

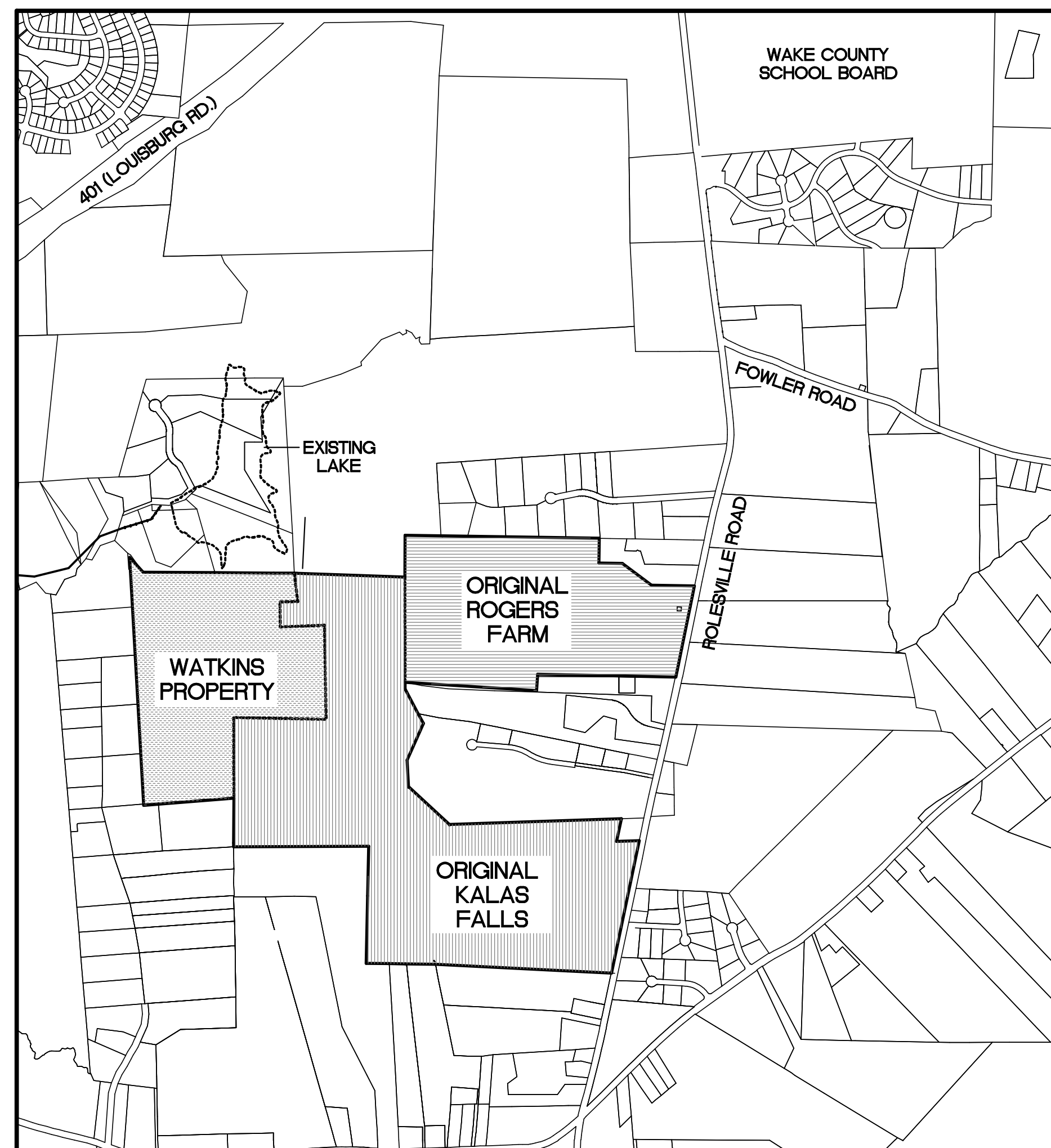
# SPECIAL USE PERMIT APPLICATION

## FOR

# KALAS FALLS R & PUD

## ROLESVILLE ROAD, ROLESVILLE

## WAKE COUNTY, NORTH CAROLINA



VICINITY MAP SCALE: 1"=1000'

THESE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE FOLLOWING DRAWINGS AND THE STANDARD SPECIFICATIONS OF THE CITY OF RALEIGH, WAKE COUNTY, AND NCDOT.

**GENERAL NOTES:**

1. ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.
4. ALL BOUNDARY AND FIELD TOPOGRAPHY PROVIDED BY WITHERS & RAVENEL.

**SHEET INDEX**

|      |                              |
|------|------------------------------|
| CVR  | COVER SHEET                  |
| EX1  | EXISTING CONDITION           |
| SM1  | SOILS MAP                    |
| 1    | OPEN SPACE AND LAND USE PLAN |
| 2    | OVERALL SITE PLAN            |
| 3-6  | 100 SCALE SITE PLAN          |
| 7    | PRELIMINARY TOWNHOUSE LAYOUT |
| 8    | OVERALL UTILITY PLAN         |
| 9-12 | 100 SCALE UTILITY PLAN       |
| 13   | PHASING PLAN                 |

**DEVELOPER**

MITCHELL MILL ROAD INVESTORS LLC  
 CONTACT: KARL BLACKLEY  
 100 WESTON ESTATES WAY  
 CARY, NC 27513  
 PHONE: 919-481-3000  
 FAX: 919-677-8600

**OWNER**

MITCHELL MILL ROAD INVESTORS LLC  
 CONTACT: KARL BLACKLEY  
 100 WESTON ESTATES WAY  
 CARY, NC 27513  
 PHONE: 919-481-3000  
 FAX: 919-677-8600

**OWNER**

THE WATKINS FAMILY, L.L.C.  
 CONTACT: RICHARD WATKINS  
 6528 WILSHIRE DR.  
 FUQUAY VARINA, NC 27526

**BUFFER/WETLAND**

WITHERS RAVENEL  
 CONTACT: TROY BEASLEY  
 115 MACKENAN DRIVE  
 CARY, NC 27511  
 PHONE: 919-469-3340  
 FAX: 919-467-6008

**SURVEYOR**

WITHERS RAVENEL  
 CONTACT: MATT TIMLIN  
 115 MACKENAN DRIVE  
 CARY, NC 27513  
 PHONE: 919-469-3340

| No. | Date     | Revision  | Dwn/Chk |
|-----|----------|---|---------|
| 3   | 11/12/19 | UPDATE PLANS PER LATEST CONDITIONS              | BAH/HJG |
| 2   | 06/26/19 | TOWN OF ROLESVILLE COMMENTS REC. ON 6/12/2019   | BAH/BT  |
| 1   | 05/29/19 | TOWN OF ROLESVILLE COMMENTS RECEIVED 05/13/2019 | BAH/BT  |

**COVER SHEET**

FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE ROAD**  
 WAKE COUNTY, NORTH CAROLINA

9900.50

DSN/CHK BY: BT DATE: 04/24/2019  
 DWN BY: BAH DATE: 04/24/2019  
 VRT SCALE: NONE HRZ SCALE: NONE

Sheet:

**CVR**

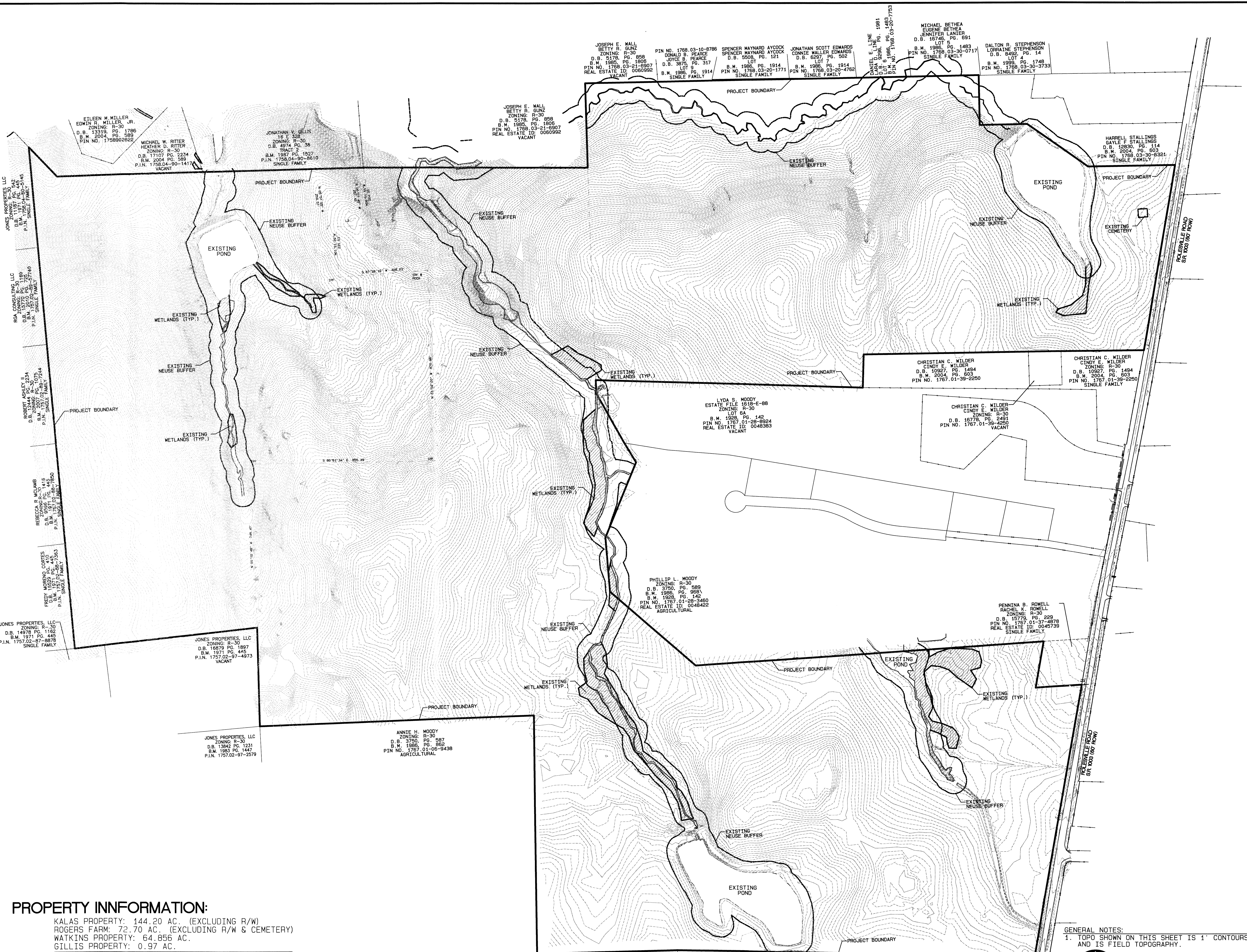
P.E. Seal and Signature

**KALAS FALLS**

**Hugh J. Gilleece and Associates**  
 BUSINESS LIC. # C-496  
 875 Walnut Street Suite 360 Cary, NC Phone: (919)469-1101



**Hugh J. Gillece  
and Associates**  
875 Walnut Street  
Suite 360  
Cary, NC 27511  
BUSINESS LIC. # C-496  
Phone: (919)469-1101



**PROPERTY INFORMATION:**

KALAS PROPERTY: 144.20 AC. (EXCLUDING R/W)  
ROGERS FARM: 72.70 AC. (EXCLUDING R/W & CEMETERY)  
WATKINS PROPERTY: 64.856 AC.  
GILLIS PROPERTY: 0.97 AC.  
TOTAL ACREAGE: 282.726 AC.

