

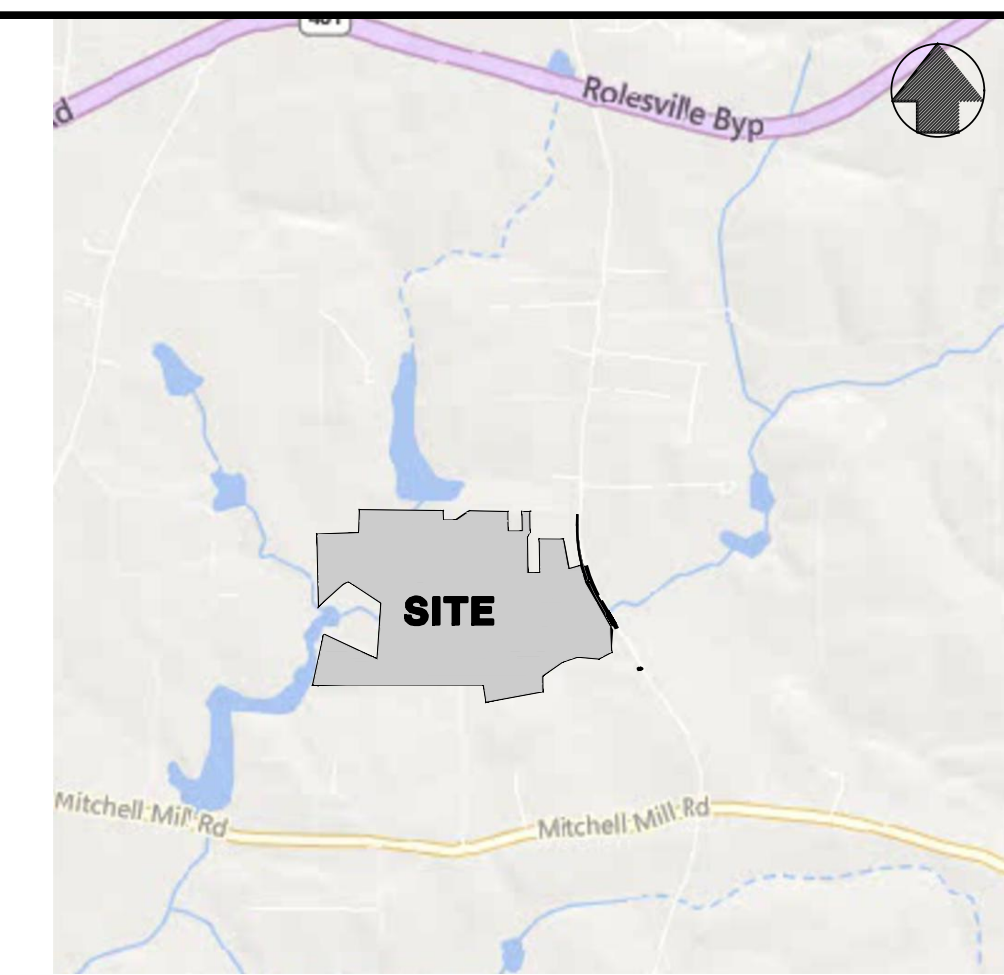
MAP AMENDMENT (CONDITIONAL REZONING) CONCEPT PLAN

FOR

HARRIS CREEK FARMS

V8 - MA 22-08

ROLESVILLE, NORTH CAROLINA



VICINITY MAP
SCALE: 1" = 2000'

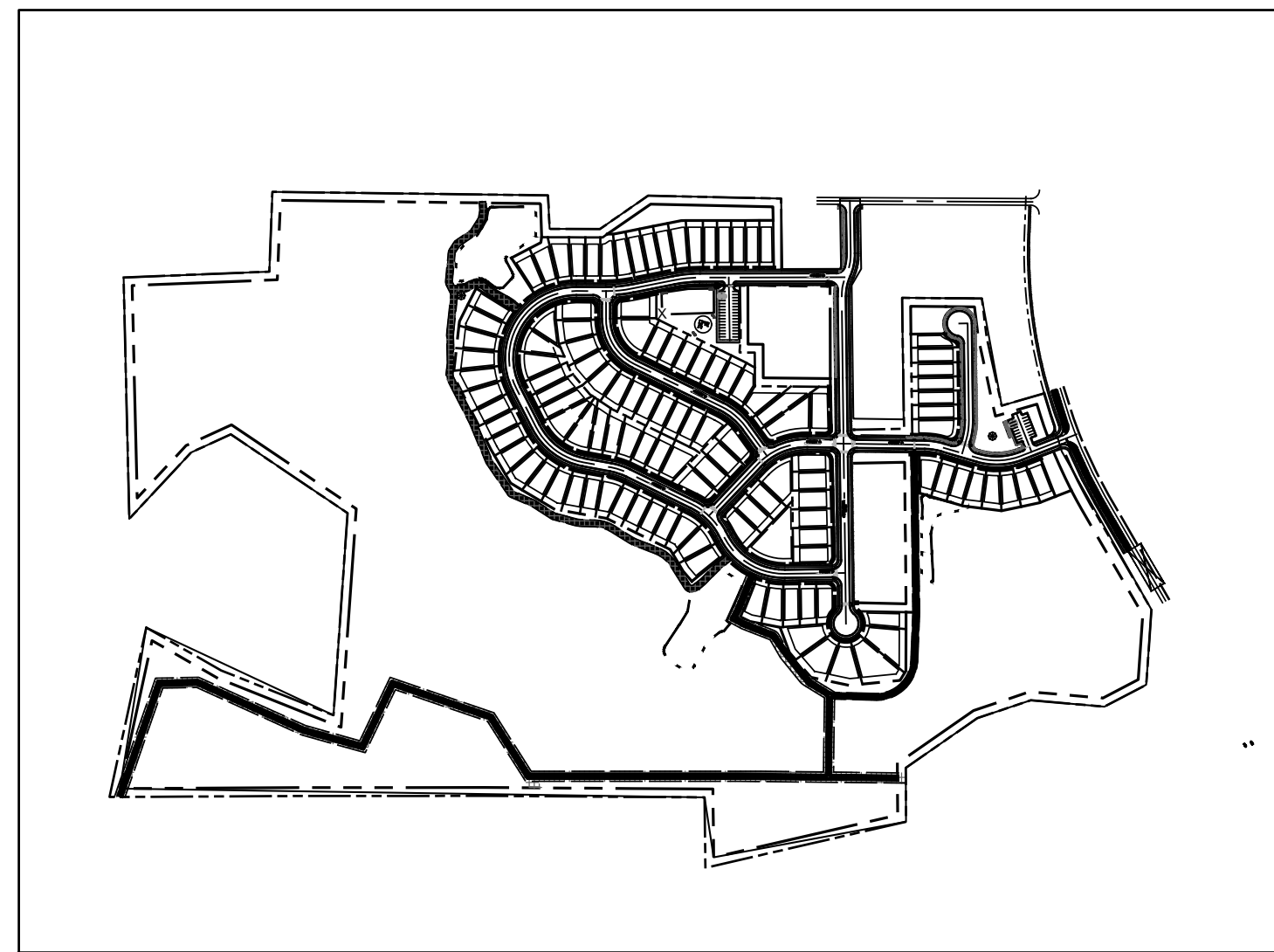
AGENCY CONTACTS

- A. Town of Rolesville**
Planning Department
502 Southtown Circle
Rolesville, NC 27571
- B. Wake County**
Watershed Management
Waverly F. Akins Building
337 S. Salisbury St
Raleigh, NC 27601
Contact: Karyn Pageau
Phone: (919)-796-8769
Email: karyn.pageau@wakegov.com
- C. City of Raleigh Public Utilities Department**
One Exchange Plaza
Suite 620
Raleigh, NC 27601
P.O. Box 590
Raleigh, NC 27602
Phone: 919-996-3245
Email: publicutilityinfo@raleighnc.gov
- D. NCDOT**
Division 5, District 1 Office
4009 District Drive
Raleigh, NC 27607
Contact: Amy Neldringhaus, District Engineer
Phone: 919-733-3213
Email: anneldringhaus@ncdot.gov

Sheet List Table			
Sheet Number	Sheet Title	Date	Revision Date
CO.0	COVER - REZONING	6/1/2022	3/12/2024
CO.0A	VOLUNTARY REZONING CONDITIONS	6/1/2022	3/12/2024
CO.1	EXISTING CONDITIONS	6/1/2022	3/12/2024
CI.0	OVERALL SITE PLAN	6/1/2022	3/12/2024
CI.1	SITE PLAN - SHEET 1 OF 6	6/1/2022	3/12/2024
CI.2	SITE PLAN - SHEET 2 OF 6	6/1/2022	3/12/2024
CI.3	SITE PLAN - SHEET 3 OF 6	6/1/2022	3/12/2024
CI.4	SITE PLAN - SHEET 4 OF 6	6/1/2022	3/12/2024
CI.5	SITE PLAN - SHEET 5 OF 6	6/1/2022	3/12/2024
CI.6	SITE PLAN - SHEET 6 OF 6	6/1/2022	3/12/2024
CI.7	OVERALL ZONING PLAN	6/1/2022	3/12/2024

STREET DATA	
STREET A	1200 LF
STREET B	2368 LF
STREET C	450 LF
STREET D	743 LF

CASE NUMBER:
MA 22-08



SITE DATA	
OWNER	CHEN, PING 10030 GREEN LEVEL CHURCH RD STE 802 GARY, NC 27594
SITE ADDRESS	4428 UNIVERSAL DR WAKE FOREST NC 27587-6356
PIN	175121701, 1751315216, 1751315365, 1751315464, 1751315575, 1751315665, 1751315765, 1751315865, 1751315945, 1751315954, 17513159512, 17513159572, 1751316086, 1751316103, 1751316109, 1751316303, 1751316490, 1751411554, 1751316544
DEED BOOK/PAGE/MAP	018453/00623/1751 01, 018453/00542/1751 01
CURRENT ZONING	R30
PROPOSED ZONING	RH-CZ
MIN. LOT SIZE	6000 SQ FT
LAND USE	RESIDENTIAL
PROPOSED DEVELOPMENT	120 SINGLE FAMILY UNITS
TOTAL SITE AREA	44.19 ACRES
PROPOSED DENSITY	5.0 UNITS/AC (MAX) 120/44.19 = 1.28 UNITS/AC (PROVIDED)
FLOOD PLAIN/ZONE	ZONE AE/ZONE X
FIRM PANEL NO	3120175100K
WATERSHED PROTECTION	NONE
MINIMUM LOT WIDTH	42'
OPEN SPACE	RESIDENTIAL MEDIUM DENSITY PASSIVE: 17.31 (REQUIRED) 62.11 (PROVIDED) IMPROVED OPEN SPACES: REQUIRED: SMALL: 1 MEDIUM: 0 LARGE: 1 PROVIDED: SMALL: 2 1.32 AC (TOTAL PROVIDED) MEDIUM: 0 0.0 AC (TOTAL PROVIDED) LARGE: 1 13.71 AC (TOTAL PROVIDED)
SETBACKS	FRONT: 20' SIDE: 5' REAR: 20' CORNER: 10'

