

FORMER THALES SITE

2208 & 2206 Wait Ave
Rolesville, NC 27587

PRELIMINARY PLAT

SUBMITTED ON DECEMBER 23, 2020



STEWART

223 S. WEST ST., #1100 FIRM LICENSE # C-1051
RALEIGH, NC 27603 www.stewartinc.com
T 919.380.8750 PROJECT # C19003

Client:

PULTE HOMES
CHRIS RAUGHLEY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919)816-1100

Consultants:

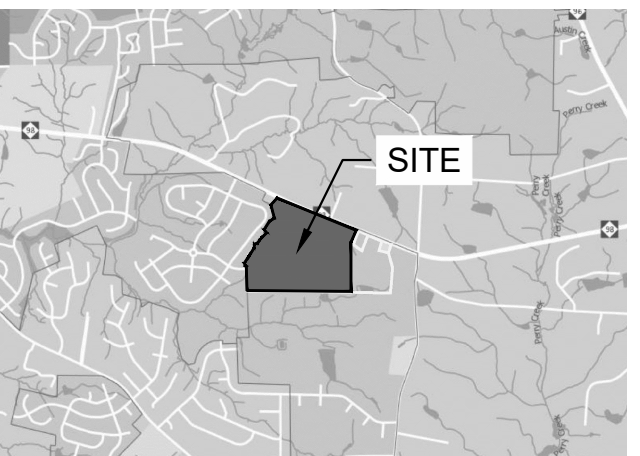
COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO BOX
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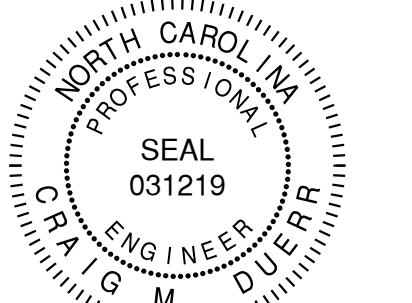
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PHONE #

Vicinity map:



NORTH

Seal:



Project:

FORMER THALES SITE

Issued for:

PRELIMINARY PLAT

No.	Date	Description

Title:

COVER SHEET

Project number: C19003 Sheet #:
Issued Date: 12.23.2020
Drawn by: ???
Approved by: ??? **C0.00**

VICINITY MAP

SCALE: 1" = 500'

RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT 'STANDARD SPECIFICATION FOR ROADWAY STRUCTURES', NCDOT 'ROADWAY STANDARD DRAWING MANUAL', AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SITE DATA

PROJECT NAME:	FORMER THALES SITE
SITE ADDRESS:	2028 & 2206 WAIT AVE ROLESVILLE, NC 27587
COUNTY:	WAKE
PARCEL PIN #:	1850950449.00, 1860045778.00, 0.00
PARCEL OWNER:	THALES ACADEMY
PARCEL AREA:	92.23 AC
TOTAL SITE GROSS ACREAGE:	88.27 AC
NET ACREAGE:	86.98 AC (1.29 AC RIGHT OF WAY DEDICATION)
CURRENT ZONING:	R-PUD
PROPOSED ZONING:	R-PUD
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	RESIDENTIAL
PROPOSED # OF LOTS:	292 LOTS
MAXIMUM DENSITY:	315 LOTS
MINIMUM BUILDING SETBACKS:	FRONT: 20', EXCEPT 5' FOR ALLEYS REAR: 15' FOR SF LOTS / 10' FOR THS SIDE: 5' FOR SF LOTS / 20' SEPARATION FOR THS CORNER: 10' FOR SF LOTS / 3' FOR THS
OPEN SPACE (10% OF NEXT ACREAGE):	> 8.97 ACRES PROVIDED
ACTIVE RECREATION (35% OPEN SPACE):	4.36 ACRES PROVIDED
FLOODPLAINS:	NONE
RIVER BASIN:	NEUSE RIVER BASIN
WATERSHED:	NONE
CONSTRUCTION TYPE:	SINGLE FAMILY ATTACHED AND DETACHED
MAX BUILDING HEIGHT:	3 STORIES
LIMITS OF DISTURBANCE:	67.70 AC (2,949,012 SF)

AMENITY AREA / ACTIVE RECREATION

ID	AREA (ACRES)	DESCRIPTION
AA-1	0.13	
AA-2	0.36	
AA-3	0.13	
AA-4	0.14	
AA-5	0.10	
AA-6	0.16	
AA-7	0.53	
AA-8	0.90	
AA-9	0.10	
AA-10	0.31	
AA-11	0.18	
AA-12	0.07	
AA-13	0.17	
AA-14	0.12	
AA-15	0.28	
AA-16	0.26	
AA-17	0.25	Trail along existing western pond
AA-18	0.08	Trail along existing southeastern pond
AA-19	0.04	Crushed stone trail
AA-20	0.05	Crushed stone trail
	4.36	Total Active Amenity Area
	4.35	Total Active Amenity Area Req.

Sheet List Table

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	GENERAL NOTES
C0.20	TYPICAL SECTIONS & BUFFERS
C1.00	EXISTING CONDITIONS PLAN
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C3.02	SITE PLAN EAST
C3.03	SITE PLAN SOUTH
C5.00	GRADING & STORM DRAINAGE PLAN OVERALL
C5.01	GRADING AND DRAINAGE PLAN WEST
C5.02	GRADING AND DRAINAGE PLAN EAST
C5.03	GRADING AND DRAINAGE PLAN SOUTH
C6.00	UTILITIES PLAN OVERALL
C6.01	UTILITIES PLAN WEST
C6.02	UTILITIES PLAN EAST
C6.03	UTILITIES PLAN SOUTH

PUBLIC INFRASTRUCTURE SUMMARY

	QUANTITY (LF)
PUBLIC WATER	
12" OFF-SITE (WAIT AVENUE)	3,650
12" ON-SITE (COLLECTOR)	700
8" ON-SITE (LOCAL)	1,140
PUBLIC SEWER	
8" ON-SITE SEWER	880
8" SEWER OUTFALL	800
ROADWAYS	
FRONTAGE ALONG WAIT AVENUE	2,200
RESIDENTIAL COLLECTORS	5,000
RESIDENTIAL LOCAL	5,560
ALLEYS	1,035

OVERALL PARKING SUMMARY

	REQUIRED PARKING	PROVIDED PARKING
REGULAR 9'X19' SPACES	66	68
REGULAR ACCESSIBLE SPACES	2	3
VAN ACCESSIBLE PARKING SPACES	1	1
TOTAL PARKING SPACES	69	72
ALL SINGLE FAMILY LOTS AND TOWNHOME LOTS LARGER THAN 22' IN WIDTH ARE SELF PARKED. PER UDO 10.1.10 - 1 HALF A SPACE PER BEDROOM OVER 2 BEDROOMS TO BE PROVIDED FOR OFF STREET PARKING. (40) 22' WIDTH TOWNHOME LOTS - 20 OFF STREET SPACES REQUIRED. 1 VISITOR PARKING SPACE FOR EVERY 4 TOWNHOMES (184 / 4 = 46 VISITOR SPACES)		

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CLIENT



COMPANY NAME
COMPANY ADDRESS
CONTACT NAME
CONTACT: XXX.XXX.XXXX (T)
XXX.XXX.XXXX (F)
EMAIL ADDRESS

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - GEOMATICS - GEOTECHNICAL



STEWART

223 S. WEST STREET SUITE 1100 RALEIGH, NC 27603 T 919.380.8750

FIRM LICENSE # C-1051 www.stewartinc.com PROJECT # C19003

SELECT
PROJECT LANDSCAPE ARCHITECT AND/OR PROJECT MANAGER
USE DROPDOWN

STEWART INC. - CIVIL
CONTACT: CRAIG DUERR, PE
PROJECT MANAGER
919.380.8750 (T)
919.380.8752 (F)
CDUERR@STEWARTINC.COM

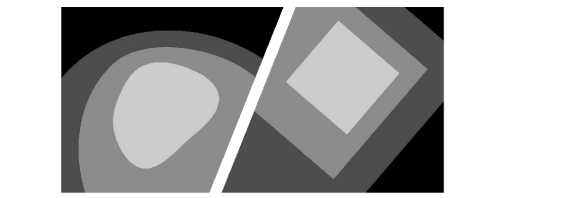
STEWART INC. - GEOMATICS
CONTACT: FRANK G. MUNDY, II, PLS
DIRECTOR OF GEOMATICS
919.866.4806 (T)
919.380.8752 (F)
FMUNDY@STEWARTINC.COM

STEWART INC. - GEOTECHNICAL
CONTACT: DON BROWN, PE
MANAGER OF CONSTRUCTION SERVICES
919.866.4842 (T)
919.380.8752 (F)
DBROWN@STEWARTINC.COM

ARCHITECTURE



COMPANY NAME
COMPANY ADDRESS
CONTACT: NAME
CONTACT: XXX.XXX.XXXX (T)
XXX.XXX.XXXX (F)
EMAIL ADDRESS



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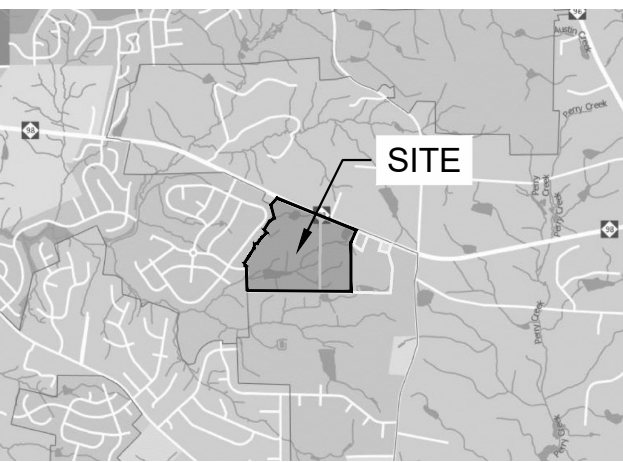
Consultants:
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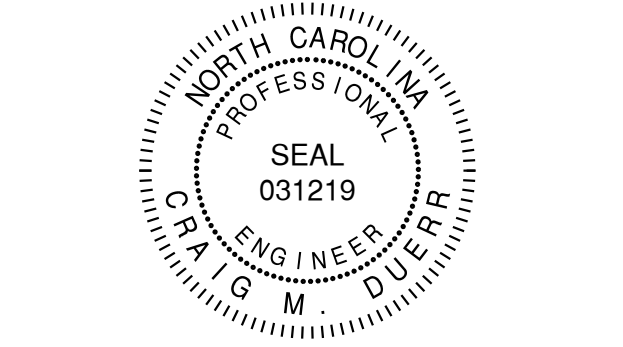
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Vicinity map:



