESIDENTIAL
PROPOSED DEVELOPMENT	144 UNITS 68 SINGLE FAMILY UNITS 81 TOWNHOUSE UNITS
TOTAL SITE AREA	94.19 ACRES
RESIDENTIAL HIGH DENSITY	30.32 ACRES (12.95 AC. + 17.37 AC (ADDITIONAL OPEN SPACE))
RESIDENTIAL MEDIUM DENSITY	63.87 ACRES
PROPOSED DENSITY	TOWNHOMES (RH-CZ) 40 UNITS/AC (MAX) 81/2.95 = 27.46 UNITS/DEV. AC (PROVIDED) SINGLE FAMILY (RH-CZ) 5.0 UNITS/AC (MAX) 68/68.87 = 1.01 UNITS/AC (PROVIDED) TOTAL PROJECT DENSITY 160 UNITS/AC
FLOOD PLAIN/ZONE	ZONE AE/ZONE X
FIRM PANEL NO	5720175100K
WATERSHED PROTECTION	NONE
MINIMUM LOT WIDTH	20' TOWNHOMES 40' SINGLE FAMILY (CLUSTER)
OPEN SPACE	RESIDENTIAL HIGH DENSITY: PASSIVE: 2.10 (REQUIRED) IMPROVED: 44.74 (PROVIDED) RESIDENTIAL MEDIUM DENSITY: PASSIVE: 4.70 (REQUIRED) IMPROVED: 17.37 (PROVIDED) IMPROVED OPEN SPACES: REQUIRED: SMALL: 1 MEDIUM: 2 LARGE: 0 PROVIDED: SMALL: 1 0.73 AC (TOTAL PROVIDED) MEDIUM: 1 1.01 AC (TOTAL PROVIDED) LARGE: 1 13.74 AC (TOTAL PROVIDED)
PARKING	REQUIRED: 2.0/DWELLING UNIT PLUS 0.25 GUEST SPACES/DWELLING UNIT 81 UNITS X 2.25 = 183 SPOTS PROVIDED: 81 UNITS X 1 (DRIVEWAY) = 81 SPOTS PARKING LOTS = 116 SPOTS TOTAL PROVIDED = 197 SPOTS
SETBACKS	TOWNHOMES: FRONT: 20' SIDE: 10' REAR: 15' CORNER: 15' MIN. WIDTH BETWEEN STRUCTURES: 30' SINGLE FAMILY (CLUSTER): FRONT: 20' SIDE: 5' REAR: 20' CORNER: 10' (CLUSTER)

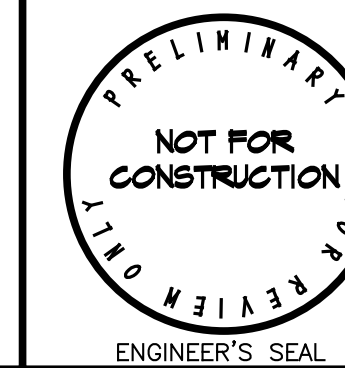
PROJECT TEAM

- DEVELOPER/OWNER:** THE CSC GROUP LLC
10030 GREEN LEVEL CHURCH RD STE 802
CARY, NC 27514
ATTN: PING CHEN
919-796-0424
- LAND PLANNERS, CIVIL ENGINEER:** MORRIS & RITCHE ASSOCIATES OF NC, PC
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27545
ATTN: MR. JEREMY H. KEENEY, PE, PLS
- SURVEYOR:** GIL CLARK SURVEYING
P.O. BOX 1245
KNIGHTDALE, NORTH CAROLINA 27545
ATTN: WALLACE G. CLARK, JR.
- ENVIRON. CONSULTANT:** MORRIS & RITCHE ASSOCIATES OF NC, PC
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27545
ATTN: MR. JAMIE B. GUERRERO, PE, CPSM&R

GENERAL NOTES

- OPEN SPACE IN EXCESS OF 40% PROPOSED ON SITE PER LDO SECTION 3.1.D FOR CLUSTER DEVELOPMENTS
- PROPOSED BUFFERS SHALL BE PLANNED AS SEPARATE TRACTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OR SIMILAR

FOR SITE PLAN REVIEW ONLY
NOT FOR CONSTRUCTION
PLAN IS SUBJECT TO REVISIONS
DURING THE CONSTRUCTION
APPROVAL PROCESS



COVER - REZONING
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND RD., SUITE 104
KNIGHTDALE, NC 27545
(984) 200-2103
LICENSE # C-4182
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VOLUNTARY REZONING CONDITIONS


1. The subject property shall be developed in general compliance with the map amendment (conditional rezoning) concept plan, dated 12/15/2023.
2. The development shall consist of maximums of 68 single-family detached dwelling units/lots and 81 single-family attached (townhome) dwelling units/lots as detailed in the map amendment (conditional rezoning) concept plan, dated 12/15/2023.
3. The maximum allowable density within the RH-CZ zoning shall be 6.0 units/acre.
4. Single family detached dwelling unit facade anti-monotony: in order to promote variation in home appearance, no single-family front facade shall be duplicated for three (3) lots in a row, or directly across the street. For corner lots, this shall apply to the lots diagonally across the intersection.
5. All garage doors shall either contain windows or carriage style adornments.
6. Single-family detached dwelling units shall:
 - A. Be a minimum of 1,500 heated square feet.
 - B. Have cementitious siding that shall vary in type and color with brick, shakes, board and batten, or stone accents provided as decorative features
 - C. Have at least two types of finishes on the front: lap siding, masonry, shakes, and board and batten.
7. Single-family attached (townhomes) shall have:
 - A. Cementitious siding that shall vary in type and color with brick, shakes, board and batten, or stone accents provided as decorative features.
 - B. Articulation in the end unit side elevations, which includes two of the following: side entry, windows (two or more), partial masonry, two types of finishes (i.e., Horizontal siding with board and batten or shakes in gables), and roofline changes.
 - C. First floor glazing which shall consist of one or more of the following: garage doors with glass windows, or front doors with windows or sidelights.
 - D. 8" minimum eaves and rakes on front, rear, and sides.
8. A homeowners' association (HOA) shall be created, and all open spaces observed in map amendment (conditional rezoning) concept plan, dated 7/24/2023, shall be owned and maintained by the HOA.
9. Foundations: All foundations are to be monolithic poured slab foundations. Top of slabs shall be elevated a minimum of 18 inches above finished grade for all dwelling units. All foundations shall be treated with masonry on the front and street-facing sides for a minimum of 10".
10. Recreational amenities: the following recreational amenities shall be constructed as observed in map amendment (conditional rezoning) concept plan, dated 12/15/2023. Public greenway (approximately 5,600 linear feet), private multi-use paths (approximately 410 linear feet), gazebos, playgrounds, and a dog park. Amenities shall be built prior to the issuance of the building permit for the 70th lot.
11. Landscaping. At least twenty percent (20%) of all landscaping required by the LDO, that does not already qualify under LDO Section 6.2, shall utilize plant materials that are listed as native pollinator plants by the North Carolina Wildlife Federation. Where evergreen plantings or street trees are required by the LDO, native pollinator plantings shall not be required. Such plantings shall be clearly shown in construction drawings and installed as part of subdivision infrastructure. Nothing herein shall be constructed to limit the plant materials permitted on individual residential lots.
12. Sidewalk Easement. The development shall attempt to procure an easement from the owners of those properties with PINs 1757-48-1376 (Deed Book 19407, Page 984, Wake County Registry) and 1757-38-8408 (Deed Book 2261, Page 683, Wake County Registry), in order to provide a 5'-wide sidewalk running from the development's proposed access to Jonesville Road to the intersection with Universal Drive. If the development procures easements from both property owners, the sidewalk shall be located within said easements and constructed consistent with the Town of Rolesville Transportation Plan, and shall be completed prior to the issuance of the one hundredth (100th) building permit. If the development is unable to procure an easement from either property owner prior to the issuance of the first (1st) building permit, then the development shall pay a fee-in-lieu for the sidewalk construction to the Town of Rolesville. The fee-in-lieu shall be paid prior to the issuance of the one hundredth (100th) building permit.
13. Universal Drive. The development shall attempt to procure a minimum 20'-wide access easement (the Easement) from the owner of that property with PIN 1757-38-8408 (Deed Book 2261, Page 683, Wake County Registry) for vehicular ingress and egress to and from Gideon Drive and Jonesville Road (the Easement Area). This Easement shall be recorded with the Wake County Registry. If the Easement is obtained and recorded, the development shall pave the Easement Area with a 20'-wide asphalt surface coat over top of the existing private gravel access drive. The paving shall be completed prior to the issuance of the development's one hundredth (100th) building permits. Following completion of the paving, the development shall be responsible for maintenance of the Easement Area; this maintenance responsibility shall expire if Columbia Drive is dedicated as public right-of-way. If the development can not obtain and record the Easement before the issuance of the first (1st) building permit, then the development shall have no obligation to perform any work described in this Condition.
14. Prior to issuance of the first building permit for a dwelling unit, the development shall donate thirty-five thousand dollars and no cents (\$35,000.00) to Homes for Heroes.

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No.	DATE	REVISIONS	
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A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO.: 21790
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C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



VOLUNTARY REZONING CONDITIONS
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



MORRIS & RITCHIE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND RD., STE 104
KNIGHTDALE, NC 27545
(984) 200-2103
LICENSE # C-4182
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REVISION: **D**

SHEET: **CO.0A**

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 USER: mcmillan, charles.d.