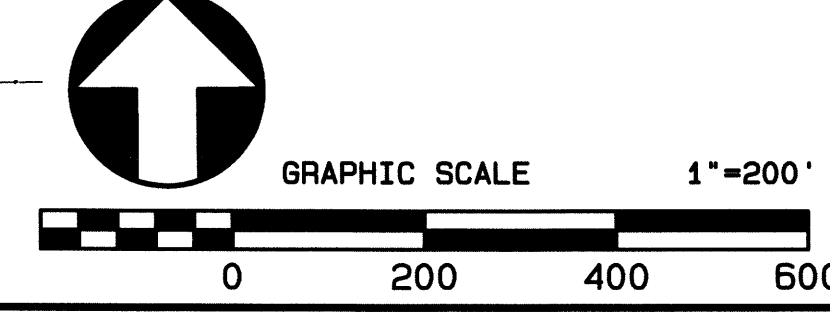
ANNIE H. MOODY  
ZONING: R-30  
D.B. 3750 PG. 587  
B.M. 1985 PG. 869  
PIN NO. 1767-01-06-5438  
AGRICULTURAL

BERNARD B. BAILEY  
ZONING: R-30  
D.B. 1986 PG. 862  
B.M. 1986 PG. 869  
PIN NO. 1767-01-06-5438  
AGRICULTURAL

BERNARD B. BAILEY  
ZONING: R-30  
D.B. 1986 PG. 862  
B.M. 1986 PG. 869  
PIN NO. 1767-01-06-5438  
AGRICULTURAL

SUE SCARBORO PARKER  
ZONING: R-30  
D.B. 3896 PG. 818  
LOT 6 B.M. 1947 PG. 78  
PIN NO. 1767-01-06-4441  
VACANT

GENERAL NOTES:  
1. TOPO SHOWN ON THIS SHEET IS 1" CONTOURS AND IS FIELD TOPOGRAPHY.

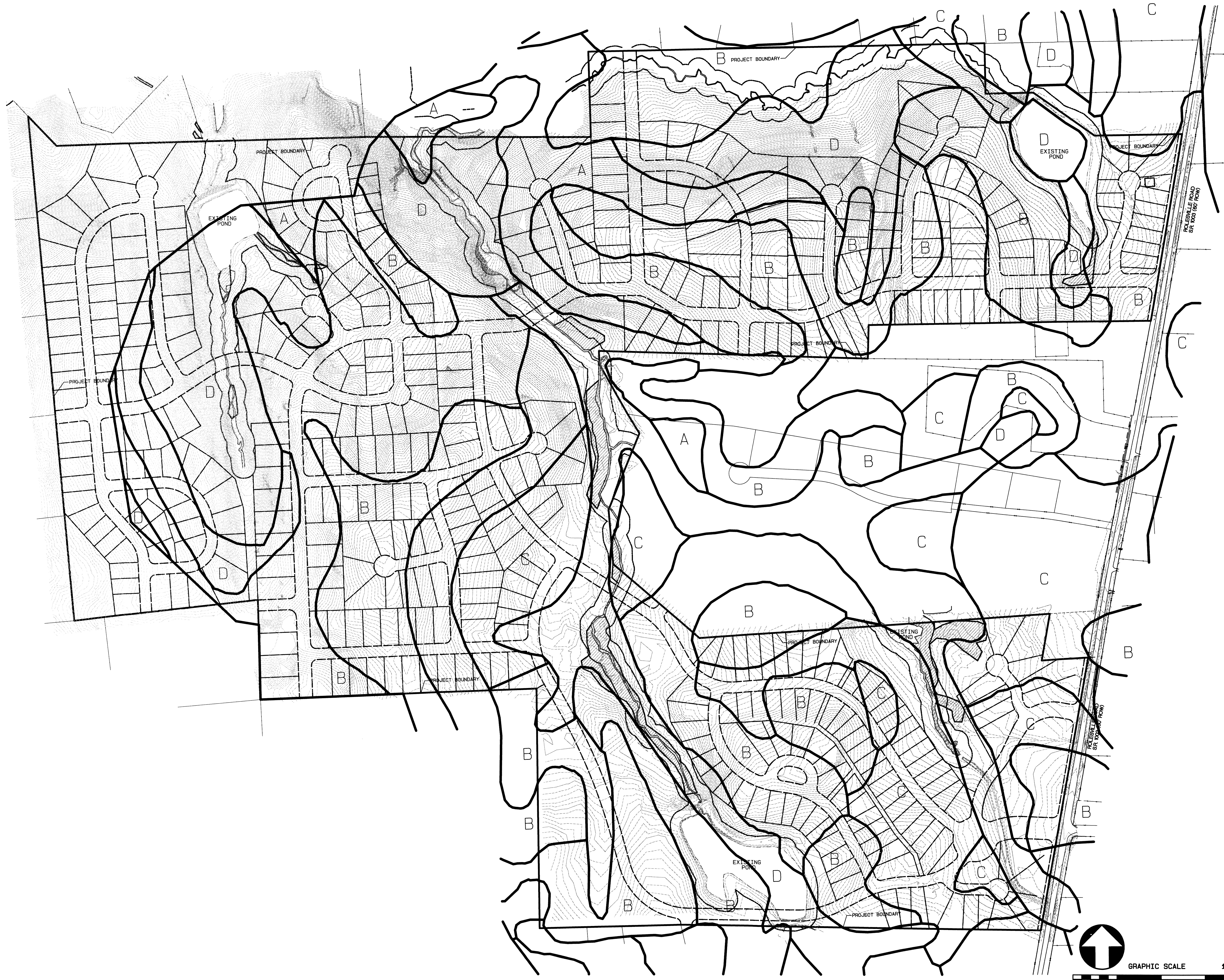


| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |

**EXISTING PROPERTY BOUNDARY**  
FOR  
**KALAS FALLS**  
SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
DSN/CHK BY: BT  
DWN BY: BAH  
DATE: 04/24/2019  
HRZ SCALE: 1" = 200'  
VRT SCALE: NONE

SHEET NO.  
**EX1**



Hugh J. Gilleece  
 and Associates  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101

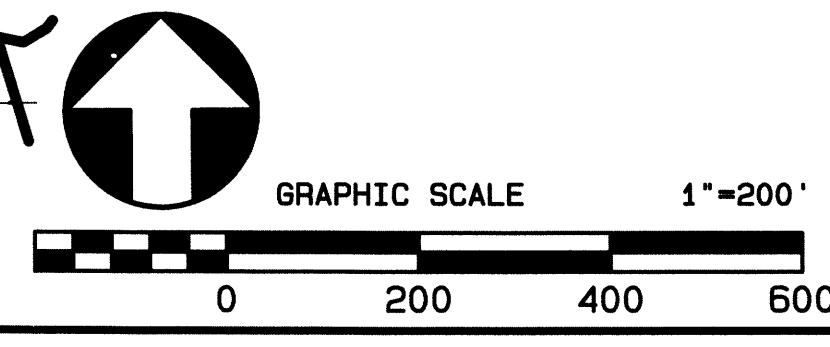
| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |
|     |      |          |
|     |      |          |
|     |      |          |

FILE: Y:\Jobs\9900\Watkins\_Property\GMP\Temporary\Brad\Kalas\_Rodgers\_Matkins\_Tied Layout revised Entrance.pro  
 DSN/CHK BY: BT  
 DKN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 200'  
 VRT SCALE: NONE

**SOILS MAP**  
 FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
 DSN/CHK BY: BT  
 DKN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 200'  
 VRT SCALE: NONE

SHEET NO.  
**SM1**



**Hugh J. Gilleece and Associates**  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101

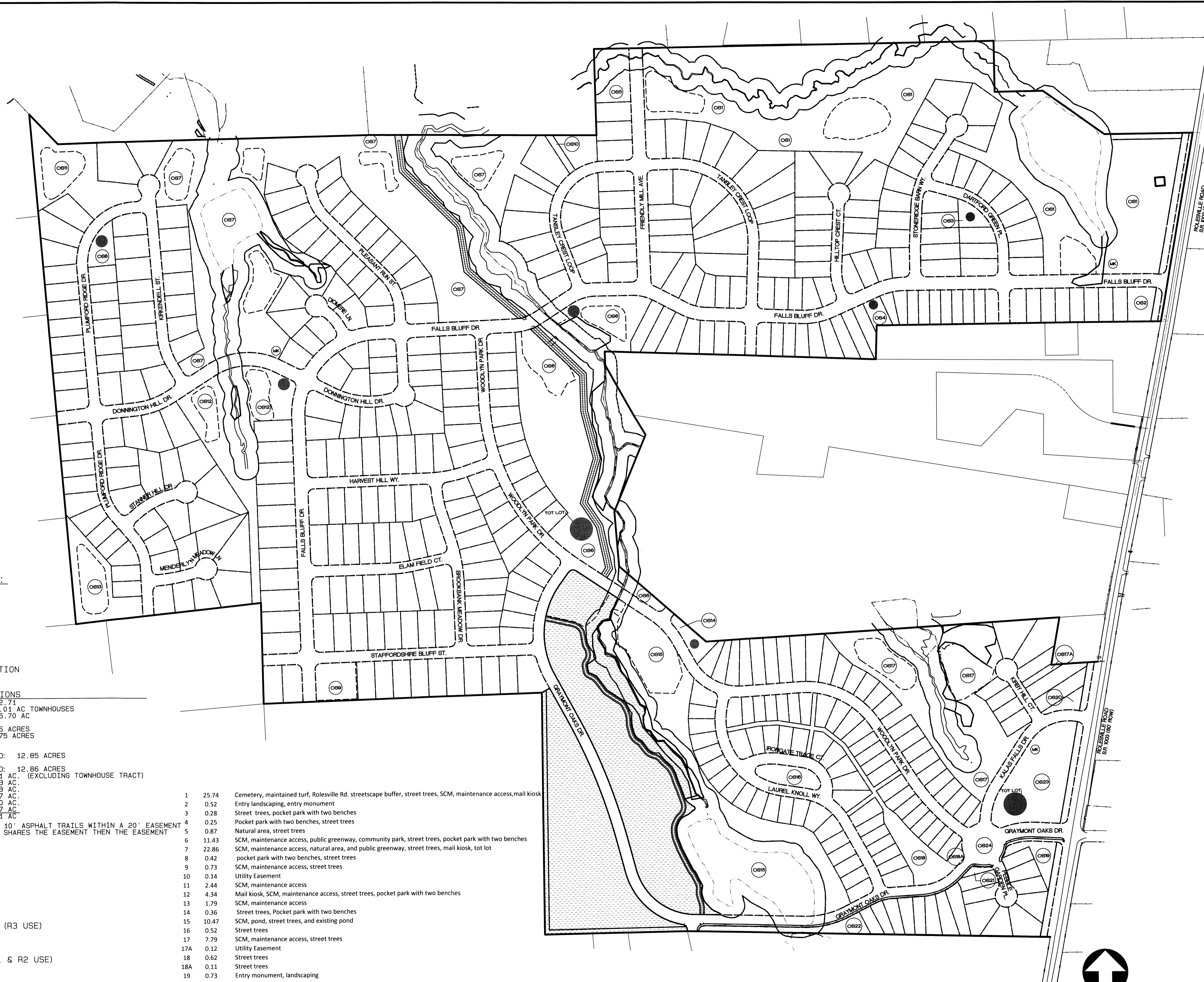
| NO. | DATE     | REVISION                 |
|-----|----------|--------------------------|
| 1   | 06/29/19 | PRELIMINARY              |
| 2   | 08/29/19 | FINAL LOT BOUNDARIES     |
| 3   | 10/30/19 | UPDATED OPEN SPACE AREAS |

FILE: Y:\Jobs\9900\Watkins\_Property\dwg\Temporary\Brad\Kallas\_Rodgers\_Watkins\_Tied\_Layout\_revised\_Entrance.dwg  
 Lot Date: 11/13/2019 Time: 11:35AM

**OPEN SPACE AND LAND USE PLAN**  
 FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 200'  
 VRT SCALE: NONE

SHEET NO.  
**1**



**OPEN SPACE LEGEND:**

- TOT LOT
- POCKET PARK
- MAIL KIOSK LOCATION

**OPEN SPACE CALCULATIONS**  
 PROJECT ACREAGE: 282.71  
 LESS 17.01 AC TOWNHOUSES  
 PROJECT GROSS ACREAGE: 265.70 AC  
 OPEN SPACE REQUIRED: 26.6 ACRES  
 OPEN SPACE PROVIDED: 96.75 ACRES

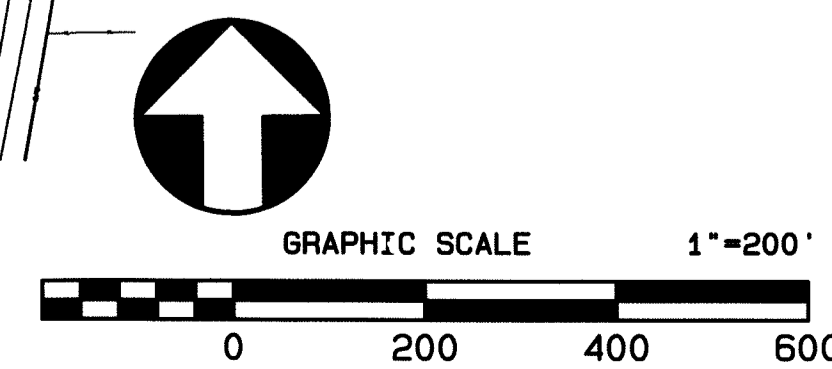
ACTIVE OPEN SPACE REQUIRED: 12.85 ACRES  
 ACTIVE OPEN SPACE PROVIDED: 12.86 ACRES  
 \* GREENWAY TRAILS: 1.91 AC. (EXCLUDING TOWNHOUSE TRACT)  
 COMMUNITY RECREATION: 2.93 AC.  
 COMMUNITY PARK 1: 0.98 AC.  
 COMMUNITY PARK 2: 2.77 AC.  
 POCKET PARKS: 1.40 AC.  
 EXISTING KALAS POND: 2.87 AC.  
 13.01 AC

\* GREENWAY TRAILS ARE TO BE 10' ASPHALT TRAILS WITHIN A 20' EASEMENT UNLESS THE SANITARY SEWER SHARES THE EASEMENT THEN THE EASEMENT WIDTH IS 30'.