Seal:
 PRELIMINARY - DO NOT
 USE FOR CONSTRUCTION



Project:
**FORMER THALES
 SITE**

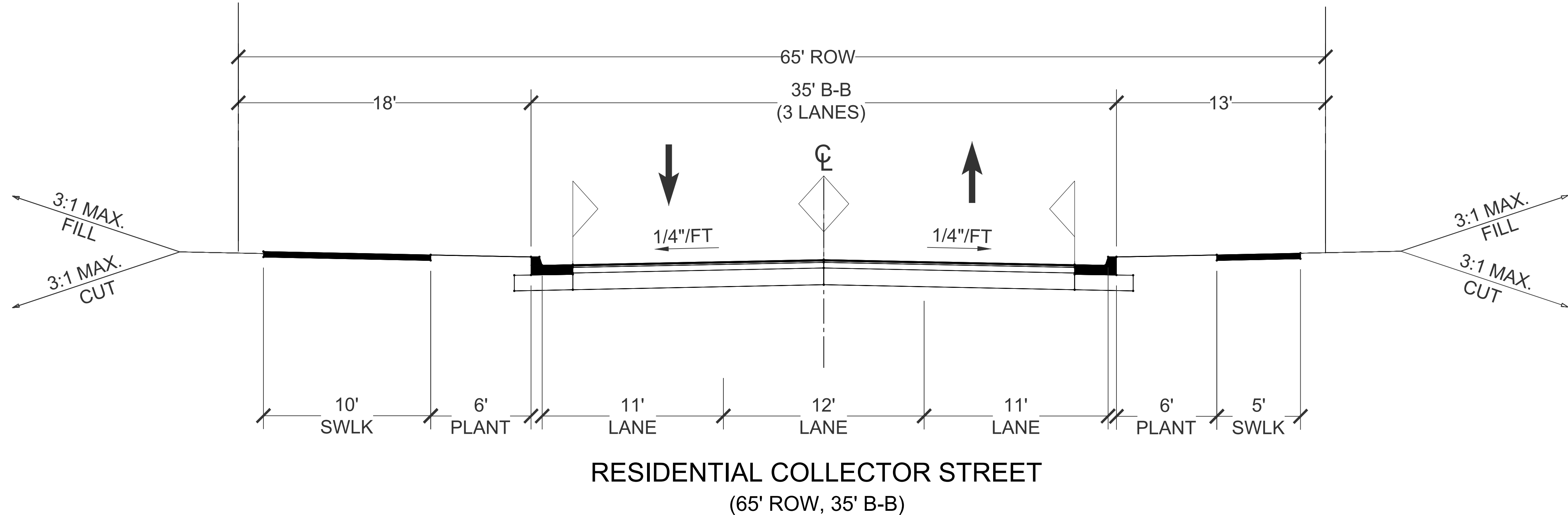
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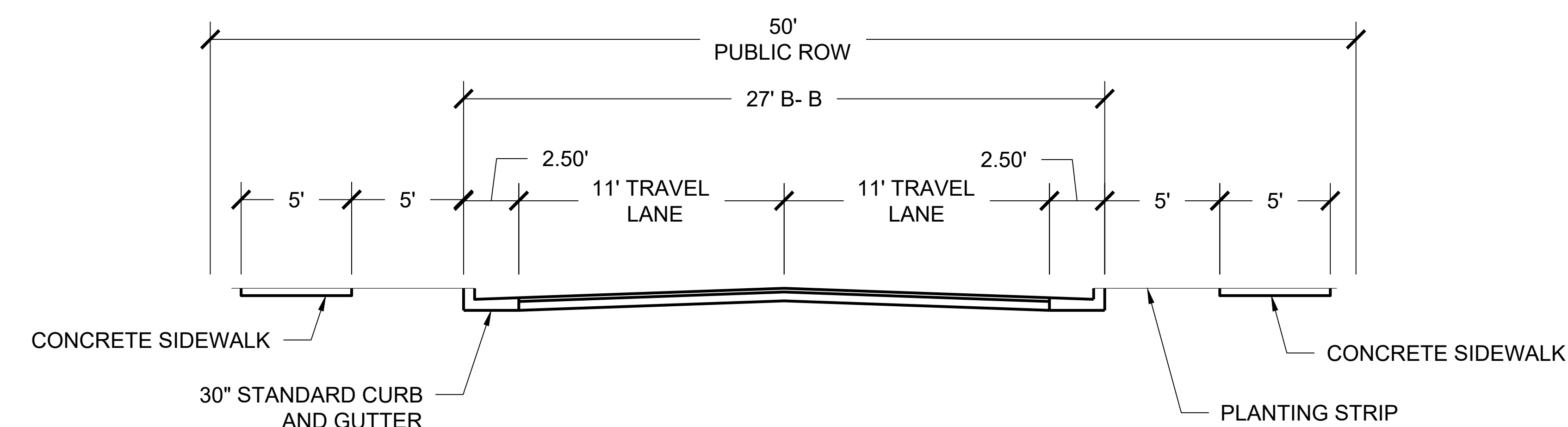
No.	Date	Description

Title:
**TYPICAL SECTIONS &
 BUFFERS**

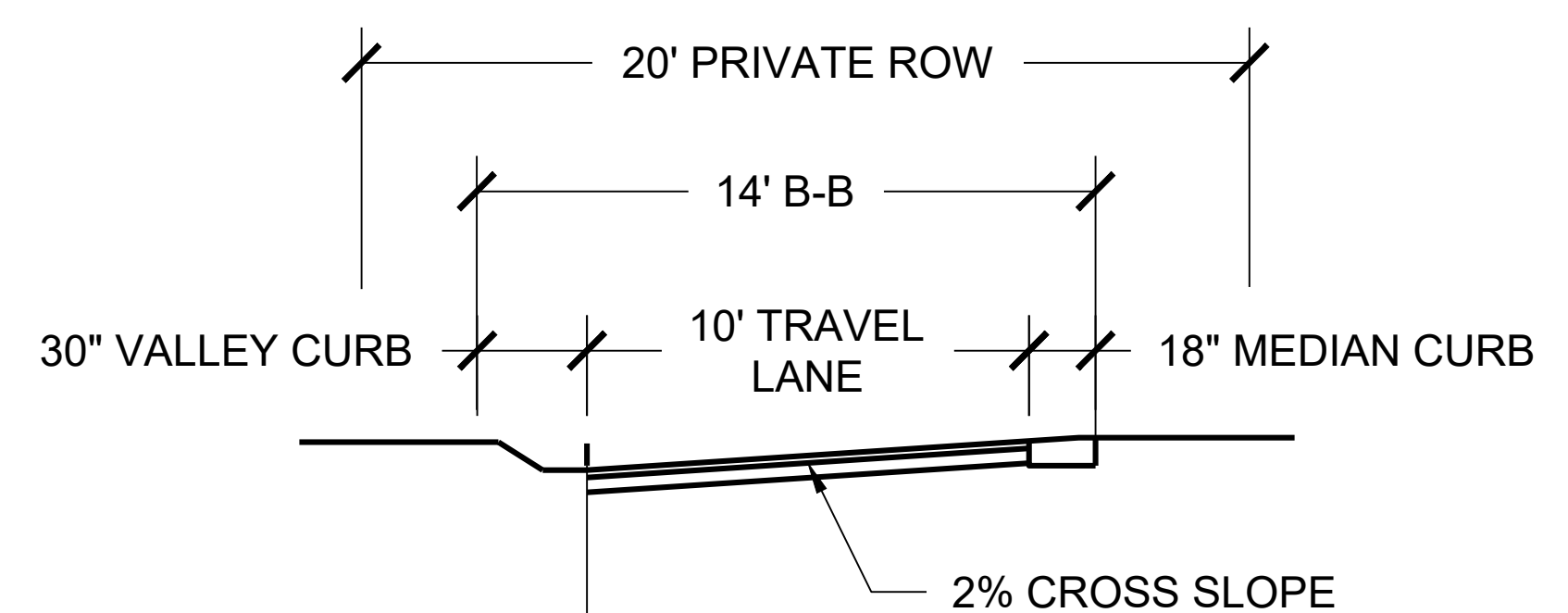
Project number: C19003 Sheet #: **C0.20**
 Issued Date: 12.23.2020
 Drawn by: JH
 Approved by: CD