PARCELS INCLUDED IN DEVELOPMENT

PARCEL	OWNER	PN NUMBER	AREA	DEED BOOK	PAGE NUMBER	USE	CURRENT ZONING
1	CHEN, PING	175712781	71.52 AC	00623	00623	RESIDENTIAL	R-30
2	CHEN, PING	17572226	0.44 AC	00623	00623	RESIDENTIAL	R-30
3	CHEN, PING	17572225	0.44 AC	00623	00623	RESIDENTIAL	R-30
4	CHEN, PING	17572544	0.46 AC	00623	00623	RESIDENTIAL	R-30
5	CHEN, PING	17572575	0.46 AC	00623	00623	RESIDENTIAL	R-30
6	CHEN, PING	17572569	0.46 AC	00623	00623	RESIDENTIAL	R-30
7	CHEN, PING	17572565	0.46 AC	00623	00623	RESIDENTIAL	R-30
8	CHEN, PING	17572565	0.46 AC	00623	00623	RESIDENTIAL	R-30
9	CHEN, PING	17572575	0.46 AC	00623	00623	RESIDENTIAL	R-30
10	CHEN, PING	17572564	0.46 AC	00623	00623	RESIDENTIAL	R-30
11	CHEN, PING	17572572	0.44 AC	00623	00623	RESIDENTIAL	R-30
12	CHEN, PING	17572572	0.44 AC	00623	00623	RESIDENTIAL	R-30
13	CHEN, PING	17572566	0.44 AC	00623	00623	RESIDENTIAL	R-30
14	CHEN, PING	17572563	0.54 AC	00623	00623	RESIDENTIAL	R-30
15	CHEN, PING	17572561	0.58 AC	00623	00623	RESIDENTIAL	R-30
16	CHEN, PING	17572563	0.58 AC	00623	00623	RESIDENTIAL	R-30
17	CHEN, PING	17572560	0.58 AC	00623	00623	RESIDENTIAL	R-30
18	CHEN, PING	17572561	14.00 AC	00623	00623	RESIDENTIAL	R-30
19	CHEN, PING	17572564	0.28 AC	00623	00623	RESIDENTIAL	R-30

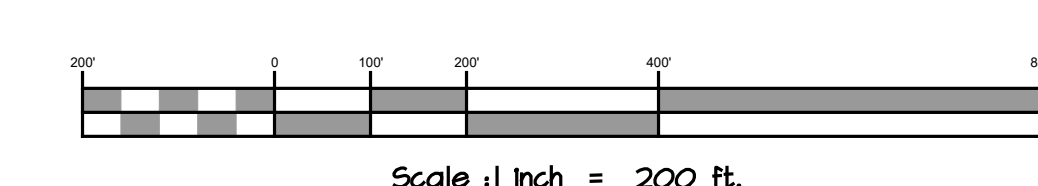
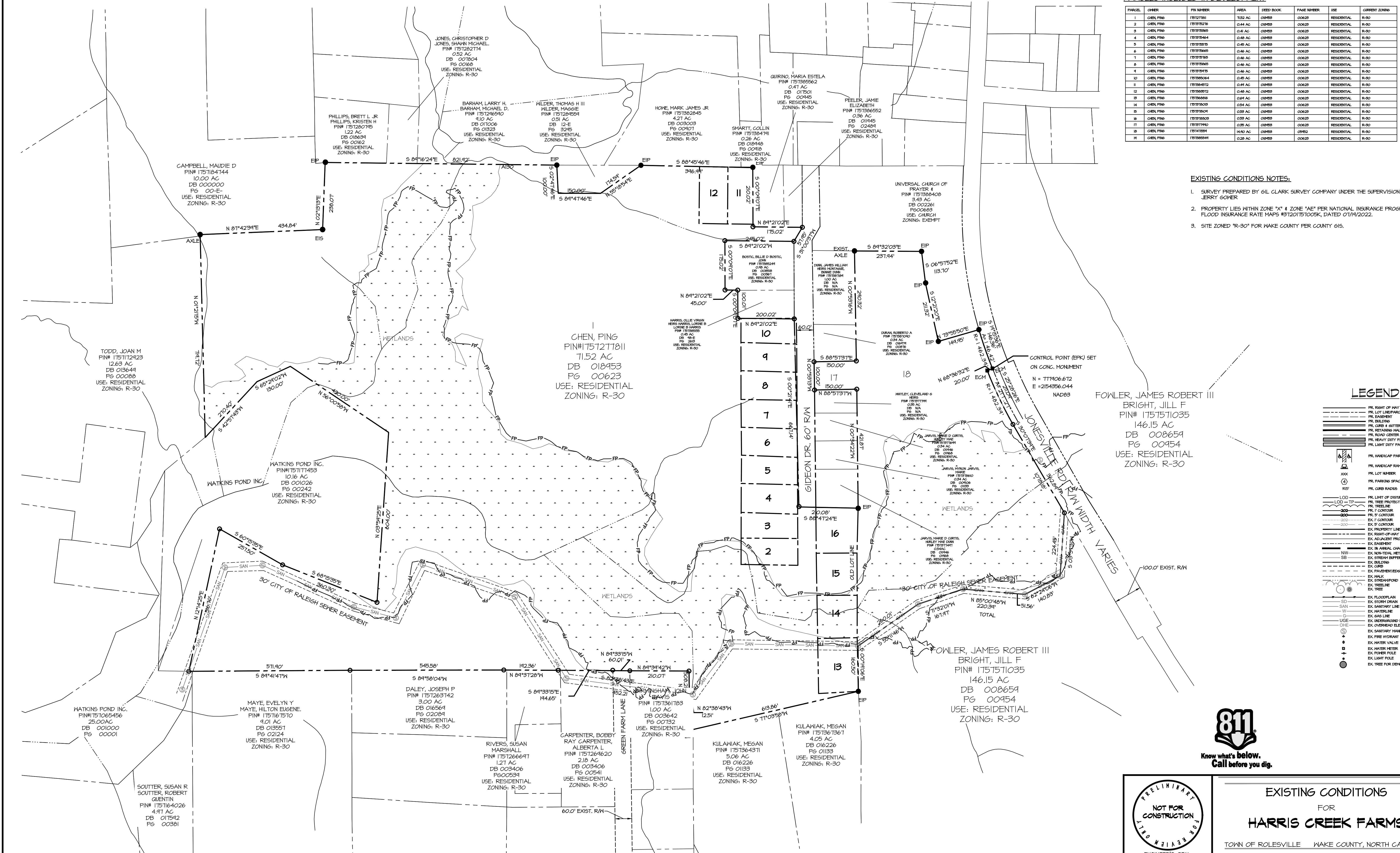
- EXISTING CONDITIONS NOTES:**
- SURVEY PREPARED BY GIL CLARK SURVEY COMPANY UNDER THE SUPERVISION OF JERRY GOWER.
 - PROPERTY LIES WITHIN ZONE "X" & ZONE "AE" PER NATIONAL INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS #120101000K, DATED 07/14/2022.
 - SITE ZONED "R-30" FOR WAKE COUNTY PER COUNTY GIS.

LEGEND

- FR RIGHT OF WAY
- FR LOT LINE/PARCEL LINE
- FR EASEMENT
- FR BUILDING
- FR CURB & GUTTER
- FR RETAINING WALL
- FR ROAD CENTER LINE
- FR HEAVY DUTY PAVEMENT
- FR LIGHT DUTY PAVEMENT
- FR HANDICAP PARKING
- FR HANDICAP RAMP
- FR LOT NUMBER
- FR PARKING SPACE COUNT
- FR CURB RADIUS
- FR LIMIT OF DISTURBANCE
- FR TREE PROTECTION FENCE
- FR TREE LINE
- FR 1' CONTOUR
- FR 2' CONTOUR
- FR 3' CONTOUR
- FR 4' CONTOUR
- FR 5' CONTOUR
- FR PROPERTY LINE
- FR RIGHT-OF-WAY
- FR ADJACENT PROPERTY LINE
- FR EASEMENT
- FR 18" ANNUAL CHANCE FLOODPLAIN
- FR NON-TIDAL WETLAND
- FR STREAM BUFFER
- FR GARD
- FR FAN/VENT/SEWER OF BUTTER
- FR HALL
- FR STREAM/POD
- FR TREE LINE
- FR TREE
- FR FLOODPLAIN
- FR STORM DRAIN
- FR SANITARY LINE
- FR WATERLINE
- FR GAS LINE
- FR UNDERGROUND ELECTRIC
- FR OVERHEAD ELECTRIC
- FR SANITARY HANKLE
- FR FIRE HYDRANT
- FR WATER VALVE
- FR WATER METER
- FR POWER POLE
- FR LIGHT POLE
- FR TREE FOR DEMOLITION

FOWLER, JAMES ROBERT III
 BRIGHT, JILL F
 PIN# 175751035
 146.15 AC
 DB 008659
 PG 00954
 USE: RESIDENTIAL
 ZONING: R-30

CHEN, PING
 PIN#175727811
 71.52 AC
 DB 018453
 PG 00623
 USE: RESIDENTIAL
 ZONING: R-30



No.	DATE	REVISIONS
0	06/01/2022	ORIGINAL SUBMITTAL
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS
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D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS

PRELIMINARY
NOT FOR CONSTRUCTION

ENGINEER'S SEAL

EXISTING CONDITIONS
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

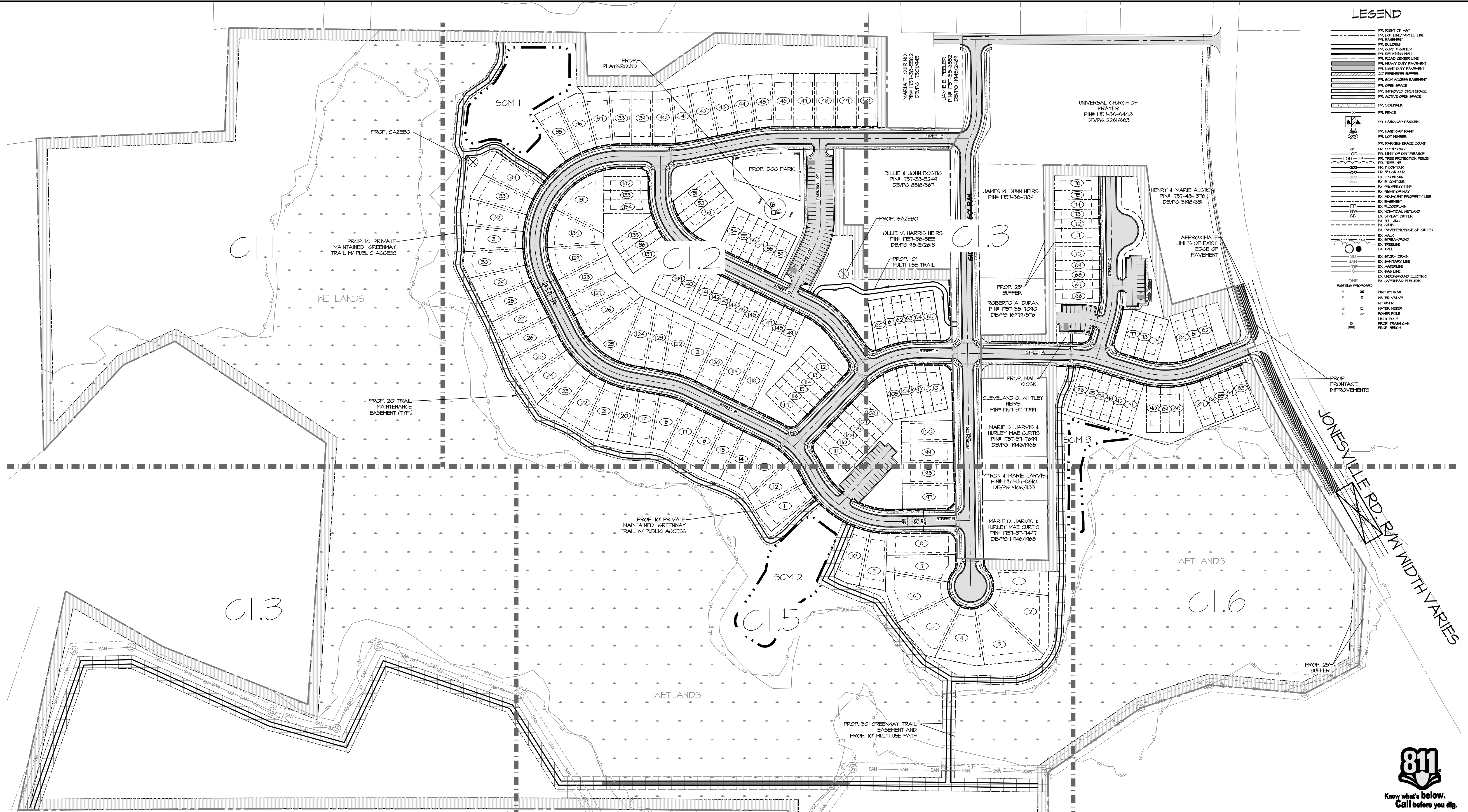
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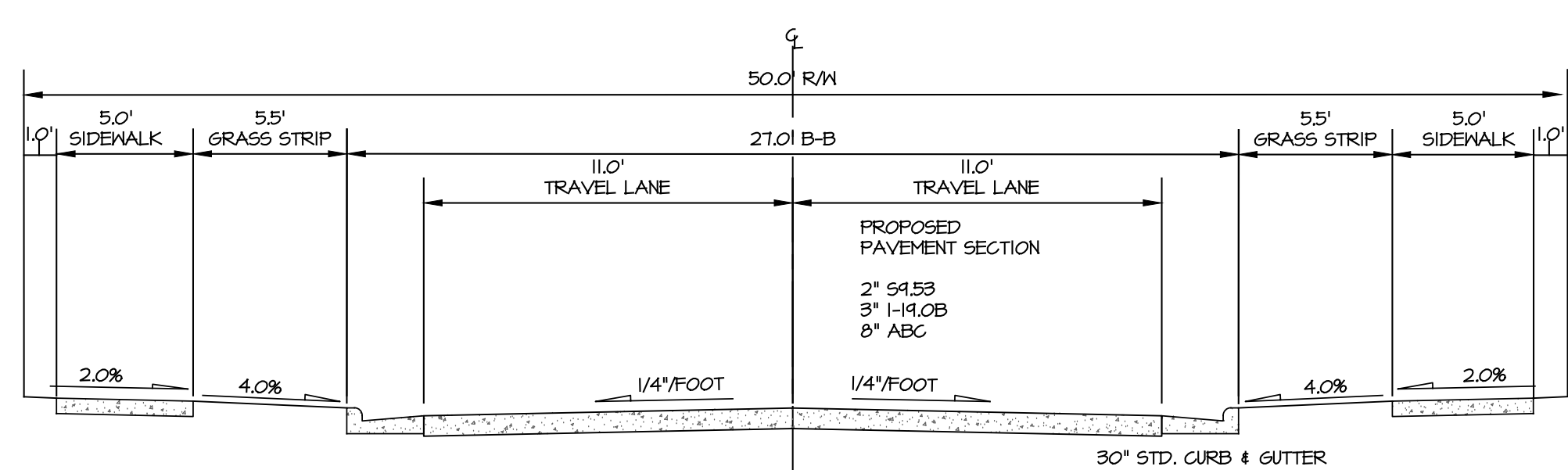
STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **D** SHEET: **CO.1**