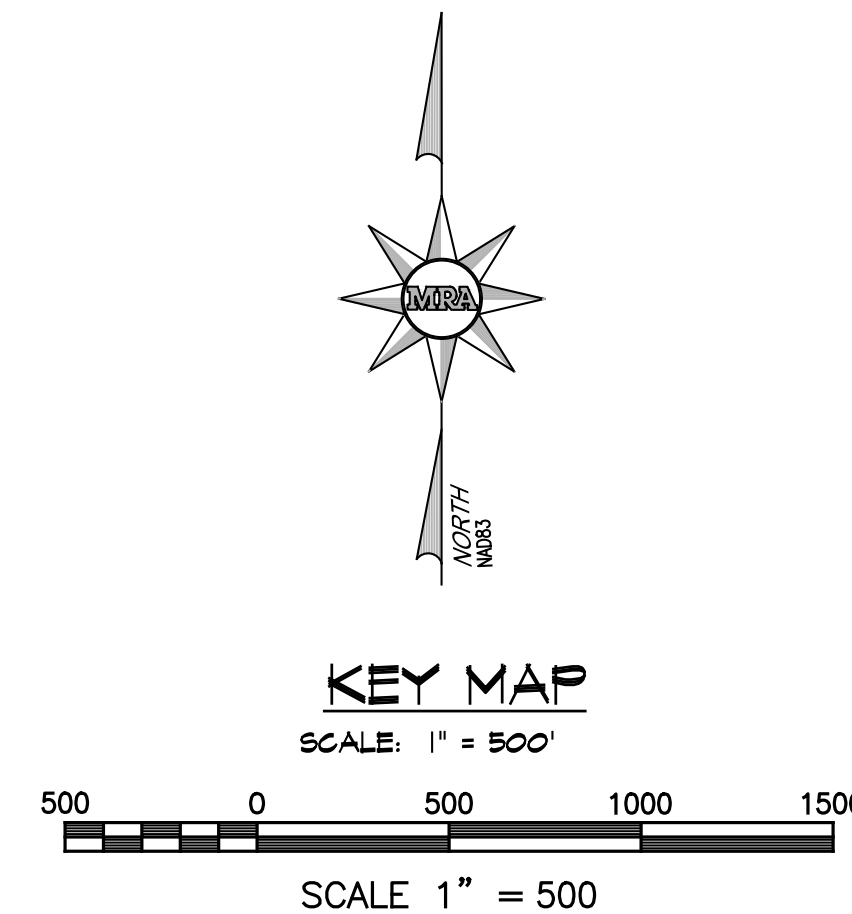
PROJECT TEAM

- DEVELOPER/ OWNER:** THE CSC GROUP LLC
10030 GREEN LEVEL CHURCH RD STE 802
GARY, NC 27594
ATTN: PING CHEN
919-788-0424
- LAND PLANNERS, CIVIL ENGINEER:** MORRIS & RITCHE ASSOCIATES OF NC, PC
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27545
ATTN: YR. JEREMY M KEENE, PE, PLS
- SURVEYOR:** GIL CLARK SURVEYING
P.O. BOX 1245
KNIGHTDALE, NORTH CAROLINA 27545
ATTN: WALLACE G. CLARK, JR
- ENVIRON. CONSULTANT:** MORRIS & RITCHE ASSOCIATES OF NC, PC
530 HINTON POND ROAD, SUITE 104
KNIGHTDALE, NC 27545

GENERAL NOTES

- OPEN SPACE IN EXCESS OF 40% PROPOSED ON SITE PER LDO SECTION 3.1D FOR CLUSTER DEVELOPMENTS
- PROPOSED BUFFERS SHALL BE PLATTED AS SEPARATE TRACTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OR SIMILAR

FOR SITE PLAN REVIEW ONLY
NOT FOR CONSTRUCTION
PLAN IS SUBJECT TO REVISIONS
DURING THE CONSTRUCTION
APPROVAL PROCESS



PRELIMINARY
NOT FOR CONSTRUCTION
FOR REVIEW ONLY
ENGINEER'S SEAL

COVER - REZONING
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

MRA
MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND RD., SUITE 104
KNIGHTDALE, NC 27545
(984) 200-2103
LICENSE # C-4182
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STATUS: **PRELIMINARY NOT FOR CONSTRUCTION**

REVISION: **E**

SHEET: **CO.0**

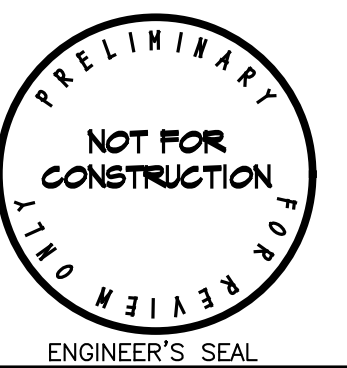
No.	DATE	REVISIONS	JOB NO.
0	06/01/2022	ORIGINAL SUBMITTAL	21790
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 3/12/2024
C	01/12/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
E	3/12/2024	REVISED PER USE CHANGE	DESIGN BY: PKN
			REVIEW BY: PKN

VOLUNTARY REZONING CONDITIONS


1. The subject property shall be developed in general compliance with the map amendment (conditional rezoning) concept plan, dated 3/1/2024.
2. The development shall consist of maximums of 120 single-family detached dwelling units/lots as detailed in the map amendment (conditional rezoning) concept plan, dated 3/1/2024.
3. Single family detached dwelling unit facade anti-monotony: in order to promote variation in home appearance, no single-family front façade shall be duplicated for three (3) lots in a row, or directly across the street. For corner lots, this shall apply to the lots diagonally across the intersection.
4. All garage doors shall either contain windows or carriage style adornments.
5. Single-family detached dwelling units shall:
 - A. Be a minimum of 1,500 heated square feet.
 - B. Have cementitious siding that shall vary in type and color with brick, shakes, board and batten, or stone accents provided as decorative features
 - C. Have at least two types of finishes on the front: lap siding, masonry, shakes, and board and batten.
7. A homeowners' association (HOA) shall be created, and all open spaces observed in map amendment (conditional rezoning) concept plan, dated 3/1/2024, shall be owned and maintained by the HOA.
8. Foundations: All foundations are to be monolithic poured slab foundations. Top of slabs shall be elevated a minimum of 18 inches above finished grade for all dwelling units. All foundations shall be treated with masonry on the front and street-facing sides for a minimum of 10".
9. Recreational amenities: the following recreational amenities shall be constructed as observed in map amendment (conditional rezoning) concept plan, dated 3/1/2024. Public greenway (approximately 5,600 linear feet), private multi-use paths (approximately 410 linear feet), gazebos, playgrounds, and a dog park. Amenities shall be built prior to the issuance of the building permit for the 70th lot.
10. Landscaping: At least twenty percent (20%) of all landscaping required by the LDO, that does not already qualify under LDO Section 6.2, shall utilize plant materials that are listed as native pollinator plants by the North Carolina Wildlife Federation. Where evergreen plantings or street trees are required by the LDO, native pollinator plantings shall not be required. Such plantings shall be clearly shown in construction drawings and installed as part of subdivision infrastructure. Nothing herein shall be constructed to limit the plant materials permitted on individual residential lots.
11. Sidewalk Easement: The development shall attempt to procure an easement from the owners of those properties with PINs 1757-48-1376 (Deed Book 19407, Page 984, Wake County Registry) and 1757-38-8408 (Deed Book 2261, Page 683, Wake County Registry), in order to provide a 5'-wide sidewalk running from the development's proposed access to Jonesville Road to the intersection with Universal Drive. If the development procures easements from both property owners, the sidewalk shall be located within said easements and constructed consistent with the Town of Rolesville Transportation Plan, and shall be completed prior to the issuance of the one hundredth (100th) building permit. If the development is unable to procure an easement from either property owner prior to the issuance of the first (1st) building permit, then the development shall pay a fee-in-lieu for the sidewalk construction to the Town of Rolesville. The fee-in-lieu shall be paid prior to the issuance of the one hundredth (100th) building permit.
12. Universal Drive: The development shall attempt to procure a minimum 20'-wide access easement (the Easement^A) from the owner of that property with PIN 1757-38-8408 (Deed Book 2261, Page 683, Wake County Registry) for vehicular ingress and egress to and from Gideon Drive and Jonesville Road (the Easement Area^A). This Easement shall be recorded with the Wake County Registry. If the Easement is obtained and recorded, the development shall pave the Easement Area with a 20'-wide asphalt surface coat over top of the existing private gravel access drive. The paving shall be completed prior to the issuance of the development's one hundredth (100th) building permits. Following completion of the paving, the development shall be responsible for maintenance of the Easement Area; this maintenance responsibility shall expire if Columbia Drive is dedicated as public right-of-way. If the development can not obtain and record the Easement before the issuance of the first (1st) building permit, then the development shall have no obligation to perform any work described in this Condition.
13. Prior to issuance of the first building permit for a dwelling unit, the development shall donate thirty-five thousand dollars and no cents (\$35,000.00) to Homes for Heroes.

CAD FILE: S:\PROJ\15ACT_2023\17190 - Jonesville R02020-LDEVO Prelim\PLOT\CO-COVER.dwg PLOT DATE/TIME: 3/12/2024 6:18 AM USER: pema_jlira

No.	DATE	REVISIONS	
O	06/01/2022	ORIGINAL SUBMITTAL	
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO.: 21790
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
C	01/12/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 3/12/2024
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	ENGINEER: JMK
E	3/12/2024	REVISED PER USE CHANGE	DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



VOLUNTARY REZONING CONDITIONS
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
530 HINTON POND RD., STE 104
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(984) 200-2103
LICENSE # C-4182
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REVISION: **E**

SHEET: **CO.0A**

PARCELS INCLUDED IN DEVELOPMENT

PARCEL	OWNER	PN NUMBER	AREA	DEED BOOK	PAGE NUMBER	USE	CURRENT ZONING
1	CHEN, PING	175121811	71.52 AC	00623	00623	RESIDENTIAL	R-30
2	CHEN, PING	175121811	0.44 AC	00623	00623	RESIDENTIAL	R-30
3	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
4	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
5	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
6	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
7	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
8	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
9	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
10	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
11	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
12	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
13	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
14	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
15	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
16	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
17	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
18	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
19	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30
20	CHEN, PING	175121811	0.46 AC	00623	00623	RESIDENTIAL	R-30

EXISTING CONDITIONS NOTES:

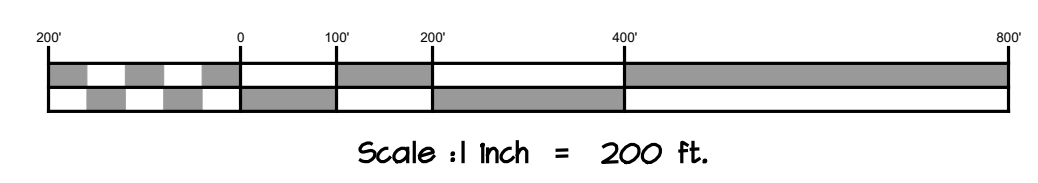
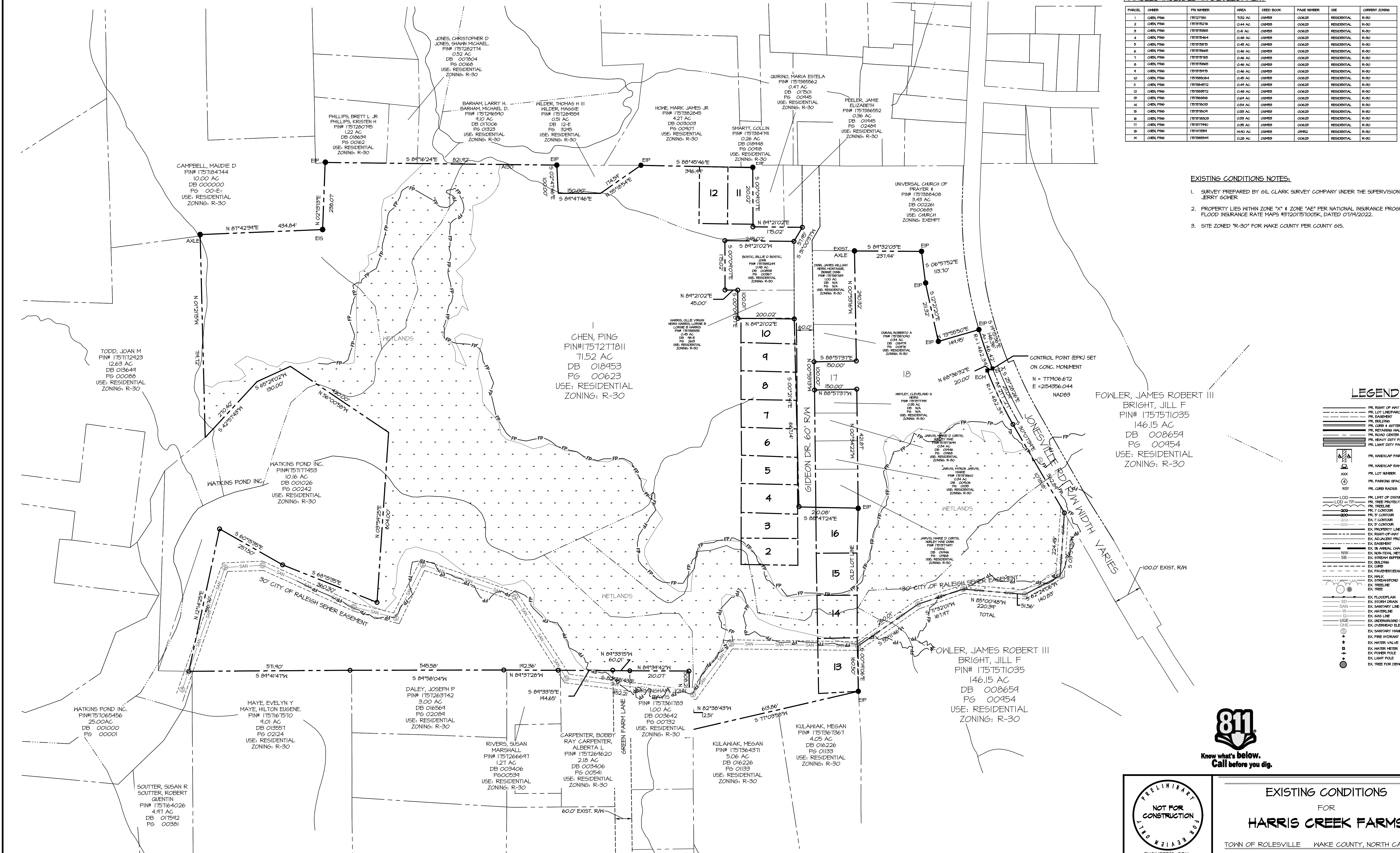
- SURVEY PREPARED BY GIL CLARK SURVEY COMPANY UNDER THE SUPERVISION OF JERRY GOWER.
- PROPERTY LIES WITHIN ZONE "X" & ZONE "AE" PER NATIONAL INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS #120101000K, DATED 07/14/2022.
- SITE ZONED "R-30" FOR WAKE COUNTY PER COUNTY GIS.

LEGEND

- FR RIGHT OF WAY
- FR LOT LINE/PARCEL LINE
- FR EASEMENT
- FR BUILDING
- FR CURB & GUTTER
- FR RETAINING WALL
- FR ROAD CENTER LINE
- FR HEAVY DUTY PAVEMENT
- FR LIGHT DUTY PAVEMENT
- FR HANDICAP PARKING
- FR HANDICAP RAMP
- FR LOT NUMBER
- FR PARKING SPACE COUNT
- FR CURB RADIUS
- FR LIMIT OF DISTURBANCE
- FR TREE PROTECTION FENCE
- FR TREE LINE
- FR 1' CONTOUR
- FR 2' CONTOUR
- FR 3' CONTOUR
- FR 4' CONTOUR
- FR 5' CONTOUR
- FR PROPERTY LINE
- FR RIGHT-OF-WAY
- FR ADJACENT PROPERTY LINE
- FR EASEMENT
- FR 18" ANNUAL CHANCE FLOODPLAIN
- FR NON-TIDAL WETLAND
- FR STREAM BUFFER
- FR GARD
- FR FAN/VENT/SEWER OF BUTTER
- FR HALL
- FR STREAM/POUND
- FR TREE LINE
- FR TREE
- FR FLOODPLAIN
- FR STORM DRAIN
- FR SANITARY LINE
- FR WATERLINE
- FR GAS LINE
- FR UNDERGROUND ELECTRIC
- FR OVERHEAD ELECTRIC
- FR SANITARY HANDBLE
- FR FIRE HYDRANT
- FR WATER VALVE
- FR WATER METER
- FR POWER POLE
- FR LIGHT POLE
- FR TREE FOR DEMOLITION

FOWLER, JAMES ROBERT III
BRIGHT, JILL F
PIN# 175171035
146.15 AC
DB 008659
PG 00954
USE: RESIDENTIAL
ZONING: R-30

CHEN, PING
PIN#175121811
71.52 AC
DB 018453
PG 00623
USE: RESIDENTIAL
ZONING: R-30



No.	DATE	REVISIONS
O	06/01/2022	ORIGINAL SUBMITTAL
A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS
C	8/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS
E	3/12/2024	REVISED PER USE CHANGE

PRELIMINARY
NOT FOR CONSTRUCTION

ENGINEER'S SEAL

EXISTING CONDITIONS
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
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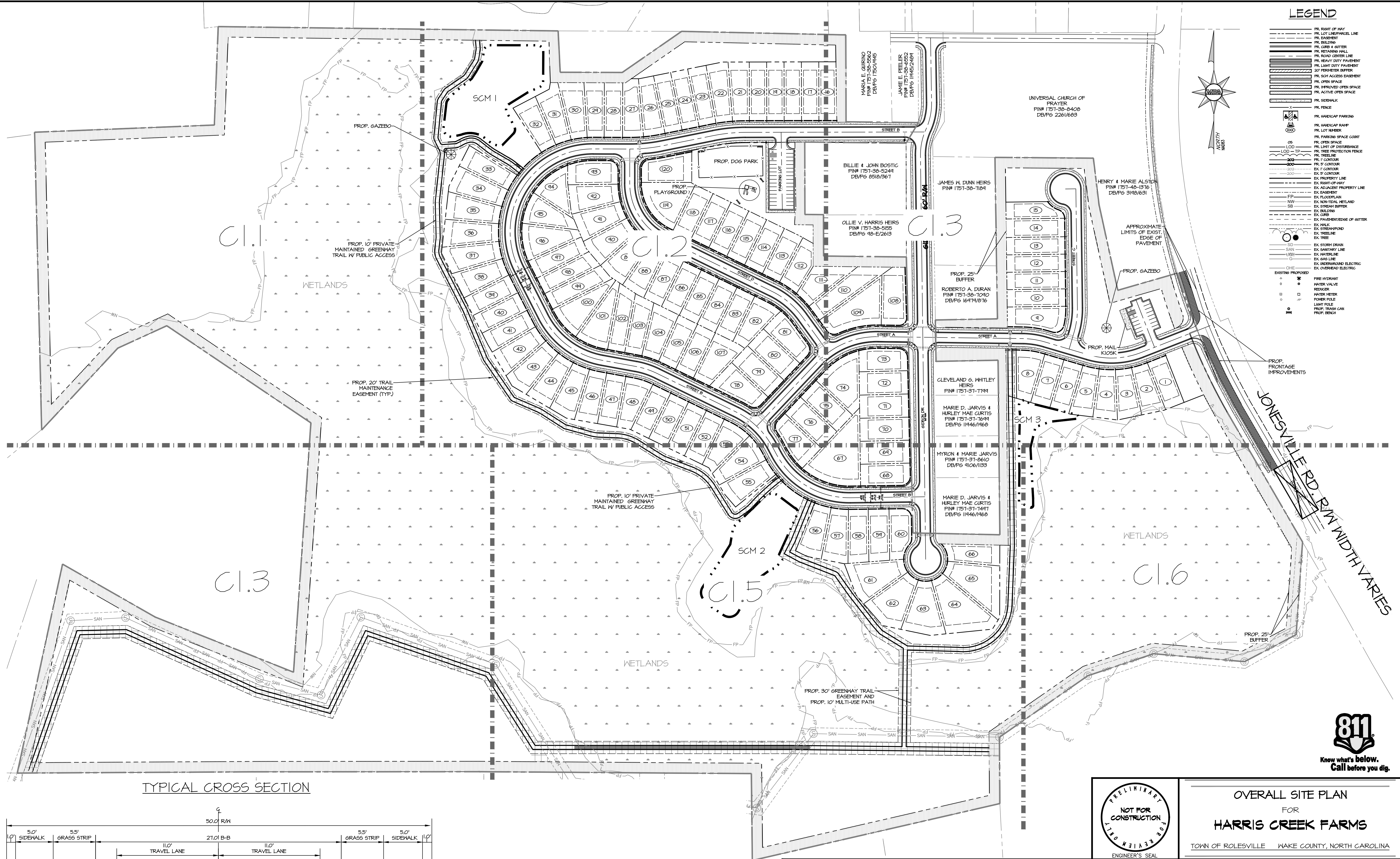
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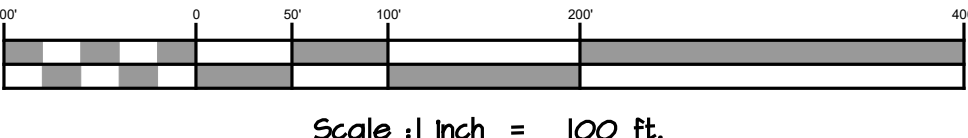
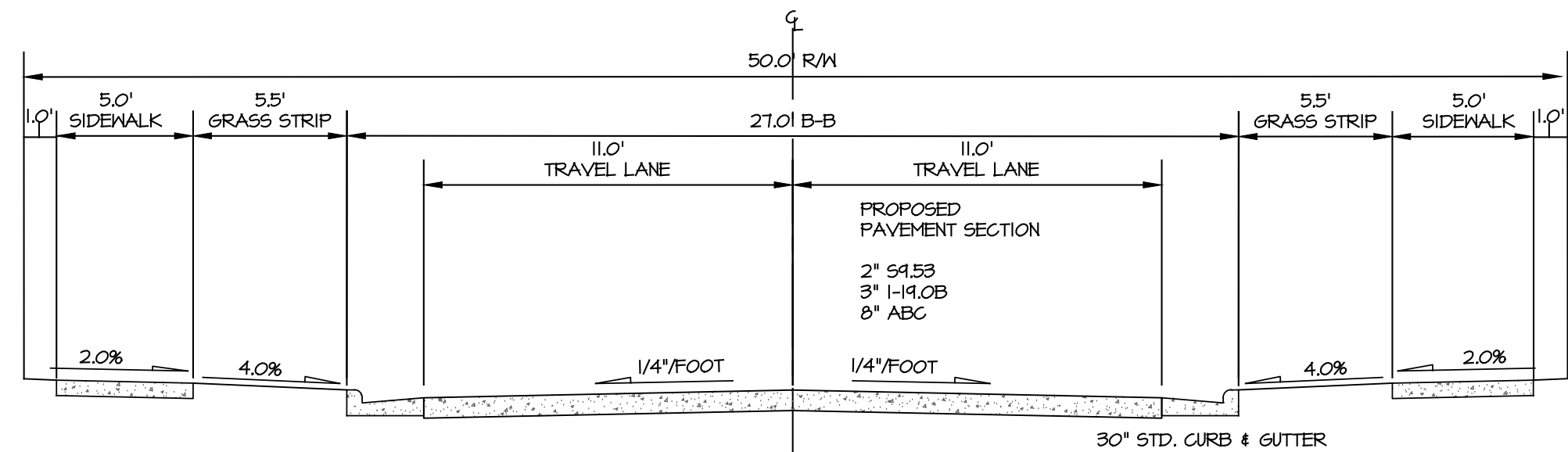
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LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/SPACELINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTERLINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. 20' PERIMETER BUFFER
- PR. SC# ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 5' CONTOUR
- PR. 10' CONTOUR
- PR. PROPERTY LINE
- PR. ADJACENT PROPERTY LINE
- PR. EASEMENT
- PR. FLOODPLAIN
- PR. NON-TIDAL WETLAND
- PR. STREAM BUFFER
- PR. BUILDING
- PR. CURB
- PR. PAVEMENTEDGE OF GUTTER
- PR. WALK
- PR. DRIVEWAY
- PR. TREE LINE
- PR. TREE
- PR. STORM DRAIN
- PR. SANITARY LINE
- PR. WATERLINE
- PR. GAS LINE
- PR. UNDERGROUND ELECTRIC
- PR. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REGULOR
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