**LAND USE LEGEND:**

- GOVERNMENTAL USE (1.91 AC.)
- FUTURE TOWNHOMES (R3 USE) (17.01 AC.)
- SINGLE FAMILY (R1 & R2 USE) (263.79 AC.)

|     |       |  |
|-----|-------|--|
| 1   | 25.74 | Cemetery, maintained turf, Rolesville Rd. streetscape buffer, street trees, SCM, maintenance access, mail kiosk                        |
| 2   | 0.52  | Entry landscaping, entry monument  |
| 3   | 0.28  | Street trees, pocket park with two benches   |
| 4   | 0.25  | Pocket park with two benches, street trees   |
| 5   | 0.87  | Natural area, street trees   |
| 6   | 11.43 | SCM, maintenance access, public greenway, community park, street trees, pocket park with two benches                                   |
| 7   | 22.86 | SCM, maintenance access, natural area, and public greenway, street trees, mail kiosk, tot lot  |
| 8   | 0.42  | pocket park with two benches, street trees   |
| 9   | 0.73  | SCM, maintenance access, street trees  |
| 10  | 0.14  | Utility Easement   |
| 11  | 2.44  | SCM, maintenance access  |
| 12  | 4.34  | Mail kiosk, SCM, maintenance access, street trees, pocket park with two benches  |
| 13  | 1.79  | SCM, maintenance access  |
| 14  | 0.36  | Street trees, Pocket park with two benches   |
| 15  | 10.47 | SCM, pond, street trees, and existing pond   |
| 16  | 0.52  | Street trees   |
| 17  | 7.79  | SCM, maintenance access, street trees  |
| 17A | 0.12  | Utility Easement   |
| 18  | 0.62  | Street trees   |
| 18A | 0.11  | Street trees   |
| 19  | 0.73  | Entry monument, landscaping  |
| 20  | 0.37  | Entry monument, landscaping  |
| 21  | 0.08  | Street trees   |
| 22  | 0.61  | Street trees   |
| 23  | 2.94  | Community rec area including pool house, cabana, junior olympic pool, 2 pickleball, courts, tot lot, street trees, mail kiosk, parking |
| 24  | 0.22  | Landscaping  |
|     | 96.75 |  |



| NO. | DATE       | REVISION                                      |
|-----|------------|---|
| 1   | 05/22/2019 | TOWN OF ROLESVILLE COMMENTS REC. ON 5/22/2019 |
| 2   | 06/12/2019 | TOWN OF ROLESVILLE COMMENTS REC. ON 6/12/2019 |
| 3   | 06/28/2019 | FINAL LOT REVISIONS                           |
| 4   | 10/30/2019 | UPDATED OPEN SPACE AND MIN. LOT SIZES         |
| 5   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS           |

**OVERALL SITE PLAN FOR KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\Brad\Kallas\Rodgers\Watkins\_Tied Layout revised Entrance.dwg  
 Time: 11:58AM  
 Job # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 200'  
 VRT SCALE: NONE  
 SHEET NO. 2



**SITE DATA**  
 OWNER: THE WATKINS FAMILY, LLC  
 6528 WILSHIRE DRIVE  
 FUGUAY-VARINA, NC 27529  
 OWNER: MITCHELL MILL ROAD INVESTORS, LLC  
 400 WESTON ESTATES WAY  
 CARY, NC 27519  
 PARCEL ADDRESS: 1600 & 1832 ROLESVILLE ROAD, ROLESVILLE NC  
 PIN NUMBER: 1767-17-8299, 1767-08-3228, 1768-00-2153, 1767-29-5866  
 DEED BOOK: DB 01940 PG 01155, DB 012007 PG 02228  
 DECIDED ACREAGE: 284.44 AC  
 TOTAL PROJECT AREA: 282.71 AC (MINUS ROW AREA TO RD CL)  
 GOVERNMENTAL USE: 1.91 AC  
 TOTAL AREA IN FUTURE TOWNHOMES: 17.01 AC  
 AREA IN ROW: 38.57 AC  
 AREA IN OPEN SPACE PROVIDED: 95.75 AC  
 AREA IN LOTS: 128.47 AC  
 EXISTING ZONING: R-2 (ROLESVILLE) R-15 (WAKE CO.)  
 PROPOSED ZONING: R6 P.U.D.  
 MAX. # OF LOTS: 550 LOTS  
 SINGLE FAMILY LOTS PROPOSED: 455 LOTS  
 MAX. # OF TOWNHOMES: 95 UNITS  
 MIN. LOT WIDTH: 50'  
 MIN. LOT SIDE PROVIDED: 6,000 SF  
 LF OF PUBLIC STREETS: 32,109 LF  
 IMPERVIOUS AREA: 67.86 AC  
 PERCENT IMPERVIOUS: 24%

**SETBACK TABLE TH'S**

|       | MINIMUM |
|-------|---------|
| FRONT | 18'     |
| REAR  | 15'     |
| SIDE  | 0'      |

MIN. 16' BUILDING SEPARATION

**SETBACK TABLE SINGLE FAMILY**

|               | 50'   | 50' W ALLEY | 50'-60' | 60'-70' | 70'-80' | 80'-100' | 100' + |
|---------------|-------|-------------|---------|---------|---------|----------|--------|
| FRONT         | 20'   | 15'         | 20'     | 25'     | 25'     | 25'      | 25'    |
| REAR          | 20'   | 15'         | 20'     | 25'     | 25'     | 25'      | 30'    |
| SIDE          | **    | **          | **      | *       | *       | 10'      | 12'    |
| CORNER SIDE   | 10'   | 10'         | 10'     | 10'     | 10'     | 15'      | 18'    |
| MIN. LOT SIZE | 6,000 | 6,000       | 6,000   | 6,600   | 8,400   | 10,400   | 14,000 |

\* AGGREGATE 12", MIN. 5"  
 \*\* MIN. 3" AGGREGATE 10"

GENERAL NOTE:  
 ROLESVILLE ROAD WILL BE WIDENED WITHIN SECTION A-B IF THE R/W AND NECESSARY EASEMENTS CAN BE PROVIDED BY OTHERS.

**Hugh J. Gillece  
and Associates**  
875 Walnut Street  
Suite 360  
Cary, NC 27511  
BUSINESS LIC. # C-496  
Phone: (919)469-1101

| NO. | DATE       | REVISION                                      |
|-----|------------|---|
| 1   | 06/26/2019 | TOWN OF ROLESVILLE COMMENTS REC. ON 6/12/2019 |
| 2   | 10/02/2019 | UPDATE OPEN SPACE AND MIN. LOT SIZES          |
| 3   | 10/02/2019 | UPDATE PLANS PER REVISED CONDITIONS           |
| 4   | 11/12/2019 |   |

FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\Brad\Kas\Rodgers\Watkins\_Tied Layout revised Entrance.dwg  
 PRELIMINARY LAYOUT FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 100'  
 VRT SCALE: NONE  
 SHEET NO. **3**



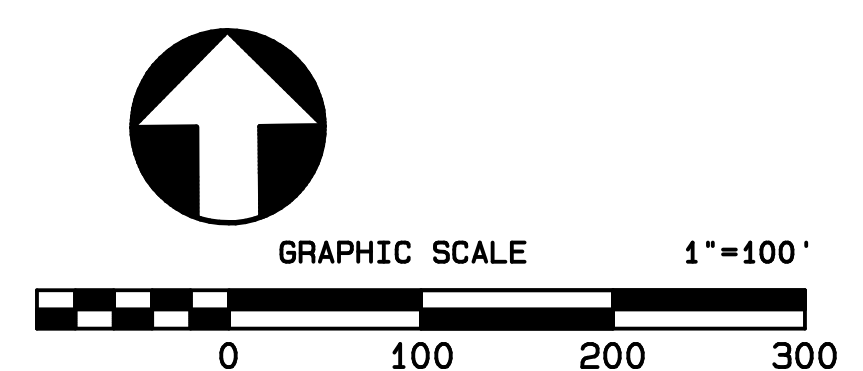
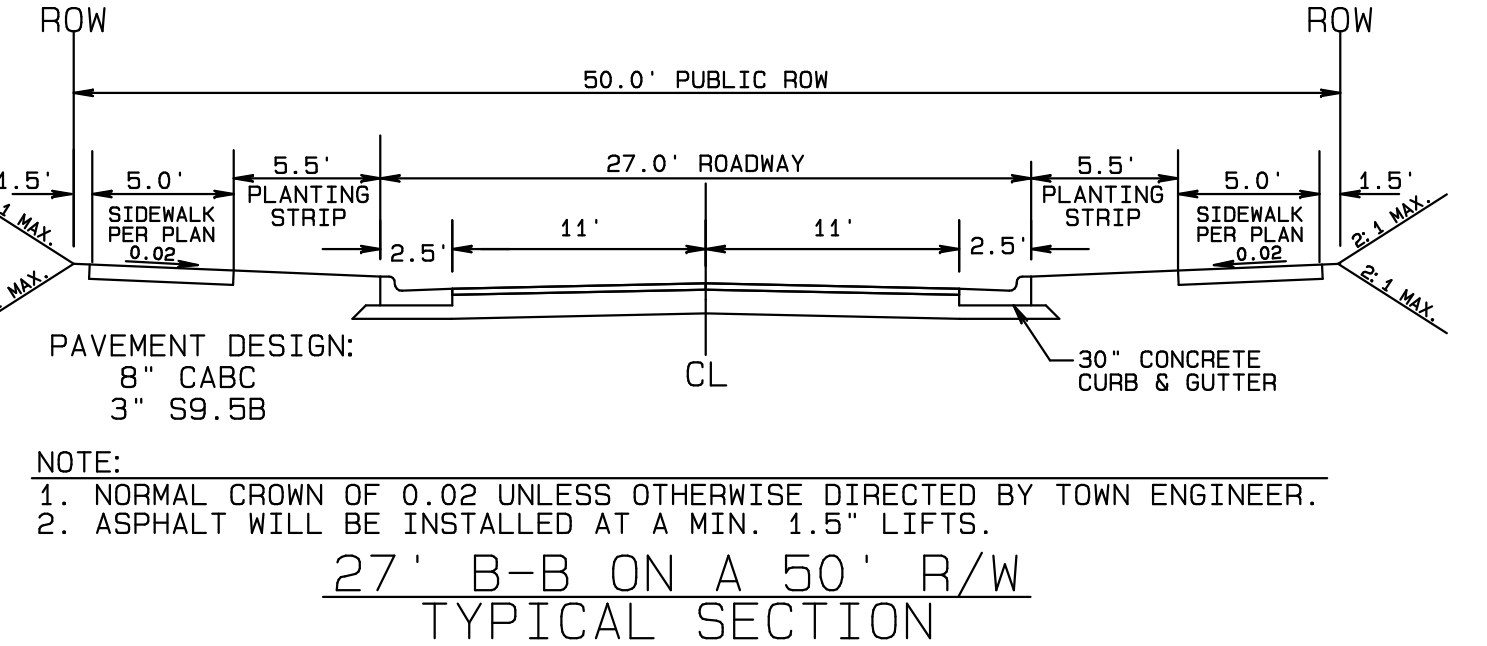
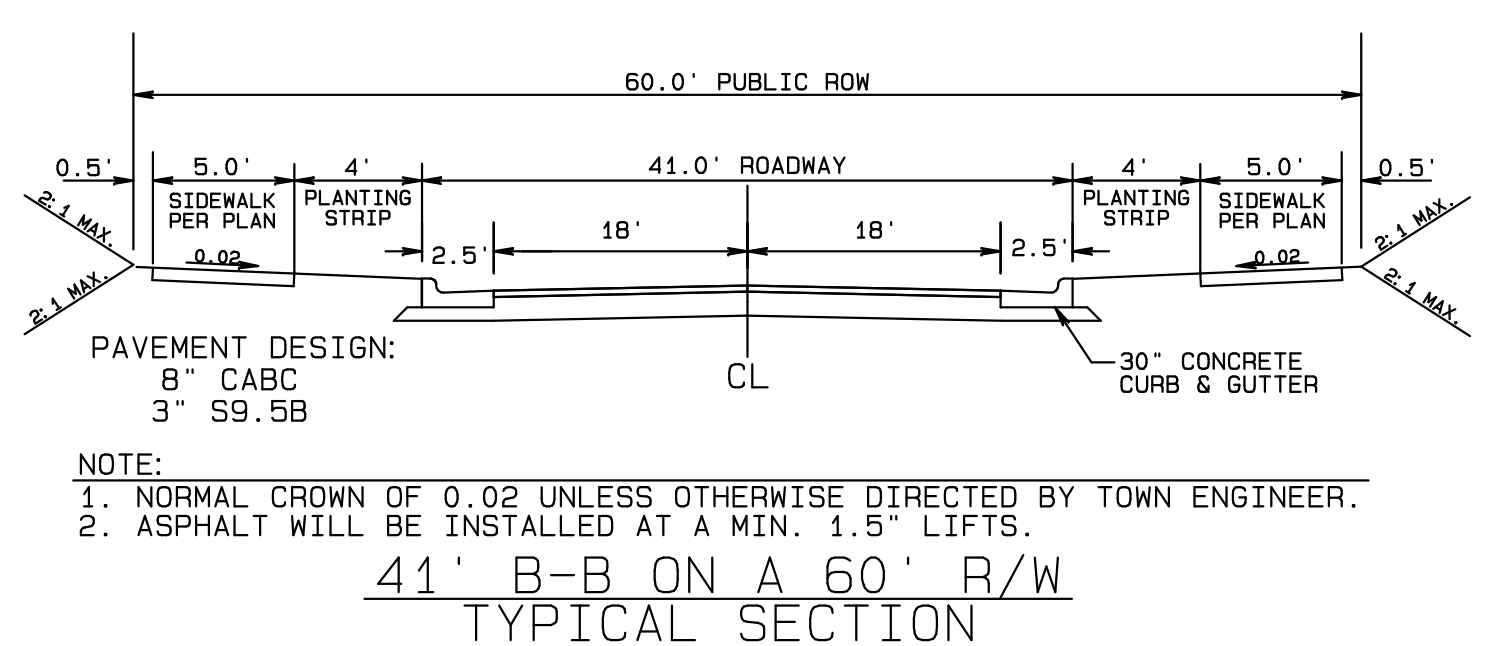
- LEGEND:**
- TOT LOT
  - POCKET PARK
  - MAIL KIOSK LOCATION
  - OPEN SPACE
  - PARK DEDICATION
  - FUTURE TOWNHOMES (R3)
  - ACTIVE RECREATION