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/FRONTAGE LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. 20' PERMETER BUFFER
- PR. SCH ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- OS LOD - TP
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF PAVEMENT
- EX. MAIL
- EX. DRIVEWAY
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. UTILITY
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REGULOR
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



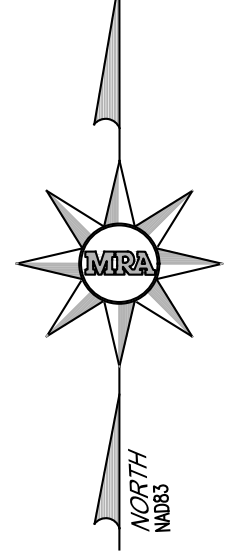
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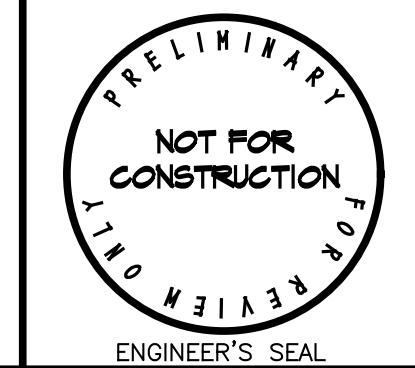
N.T.S.

REQUIRED PARKING

REQUIRED:	2.0/DWELLING UNIT PLUS 0.25 GUEST SPACES/DWELLING UNIT 81 UNITS X 2.25 = 183 SPOTS REQUIRED
PROVIDED:	81 UNITS X 1 (DRIVEWAY) = 81 SPOTS PARKING LOTS = 116 SPOTS (1 HANDICAP) TOTAL PROVIDED = 197 SPOTS



Scale: 1 Inch = 100 Ft.



OVERALL SITE PLAN
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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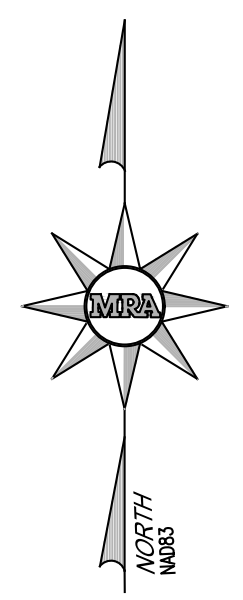
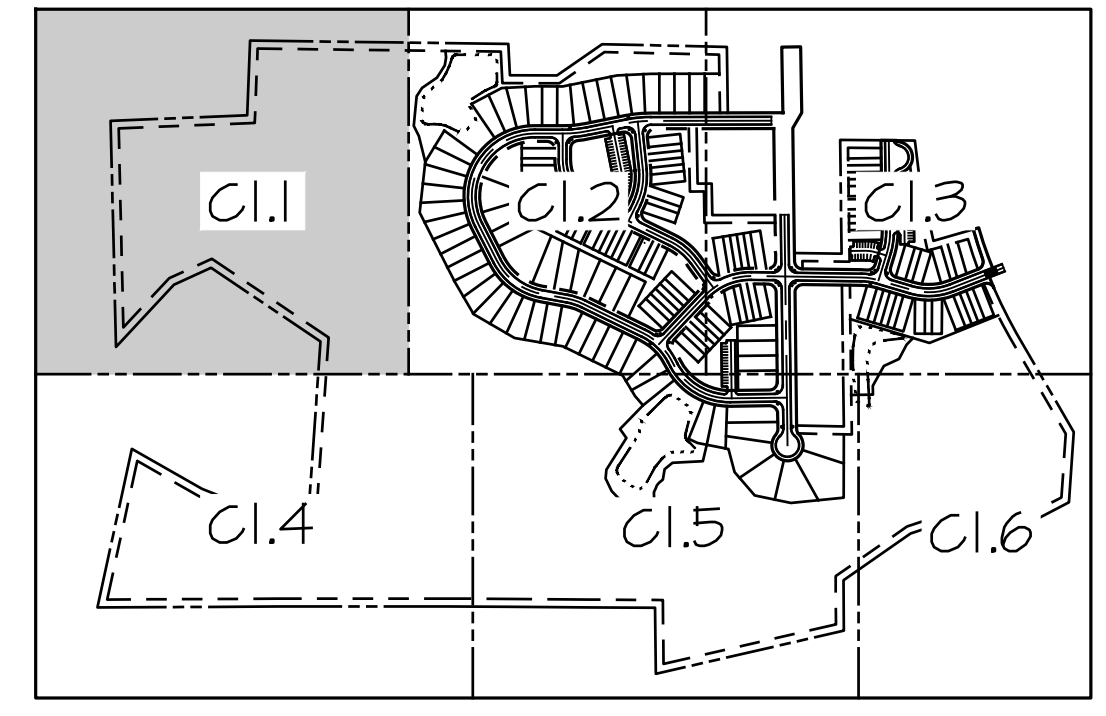
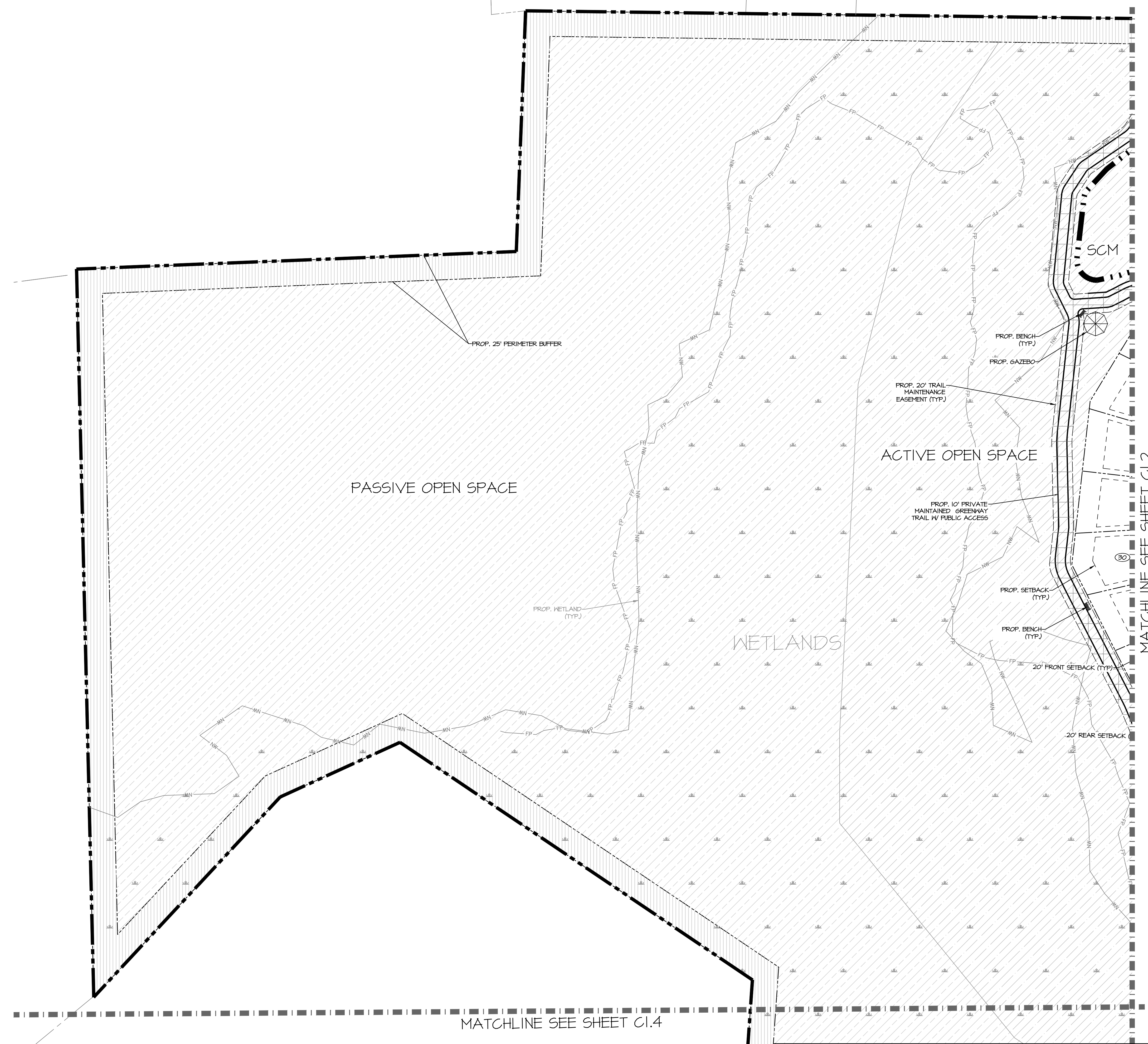
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D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **D** SHEET: **C1.0**