TYPICAL CROSS SECTION



PRELIMINARY
NOT FOR CONSTRUCTION

OVERALL SITE PLAN
FOR
HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

MRA

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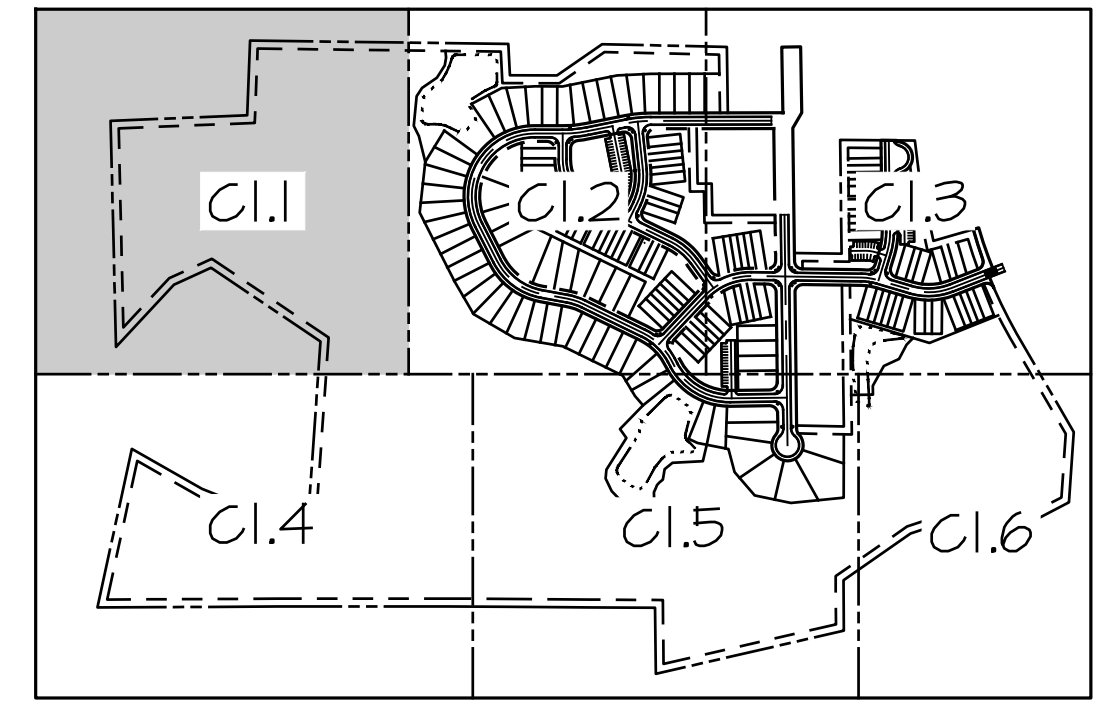
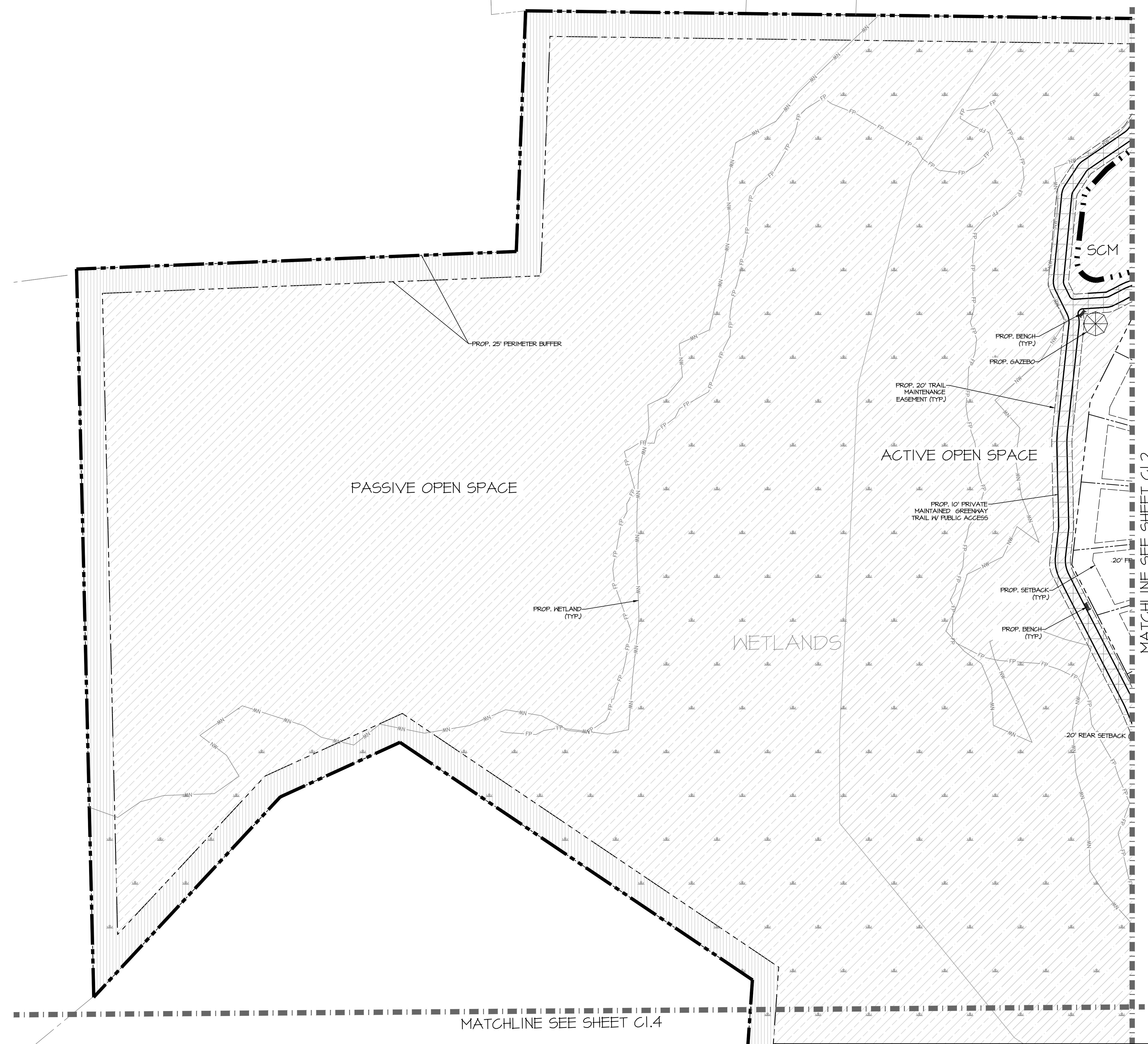
REVISION: **E**

SHEET: **C1.0**

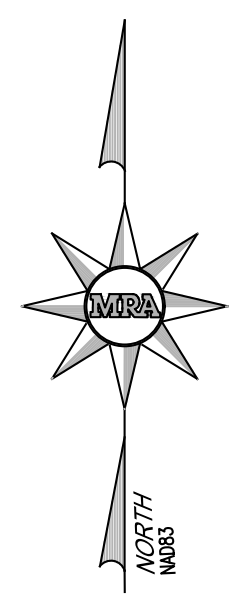
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E	3/12/2024	REVISED PER USE CHANGE	DESIGN BY: PKN
			REVIEW BY: PKN

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KEY PLAN
NOT TO SCALE

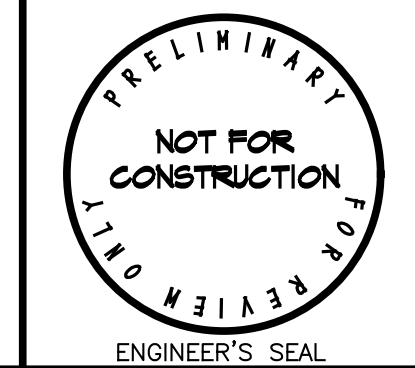
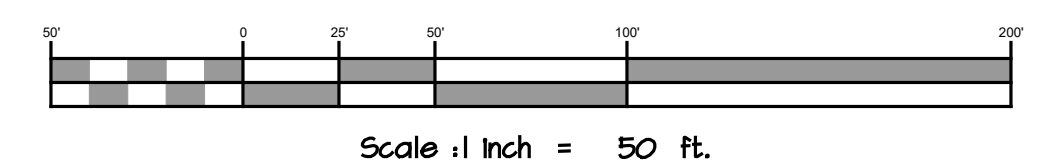


LEGEND

- PR, RIGHT OF WAY
- PR, LOT LINE/PAVING LINE
- PR, EASEMENT
- PR, BUILDING
- PR, CURB & GUTTER
- PR, RETAINING WALL
- PR, ROAD CENTER LINE
- PR, HEAVY DUTY PAVEMENT
- PR, LIGHT DUTY PAVEMENT
- PR, 20' PERIMETER BUFFER
- PR, SCM ACCESS EASEMENT
- PR, OPEN SPACE
- PR, IMPROVED OPEN SPACE
- PR, ACTIVE OPEN SPACE
- PR, SIDEWALK
- PR, FENCE
- PR, HANDICAP PARKING
- PR, LOT NUMBER
- PR, PARKING SPACE COUNT
- PR, LIMIT OF DISTURBANCE
- PR, TREE PROTECTION FENCE
- PR, TREE LINE
- PR, F CONTOUR
- PR, F CONTOUR
- EX, F CONTOUR
- EX, F CONTOUR
- EX, PROPERTY LINE
- EX, RIGHT-OF-WAY
- EX, ADJACENT PROPERTY LINE
- EX, EASEMENT
- EX, FLOODPLAIN
- EX, NON-TOTAL WETLAND
- EX, STREAM BUFFER
- EX, BUILDING
- EX, GARS
- EX, PAVEMENT/EDGE OF CUTTER
- EX, HALK
- EX, STREAM/POD
- EX, TREE LINE
- EX, TREE
- EX, STORM DRAIN
- EX, SANITARY LINE
- EX, WATERLINE
- EX, GAS LINE
- EX, UNDERGROUND ELECTRIC
- EX, OVERHEAD ELECTRIC

