



**American Engineering Associates-
Southeast, PA**

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July 30, 2025

To: Town of Rolesville
Planning Department
PO Box 250
502 Southtown Circle
Rolesville, NC 27571

Subject: CD-21-07- Kalas Falls Phase 3-

Below are the responses to the last set of comments.

Construction Drawings

Planning & Zoning

1. Continue to Provide a Written Response to ALL comments and Add Revision Dates.
Response: Noted
2. REPEAT – Lighting Plan – Per UDO 15.4.7.3 provide a street lighting plan. At time of FSP approval, payment for street light poles within new public right of ways will be invoiced (and paid).
Response: A lighting plan has been included with this resubmittal.

Engineering – Brian Laux/Jacque Thompson

1. Sheets 4.1: It appears the proposed grades have gone missing in some locations. Please correct this and review the grading to ensure no unwanted low points exist, that positive drainage occurs away from the lots, between the lots, and into the storm system.
Response: The grading sheets have been corrected to include all the proposed grades. The drainage has been reviewed and directed into a swale or structure away from the lots.
2. Sheets 4.1-4.5: The mass site grading appears to not consider building pads and therefore is creating some interesting contours through the site. Please consider what the intention of the mass grading is. The concern with allowing the grading as is, then coming back to grade each lot individually is that while mass grading is being reviewed, it is going to be adjusted and unknown backyard drainage, drainage between the homes, and potential unwanted low points will be created later. The site needs to be reviewed for:
 - i. Slopes do not exceed 3:1
 - ii. Low points do not exist without storm structures
 - iii. Positive drainage is occurring out from the lots and between the lots
 - iv. Buildable area is being considered – a swale should not be going through a lot. If swales are intended to convey drainage, if the swale crosses 2 or more lots, a drainage easement is required.
 - v. Lots are being graded considering future driveway grades; it is my understanding the goal is to not exceed 9.5% for driveways.

Response: 3:1 slope have been maintained as much as possible except for areas near environmental areas or within minor transition areas. Structures have been added to the graded low points with easements added on swales that cross multiple properties. All areas where future driveways are located are set to be no greater than 9.5%.

COR Public Utilities- Tim Beasley

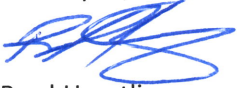
1. Sheet 20.0 – Sewer segment between MH200 – MH301 is still showing as 10" instead of 8" PVC, revise.
Response: This has been corrected.

2. Email reviewer for public water/sewer permit Number and the Raleigh development fees associated with this project. These fees should be paid before asking COR to sign CID plans.

Response: All fees for this project have been paid.

If you have any further questions or comments regarding the responses or plan revisions provided, please feel free to call or email me.

Thank you,



Brad Haertling
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