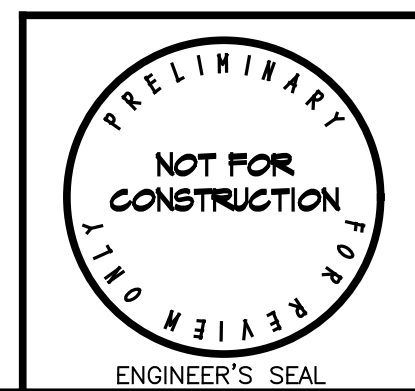
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LEGEND

- PR, RIGHT OF WAY
- PR, LOT LINE/PROPERTY LINE
- PR, EASEMENT
- PR, BUILDING
- PR, CURB & GUTTER
- PR, RETAINING WALL
- PR, ROAD CENTER LINE
- PR, HEAVY DUTY PAVEMENT
- PR, LIGHT DUTY PAVEMENT
- PR, 20' PERIMETER BUFFER
- PR, SCM ACCESS EASEMENT
- PR, OPEN SPACE
- PR, IMPROVED OPEN SPACE
- PR, ACTIVE OPEN SPACE
- PR, SIDEWALK
- PR, FENCE
- PR, HANDICAP PARKING
- PR, LOT NUMBER
- PR, PARKING SPACE COUNT
- PR, OPEN SPACE
- PR, LIMIT OF DISTURBANCE
- PR, TREE PROTECTION FENCE
- PR, TREE LINE
- PR, F CONTOUR
- PR, F CONTOUR
- EX, F CONTOUR
- EX, F CONTOUR
- EX, PROPERTY LINE
- EX, RIGHT-OF-WAY
- EX, ADJACENT PROPERTY LINE
- EX, EASEMENT
- EX, FLOODPLAIN
- EX, NON-TOTAL WETLAND
- EX, STREAM BUFFER
- EX, BUILDING
- EX, GARS
- EX, PAVEMENT/EDGE OF CUTTER
- EX, HALK
- EX, STREAM/POUND
- EX, TREE LINE
- EX, TREE
- EX, STORM DRAIN
- EX, SANITARY LINE
- EX, WATERLINE
- EX, GAS LINE
- EX, UNDERGROUND ELECTRIC
- EX, OVERHEAD ELECTRIC



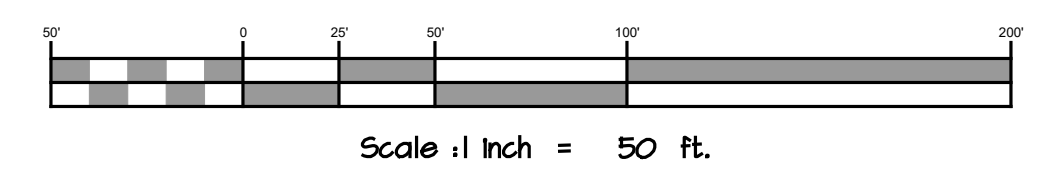
SITE PLAN - SHEET 1 OF 6
 FOR
HARRIS CREEK FARMS
 TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	JOB NO.
O	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

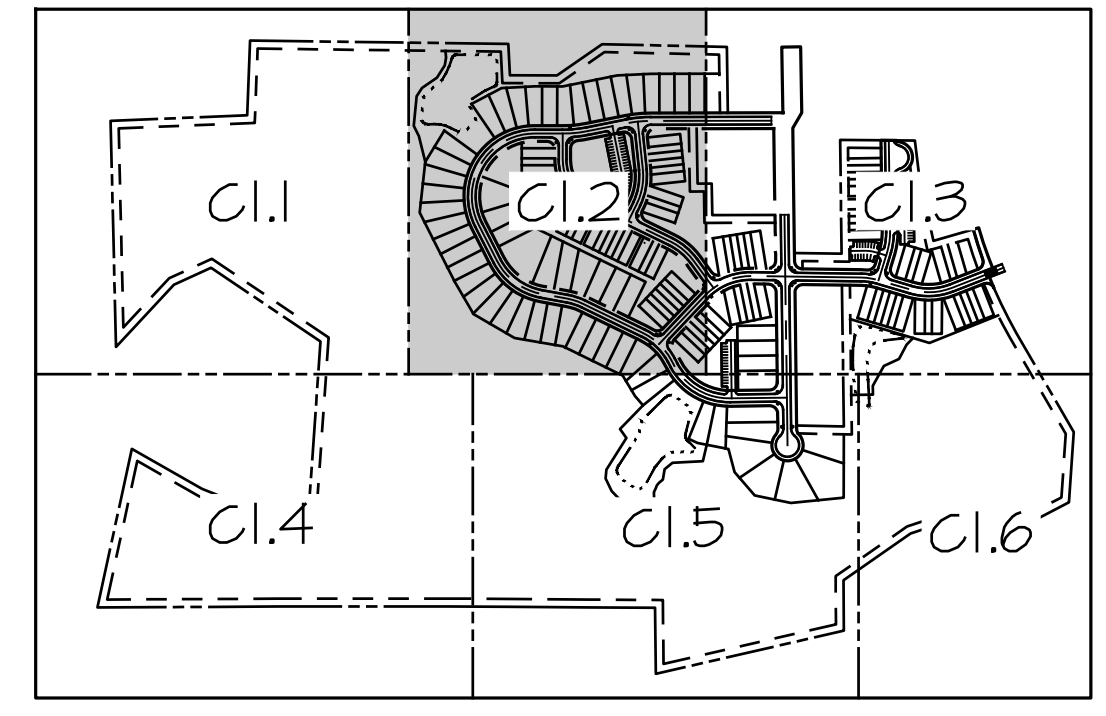
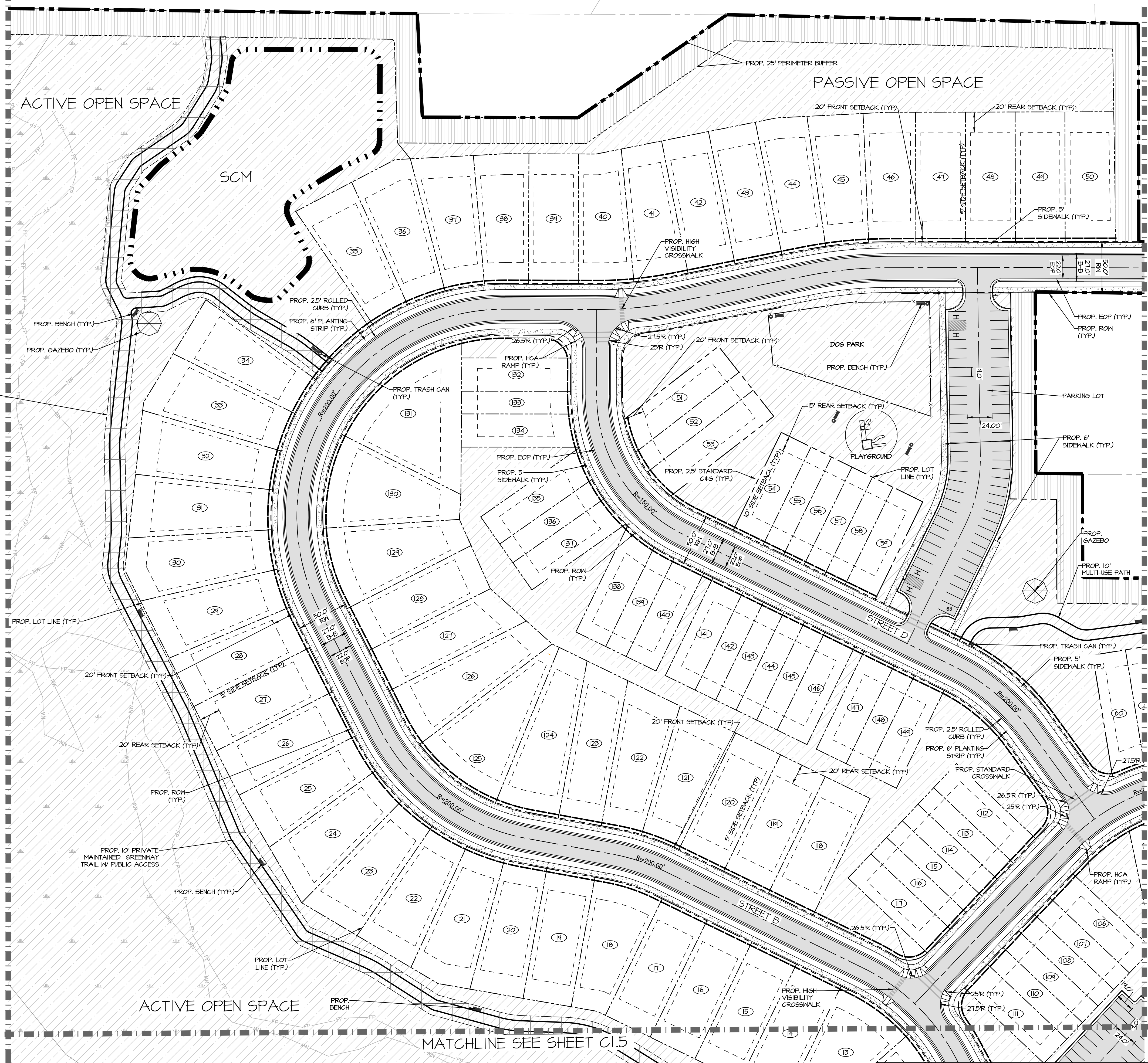


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 (984) 200-2103
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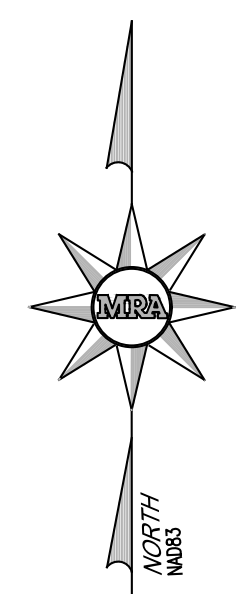
STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **D** SHEET: **C1.1**



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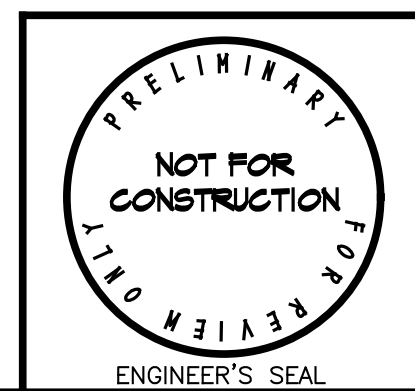