MATCHLINE SEE SHEET C1.4

MATCHLINE SEE SHEET C1.2



SITE PLAN - SHEET 1 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

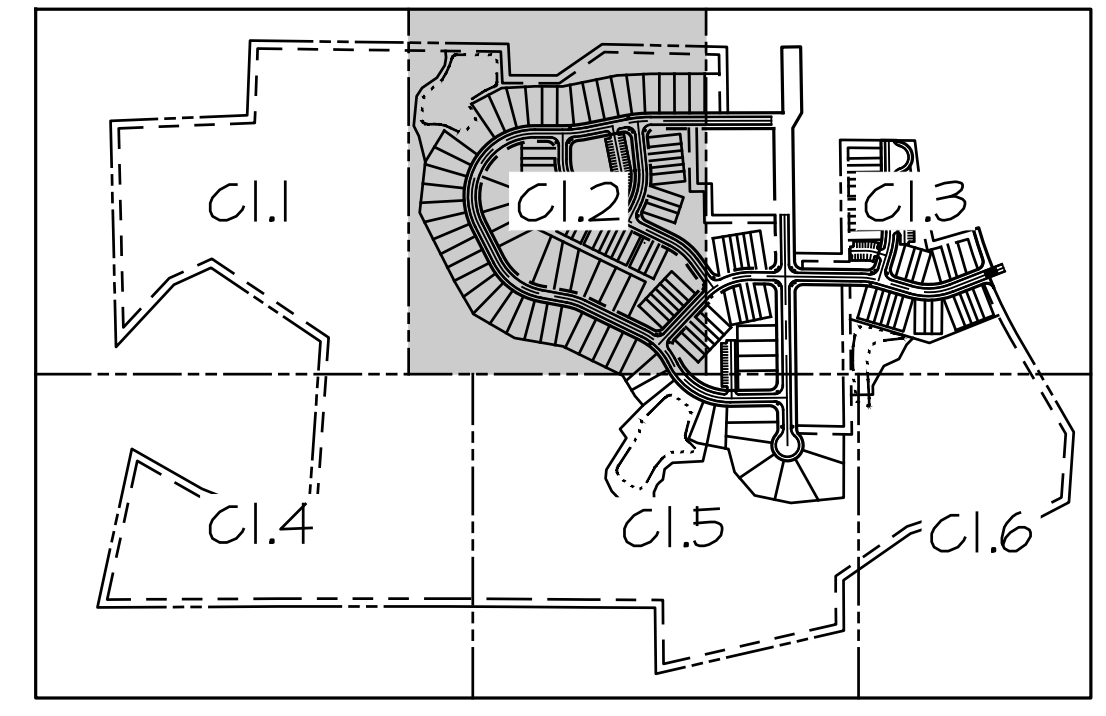
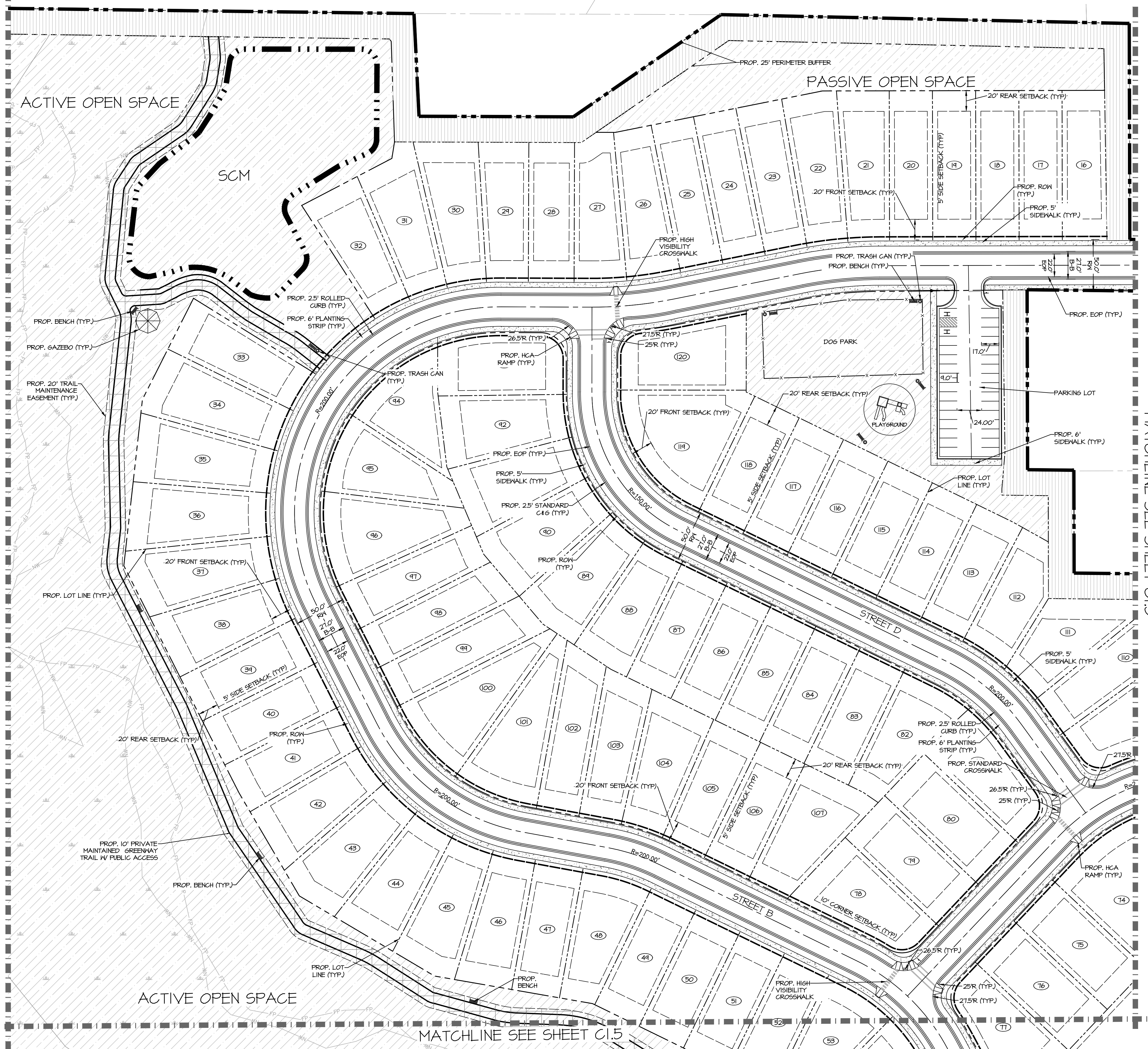
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A	04/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 3/12/2024
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
E	3/12/2024	REVISED PER USE CHANGE	DESIGN BY: PKN
			REVIEW BY: PKN



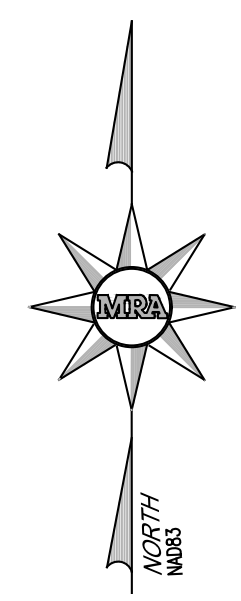
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ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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CAD FILE: S:\PROJECTS\2024\1790 - Jonesville R020-LDEVO Prelim\PILOT\1-SITE PLAN.dwg PLOT DATE/TIME: 3/12/2024 6:22 AM USER: penna_jl@ra



KEY PLAN
NOT TO SCALE



LEGEND

PR. RIGHT OF WAY	PR. LOT LINE	PR. SIDEWALK	PR. FENCE
PR. EASEMENT	PR. HANDICAP PARKING	PR. HANDICAP RAMP	PR. LOT NUMBER
PR. CURB & GUTTER	PR. PARKING SPACE COUNT	PR. OPEN SPACE	PR. LIMIT OF DISTURBANCE
PR. RETAINING WALL	PR. OPEN SPACE	PR. LIMIT OF DISTURBANCE	PR. TREE PROTECTION FENCE
PR. ROAD CENTER LINE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	PR. TREE LINE
PR. HEAVY DUTY PAVEMENT	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	PR. 1' CONTOUR
PR. LIGHT DUTY PAVEMENT	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	PR. 5' CONTOUR
PR. 20' PERIMETER BUFFER	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. 1' CONTOUR
PR. SOA ACCESS EASEMENT	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. 5' CONTOUR
PR. IMPROVED OPEN SPACE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. PROPERTY LINE
PR. ACTIVE OPEN SPACE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. RIGHT-OF-WAY
PR. SIDEWALK	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. ADJACENT PROPERTY LINE
PR. FENCE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. EASEMENT
PR. HANDICAP PARKING	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. FLOODPLAIN
PR. HANDICAP RAMP	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. NON-TIDAL WETLAND
PR. LOT NUMBER	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. STREAM BUFFER
PR. PARKING SPACE COUNT	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. BUILDING
PR. OPEN SPACE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. CURB
PR. LIMIT OF DISTURBANCE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. PAVEMENT/EDGE OF GUTTER
PR. TREE PROTECTION FENCE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. MALK
PR. TREE LINE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. STORMWATER
PR. 1' CONTOUR	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. TREE
PR. 5' CONTOUR	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. SLOSH DRAIN
EX. 1' CONTOUR	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. SANITARY LINE
EX. 5' CONTOUR	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. GAS LINE
EX. PROPERTY LINE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. INTERROAD ELECTRIC
EX. RIGHT-OF-WAY	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	EX. OVERHEAD ELECTRIC
EX. ADJACENT PROPERTY LINE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. EASEMENT	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. FLOODPLAIN	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. NON-TIDAL WETLAND	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. STREAM BUFFER	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. BUILDING	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. CURB	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. PAVEMENT/EDGE OF GUTTER	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. MALK	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. STORMWATER	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. TREE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. SLOSH DRAIN	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. SANITARY LINE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. GAS LINE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. INTERROAD ELECTRIC	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EX. OVERHEAD ELECTRIC	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
EXISTING PROPOSED	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
FIRE HYDRANT	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
WATER VALVE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
RESEWER	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
WATER METER	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
POWER POLE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
LIGHT POLE	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
PROP. TRASH CAN	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	
PROP. BENCH	PR. OPEN SPACE	PR. TREE PROTECTION FENCE	

MATCHLINE SEE SHEET C1.1

MATCHLINE SEE SHEET C1.3

MATCHLINE SEE SHEET C1.5

ACTIVE OPEN SPACE

PASSIVE OPEN SPACE

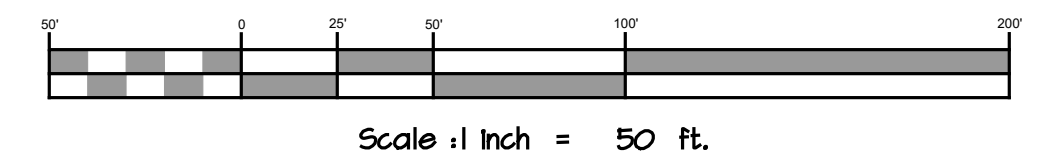
ACTIVE OPEN SPACE

SCM

STREET D

STREET B

ACTIVE OPEN SPACE



No.	DATE	REVISIONS	JOB NO.
O	06/01/2022	ORIGINAL SUBMITTAL	21790
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E	3/12/2024	REVISED PER USE CHANGE	DESIGN BY: PKN
			REVIEW BY: PKN