LYDA S. MOODY  
 ESTATE FILE 1618-E-88  
 ZONING: R-30  
 LOT 5A  
 B.M. 1928, PG. 142  
 PIN NO. 1767.04-28-8924  
 REAL ESTATE ID: 0046383  
 VACANT

CHRISTIAN C. WILDER  
 CINDY E. WILDER  
 D.B. 10927, PG. 1494  
 B.M. 2004, PG. 603  
 PIN NO. 1767.01-39-2250





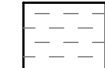
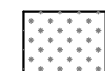
CHRISTIAN C. WILDER  
 CINDY E. WILDER  
 ZONING: R-30  
 D.B. 10927, PG. 1494  
 B.M. 2004, PG. 603  
 PIN NO. 1767.01-39-2250  
 SINGLE FAMILY

CHRISTIAN C. WILDER  
 CINDY E. WILDER  
 ZONING: R-30  
 D.B. 16778, PG. 2491  
 PIN NO. 1767.01-39-4250  
 VACANT



Plot Date: 11/12/2019 Time: 1:00PM

LEGEND:

-  POCKET PARK
-  MAIL KIOSK LOCATION
-  OPEN SPACE
-  PARK DEDICATION
-  FUTURE TOWNHOMES (R3)
-  ACTIVE RECREATION

**Hugh J. Gillece and Associates**  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101

JOSEPH E. WALL  
 BETTY R. GUNZ  
 ZONING: R-30  
 D.B. 5178, PG. 858  
 S.M. 1988, PG. 1806  
 P.I.N. NO. 1788-03-21-5907  
 REAL ESTATE ID: 0060992  
 VACANT

JOSEPH E. WALL  
 BETTY R. GUNZ  
 ZONING: R-30  
 D.B. 5178, PG. 858  
 S.M. 1988, PG. 1806  
 P.I.N. NO. 1788-03-21-5907  
 REAL ESTATE ID: 0060992  
 VACANT

JONATHAN V. GILLIS  
 18 E 328  
 ZONING: R-30  
 D.B. 4974, PG. 38  
 TRACT 2  
 B.M. 1987 PG. 1527  
 P.I.N. 1758-04-30-8610  
 SINGLE FAMILY

MICHAEL W. RITTER  
 HEATHER D. RITTER  
 ZONING: R-30  
 D.B. 17107 PG. 2234  
 B.M. 2004 PG. 589  
 P.I.N. 1758-04-30-1417  
 VACANT

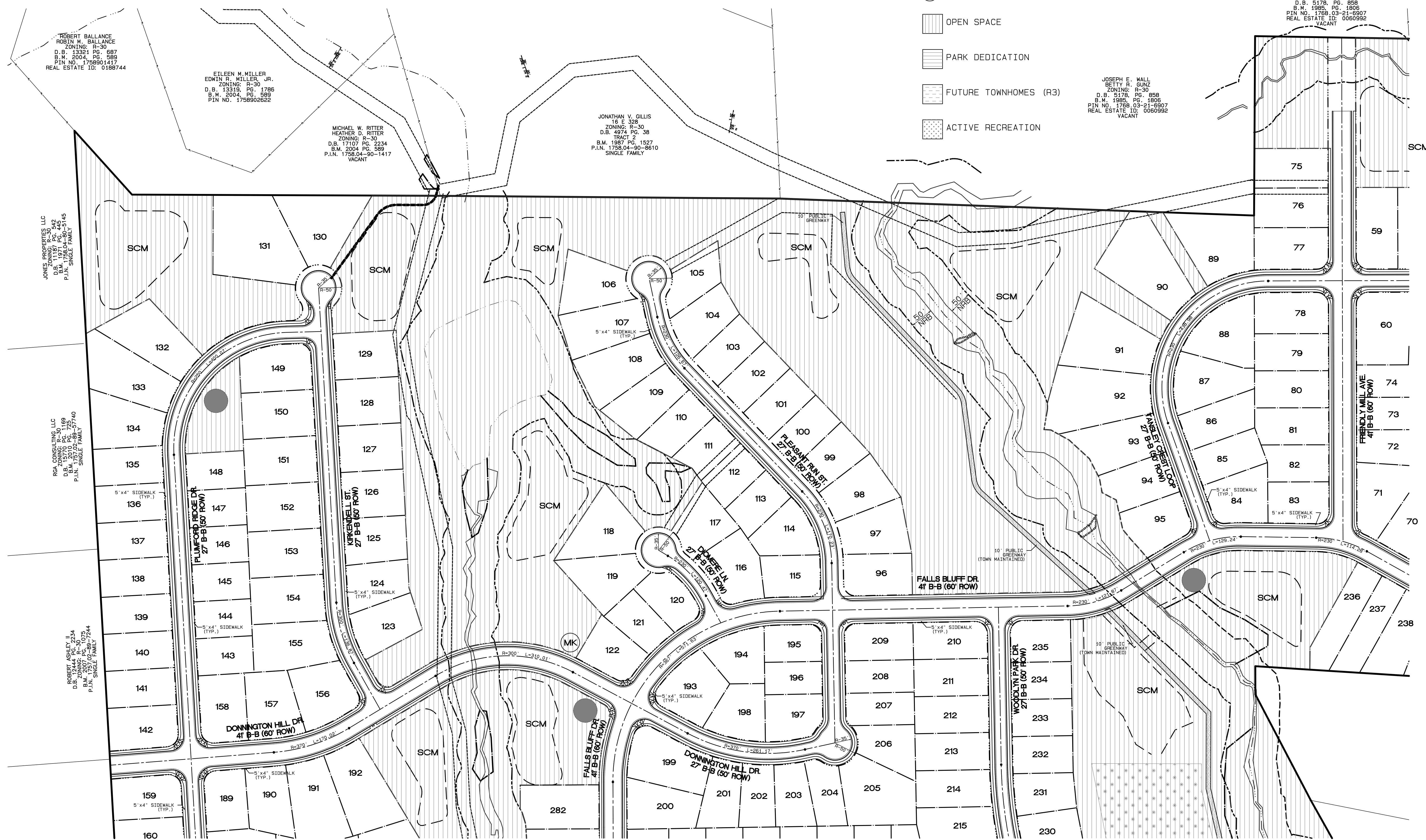
EILEEN M. MILLER  
 EDWIN R. MILLER, JR.  
 ZONING: R-30  
 D.B. 13319, PG. 1786  
 S.M. 2004, PG. 589  
 P.I.N. NO. 1758902622

ROBERT BALLANCE  
 ROBIN M. BALLANCE  
 ZONING: R-30  
 D.B. 13324 PG. 687  
 B.M. 2004, PG. 589  
 P.I.N. NO. 1758901417  
 REAL ESTATE ID: 0168744

JONES PROPERTIES LLC  
 D.B. 11187, PG. 542  
 B.M. 1974 PG. 545  
 P.I.N. SINGLE FAMILY

RGA CONSULTING LLC  
 ZONING: R-30  
 D.B. 1974 PG. 545  
 B.M. 2010 PG. 75740  
 P.I.N. SINGLE FAMILY

ROBERT ASHLEY I.  
 D.B. ZONING: R-30  
 B.M. 1737 PG. 897244  
 P.I.N. SINGLE FAMILY



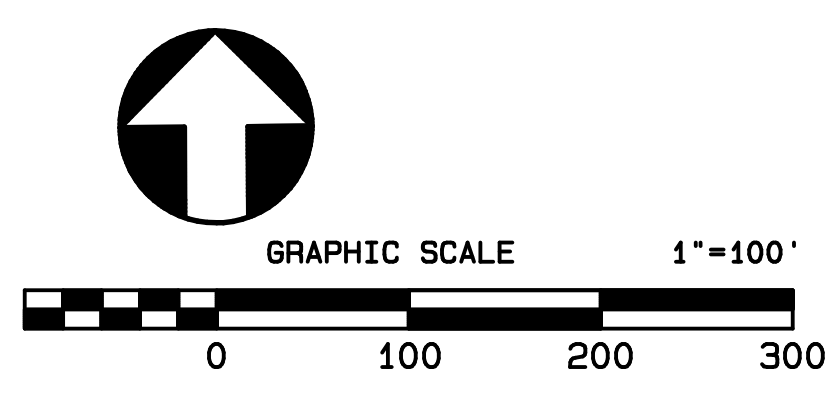
| NO. | DATE       | REVISION                                      |
|-----|------------|---|
| 1   | 06/26/2019 | TOWN OF ROLESVILLE COMMENTS REC. ON 6/12/2019 |
| 2   | 10/02/2019 | UPDATED OPEN SPACE AND MAIL KIOSK LOCATIONS   |
| 3   | 10/02/2019 | UPDATE PLANS PER REVISED CONDITIONS           |
| 4   | 11/12/2019 |   |

FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\dwg\Brad\Kas\Rodgers\Watkins\_1.dwg Layout revised Entrance.prc

**PRELIMINARY LAYOUT**  
 FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 100'  
 VRT SCALE: NONE

SHEET NO.  
**4**



Plot Date: 11/12/2019

**Hugh J. Gillece and Associates**  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101

| NO. | DATE       | REVISION                                      |
|-----|------------|---|
| 1   | 06/26/2019 | TOWN OF ROLESVILLE COMMENTS REC. ON 5/12/2019 |
| 2   | 10/02/2019 | UPDATED OPEN SPACE AND WALK LOT SIZES         |
| 3   | 10/02/2019 | UPDATE PLANS PER REVISED CONDITIONS           |
| 4   | 11/12/2019 |   |

FILE: Y:\Jobs\9900\Watkins Property.dwg Temporary\Brad\Kas\Rodgers\Watkins\_Tied Layout revised Entrance.dwg

**PRELIMINARY LAYOUT FOR**  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

Time: 1:03PM  
 JOB # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 100'  
 VRT SCALE: NONE

SHEET NO.  
**5**



ROBERT ANSLEY II  
 D.B. 1744 PG. 2234  
 ZONING: R-30  
 S.M. 1971 PG. 445  
 P.I.N. 1757.02-97-724  
 SINGLE FAMILY

REBECCA R. MCCLAMB  
 D.B. 5996 PG. 1416  
 ZONING: R-30  
 S.M. 1971 PG. 445  
 P.I.N. 1757.02-97-750  
 SINGLE FAMILY

FREDY MORENO CORTES  
 D.B. 1529 PG. 410  
 ZONING: R-30  
 S.M. 1971 PG. 445  
 P.I.N. 1757.02-97-7543  
 SINGLE FAMILY

JONES PROPERTIES, LLC  
 ZONING: R-30  
 D.B. 14978 PG. 1162  
 S.M. 1971 PG. 445  
 P.I.N. 1757.02-97-8878  
 SINGLE FAMILY

JONES PROPERTIES, LLC  
 ZONING: R-30  
 D.B. 16879 PG. 1897  
 S.M. 1971 PG. 445  
 P.I.N. 1757.02-97-4973  
 VACANT

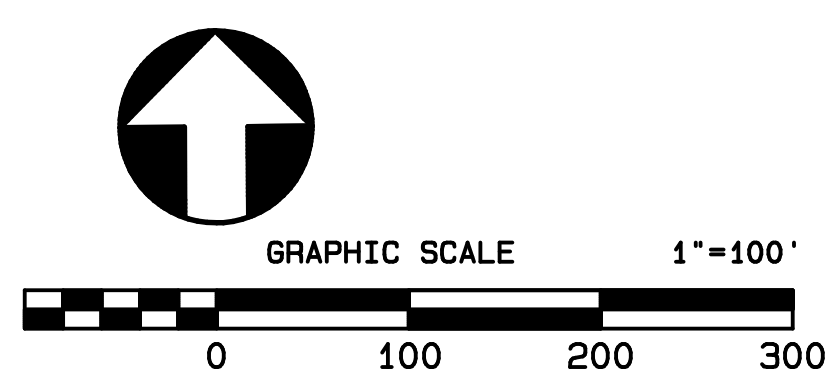
STAFFORDSHIRE BLUFF ST.  
 27' B-B (50' ROW)

JONES PROPERTIES, LLC  
 ZONING: R-30  
 D.B. 13842 PG. 1231  
 S.M. 1983 PG. 1447  
 P.I.N. 1757.02-97-2579

**LEGEND:**








- TOT LOT
- POCKET PARK
- MAIL KIOSK LOCATION
- OPEN SPACE
- PARK DEDICATION
- FUTURE TOWNHOMES (R3)
- ACTIVE RECREATION

ANNIE H. MOODY  
 ZONING: R-30  
 D.B. 3750 PG. 387  
 S.M. 1986 PG. 862  
 PIN NO. 1757.01-06-9438  
 AGRICULTURAL





LEGEND:

-  TOT LOT
-  POCKET PARK
-  MAIL KIOSK LOCATION
-  OPEN SPACE
-  PARK DEDICATION
-  FUTURE TOWNHOMES (R3)
-  ACTIVE RECREATION



PENNINA B. ROWELL  
RACHEL K. ROWELL  
ZONING: R-30  
D.B. 15779, PG. 229  
PIN NO. 1767.01-37-4878  
REAL ESTATE ID: 0049739  
SINGLE FAMILY

ANNIE H. MOODY  
ZONING: T-30  
D.B. 3750, PG. 587  
B.M. 1986, PG. 862  
PIN NO. 1767.01-06-5438  
AGRICULTURAL

BERNARD B. BAILEY  
ZONING: R-30  
D.B. 1086, PG. 1076  
B.M. 1570, PG. 15-3885  
PIN NO. 07-05-3885  
AGRICULTURAL

BERNARD B. BAILEY  
ZONING: R-30  
D.B. 3235, PG. 0776  
B.M. 1984, PG. 114  
PIN NO. 1767.01-15-3885  
AGRICULTURAL

8' PUBLIC TRAIL  
ROADSIDE TRAIL  
(TOWN MAINTAINED)

SUE SCARBORO PARKER  
BESTY SCARBORO GARDNER  
ZONING: R-30  
D.B. 3059, PG. 618  
LOT 8 B.M. 1947, PG. 78  
PIN NO. 1767.01-25-4441  
VACANT

**Hugh J. Gillece  
and Associates**  
875 Walnut Street  
Suite 360  
Cary, NC 27511  
BUSINESS LIC. # C-496  
Phone: (919)469-1101

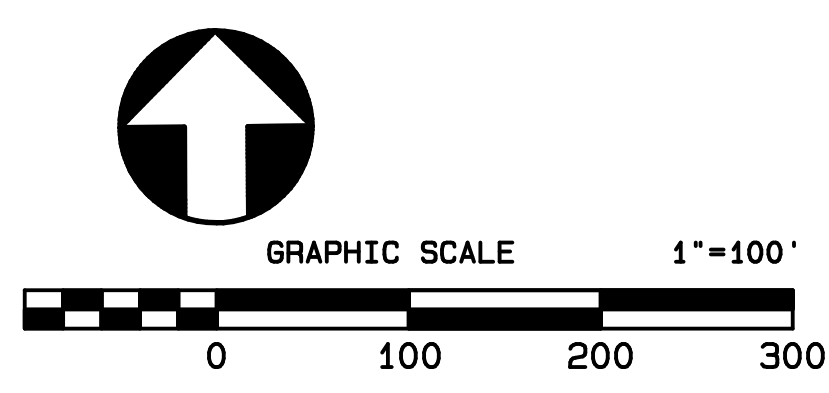
| NO. | DATE       | REVISION                                      |
|-----|------------|---|
| 1   | 06/12/2019 | TOWN OF ROLESVILLE COMMENTS REC. ON 6/12/2019 |
| 2   | 10/30/2019 | UPDATE OPEN SPACE AND MIN. LOT SIZES          |
| 3   | 10/30/2019 | UPDATE PLANS PER REVISED CONDITIONS           |
| 4   | 11/12/2019 |   |

FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\Brad\Kalas\Rodgers\Watkins\_Tied Layout revised Entrance.dwg

**PRELIMINARY LAYOUT  
FOR  
KALAS FALLS**  
SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
WAKE COUNTY, NORTH CAROLINA

Time: 0: 11PM  
JOB # 9900.55  
DSN/CHK BY: BT  
DWN BY: BAH  
DATE: 04/24/2019  
HRZ SCALE: 1" = 100'  
VRT SCALE: NONE

SHEET NO.  
**6**



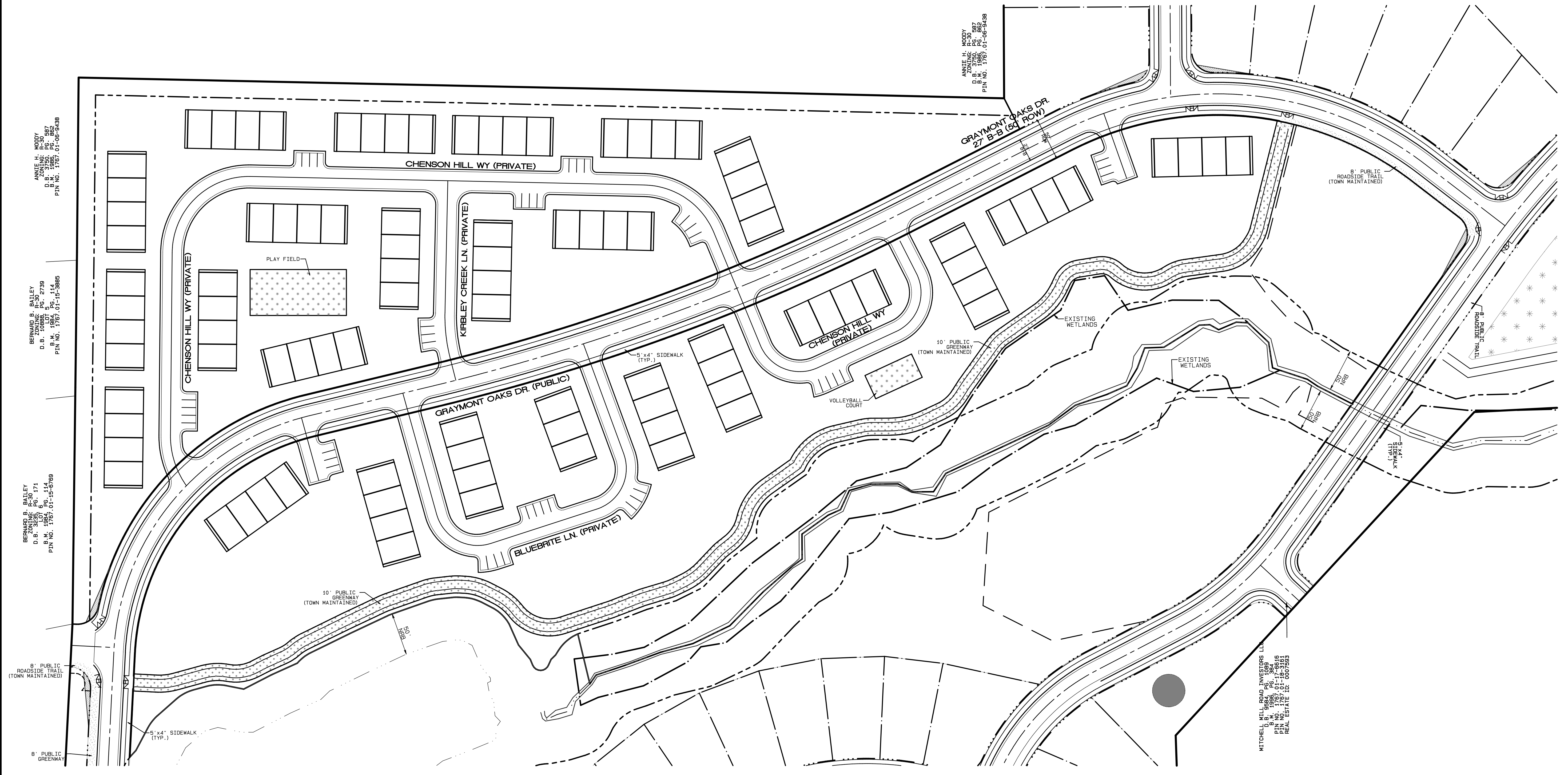
**Hugh J. Gillece and Associates**  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101

| NO. | DATE       | REVISION                                   |
|-----|------------|--|
| 1   | 06/26/2019 | TOWN OF ROLESVILLE COMMENTS DATED 06-12-19 |
| 2   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS        |
| 3   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS        |

FILE: Y:\Jobs\9900\Watkins Property.dwg Temporary\Brad\Karas\Rodgers\Watkins\_Tied Layout revised Entrance.pro

**PRELIMINARY TOWNHOUSE LAYOUT**  
 FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

Time: 0:19PM  
 Job # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 60'  
 VRT SCALE: NONE