KEY PLAN
NOT TO SCALE



LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PAGE LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- 20' PERIMETER BUFFER
- PR. SOA ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- LOD
- LOD 100
- LOD 200
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 3' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. MALE
- EX. FEMALE
- EX. STORM DRAIN
- EX. TREE LINE
- EX. TREE
- EX. SAND
- EX. SLOSH DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. INTERURBAN ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REGULOR
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



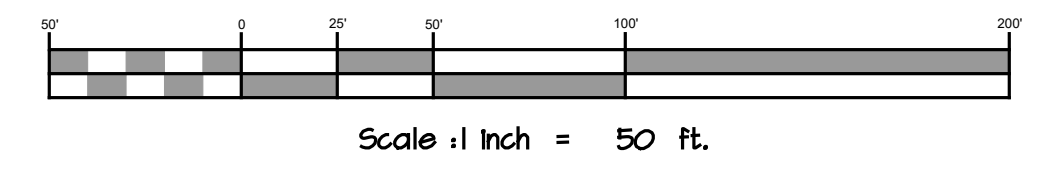
SITE PLAN - SHEET 2 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/10/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JMK
			DESIGN BY: PKN
			REVIEW BY: PKN

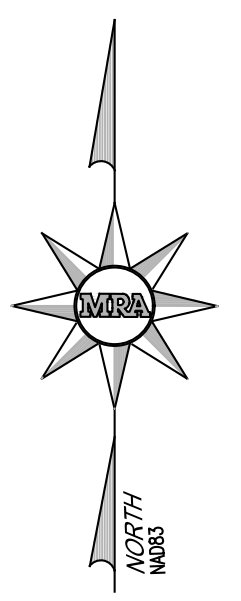
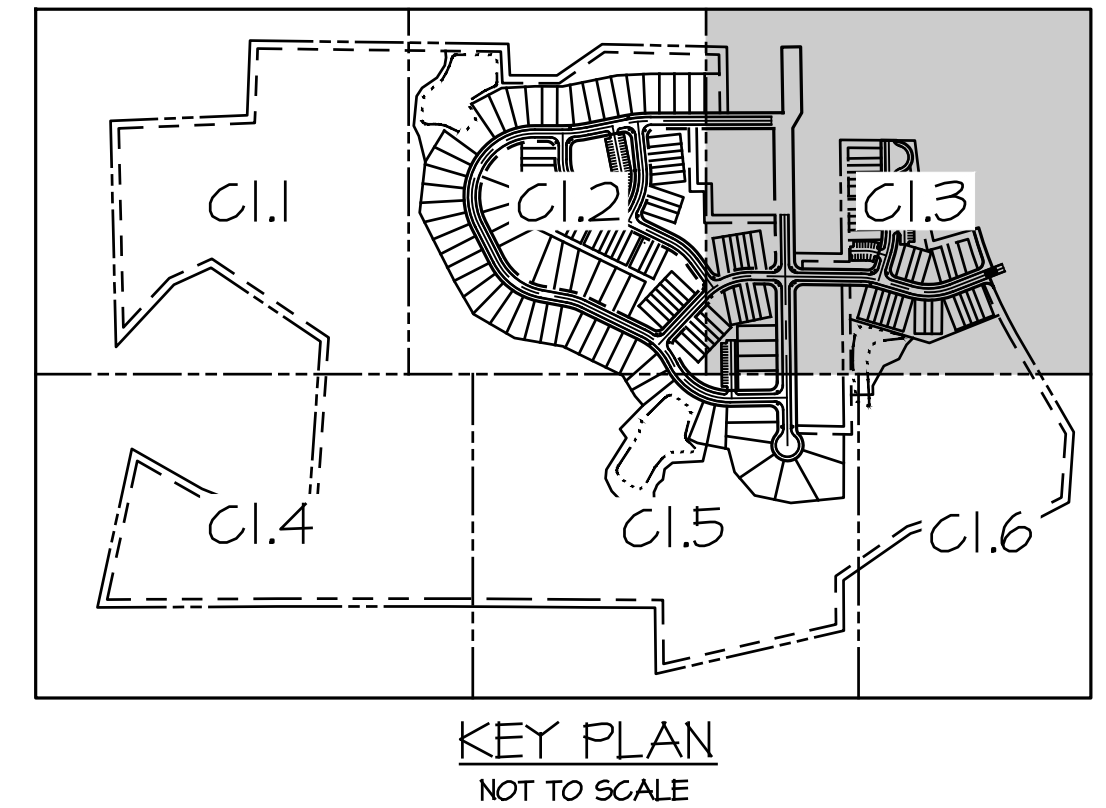
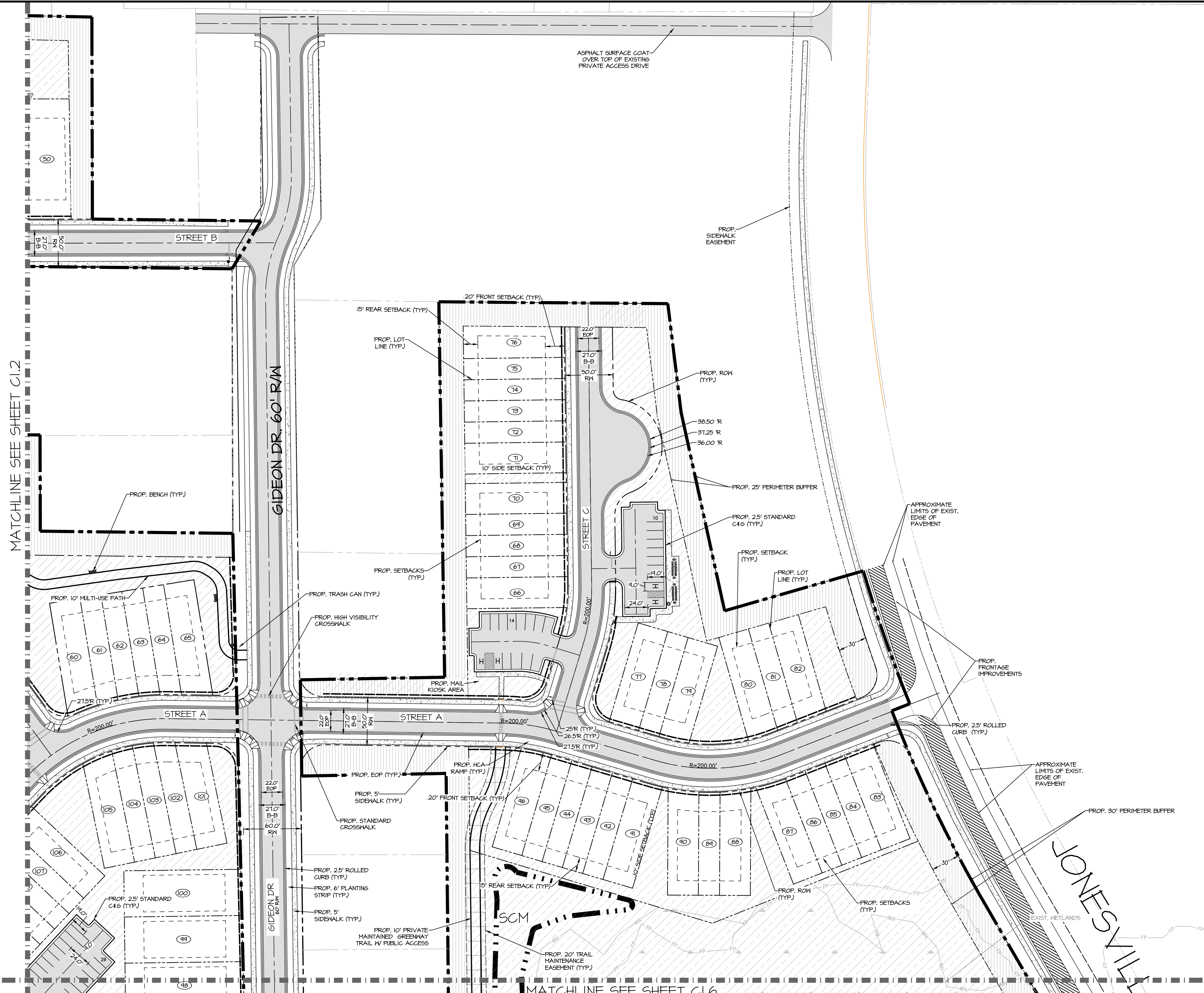


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CAD FILE: S:\PROJ\1547_2021\1790 - Jonesville R0420-LDEN0 Prelim\PLOT1-C1.3-SITE PLAN.dwg PLOT DATE/TIME: 12/15/2023 10:04 AM USER: mcmillan, charles d.

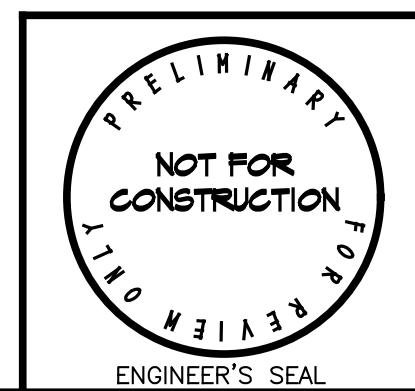


LEGEND

[Symbol]	PR. RIGHT OF WAY
[Symbol]	PR. LOT LINE/PARCEL LINE
[Symbol]	PR. EASEMENT
[Symbol]	PR. BUILDING
[Symbol]	PR. CURB & GUTTER
[Symbol]	PR. RETAINING WALL
[Symbol]	PR. ROAD CENTER LINE
[Symbol]	PR. HEAVY DUTY PAVEMENT
[Symbol]	PR. LIGHT DUTY PAVEMENT
[Symbol]	20' PERIMETER BUFFER
[Symbol]	PR. SIDEWALK EASEMENT
[Symbol]	PR. OPEN SPACE
[Symbol]	PR. IMPROVED OPEN SPACE
[Symbol]	PR. ACTIVE OPEN SPACE
[Symbol]	PR. SIDEWALK
[Symbol]	PR. FENCE
[Symbol]	PR. HANDICAP PARKING
[Symbol]	PR. HANDICAP RAMP
[Symbol]	PR. LOT NUMBER
[Symbol]	PR. PARKING SPACE COUNT
[Symbol]	OS
[Symbol]	PR. OPEN SPACE
[Symbol]	LOD
[Symbol]	PR. LIMIT OF DISTURBANCE
[Symbol]	PR. TREE PROTECTION FENCE
[Symbol]	LOD - TP
[Symbol]	PR. TREE LINE
[Symbol]	PR. 1' CONTOUR
[Symbol]	PR. 5' CONTOUR
[Symbol]	PR. 10' CONTOUR
[Symbol]	EX. PROPERTY LINE
[Symbol]	EX. RIGHT-OF-WAY
[Symbol]	EX. ADJACENT PROPERTY LINE
[Symbol]	EX. FLOODPLAIN
[Symbol]	EX. NON-TIDAL WETLAND
[Symbol]	EX. STREAM BUFFER
[Symbol]	EX. BUILDING
[Symbol]	EX. CURB
[Symbol]	EX. PAVED/EDGE OF GUTTER
[Symbol]	EX. WALK
[Symbol]	EX. STREAM/POD
[Symbol]	EX. TREE
[Symbol]	EX. STORM DRAIN
[Symbol]	EX. SANITARY LINE
[Symbol]	EX. WATER LINE
[Symbol]	EX. GAS LINE
[Symbol]	EX. UNDERGROUND ELECTRIC
[Symbol]	EX. OVERHEAD ELECTRIC
[Symbol]	EXIST. WETLANDS
[Symbol]	EXIST. PROPOSED
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE
[Symbol]	REDUCER
[Symbol]	WATER METER
[Symbol]	POWER POLE
[Symbol]	LIGHT POLE
[Symbol]	PROP. TRASH CAN
[Symbol]	PROP. BENCH