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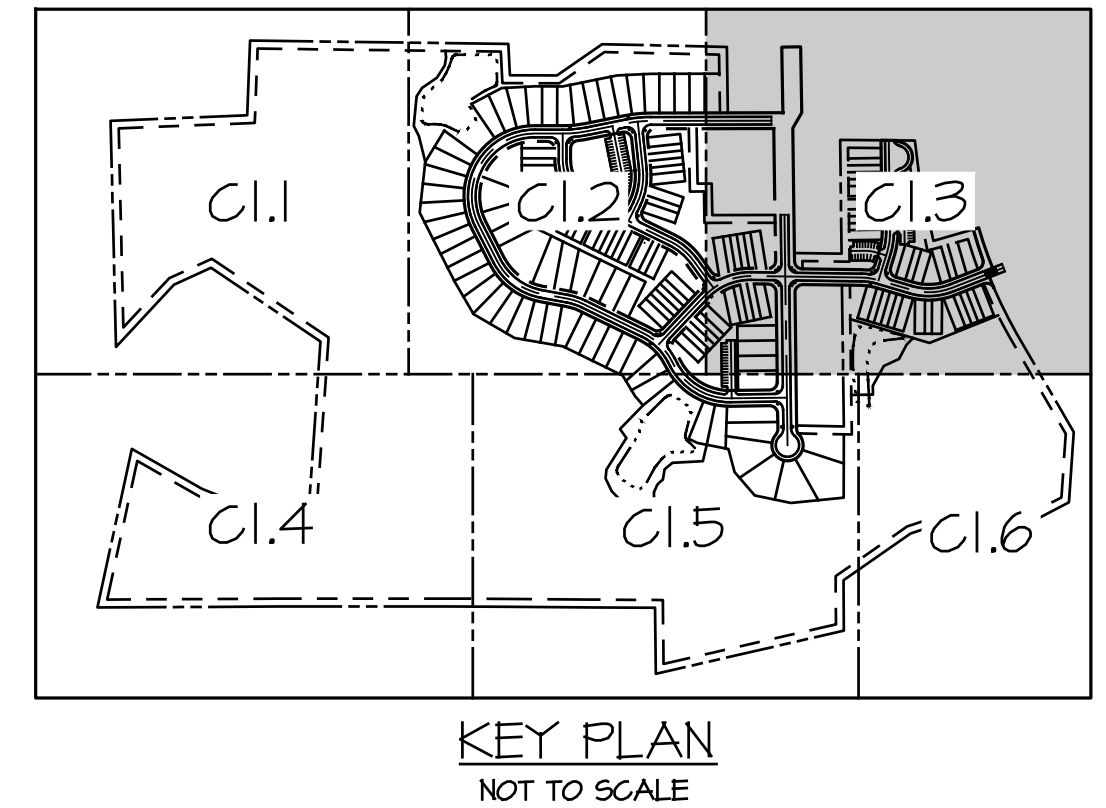
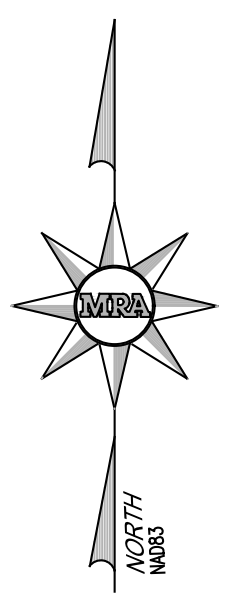
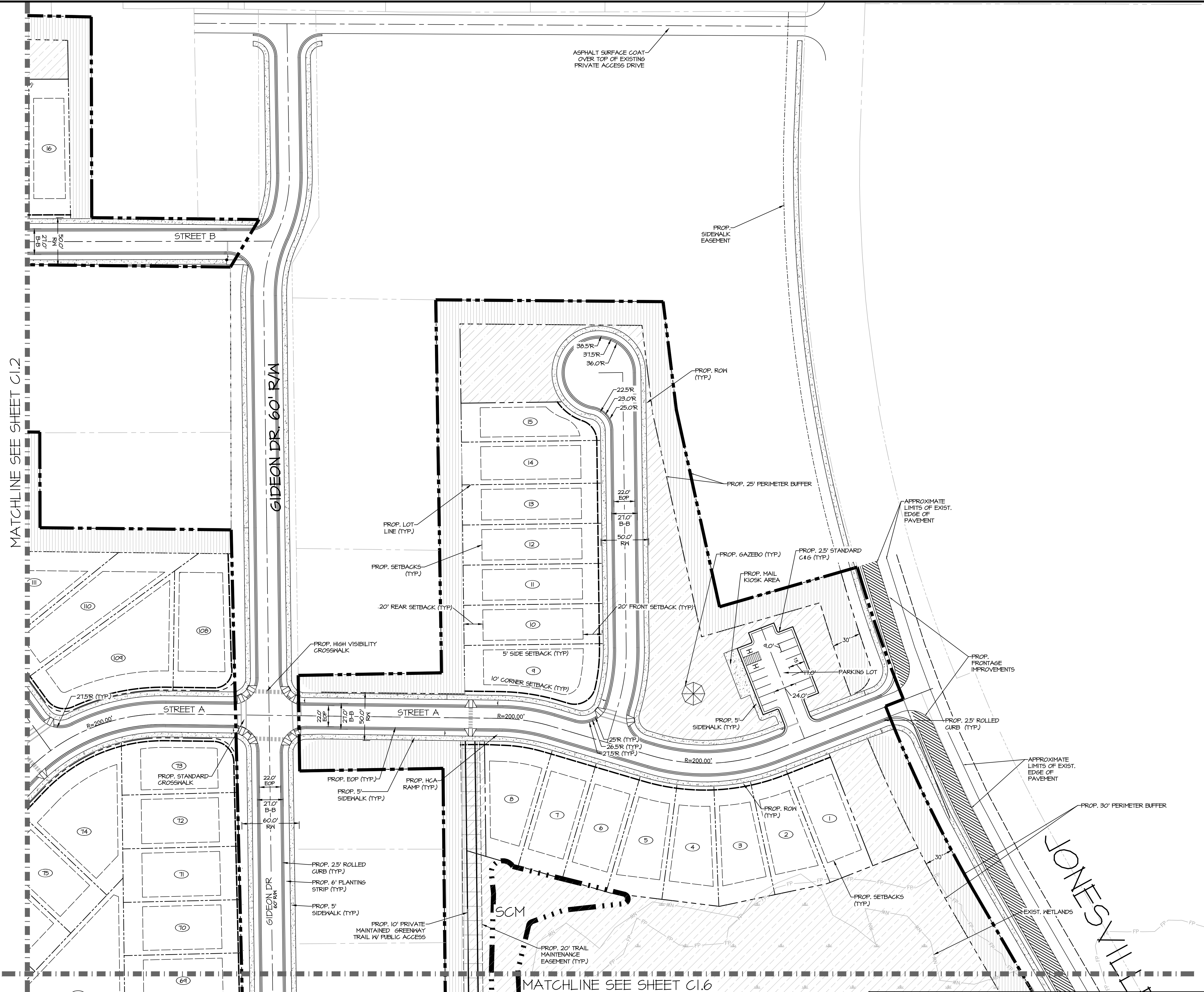
SITE PLAN - SHEET 2 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

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MRA

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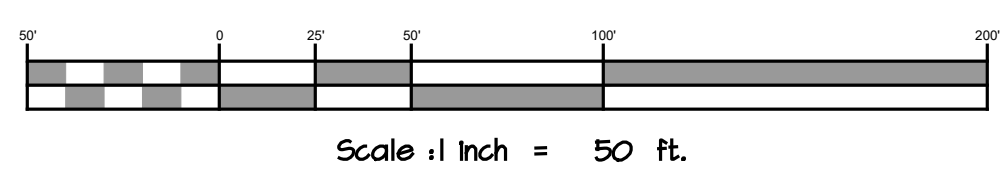
KEY PLAN NOT TO SCALE

LEGEND

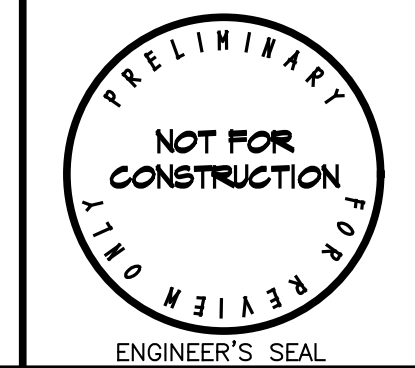
- List of symbols and their corresponding descriptions for various site plan elements like roads, easements, and utilities.

MATCHLINE SEE SHEET C1.2

MATCHLINE SEE SHEET C1.6



Scale: 1 inch = 50 ft.



SITE PLAN - SHEET 3 OF 6 FOR HARRIS CREEK FARMS TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

Table with columns: No., DATE, REVISIONS, JOB NO., SCALE, DATE, ENGINEER, DRAWN BY, DESIGN BY, REVIEW BY.



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MATCHLINE SEE SHEET C1.1

ACTIVE OPEN SPACE

PASSIVE OPEN SPACE

PROP. 25' PERIMETER BUFFER

EXIST. WETLANDS (TYP.)

EXIST. SEWER (TYP.)

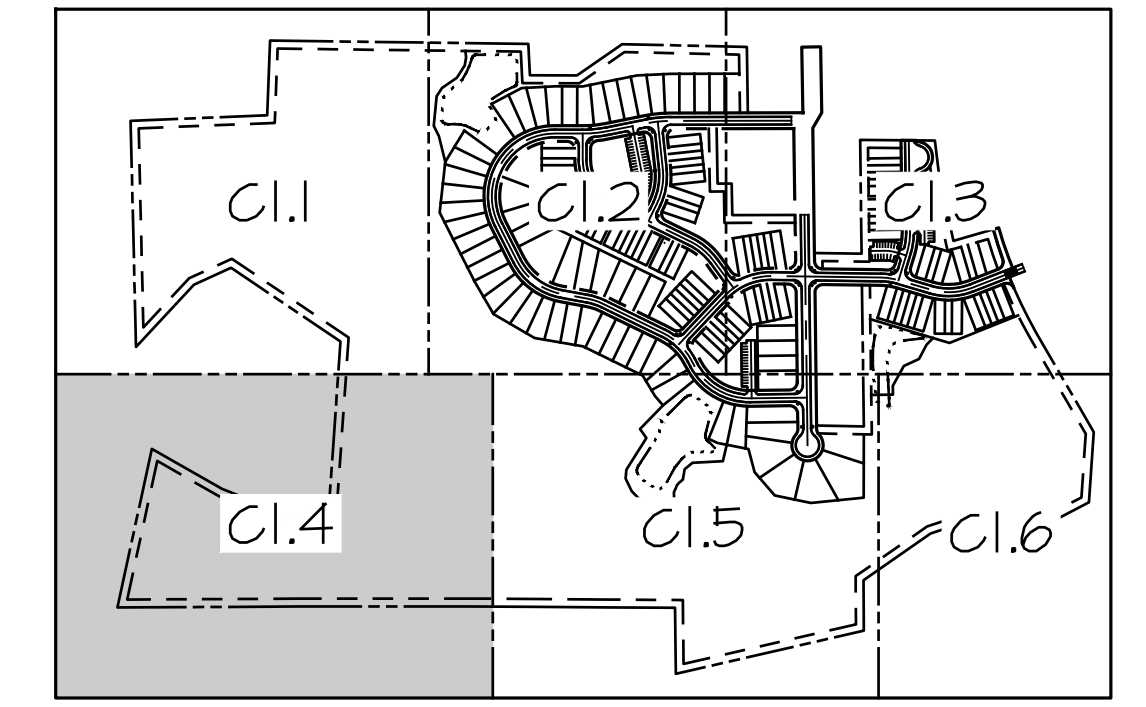
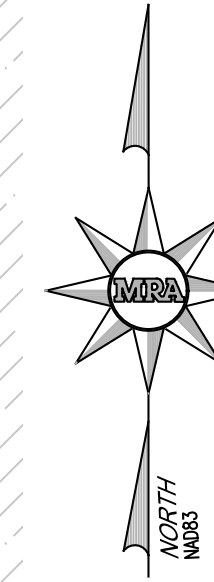
EXIST. SEWER EASEMENT (TYP.)

PROP. 30' GREENWAY EASEMENT (TYP.) AND PROP. 10' MULTI-USE PATH (TYP.)

PROP. 25' PERIMETER BUFFER

ADJACENT PROPERTY OWNER (TYP.)