ANNIE H. MOODY  
 D.B. 3120  
 B.M. 1985  
 P.N. NO. 1767-01-06-5438

BERNARD B. BAILEY  
 D.B. 3200  
 B.M. 1987  
 P.N. NO. 1767-01-15-3885

BERNARD B. BAILEY  
 D.B. 3200  
 B.M. 1987  
 P.N. NO. 1767-01-15-3885

ANNIE H. MOODY  
 D.B. 3120  
 B.M. 1985  
 P.N. NO. 1767-01-06-5438

MITCHELL M. L. ROAD INVESTORS L.L.C.  
 D.B. 3186  
 B.M. 1986  
 P.N. NO. 1767-01-15-3915  
 REAL ESTATE ID: 007953

**TOWNHOUSE OPEN SPACE CALCULATIONS**

|                       |                            |
|-----------------------|----------------------------|
| TOWNHOUSE ACRES:      | 17.01                      |
| OPEN SPACE REQUIRED:  | 2.55 AC. (15%)             |
| ACTIVE USE REQ.:      | 0.89 AC. (35% OF 2.55 AC.) |
| ACTIVE USE SHOWN:     | 1.8 AC. (71%)              |
|                       |                            |
| VOLLEYBALL:           | 0.2                        |
| PLAYFIELD:            | 0.5                        |
| PUBLIC GREENWAY:      | 1.1                        |
|                       |                            |
| UNIMPROVED USE REQ.:  | 1.7 AC.                    |
| UNIMPROVED USE SHOWN: | 4.05 AC.                   |

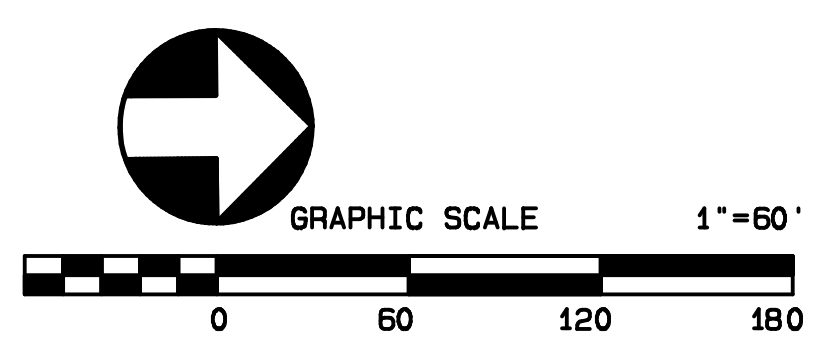
**TOWNHOUSE PARKING CALCULATIONS**

|                           |           |
|---------------------------|-----------|
| TOTAL UNITS:              | 95        |
| PARKING REQUIRED:         | 190       |
|                           |           |
| TOTAL SINGLE-CAR GARAGES: | 95        |
| DRIVEWAY SPACES:          | 95        |
| TOTAL UNIT SPACES SHOWN:  | 190       |
|                           |           |
| GUEST PARKING REQUIRED:   | 24 SPACES |
| GUEST PARKING SHOWN:      | 51 SPACES |

SETBACK TABLE TH'S

|       | MINIMUM |
|-------|---------|
| FRONT | 18'     |
| REAR  | 15'     |
| SIDE  | 0'      |

MIN. BUILDING SEPARATION: 16'



Plot Date: 11/12/2019

**Hugh J. Gillece  
and Associates**  
875 Walnut Street  
Suite 360  
Cary, NC 27511  
BUSINESS LIC. # C-496  
Phone: (919)469-1101

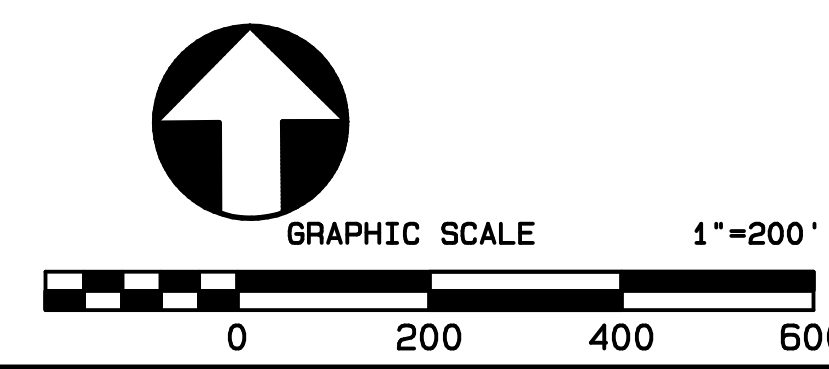
| NO. | DATE       | REVISION                            |
|-----|------------|-------------------------------------|
| 1   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS |

FILE: Y:\Jobs\9900\Watkins Property.dwg  
Temporary\Brad\Karas\_Rodgers\Watkins\_Tied Layout revised Entrance.prc

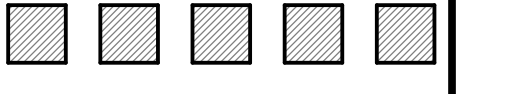
**OVERALL UTILITY PLAN  
FOR  
KALAS FALLS**  
SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
DSN/CHK BY: BT  
DWN BY: BAH  
DATE: 04/24/2019  
HRZ SCALE: 1" = 200'  
VRT SCALE: NONE

SHEET NO.  
**8**



**Hugh J. Gillece  
and Associates**  
875 Walnut Street  
Suite 360  
Cary, NC 27511  
BUSINESS LIC. # C-496  
Phone: (919)469-1101



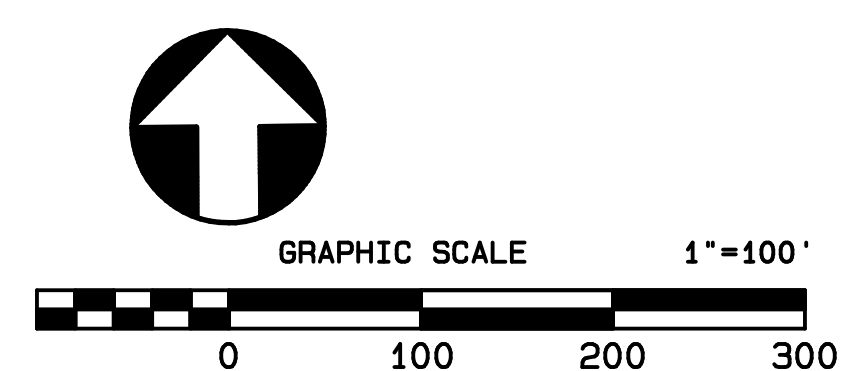
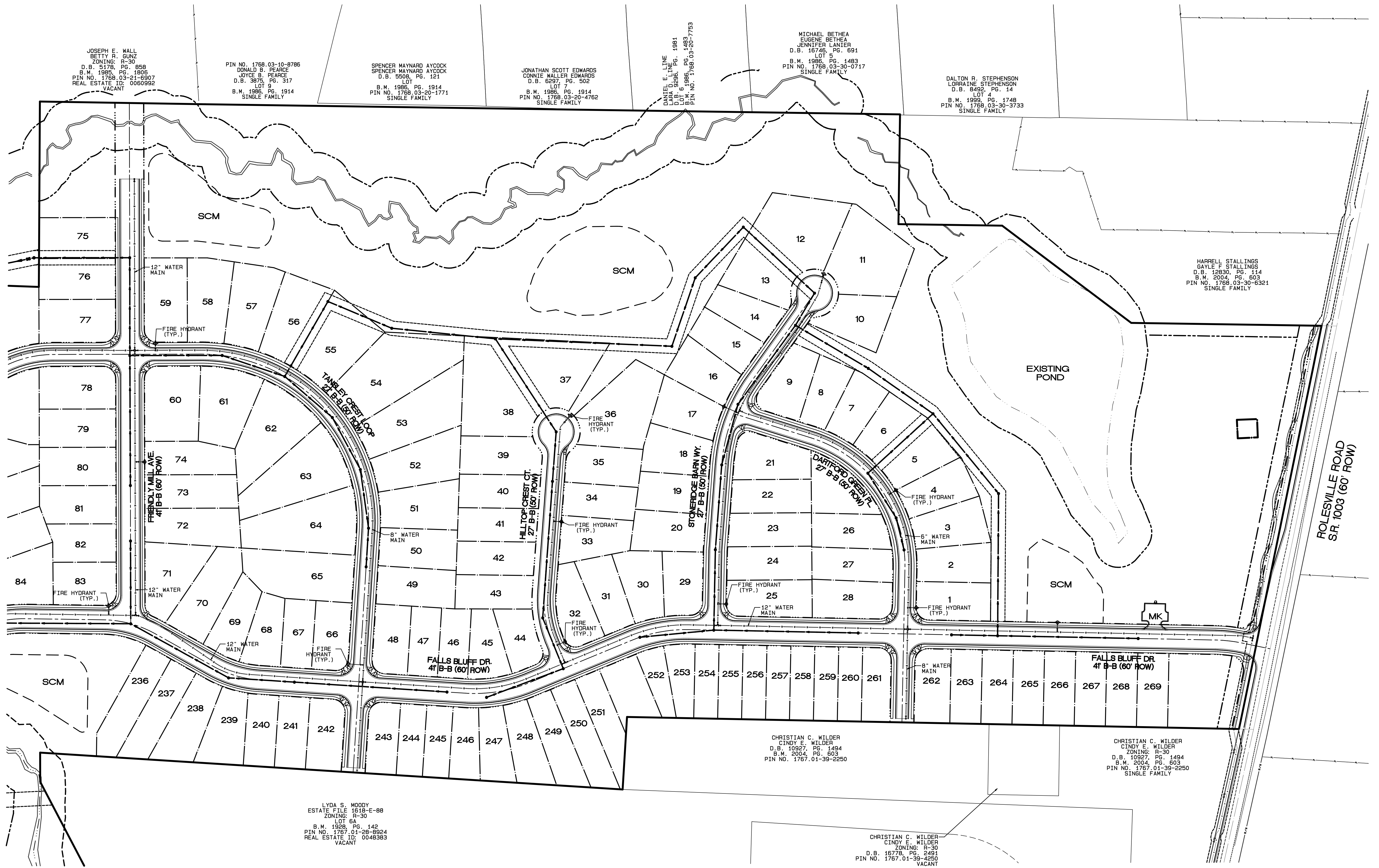
| NO. | DATE       | REVISION                            |
|-----|------------|-------------------------------------|
| 1   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS |

FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\Brad\Kas\Rodgers\Watkins\_Tied Layout revised Entrance.dwg  
Time: 0:26PM  
Dwn/Chk: DWN/CHK  
Dwn By: BAH/PLG

**UTILITY PLAN  
FOR  
KALAS FALLS**  
SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
DSN/CHK BY: BT  
DWN BY: BAH  
DATE: 04/24/2019  
HRZ SCALE: 1" = 100'  
VRT SCALE: NONE

SHEET NO.