MATCHLINE SEE SHEET C1.2

MATCHLINE SEE SHEET C1.6



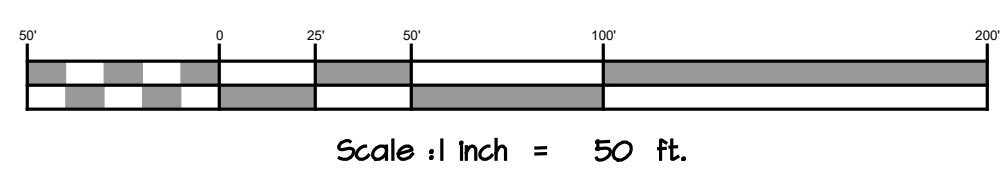
SITE PLAN - SHEET 3 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



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MATCHLINE SEE SHEET C1.1

ACTIVE OPEN SPACE

PASSIVE OPEN SPACE

PROP. 25' PERIMETER BUFFER

EXIST. WETLANDS (TYP.)

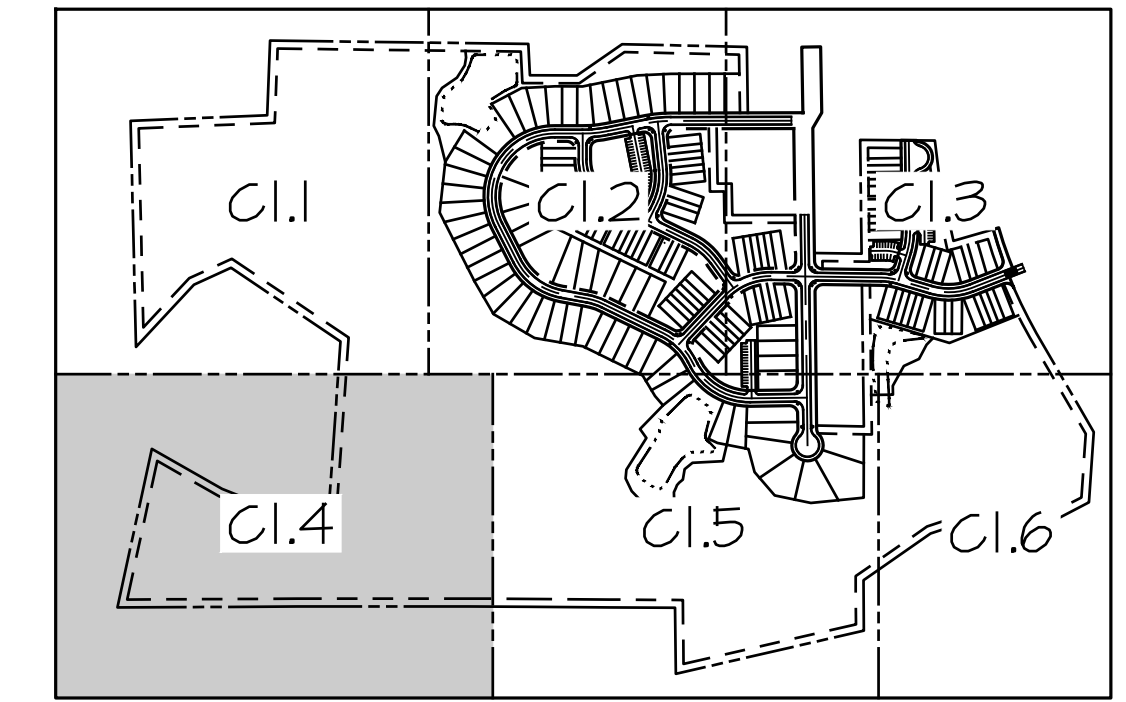
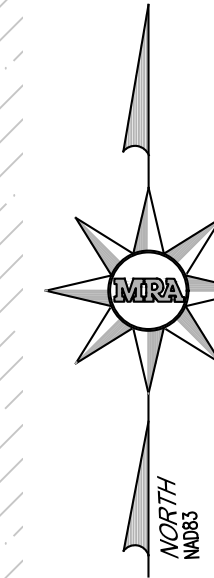
EXIST. SEWER (TYP.)

EXIST. SEWER EASEMENT (TYP.)

PROP. 30' GREENWAY EASEMENT (TYP.) AND PROP. 10' MULTI-USE PATH (TYP.)

PROP. 25' PERIMETER BUFFER

ADJACENT PROPERTY OWNER (TYP.)



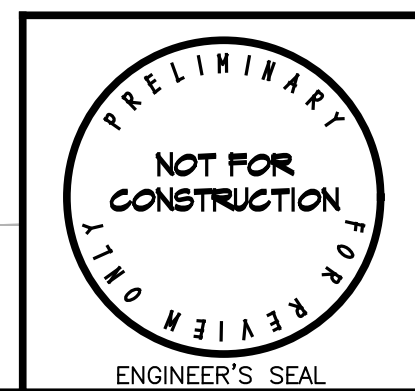
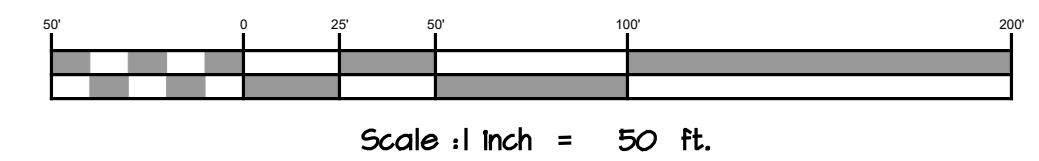
KEY PLAN NOT TO SCALE

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. LIGHT EXITS PAVEMENT
- PR. HEAVY DUTY PAVEMENT
- PR. SCH ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBERS
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LINE OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 5' CONTOUR
- PR. 10' CONTOUR
- PR. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/POUND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REDDER
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH

MATCHLINE SEE SHEET C1.5

CAD FILE: S:\PROJ\EC15ACTY_2021\217190 - Jonesville R020-LDEN0 Prelim\PLOT1-C1.4-SITE PLANNING USER: mcmillan, charles.d. PLOT DATE/TIME: 12/15/2023 10:10 AM



SITE PLAN - SHEET 4 OF 6
 FOR
HARRIS CREEK FARMS
 TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

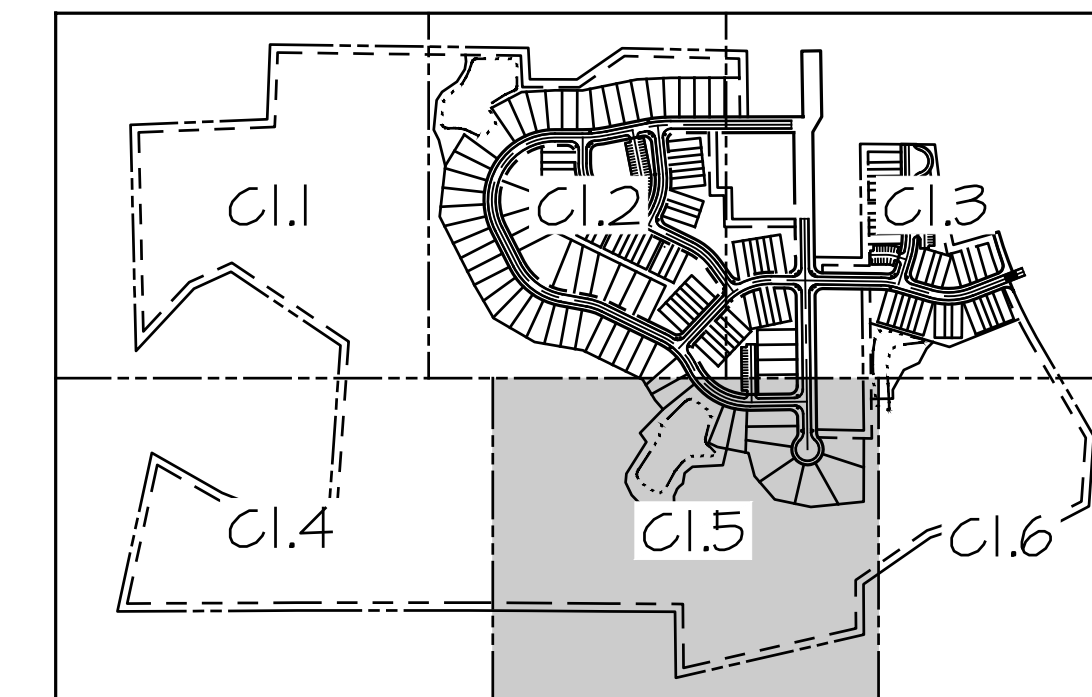
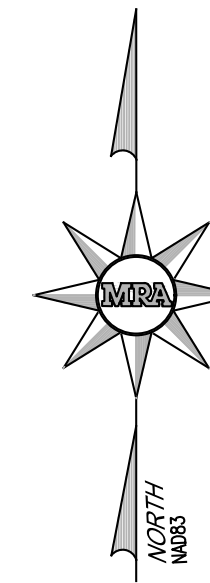
No.	DATE	REVISIONS	
O	06/01/2022	ORIGINAL SUBMITTAL	
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO.: 217190
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