MATCHLINE SEE SHEET C1.5

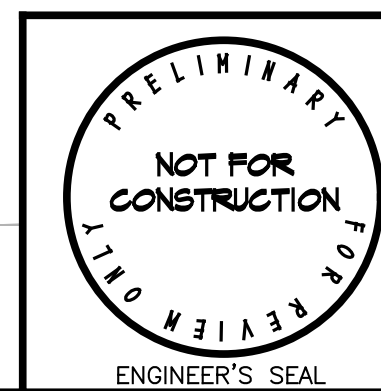
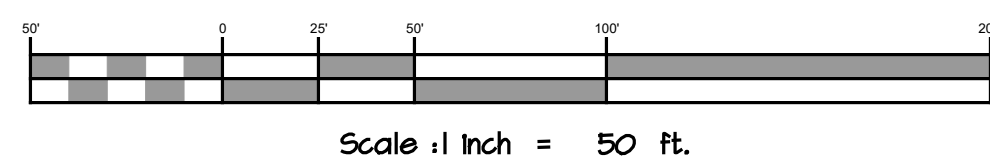


KEY PLAN NOT TO SCALE

LEGEND


- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. LIGHT DUTY PAVEMENT
- PR. HEAVY DUTY PAVEMENT
- PR. 20' FISHWATER BUFFER
- PR. 50% ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LINE OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 5' CONTOUR
- PR. 10' CONTOUR
- PR. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/POUND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REDDER
- WATER METER
- POWER POLE
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH

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SITE PLAN - SHEET 4 OF 6
 FOR
HARRIS CREEK FARMS
 TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

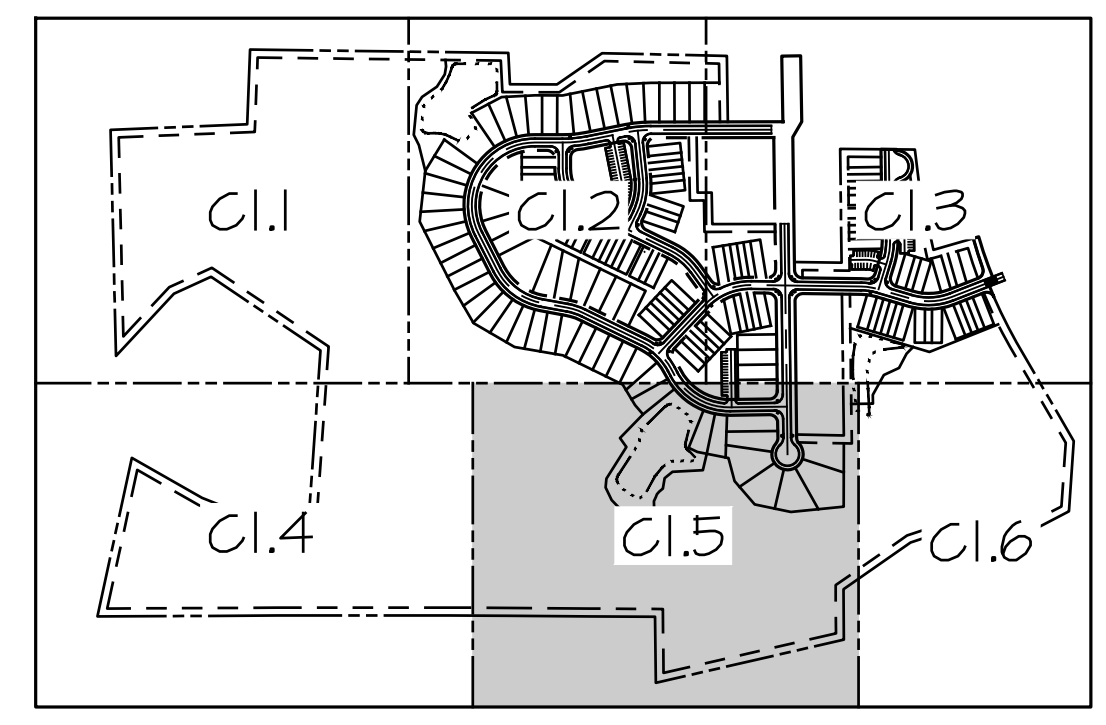
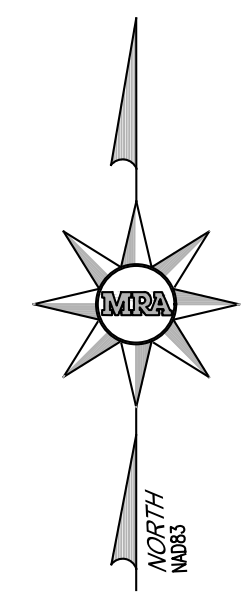
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B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
C	01/11/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 3/12/2024
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	ENGINEER: JMK
E	3/12/2024	REVISED PER USE CHANGE	DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: PKN



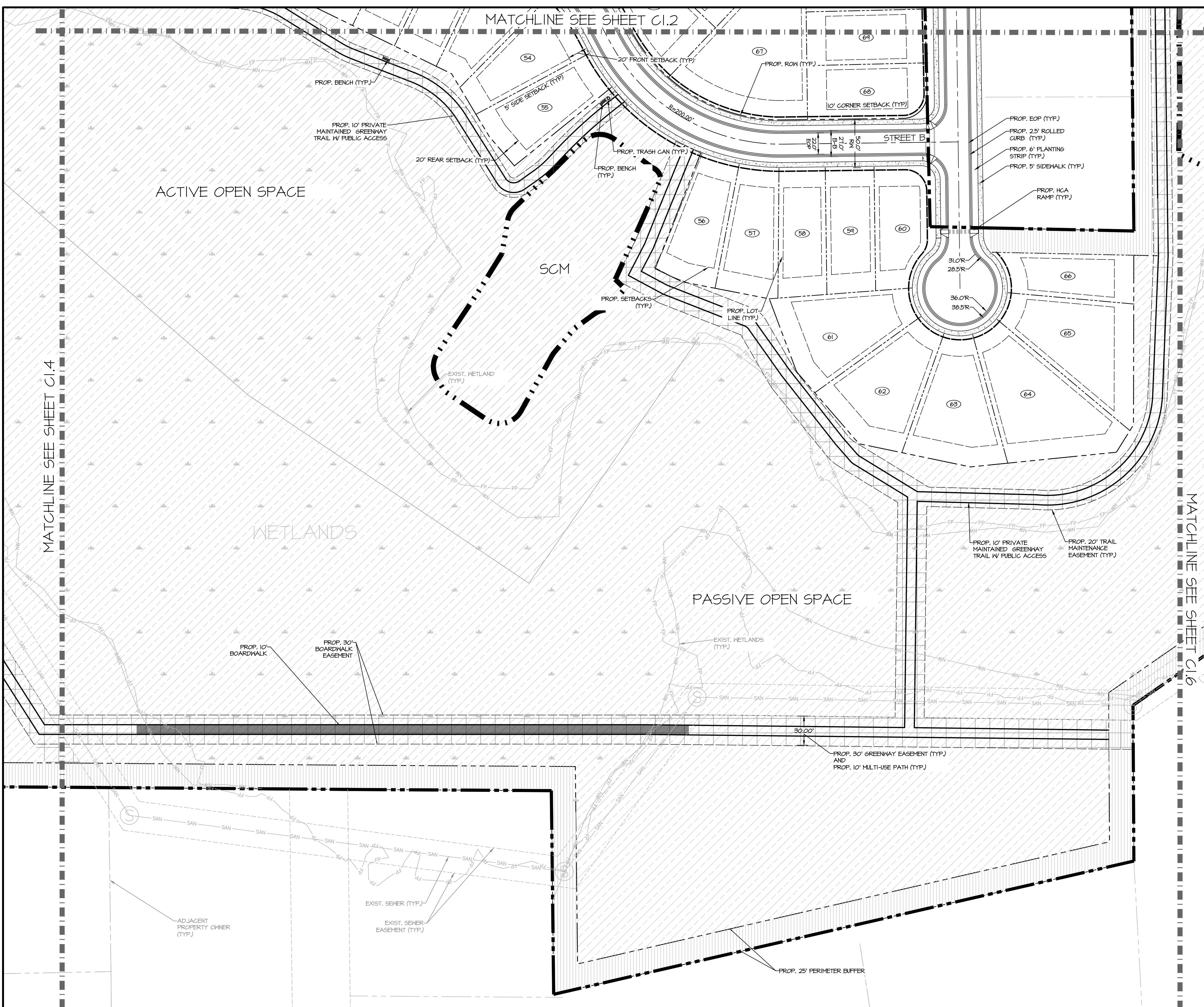
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MATCHLINE SEE SHEET C1.2



KEY PLAN
NOT TO SCALE

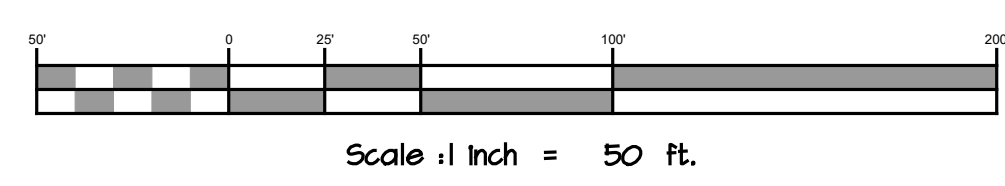


MATCHLINE SEE SHEET C1.4

MATCHLINE SEE SHEET C1.6

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EXISTING
- PR. BUILDING
- PR. CORNER SETBACK
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. 5' SIDEWALK (TYP.)
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBERS
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LINE OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 2' CONTOUR
- PR. 3' CONTOUR
- PR. 4' CONTOUR
- PR. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. STREAM
- EX. BUILDING
- EX. GROUND
- EX. PAVEMENT/EDGE OF CUTTER
- EX. WALK
- EX. STREAM/POUND
- EX. TRAIL
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REDUCER
- WATER HEATER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



Scale: 1 inch = 50 ft.