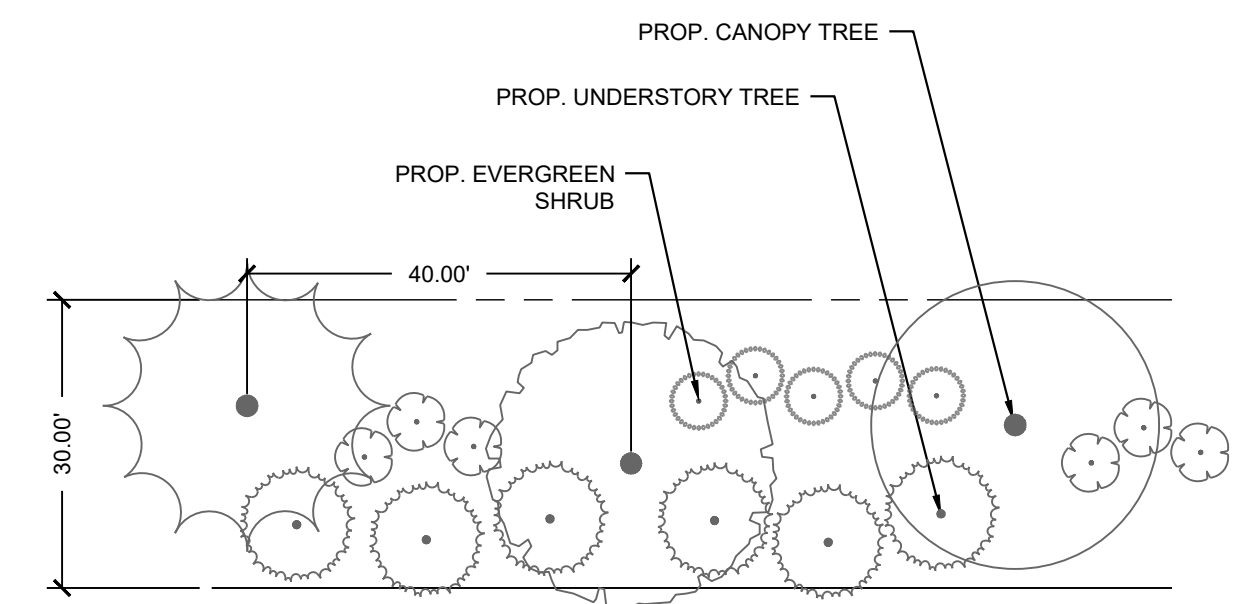
RESIDENTIAL COLLECTOR STREET
 (65' ROW, 35' B-B)



LOCAL RESIDENTIAL STREET
 (50' ROW, 2 B-B)

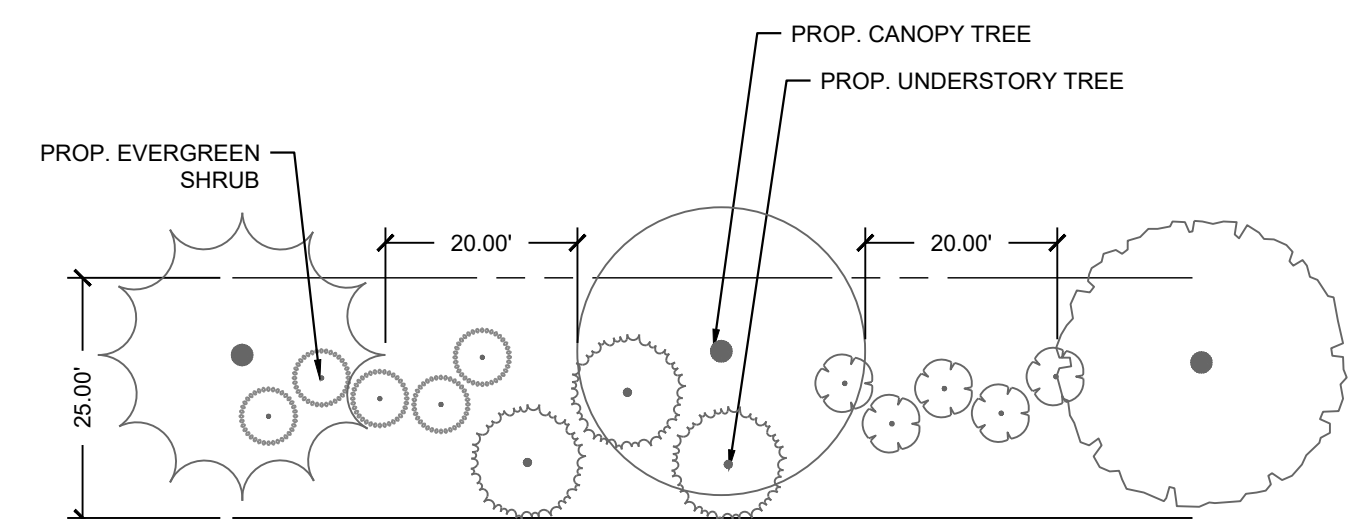


PRIVATE ALLEY
 (20' ROW, 14' B-B)



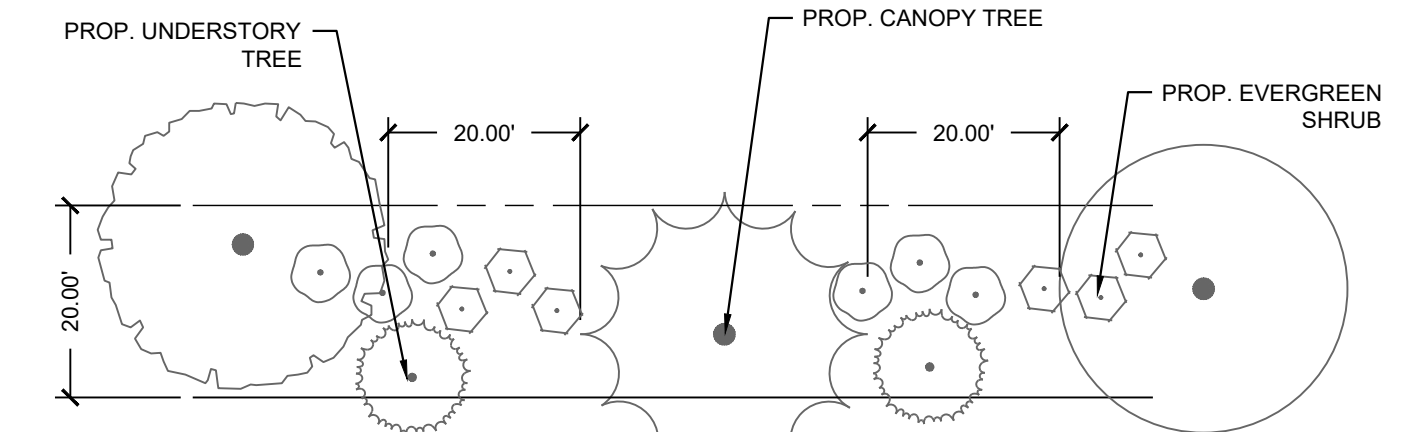
TYPE "D" STREET FRONT BUFFER
 SCALE: 1" = 20'

30' STREET FRONT TYPE 'D' BUFFER (TYP.):
 1 DECIDUOUS OR EVERGREEN TREE / 40' OF FRONTAGE
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE REQUIREMENT WITHIN BUFFER WHERE APPLICABLE



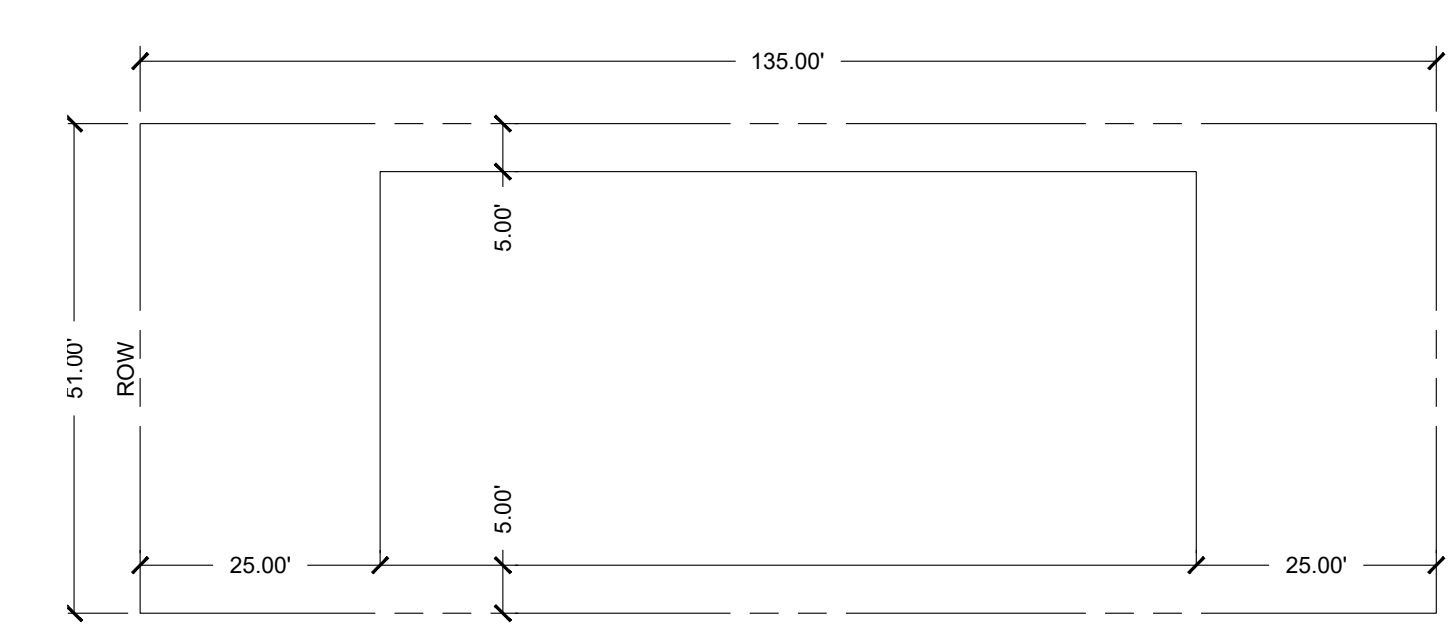
TYPE "B" LANDSCAPE BUFFER
 SCALE: 1" = 20'

25' TYPE 'B' BUFFER (TYP.):
 CANOPY TREES AT 20' MIN. HEIGHT - < 20' BETWEEN MATURE CANOPIES
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE REQUIREMENT WITHIN BUFFER WHERE APPLICABLE