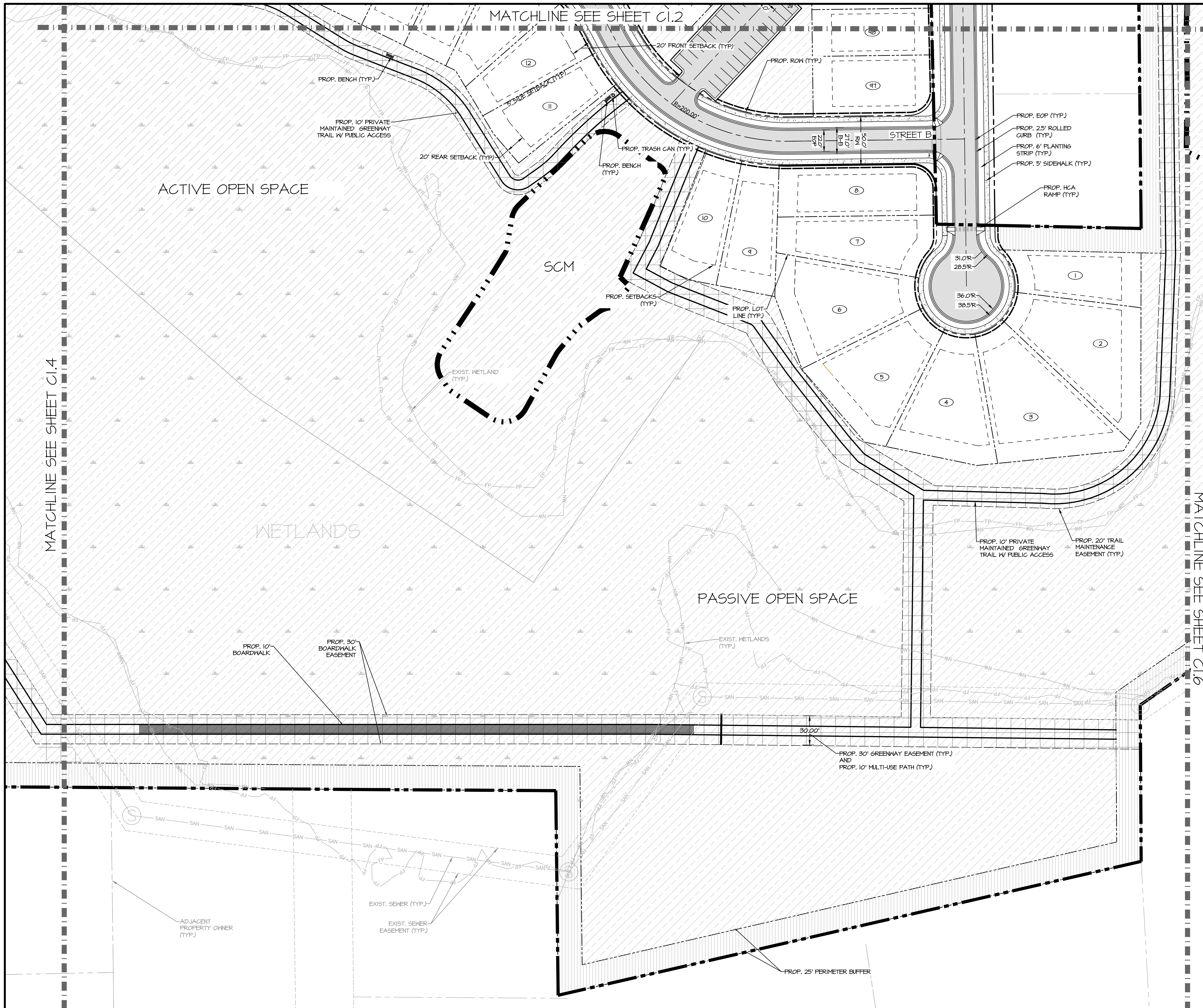
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MATCHLINE SEE SHEET C1.2

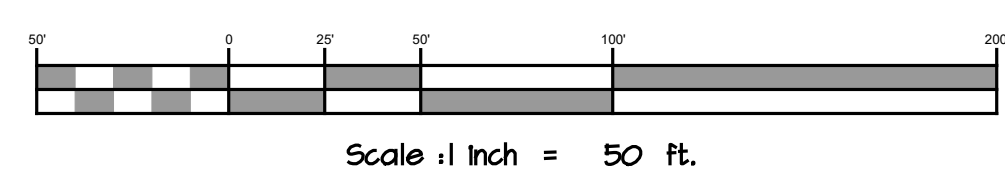


KEY PLAN
NOT TO SCALE



LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBERS
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LINE OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 3' CONTOUR
- PR. 4' CONTOUR
- PR. 5' CONTOUR
- PR. 6' CONTOUR
- PR. 7' CONTOUR
- PR. 8' CONTOUR
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- PR. 10' CONTOUR
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- PR. 705' CONTOUR
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- PR. 725' CONTOUR
- PR. 730' CONTOUR
- PR. 735' CONTOUR
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- PR. 745' CONTOUR
- PR. 750' CONTOUR
- PR. 755' CONTOUR
- PR. 760' CONTOUR
- PR. 765' CONTOUR
- PR. 770' CONTOUR
- PR. 775' CONTOUR
- PR. 780' CONTOUR
- PR. 785' CONTOUR
- PR. 790' CONTOUR
- PR. 795' CONTOUR
- PR. 800' CONTOUR
- PR. 805' CONTOUR
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- PR. 980' CONTOUR
- PR. 985' CONTOUR
- PR. 990' CONTOUR
- PR. 995' CONTOUR
- PR. 1000' CONTOUR



Scale 1 inch = 50 ft.



PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN - SHEET 5 OF 6

FOR
HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

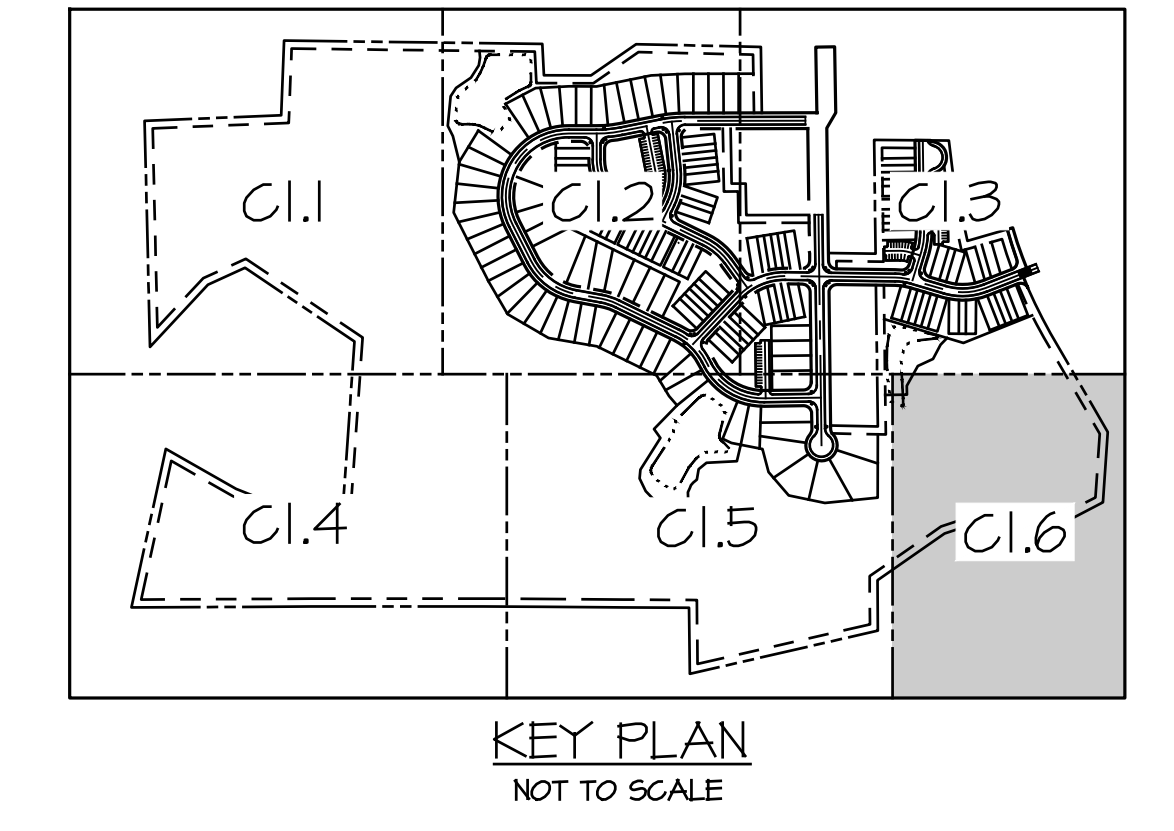
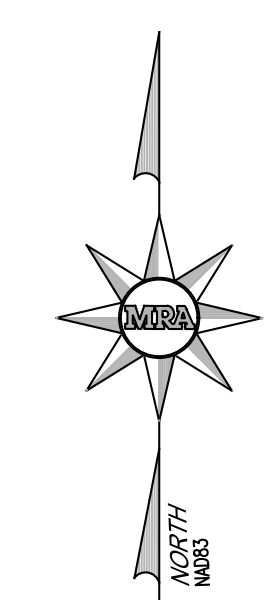
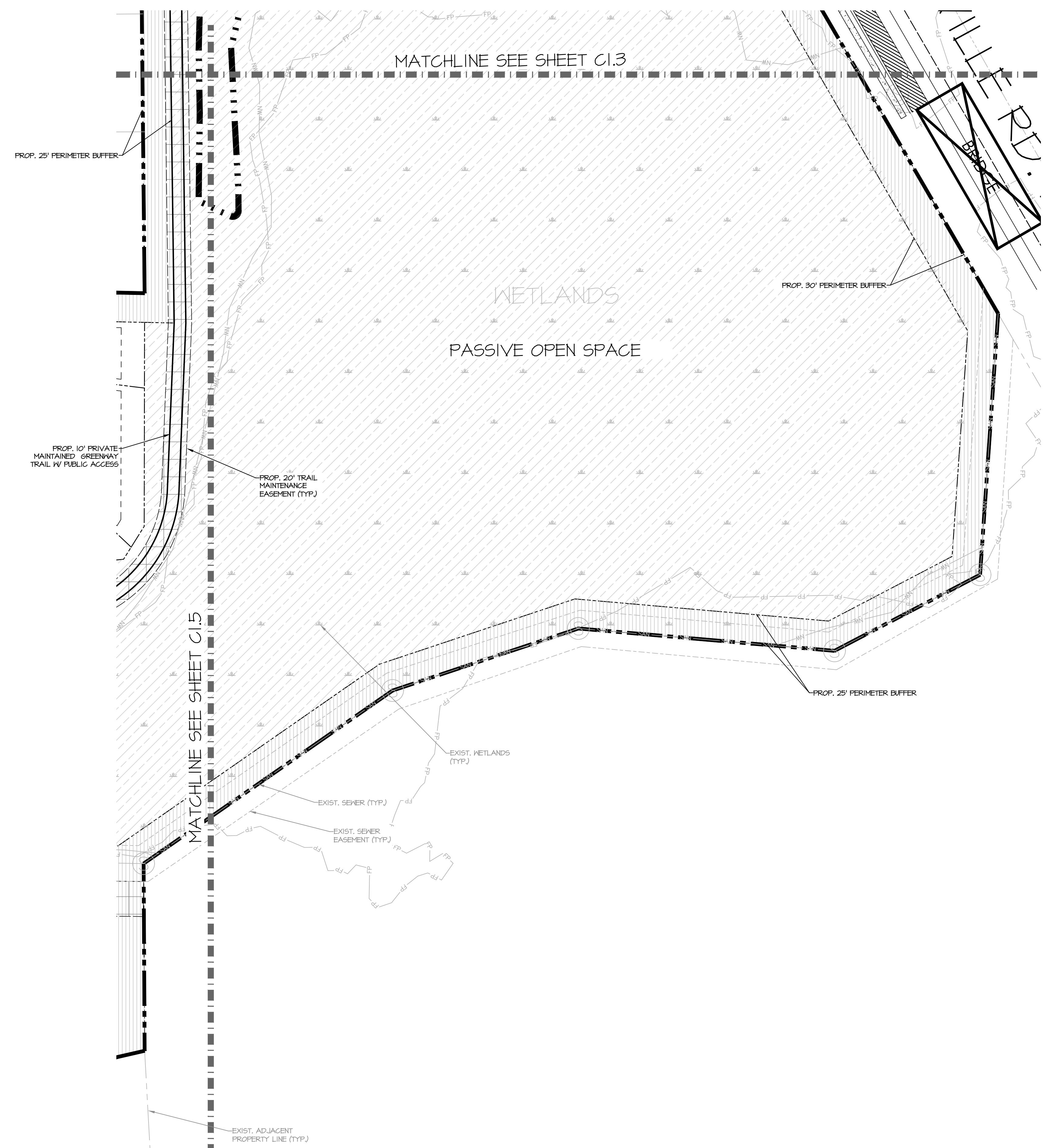
No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 06/01/2022
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