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SITE PLAN - SHEET 5 OF 6

FOR
HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

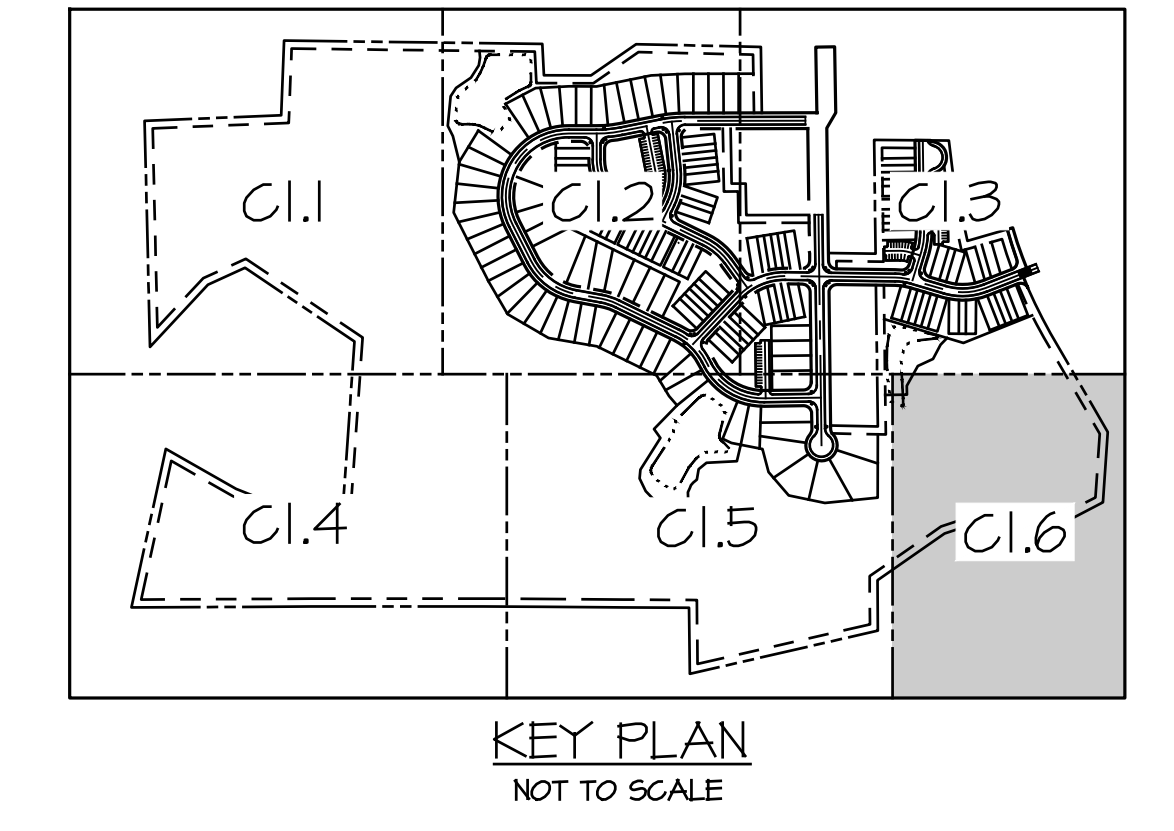
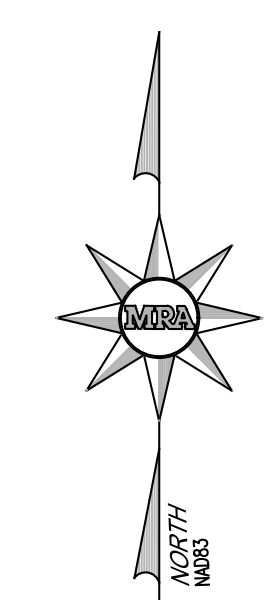
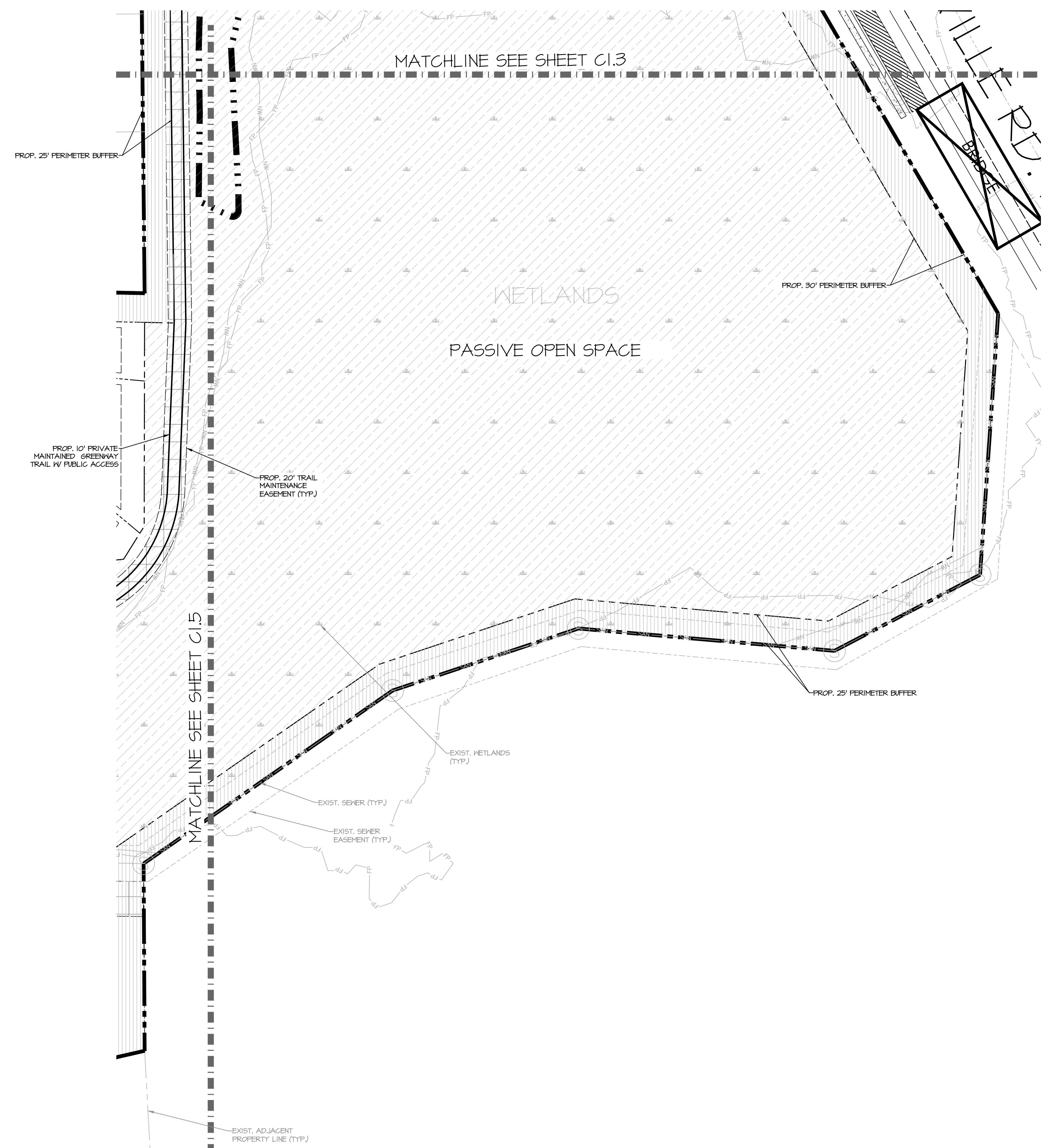
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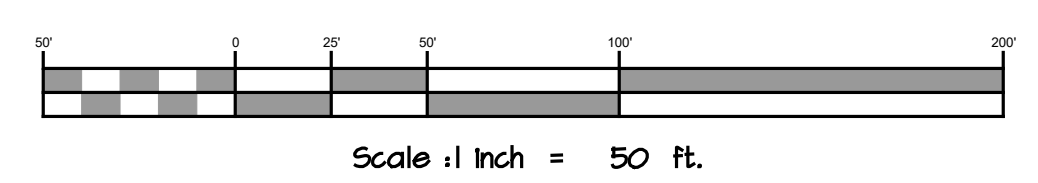
No.	DATE	REVISIONS	JOB NO.
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E	3/12/2024	REVISED PER USE CHANGE	DESIGN BY: PKN
			REVIEW BY: PKN

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LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- 20' PERIMETER BUFFER
- PR. 50ft ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 5' CONTOUR
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOORPLAN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALK
- EX. STREAM/POUND
- EX. TREE LINE
- EX. TREE
- EX. STORY DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REXISER
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



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			DESIGN BY: PKN
			REVIEW BY: PKN

SITE PLAN - SHEET 6 OF 6
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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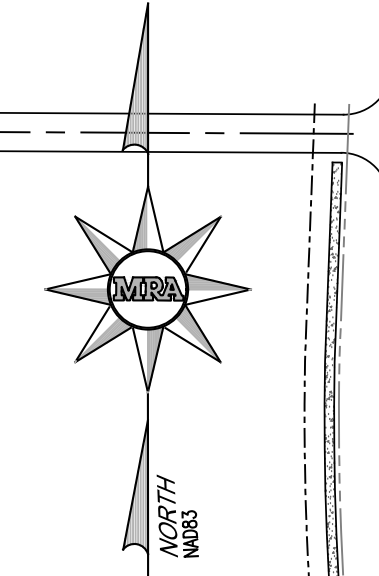
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REVISION: **E**

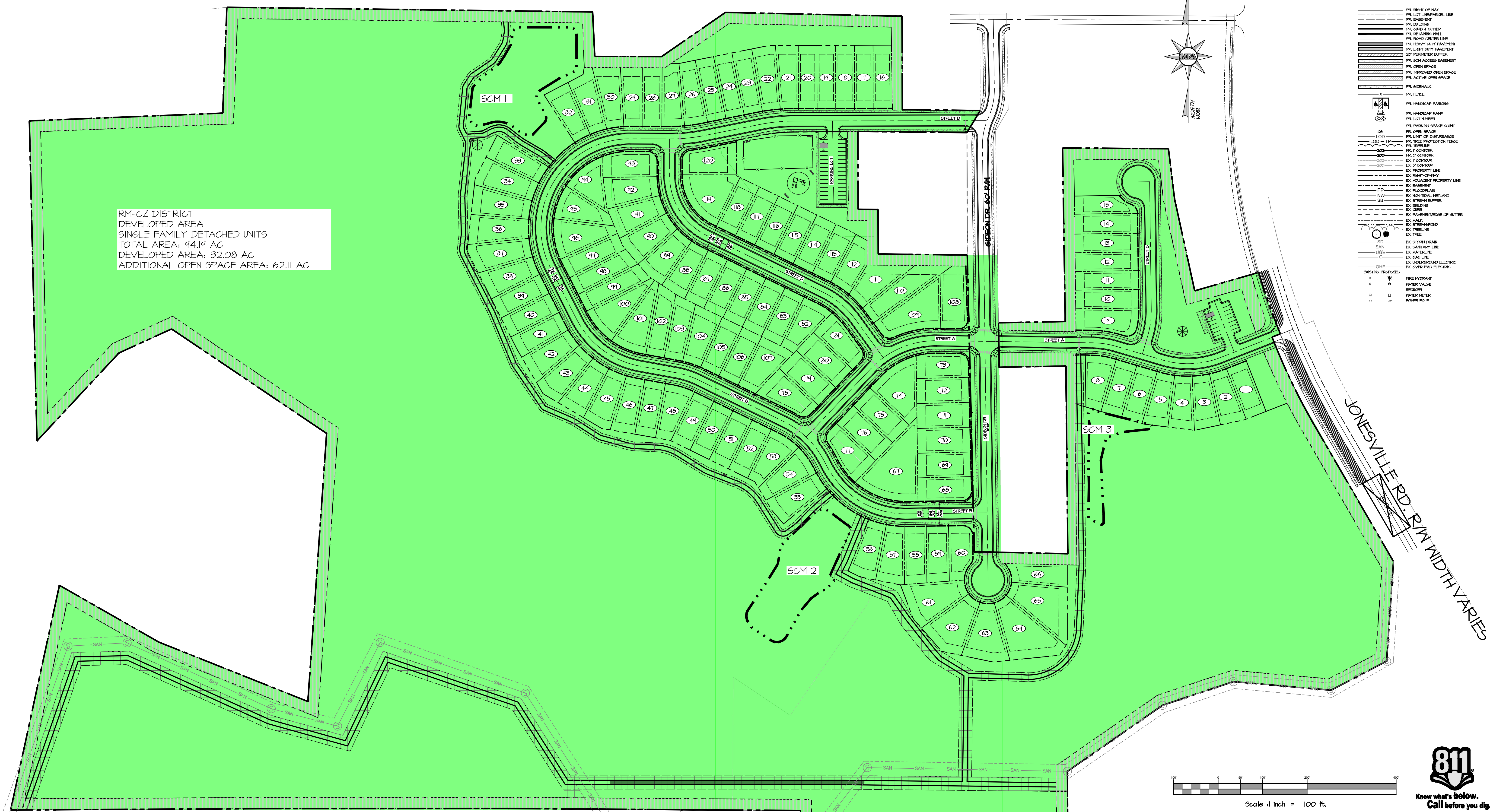
SHEET: **C1.6**

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. 20' PERIMETER BUFFER
- PR. SCM ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. SIDEWALK
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' CONTOUR
- PR. 5' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CURB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. MALE
- EX. STREASHPOND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. SAN LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC



RM-CZ DISTRICT
DEVELOPED AREA
SINGLE FAMILY DETACHED UNITS
TOTAL AREA: 94.19 AC
DEVELOPED AREA: 32.08 AC
ADDITIONAL OPEN SPACE AREA: 62.11 AC



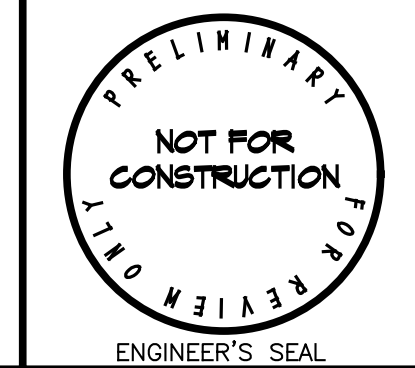
JONESVILLE RD. - R/W WIDTH VARIES

LEGEND
RESIDENTIAL MEDIUM DENSITY-
CONDITIONAL ZONING:

DEVELOPED AREA: 32.08 ACRES
TOTAL AREA: 94.19 ACRES
UNITS: 120 SF UNITS
DENSITY: 120/94.19 = 1.28 UNITS/ACRE

RESIDENTIAL MEDIUM DENSITY OPEN SPACE
REQUIRED: 11.31 AC
PROVIDED: 62.11 AC

Scale: 1 inch = 100 ft.



OVERALL ZONING PLAN
FOR
HARRIS CREEK FARMS
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



MORRIS & RITCHE ASSOCIATES OF NC, PC
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
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No.	DATE	REVISIONS	JOB NO.
O	06/01/2022	ORIGINAL SUBMITTAL	21790
A	09/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	DATE: 3/12/2024
C	01/1/2023	REVISED PER TOWN OF ROLESVILLE COMMENTS	ENGINEER: JMK
D	12/15/2023	REVISED PER PLANNING BOARD & TOWN STAFF COMMENTS	DRAWN BY: ER/JM
E	3/12/2024	REVISED PER USE CHANGE	DESIGN BY: PKN
			REVIEW BY: PKN

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **E** SHEET: **C1.7**