TYPE "B" LANDSCAPE BUFFER
 SCALE: 1" = 20'

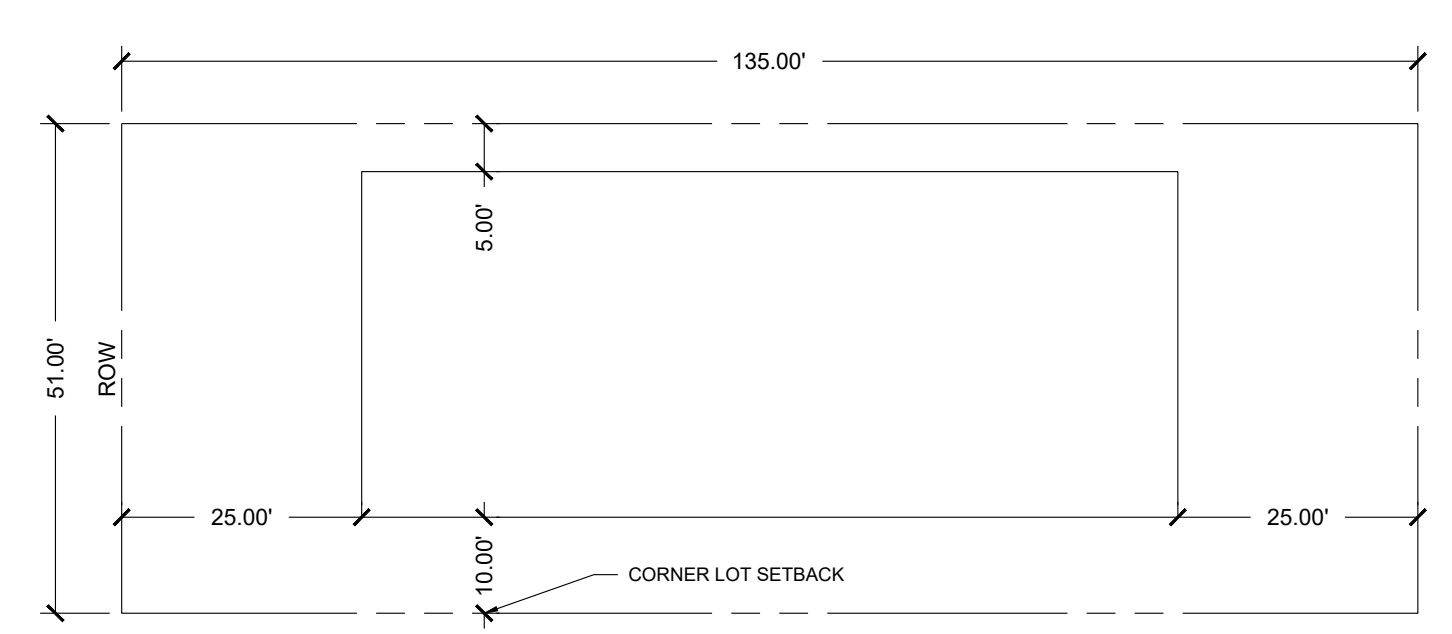
20' TYPE 'B' BUFFER (TYP.):
 CANOPY TREES AT 20' MIN. HEIGHT - < 20' BETWEEN MATURE CANOPIES
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE REQUIREMENT WITHIN BUFFER WHERE APPLICABLE



R1: SINGLE FAMILY DETACHED LOT (TYP.):

MINIMUM 6,000 SF
 SETBACKS:
 FRONT: 25'
 SIDE: 5'
 CORNER: 10'
 REAR: 25'

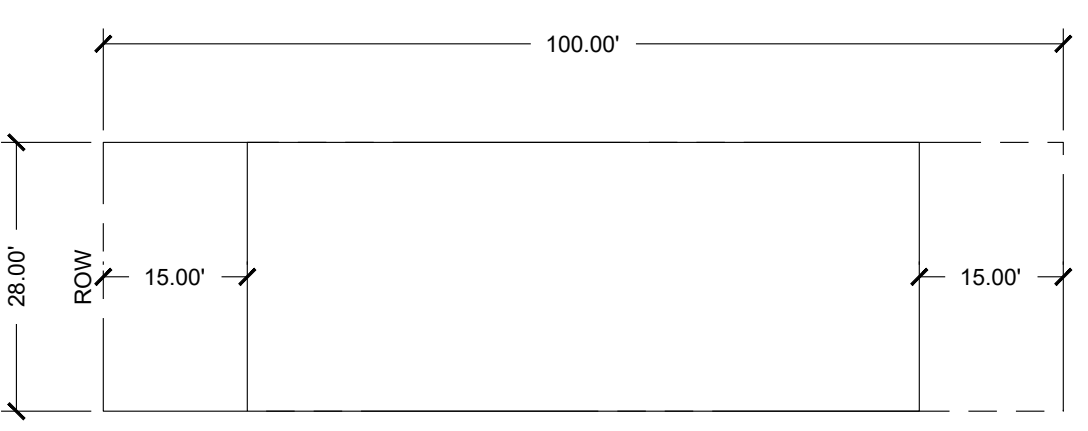
R1 SINGLE FAMILY RESIDENTIAL LOT



R1: SINGLE FAMILY DETACHED CORNER LOT (TYP.):

MINIMUM 6,000 SF
 SETBACKS:
 FRONT: 25'
 SIDE: 5'
 CORNER: 10'
 REAR: 25'

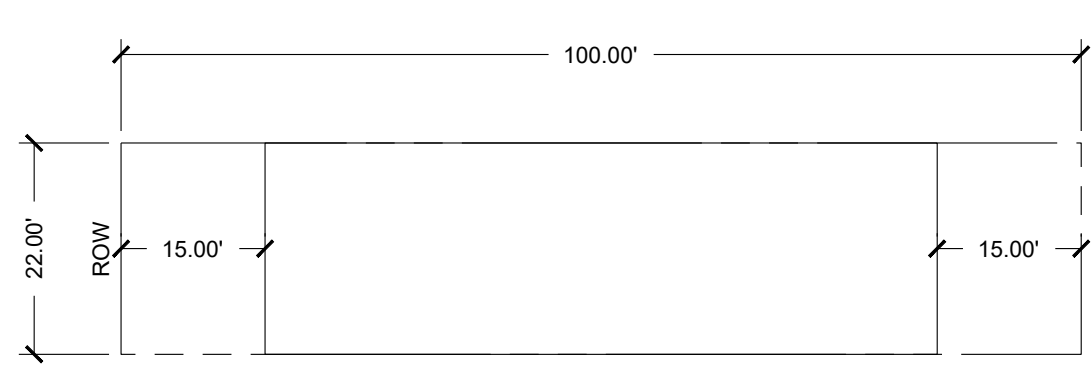
**R1 SINGLE FAMILY
 RESIDENTIAL CORNER LOT**



R3: TOWNHOUSE LOT (TYP.):

MINIMUM WIDTH 20'
 SETBACKS:
 FRONT: 15' (MIN.)
 REAR: 15'

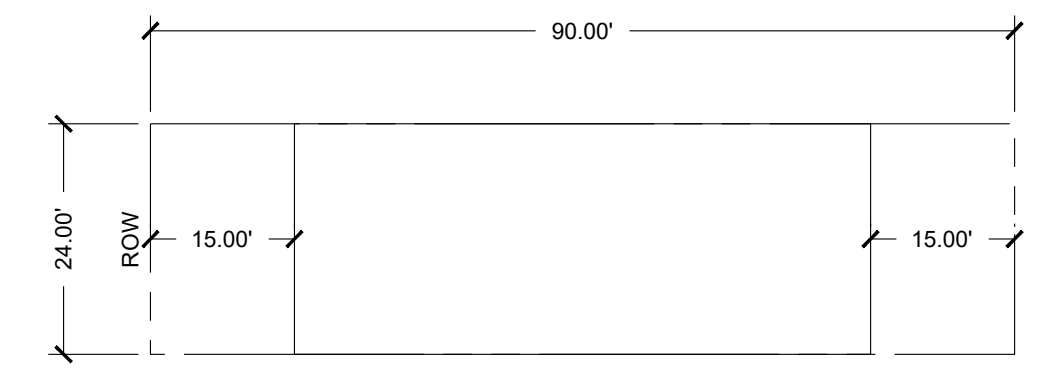
R3 TOWNHOUSE LOT



R3: TOWNHOUSE LOT (TYP.):

MINIMUM WIDTH 20'
 SETBACKS:
 FRONT: 15' (MIN.)
 REAR: 15'