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 ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 530 HINTON POND RD., STE 104
 KNIGHTDALE, NC 27545
 (984) 200-2103
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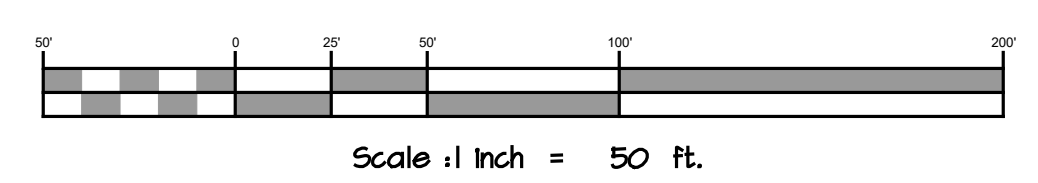
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CAD FILE: S:\PROJECTS\2023\21790 - Jonesville R020-LDEN0 Prelim\21790-01-SITE PLAN.dwg PLOT DATE/TIME: 12/15/2023 10:10 AM USER: mcmillan, charles d.



LEGEND

---	PR. RIGHT OF WAY
---	PR. LOT LINE/PARCEL LINE
---	PR. EASEMENT
---	PR. BUILDING
---	PR. CURB & GUTTER
---	PR. RETAINING WALL
---	PR. ROAD CENTER LINE
---	PR. HEAVY DUTY PAVEMENT
---	PR. LIGHT DUTY PAVEMENT
---	20' PERIMETER BUFFER
---	PR. 50% ACCESS EASEMENT
---	PR. OPEN SPACE
---	PR. IMPROVED OPEN SPACE
---	PR. ACTIVE OPEN SPACE
---	PR. SIDEWALK
---	PR. FENCE
---	PR. HANDICAP PARKING
---	PR. HANDICAP RAMP
---	PR. LOT NUMBER
---	PR. PARKING SPACE COUNT
---	PR. OPEN SPACE
---	PR. LIMIT OF DISTURBANCE
---	PR. TREE PROTECTION FENCE
---	PR. TREETRINE
---	PR. 1' CONTOUR
---	PR. 2' CONTOUR
---	EX. 1' CONTOUR
---	EX. 2' CONTOUR
---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT PROPERTY LINE
---	EX. EASEMENT
---	EX. FLOORPLAN
---	EX. NON-TOTAL WETLAND
---	EX. STREAM BUFFER
---	EX. BUILDING
---	EX. CURB
---	EX. PAVEMENT/EDGE OF GUTTER
---	EX. WALK
---	EX. STREAM/POUND
---	EX. TREETRINE
---	EX. TREE
---	EX. STORY DRAIN
---	EX. SANITARY LINE
---	EX. WATERLINE
---	EX. GAS LINE
---	EX. UNDERGROUND ELECTRIC
---	EX. OVERHEAD ELECTRIC
---	EXISTING PROPOSED
---	FIRE HYDRANT
---	WATER VALVE
---	REXUSER
---	WATER METER
---	POWER POLE
---	LIGHT POLE
---	PROP. TRASH CAN
---	PROP. BENCH



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			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN

ENGINEER'S SEAL

SITE PLAN - SHEET 6 OF 6

FOR

HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

MRA

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530 HINTON POND RD., STE 104

KNIGHTDALE, NC 27545

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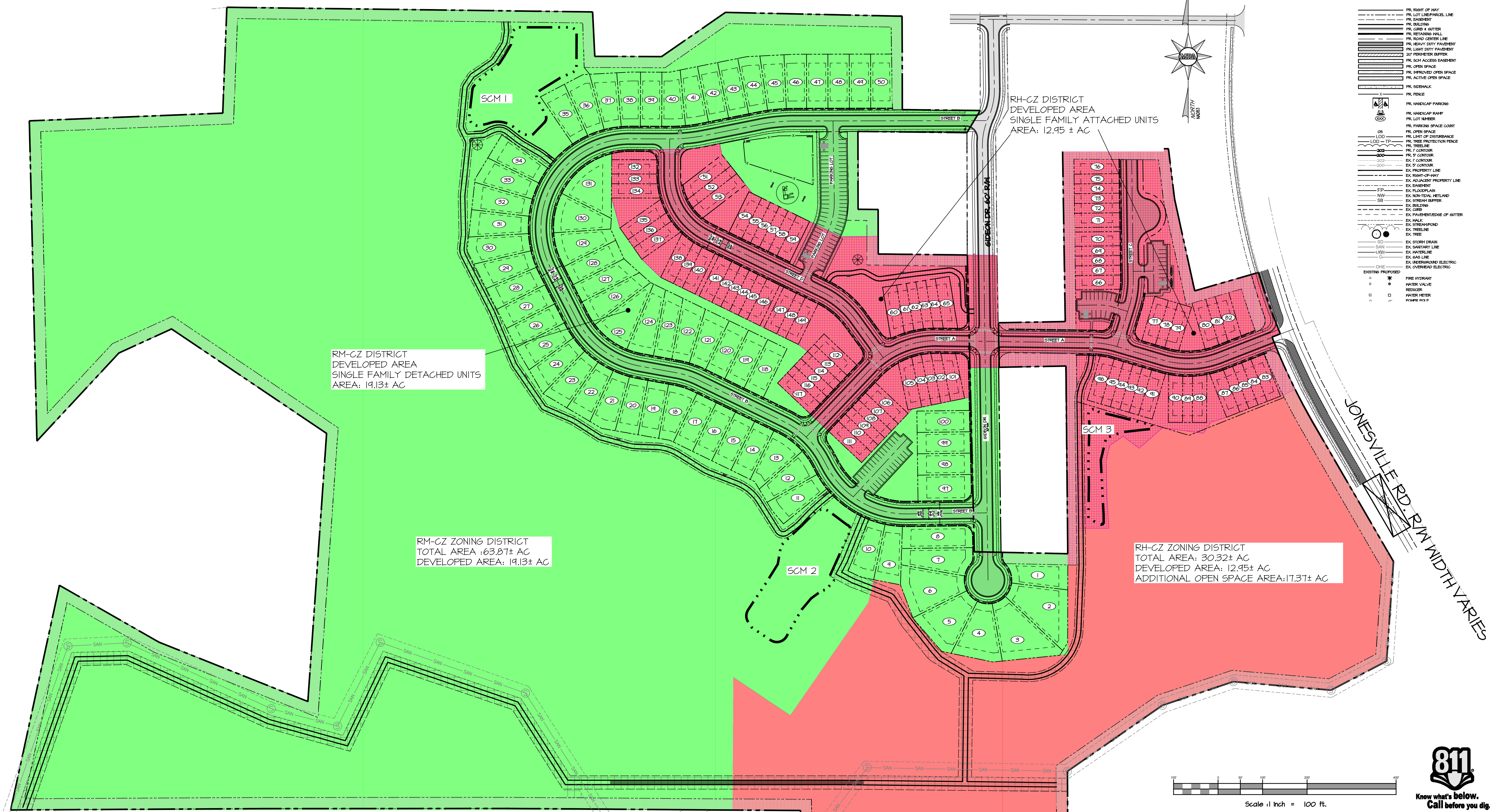
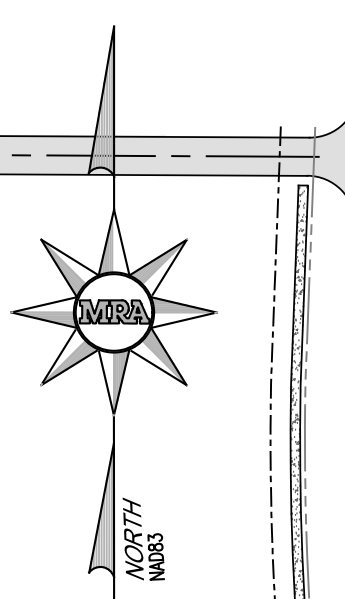
REVISION: **D**

SHEET: **C1.6**

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LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROW CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- 20' PERIMETER BUFFER
- PR. SCM ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 5' CONTOUR
- EX. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. MALE
- EX. STREASHPOND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC



JONESVILLE RD - R/W WIDTH VARIES

LEGEND

- RESIDENTIAL MEDIUM DENSITY-CONDITIONAL ZONING:
- RESIDENTIAL HIGH DENSITY-CONDITIONAL ZONING DEVELOPED AREA:
- RESIDENTIAL HIGH DENSITY-CONDITIONAL ZONING OPEN SPACE AREA

	DEVELOPED AREA:	TOTAL AREA:	UNITS:	DENSITY:
RESIDENTIAL MEDIUM DENSITY-CONDITIONAL ZONING:	14.13 ACRES	63.87 ACRES	68 SF UNITS	68/63.87 = 1.07 UNITS/ACRE
RESIDENTIAL HIGH DENSITY-CONDITIONAL ZONING DEVELOPED AREA:	12.95 ACRES	-	81 TH UNITS	81/12.95 = 6.26 UNITS/DEVELOPED ACRE
RESIDENTIAL HIGH DENSITY-CONDITIONAL ZONING OPEN SPACE AREA	-	17.37 ACRES		

RESIDENTIAL MEDIUM DENSITY OPEN SPACE	REQUIRED:	4.70 AC
	PROVIDED:	44.74 AC
RESIDENTIAL HIGH DENSITY OPEN SPACE	REQUIRED:	2.10 AC
	PROVIDED:	17.37 AC

Scale: 1/4" = 100 ft.



OVERALL ZONING PLAN
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

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STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **D** SHEET: **C1.7**