Plot Date: 11/12/2019

**Hugh J. Gillece  
and Associates**  
875 Walnut Street  
Suite 360  
Cary, NC 27511  
BUSINESS LIC. # C-496  
Phone: (919)469-1101

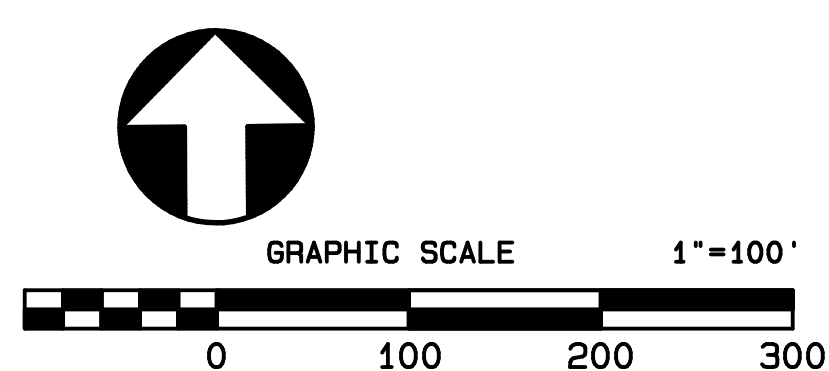
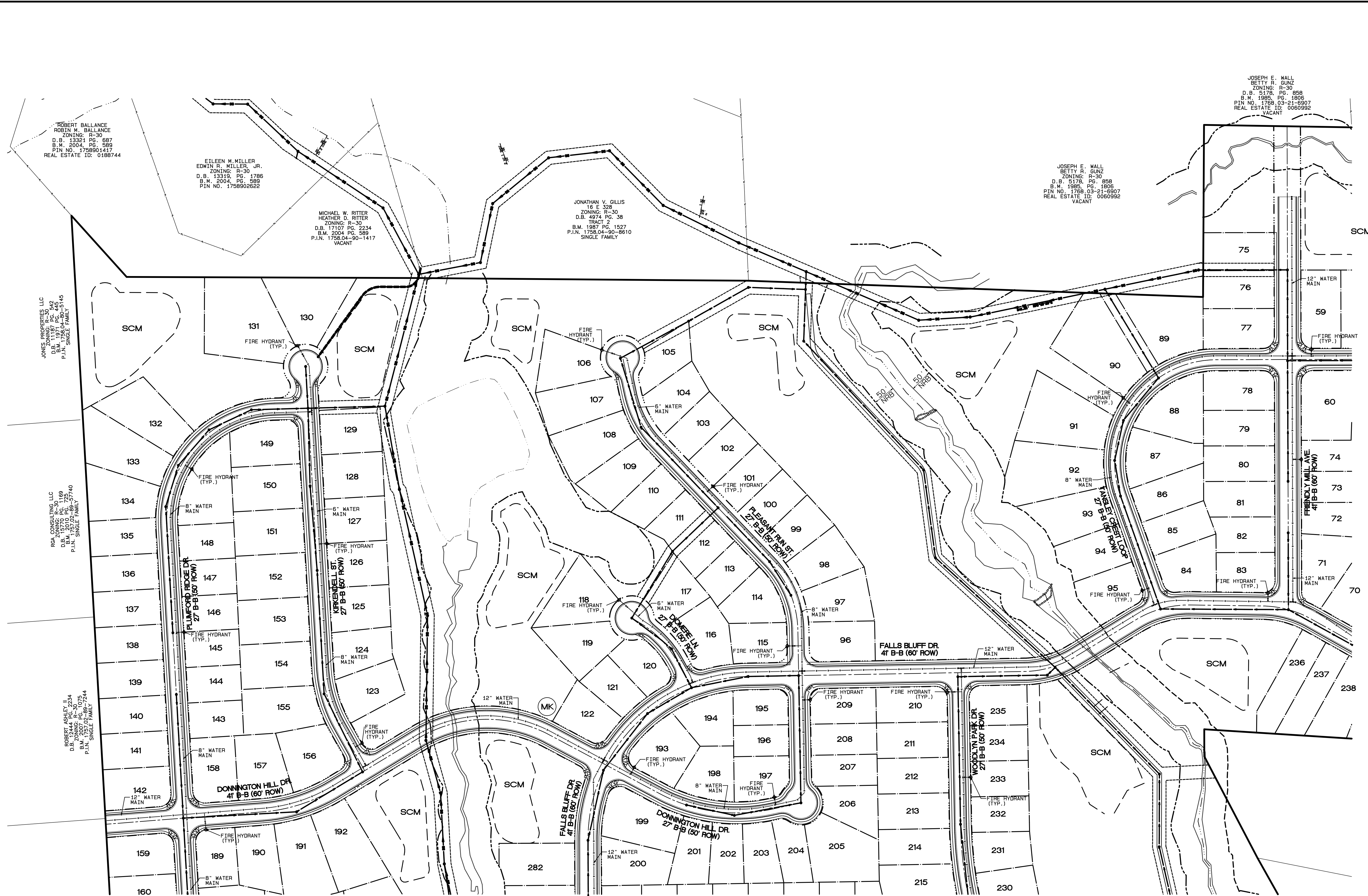
| NO. | DATE       | REVISION                            |
|-----|------------|-------------------------------------|
| 1   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS |

FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\Brad\Kaldas\Rodgers\Watkins\_Lied Layout revised Entrance.dwg

Time: 0:25PM  
Plot Date: 11/12/2019

JOB # 9900.55  
DSN/CHK BY: BT  
DWN BY: BAH  
DATE: 04/24/2019  
HRZ SCALE: 1" = 100'  
VRT SCALE: NONE

SHEET NO.  
**10**



ROBERT BALLANCE  
ROBIN M. BALLANCE  
ZONING: R-30  
D.B. 13324 PG. 687  
B.M. 2004, PG. 589  
P.I.N. NO. 1758901217  
REAL ESTATE ID: 0168744

EILEEN M. MILLER  
EDWIN R. MILLER, JR.  
ZONING: R-30  
D.B. 13319, PG. 4786  
B.M. 2004, PG. 589  
P.I.N. NO. 1758902622

MICHAEL W. RITTER  
HEATHER D. RITTER  
ZONING: R-30  
D.B. 17107 PG. 2234  
B.M. 2004, PG. 589  
P.I.N. 175804-90-1417  
VACANT

JONATHAN V. GILLIS  
18 E 328  
ZONING: R-30  
D.B. 4974 PG. 38  
TRACT 2  
B.M. 1987 PG. 1527  
P.I.N. 175804-90-8610  
SINGLE FAMILY

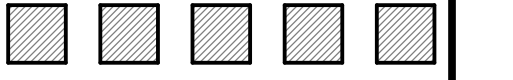
JOSEPH E. WALL  
BETTY R. GUNZ  
ZONING: R-30  
D.B. 5178, PG. 858  
B.M. 1985, PG. 1806  
P.I.N. NO. 175803-21-5907  
REAL ESTATE ID: 0060992  
VACANT

JONES PROPERTIES LLC  
D.B. 11187 PG. 542  
B.M. 1976 PG. 545  
P.I.N. SINGLE FAMILY

RGA CONSULTING LLC  
D.B. ZONING PG. 169  
B.M. 2010 PG. 725  
P.I.N. SINGLE FAMILY

ROBERT ASLEY, II  
D.B. ZONING PG. 234  
B.M. 1737 PG. 897/244  
P.I.N. SINGLE FAMILY

**Hugh J. Gillece and Associates**  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101



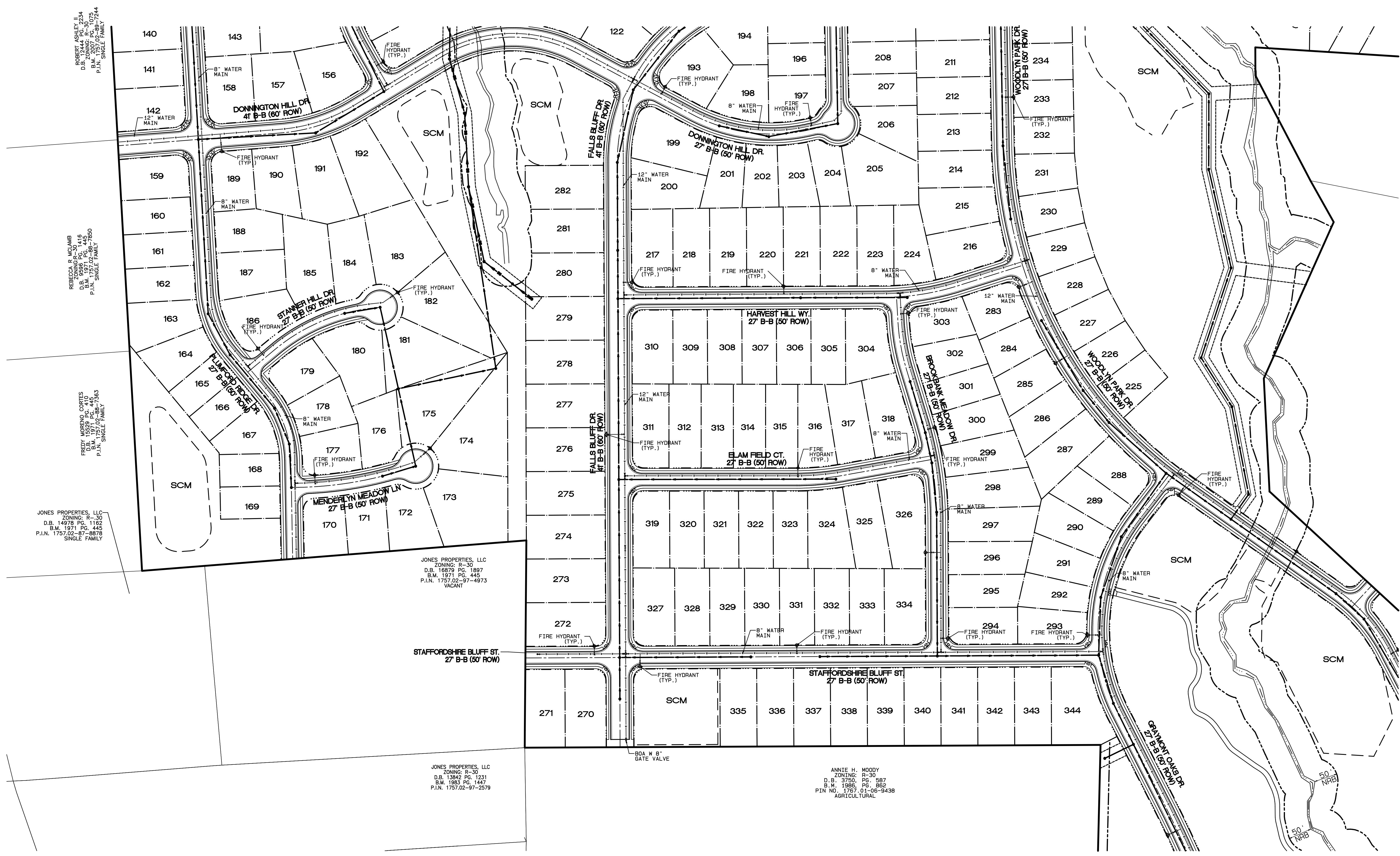
| No. | DATE       | REVISION                            |
|-----|------------|-------------------------------------|
| 1   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS |

FILE: Y:\Jobs\9900\Watkins Property.dwg Temporary\Brad\Kas\Rodgers\Watkins\_Tied Layout revised Entrance.prc

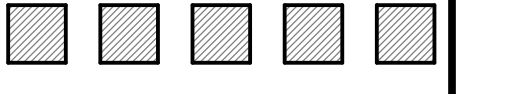
**UTILITY PLAN**  
 FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

Time: 0:23PM  
 JOB # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 100'  
 VRT SCALE: NONE