R3 TOWNHOUSE LOT

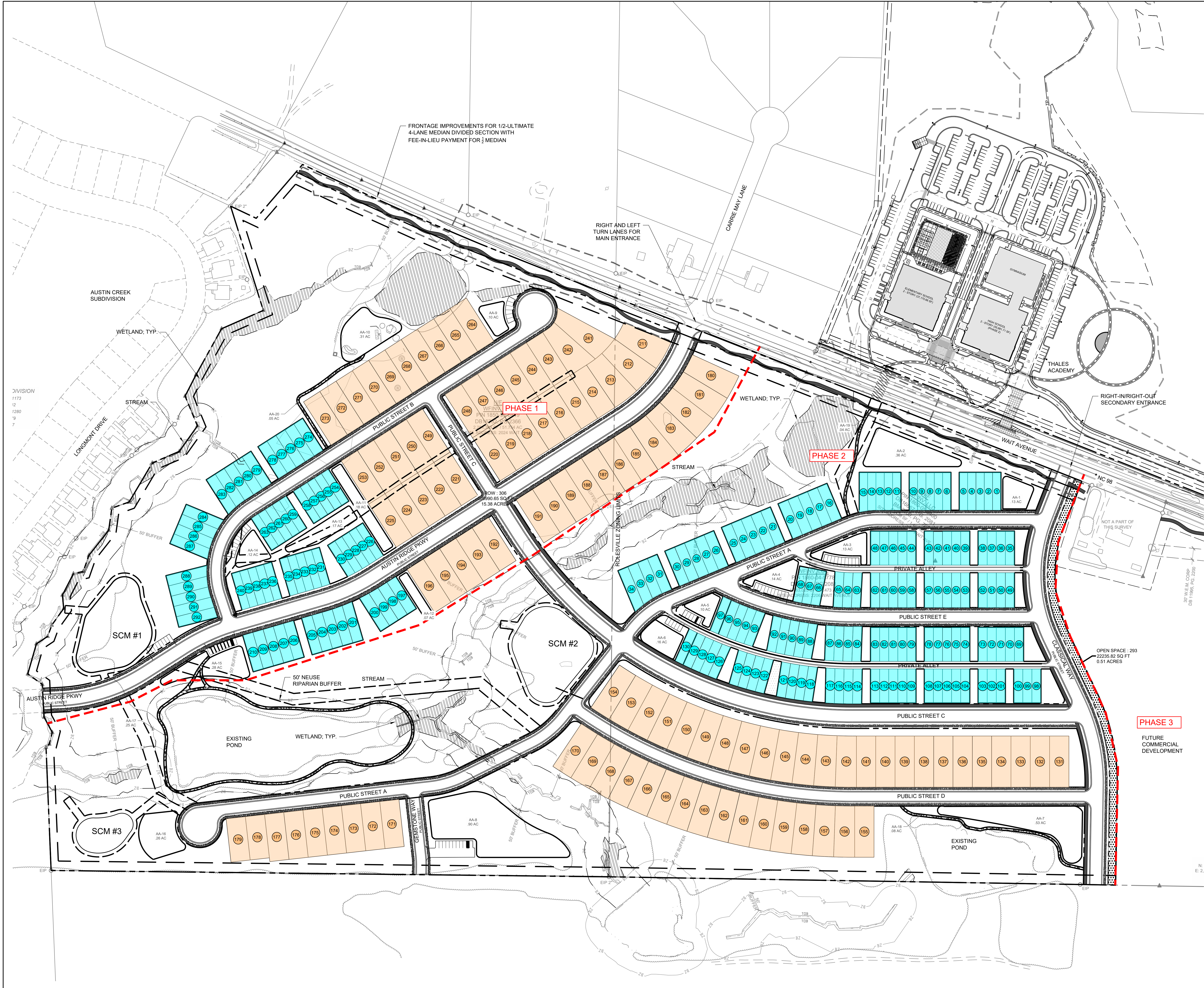


R3: TOWNHOUSE LOT (TYP.):

MINIMUM WIDTH 20'
 SETBACKS:
 FRONT: 15' (MIN.)
 REAR: 15'

R3 TOWNHOUSE LOT

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SITE LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Hatched Box]	PROPOSED BUILDING	SEE ARCH PLANS
[Dotted Box]	PROPOSED CONCRETE SIDEWALK	#C9.XX
[Cross-hatched Box]	PROPOSED BRICK SIDEWALK	#C9.XX
[Diagonal Lines]	PROPOSED HEAVY DUTY PAVEMENT	#C9.XX
[Dotted Box]	PROPOSED CONCRETE PAVERS	#C9.XX
[Stippled Box]	PROPOSED GRAVEL	#C9.XX
[Dotted Box]	PROPOSED CURB & GUTTER	#C9.XX
[Thick Line]	PROPOSED STOP BAR	#C9.XX
[Dashed Line]	PROPOSED CROSSWALK	#C9.XX
[Double Line]	PROPOSED 6' WIDE STANDARD CROSSWALK	#C9.XX
[Thick Dotted Line]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK	#C9.XX
[Circle]	PROPOSED SIGN	N/A
[Dotted Box]	PROPOSED ADA PARKING SPACE	#C9.XX
[Thick Dotted Line]	PROPOSED KEYSTONE WALL	#C9.XX
[Dotted Box]	PROPOSED CIP WALL	#C9.XX
[Thick Dotted Line]	PROPOSED WHEEL STOP	#C9.XX
[Dotted Box]	PROPOSED GRAVEL TRAIL	#C9.XX
[Thick Dotted Line]	PROPOSED ASPHALT TRAIL	#C9.XX
[Dotted Line]	PROPOSED TREELINE	N/A
[X]	PROPOSED FENCE	#C9.XX
[Circle]	PROPOSED LIGHT	#C9.XX
[Circle]	PROPOSED BIKE RACK	#C9.XX
[Circle]	PROPOSED BENCH	#C9.XX
[Circle]	PROPOSED BOLLARD	#C9.XX
[Thick Dotted Line]	LIMITS OF DISTURBANCE	N/A

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

AMENITY AREA / ACTIVE RECREATION

ID	AREA (ACRES)	DESCRIPTION
AA-1	0.13	
AA-2	0.36	
AA-3	0.13	
AA-4	0.14	
AA-5	0.10	
AA-6	0.16	
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AA-9	0.10	
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AA-19	0.04	Crushed stone trail
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4.36 Total Active Amenity Area Req.		
4.35 Total Active Amenity Area		

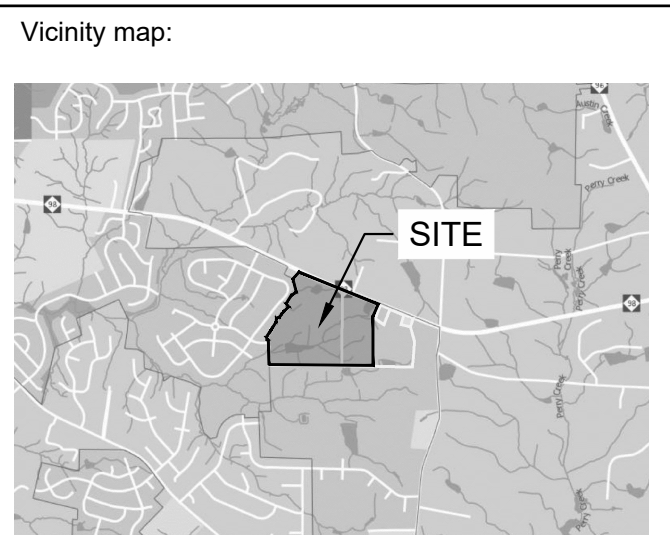
*10% of total acreage to be provided as open / amenity space.
8.69 AC required, a minimum of 50% to be active according to UDO code 15.4.8.2.B.4. 4.35 AC required as active amenity.

223 S. WEST ST., #100
RALEIGH, NC 27603
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FIRM LICENSE # C-1051
www.stewartinc.com
PROJECT # C19003

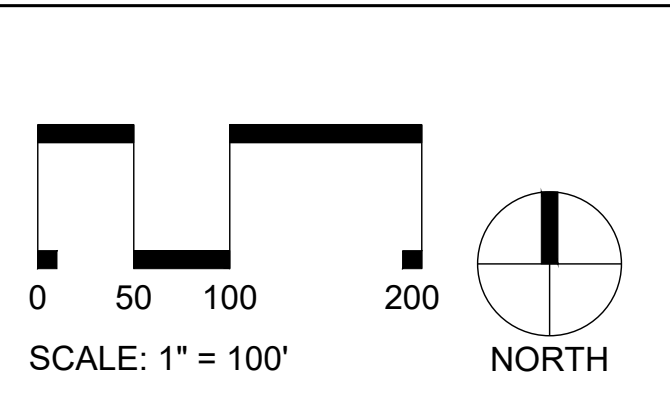
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PHONE (919)816-1100

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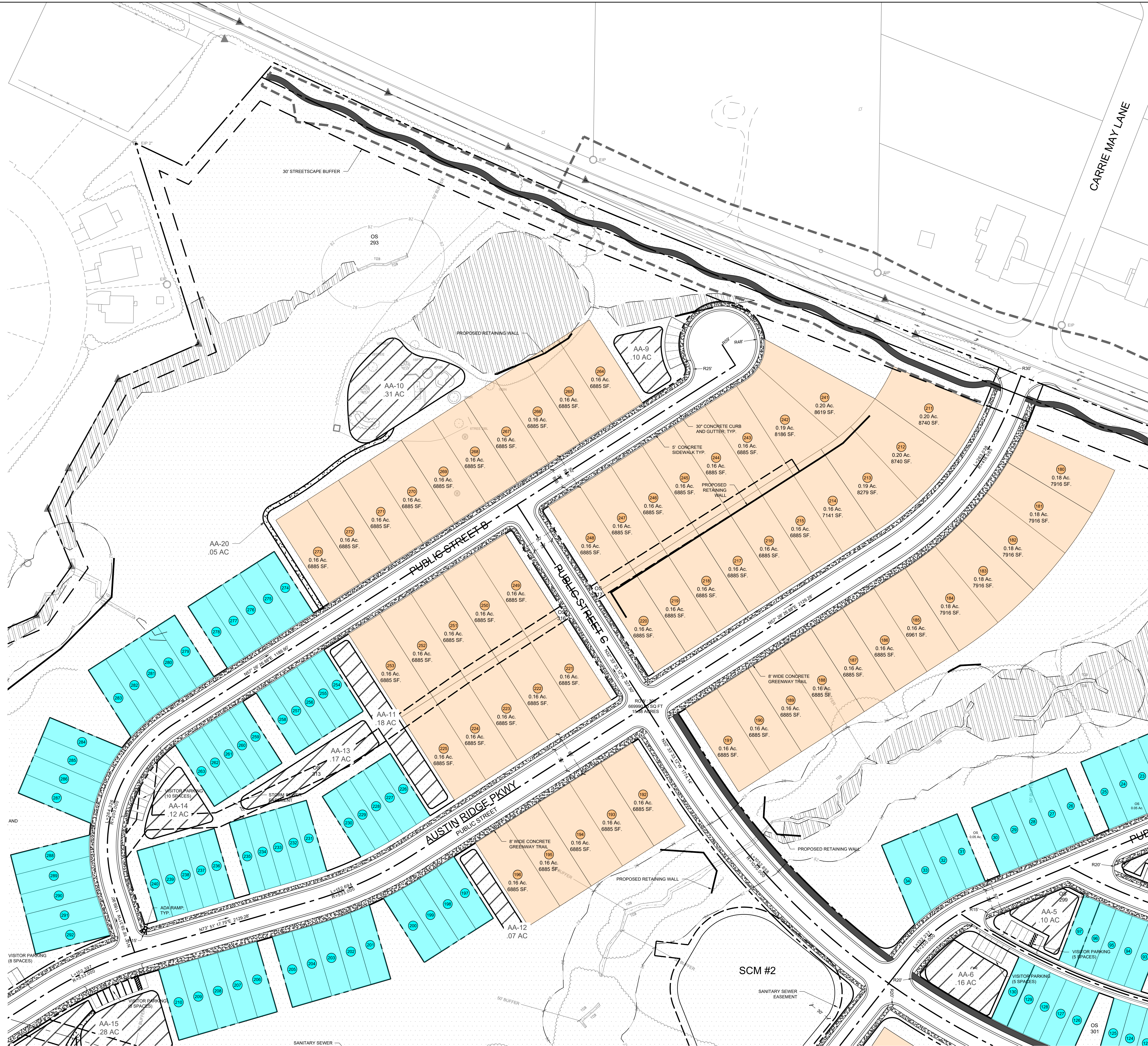
Title:

OVERALL SITE PLAN

Project number: C19003 Sheet #: **C3.00**
 Issued Date: 12.23.2020
 Drawn by: ???
 Approved by: ???

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SITE LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Symbol]	PROPOSED BUILDING	SEE ARCH PLANS
[Symbol]	PROPOSED CONCRETE SIDEWALK	#/C9.XX
[Symbol]	PROPOSED BRICK SIDEWALK	#/C9.XX
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT	#/C9.XX
[Symbol]	PROPOSED CONCRETE PAVERS	#/C9.XX
[Symbol]	PROPOSED GRAVEL	#/C9.XX
[Symbol]	PROPOSED CURB & GUTTER	#/C9.XX
[Symbol]	PROPOSED STOP BAR	#/C9.XX
[Symbol]	PROPOSED CROSSWALK	#/C9.XX
[Symbol]	PROPOSED 6' WIDE STANDARD CROSSWALK	#/C9.XX
[Symbol]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK	#/C9.XX
[Symbol]	PROPOSED SIGN	N/A
[Symbol]	PROPOSED ADA PARKING SPACE	#/C9.XX
[Symbol]	PROPOSED KEYSTONE WALL	#/C9.XX
[Symbol]	PROPOSED CIP WALL	#/C9.XX
[Symbol]	PROPOSED WHEEL STOP	#/C9.XX
[Symbol]	PROPOSED GRAVEL TRAIL	#/C9.XX
[Symbol]	PROPOSED ASPHALT TRAIL	#/C9.XX
[Symbol]	PROPOSED TREELINE	N/A
[Symbol]	PROPOSED FENCE	#/C9.XX
[Symbol]	PROPOSED LIGHT	#/C9.XX
[Symbol]	PROPOSED BIKE RACK	#/C9.XX
[Symbol]	PROPOSED BENCH	#/C9.XX
[Symbol]	PROPOSED BOLLARD	#/C9.XX
[Symbol]	LIMITS OF DISTURBANCE	N/A

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

Client:

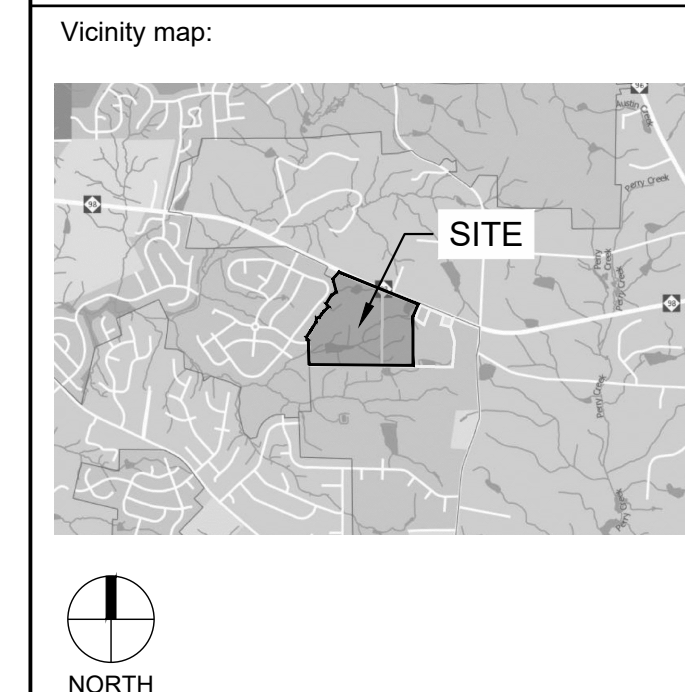
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Seal:

PRELIMINARY - DO NOT
USE FOR CONSTRUCTION

NORTH CAROLINA
PROFESSIONAL
ENGINEERING
SEAL
031219
P. ENGINEER
C. M. DIETZ

0 25 50 100
SCALE: 1" = 50'
NORTH

Project:

**FORMER THALES
SITE**

Issued for:

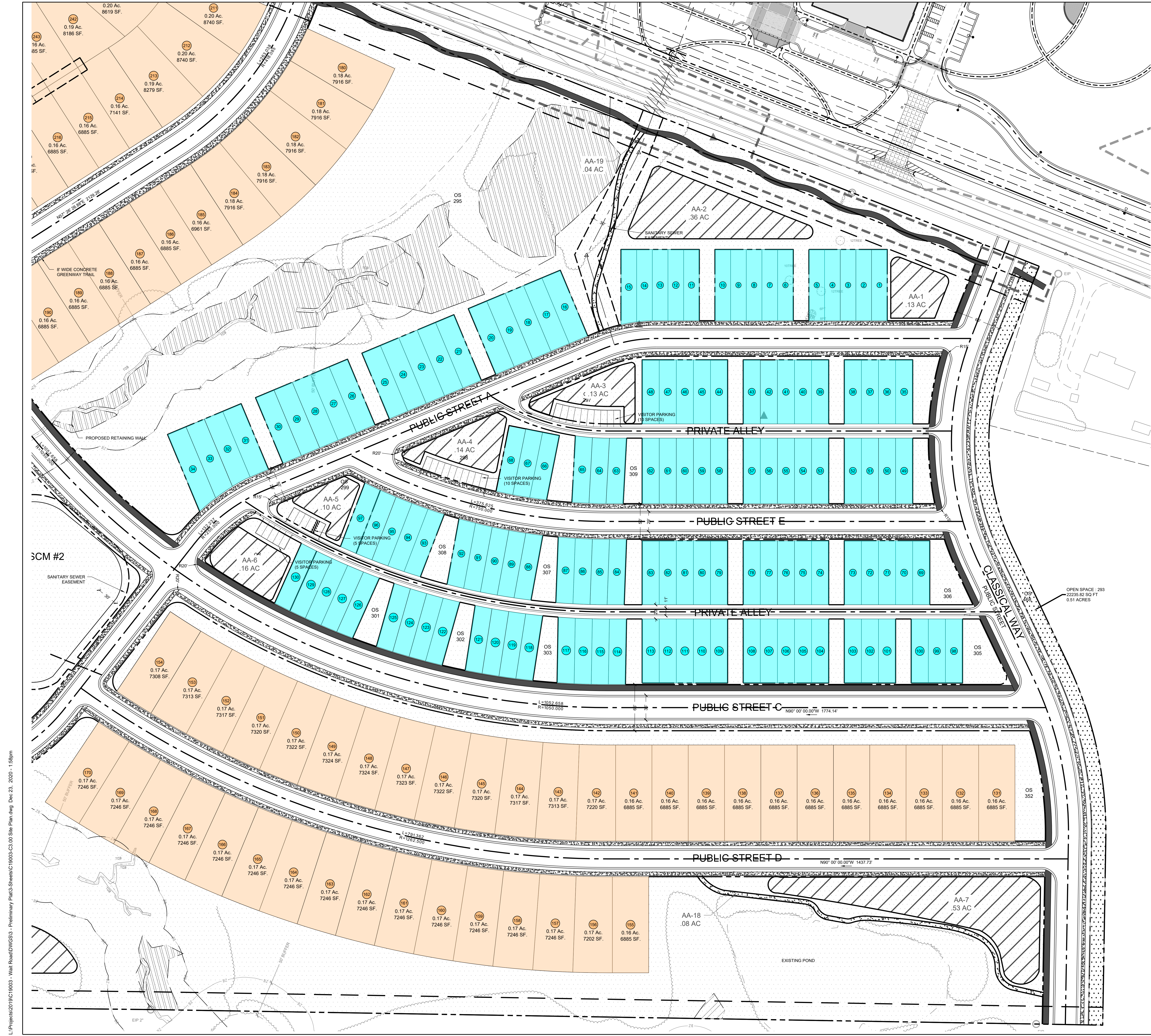
PRELIMINARY PLAT

No.	Date	Description

Title:

SITE PLAN WEST

Project number: C19003 Sheet #:
Issued Date: 12.23.2020
Drawn by: JH
Approved by: CD
C3.01



SITE LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Symbol]	PROPOSED BUILDING	SEE ARCH. PLANS
[Symbol]	PROPOSED CONCRETE SIDEWALK	#/C9.XX
[Symbol]	PROPOSED BRICK SIDEWALK	#/C9.XX
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT	#/C9.XX
[Symbol]	PROPOSED CONCRETE PAVERS	#/C9.XX
[Symbol]	PROPOSED GRAVEL	#/C9.XX
[Symbol]	PROPOSED CURB & GUTTER	#/C9.XX
[Symbol]	PROPOSED STOP BAR	#/C9.XX
[Symbol]	PROPOSED CROSSWALK	#/C9.XX
[Symbol]	PROPOSED 6' WIDE STANDARD CROSSWALK	#/C9.XX
[Symbol]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK	#/C9.XX
[Symbol]	PROPOSED SIGN	N/A
[Symbol]	PROPOSED ADA PARKING SPACE	#/C9.XX
[Symbol]	PROPOSED KEYSTONE WALL	#/C9.XX
[Symbol]	PROPOSED CIP WALL	#/C9.XX
[Symbol]	PROPOSED WHEEL STOP	#/C9.XX
[Symbol]	PROPOSED GRAVEL TRAIL	#/C9.XX
[Symbol]	PROPOSED ASPHALT TRAIL	#/C9.XX
[Symbol]	PROPOSED TREELINE	N/A
[Symbol]	PROPOSED FENCE	#/C9.XX
[Symbol]	PROPOSED LIGHT	#/C9.XX
[Symbol]	PROPOSED BIKE RACK	#/C9.XX
[Symbol]	PROPOSED BENCH	#/C9.XX
[Symbol]	PROPOSED BOLLARD	#/C9.XX
[Symbol]	LIMITS OF DISTURBANCE	N/A

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

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 RALEIGH, NC 27603
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 PROJECT # C19003

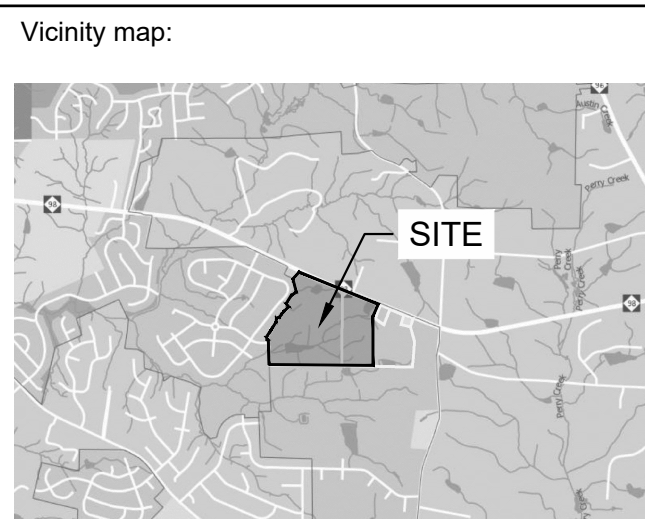
Client:
 PULTE HOMES
 CHRIS RAUGHLEY
 1224 CRESCENT GREEN
 CARY, NC 27518
 PHONE (919) 816-1100

Consultants:
 COMPANY NAME
 CONTACT NAME
 ADDRESS LINE 1
 CITY, STATE ZIP CODE
 PHONE #

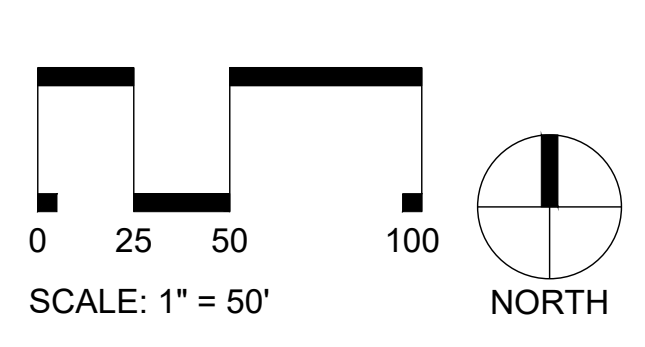
COMPANY NAME
 CONTACT NAME
 ADDRESS LINE 1
 CITY, STATE ZIP CODE
 PHONE #

COMPANY NAME
 CONTACT NAME
 ADDRESS LINE 1
 CITY, STATE ZIP CODE
 PHONE #

COMPANY NAME
 CONTACT NAME
 ADDRESS LINE 1
 CITY, STATE ZIP CODE
 PHONE #



Seal:
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION



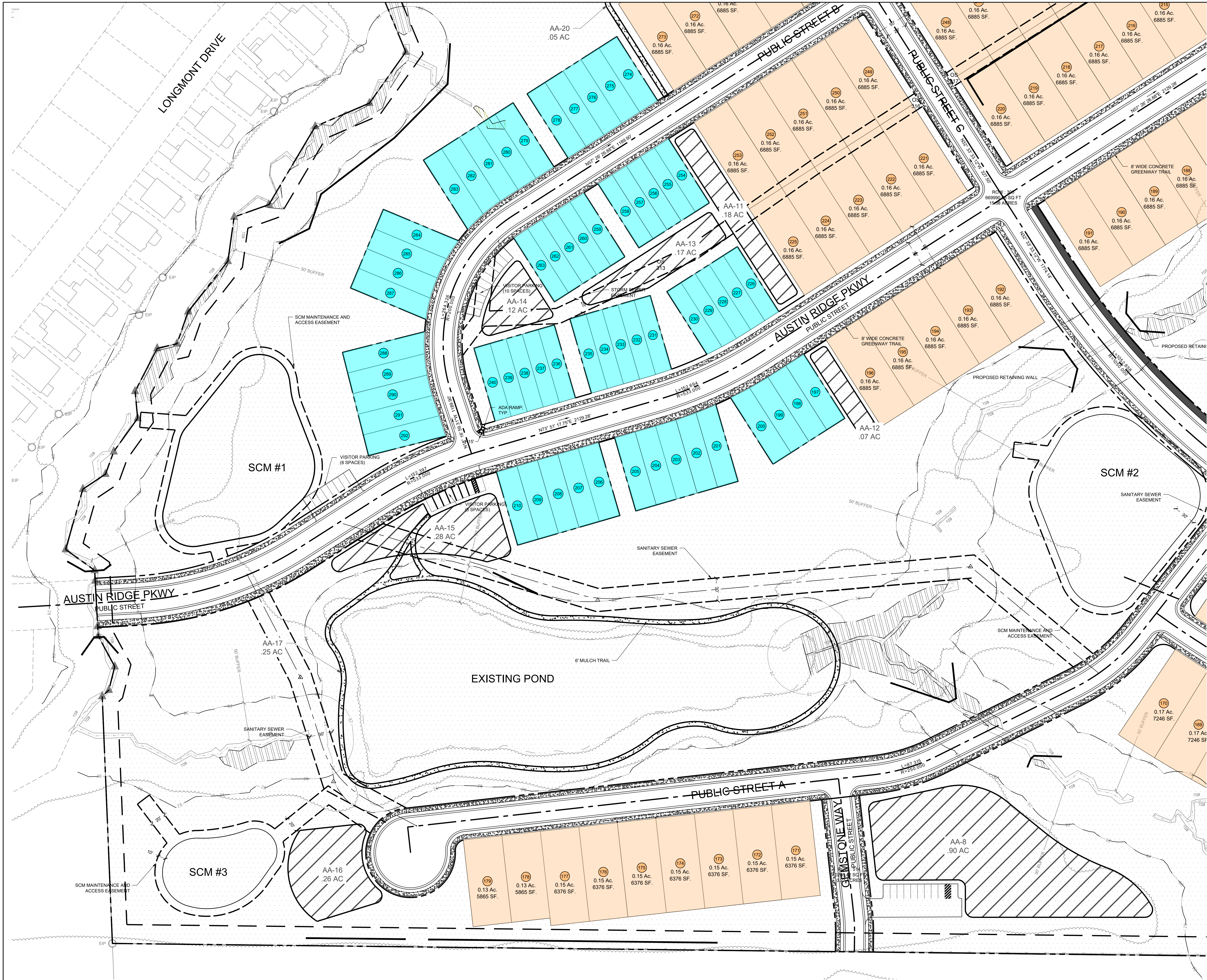
Project:
FORMER THALES SITE

Issued for:
PRELIMINARY PLAT

No.	Date	Description

Title:
SITE PLAN EAST

Project number: C19003 Sheet #: **C3.02**
 Issued Date: 12.23.2020
 Drawn by: JH
 Approved by: CD



SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Pattern]	PROPOSED BUILDING	SEE ARCH. PLANS
[Pattern]	PROPOSED CONCRETE SIDEWALK	#/C9.XX
[Pattern]	PROPOSED BRICK SIDEWALK	#/C9.XX
[Pattern]	PROPOSED HEAVY DUTY PAVEMENT	#/C9.XX
[Pattern]	PROPOSED CONCRETE PAVERS	#/C9.XX
[Pattern]	PROPOSED GRAVEL	#/C9.XX
[Pattern]	PROPOSED CURB & GUTTER	#/C9.XX
[Pattern]	PROPOSED STOP BAR	#/C9.XX
[Pattern]	PROPOSED CROSSWALK	#/C9.XX
[Pattern]	PROPOSED 6' WIDE STANDARD CROSSWALK	#/C9.XX
[Pattern]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK	#/C9.XX
[Symbol]	PROPOSED SIGN	N/A
[Symbol]	PROPOSED ADA PARKING SPACE	#/C9.XX
[Symbol]	PROPOSED KEYSTONE WALL	#/C9.XX
[Symbol]	PROPOSED CIP WALL	#/C9.XX
[Symbol]	PROPOSED WHEEL STOP	#/C9.XX
[Symbol]	PROPOSED GRAVEL TRAIL	#/C9.XX
[Symbol]	PROPOSED ASPHALT TRAIL	#/C9.XX
[Symbol]	PROPOSED TREELINE	N/A
[Symbol]	PROPOSED FENCE	#/C9.XX
[Symbol]	PROPOSED LIGHT	#/C9.XX
[Symbol]	PROPOSED BIKE RACK	#/C9.XX
[Symbol]	PROPOSED BENCH	#/C9.XX
[Symbol]	PROPOSED BOLLARD	#/C9.XX
[Symbol]	LIMITS OF DISTURBANCE	N/A