SHEET NO.  
**11**



**Hugh J. Gillece and Associates**  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101



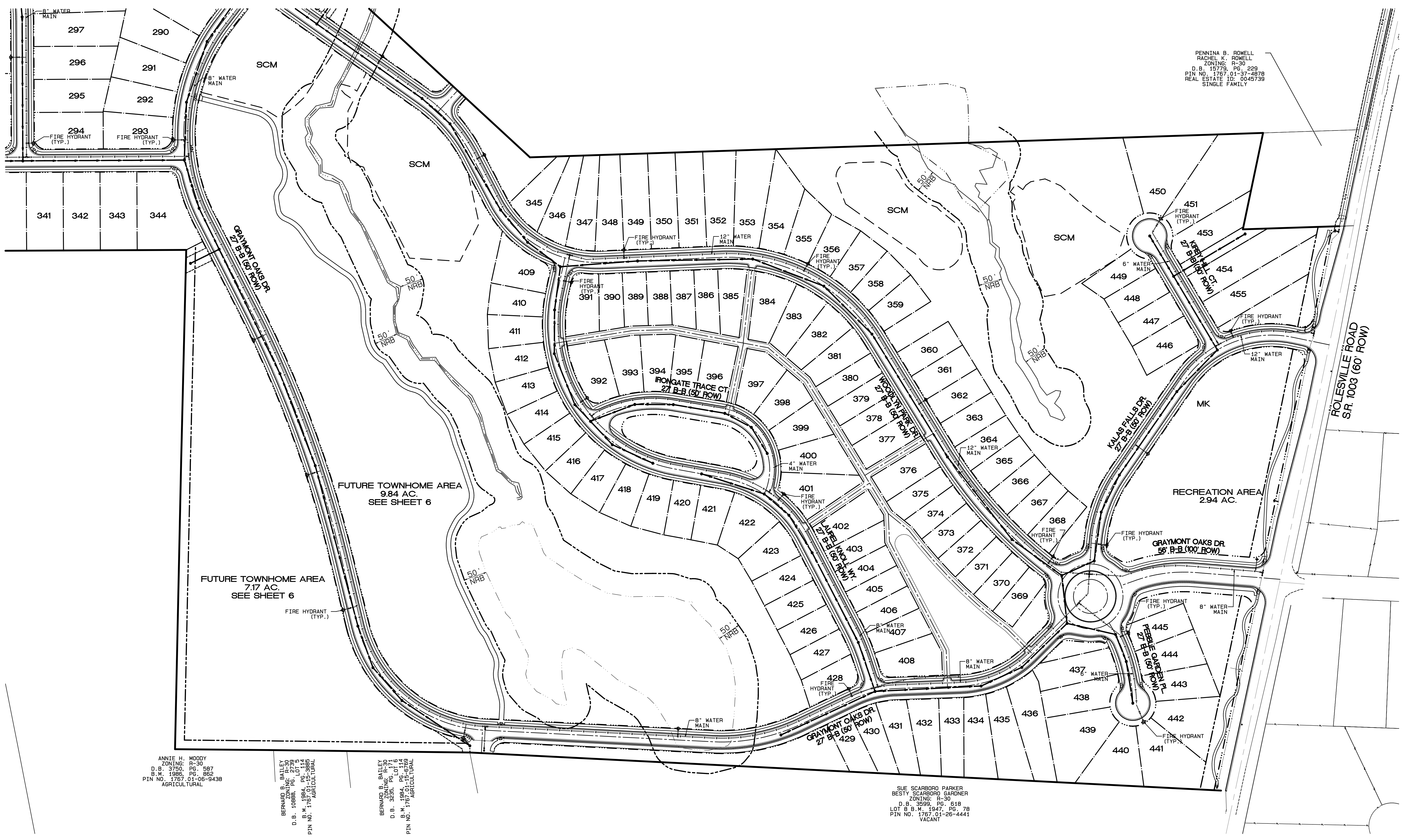
| NO. | DATE       | REVISION                            |
|-----|------------|-------------------------------------|
| 1   | 11/12/2019 | UPDATE PLANS PER REVISED CONDITIONS |

FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\Brad\Kalas\Rodgers\Watkins\_Tied Layout revised Entrance.dwg

**UTILITY PLAN**  
 FOR  
**KALAS FALLS**  
 SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
 DSN/CHK BY: BT  
 DWN BY: BAH  
 DATE: 04/24/2019  
 HRZ SCALE: 1" = 100'  
 VRT SCALE: NONE

SHEET NO.  
**12**



ANNIE H. MOODY  
 ZONING: R-30  
 D.B. 3750, PG. 587  
 B.M. 1986, PG. 862  
 PIN NO. 1767.01-06-5438  
 AGRICULTURAL

BERNARD B. BAITLY  
 ZONING: R-30  
 D.B. 1088, PG. 1076  
 B.M. 1987, PG. 15-3885  
 PIN NO. 1767.01-06-5438  
 AGRICULTURAL

BERNARD B. BAITLY  
 ZONING: R-30  
 D.B. 3235, PG. 1076  
 B.M. 1984, PG. 114  
 PIN NO. 1767.01-06-5438  
 AGRICULTURAL

SUE SCARBORO PARKER  
 BESTY SCARBORO GARDNER  
 ZONING: R-30  
 D.B. 3059, PG. 618  
 LOT 8 B.M. 1947, PG. 78  
 PIN NO. 1767.01-26-4441  
 VACANT

Plot Date: 11/12/2019

**Hugh J. Gillece  
and Associates**  
875 Walnut Street  
Suite 360  
Cary, NC 27511  
BUSINESS LIC. # C-496  
Phone: (919)469-1101

No. DATE REVISION

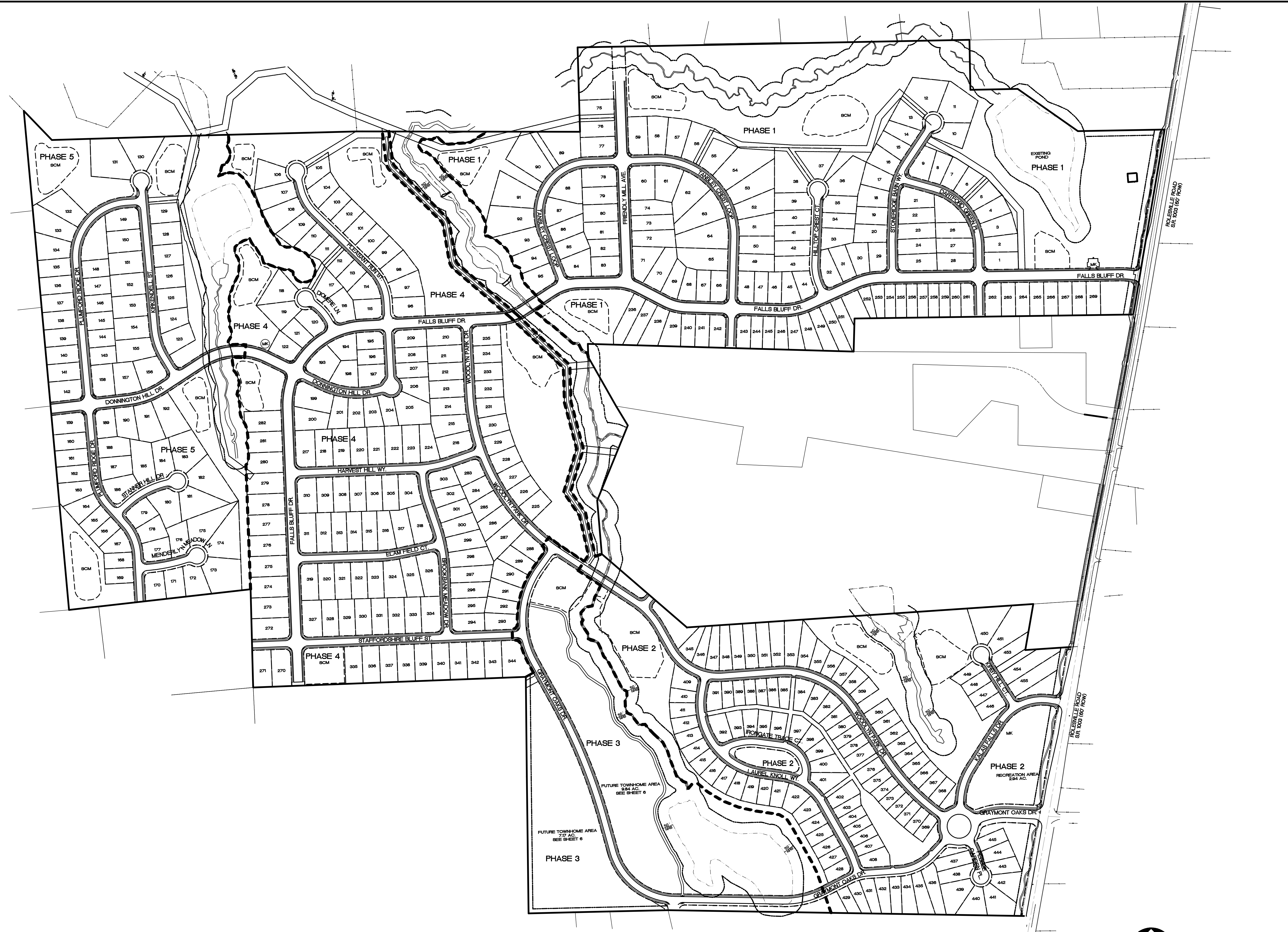
FILE: Y:\Jobs\9900\Watkins Property\dwg\Temporary\Brad\Kalas\_Rodgers\_Watkins\_Tied Layout revised Entrance.dwg

Time: 0:33PM  
Plot Date: 11/12/2019

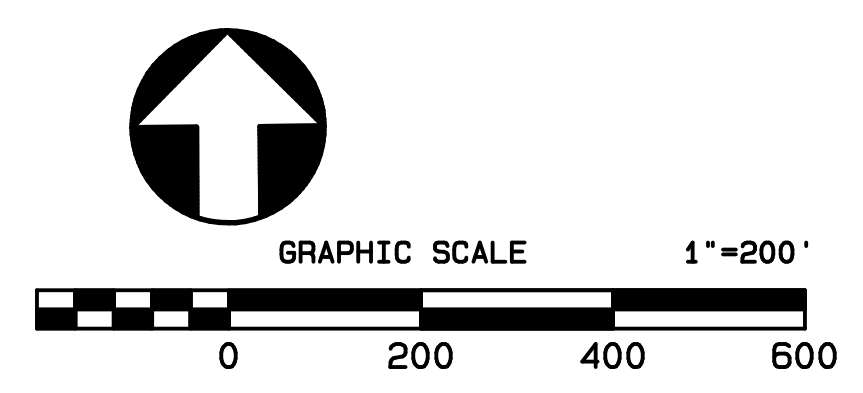
**PHASING PLAN**  
FOR  
**KALAS FALLS**  
SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
WAKE COUNTY, NORTH CAROLINA

JOB # 9900.55  
DSN/CHK BY: BT  
DWN BY: BAH  
DATE: 04/24/2019  
HRZ SCALE: 1" = 200'  
VRT SCALE: NONE

SHEET NO.  
**13**



**GENERAL NOTE:**  
1. EACH PHASE MAY BE SUBDIVIDED INTO SMALLER TRACTS, AS LONG AS EACH SMALLER TRACT IS SERVED BY PUBLIC UTILITIES AND THE NECESSARY STORMWATER DEVICES ARE IN PLACE TO STAND ALONE.  
2. THE DEVELOPER MAY DEVELOP THE PHASES OUT OF SEQUENCE.





**Hugh J. Gilleece and Associates**  
 875 Walnut Street  
 Suite 360  
 Cary, NC 27511  
 BUSINESS LIC. # C-496  
 Phone: (919)469-1101

**PRELIMINARY LAYOUT**

**KALAS FALLS**

SITUATED AT  
**ROLESVILLE RD, ROLESVILLE NC**  
 WAKE COUNTY, NORTH CAROLINA

Y:\Jobs\9900\Watkins Property\dwg\Temporary\Emily\Overall Preliminary Layout Use.dwg

JOB #9900.55

DSN/CHK BY: ####  
 DWN BY: ----  
 DATE STARTED: 7/12/2018  
 DATE PRINTED: 11/13/2019  
 HRZ SCALE: 1"=200'  
 VRT SCALE: NONE  
 SHEET NO.



**SITE INFORMATION**

- 95 TOWNHOUSES:
- 50' LOTS:
- 60' AND 65' LOTS:
- 70' LOTS:
- 80' LOTS:
- 90' LOTS:
- 100' LOTS:
- OPEN SPACE:
- GOVERNMENTAL USE:
- NEUSE RIPARIAN BUFFER:

SETBACK TABLE TH'S

|       | MINIMUM |
|-------|---------|
| FRONT | 18'     |
| REAR  | 15'     |
| SIDE  | 0'      |

MIN. 16' BUILDING SEPARATION

SETBACK TABLE SINGLE FAMILY

|               | 50'   | 50' W ALLEY | 50'-60' | 60'-70' | 70'-80' | 80'-100' | 100' + |
|---------------|-------|-------------|---------|---------|---------|----------|--------|
| FRONT         | 20'   | 15'         | 20'     | 25'     | 25'     | 25'      | 25'    |
| REAR          | 20'   | 15'         | 20'     | 25'     | 25'     | 25'      | 30'    |
| SIDE          | **    | **          | **      | *       | *       | 10'      | 12'    |
| CORNER SIDE   | 10'   | 10'         | 10'     | 10'     | 10'     | 15'      | 18'    |
| MIN. LOT SIZE | 6,000 | 6,000       | 6,000   | 6,600   | 8,400   | 10,400   | 14,000 |

\* AGGREGATE 12', MIN. 5'  
 \*\* MIN. 3' AGGREGATE 10'

**TOTAL: 550 UNITS**

\*LOT WIDTHS MAY VARY BUT TOTAL NUMBER OF UNITS NOT TO EXCEED 550

GRAPHIC SCALE