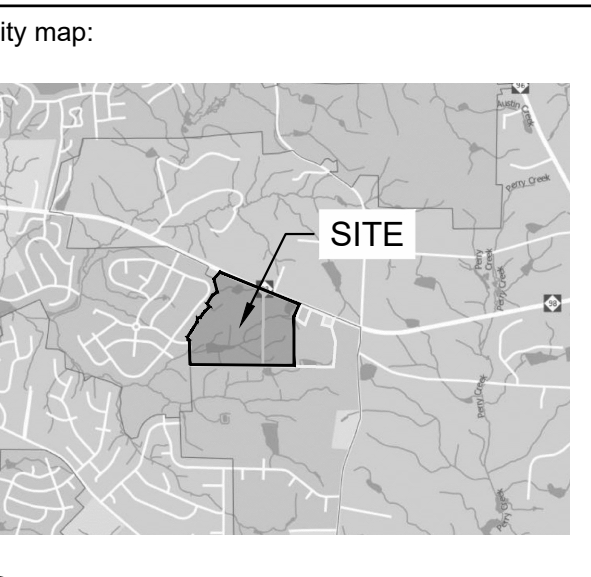
Client:
 PULTE HOMES
 CHRIS RAUGHLEY
 1224 CRESCENT GREEN
 CARY, NC 27516
 PHONE (919)816-1100

Consultants:
 COMPANY NAME
 CONTACT NAME
 ADDRESS LINE 1
 CITY, STATE ZIPCODE
 PHONE #

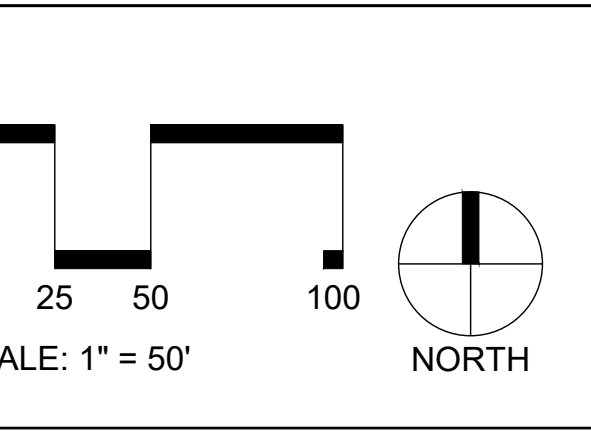
COMPANY NAME
 CONTACT NAME
 ADDRESS LINE 1
 CITY, STATE ZIPCODE
 PHONE #

COMPANY NAME
 CONTACT NAME
 ADDRESS LINE 1
 CITY, STATE ZIPCODE
 PHONE #

NOTES:
 1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



Seal:
PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:
FORMER THALES SITE

Issued for:
PRELIMINARY PLAT

No.	Date	Description

Title:
SITE PLAN SOUTH

Project number: C19003 Sheet #:
 Issued Date: 12.23.2020
 Drawn by: JH
 Approved by: CD
C3.03

L:\Projects\2019\C19003 - Wal Road\DWG\SS - Preliminary Plat\SS-Sheets\C19003-C3.00 Site Plan.dwg Dec-23, 2020 - 1:58pm



GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
—	LIMITS OF DISTURBANCE	N/A
—	PROPOSED MAJOR CONTOUR	N/A
—	PROPOSED MINOR CONTOUR	N/A
—	EXISTING MAJOR CONTOUR	N/A
—	EXISTING MINOR CONTOUR	N/A
—	PROPOSED STORM DRAINAGE	#/CB.XX
⊙	PROPOSED JUNCTION BOX	#/CB.XX
⊞	PROPOSED CATCH BASIN	#/CB.XX
⊞	PROPOSED AREA DRAIN	#/CB.XX
⊞	RIPRAP DISSIPATOR	#/CB.XX
→	FLOW DIRECTION	N/A
—	PROPOSED ELEVATION	N/A
—	TOP/BOTTOM OF CURB	N/A
—	TOP/BOTTOM OF WALL	N/A

NOTES:	
1.	SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.



Client:

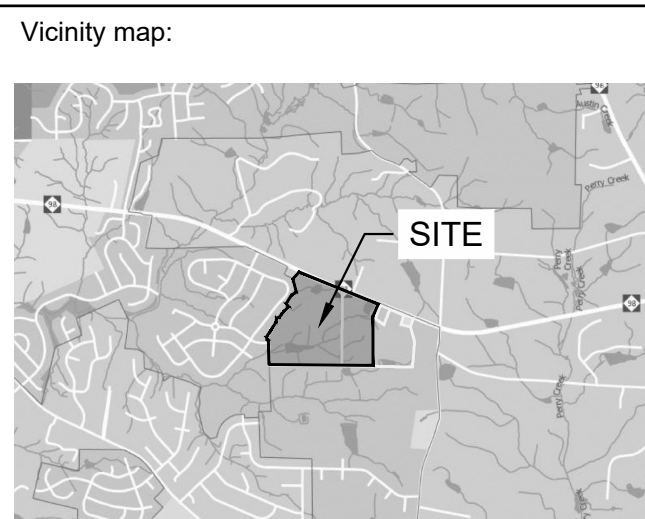
PULTE HOMES
CHRIS RAUGHLEY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919)816-1100

Consultants:

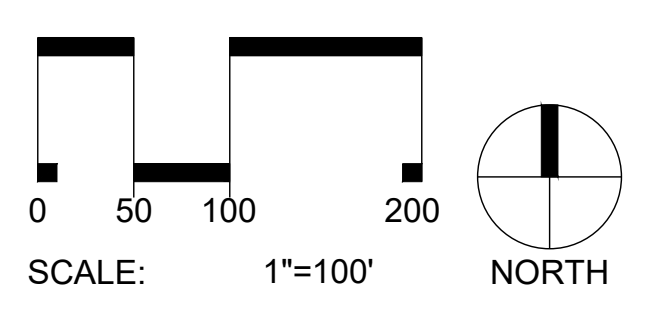
COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIPCODE
PHONE #

COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIPCODE
PHONE #

COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIPCODE
PHONE #



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:

FORMER THALES SITE

Issued for:

PRELIMINARY PLAT

No.	Date	Description

Title:

GRADING & STORM DRAINAGE PLAN OVERALL

Project number: C19003 Sheet #: **C5.00**
 Issued Date: 12.23.2020
 Drawn by: ???
 Approved by: ???

L:\Projects\2019\C19003 - Wair Road\DWGS - Preliminary Plat\DWGS - Grading & Storm Drainage Plan.dwg Dec 23, 2020 - 2:00pm

L:\Projects\2019\201903 - Wait Road\DWG\SS - Preliminary Plat\DWG\SS - Preliminary Plat\DWG\SS - Preliminary Plat.dwg Dec 23, 2020 - 2:01pm



GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
	LIMITS OF DISTURBANCE	N/A
	PROPOSED MAJOR CONTOUR	N/A
	PROPOSED MINOR CONTOUR	N/A
	EXISTING MAJOR CONTOUR	N/A
	EXISTING MINOR CONTOUR	N/A
	PROPOSED STORM DRAINAGE	#/CB.XX
	PROPOSED JUNCTION BOX	#/CB.XX
	PROPOSED CATCH BASIN	#/CB.XX
	PROPOSED AREA DRAIN	#/CB.XX
	RIPRAP DISSIPATOR	#/CB.XX
	FLOW DIRECTION	N/A
	PROPOSED ELEVATION	N/A
	TC 44.00	N/A
	BC 44.00	N/A
	TW 44.00	N/A
	BW 44.00	N/A

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.



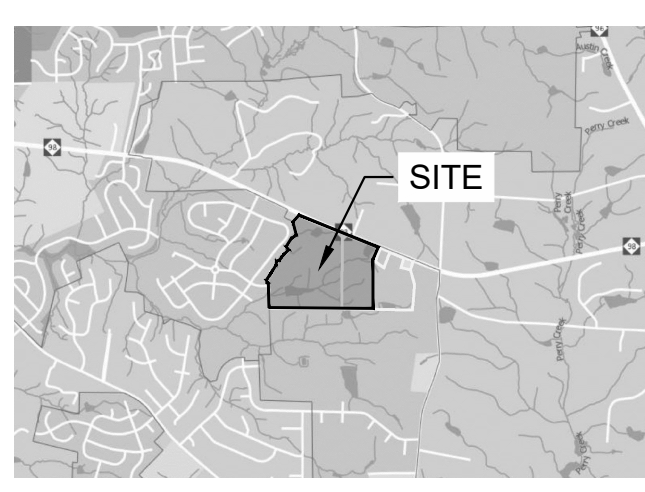
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223 S. WEST ST., #1100 FIRM LICENSE # C-1051
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Client:
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1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919)816-1100

Consultants:

COMPANY NAME	CONTACT NAME
ADDRESS LINE 1	ADDRESS LINE 1
CITY, STATE ZIP/PCODE	CITY, STATE ZIP/PCODE
PHONE #	PHONE #

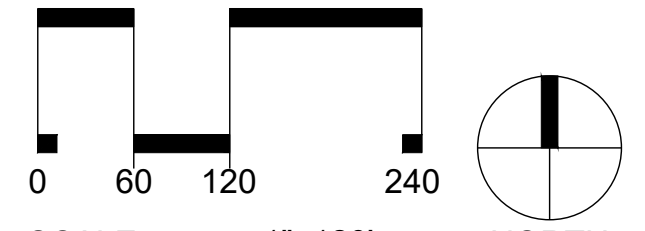
Vicinity map:



North arrow pointing up.

Seal:

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SCALE: 1"=120'

North arrow pointing up.

Project:

FORMER THALES SITE

Issued for:

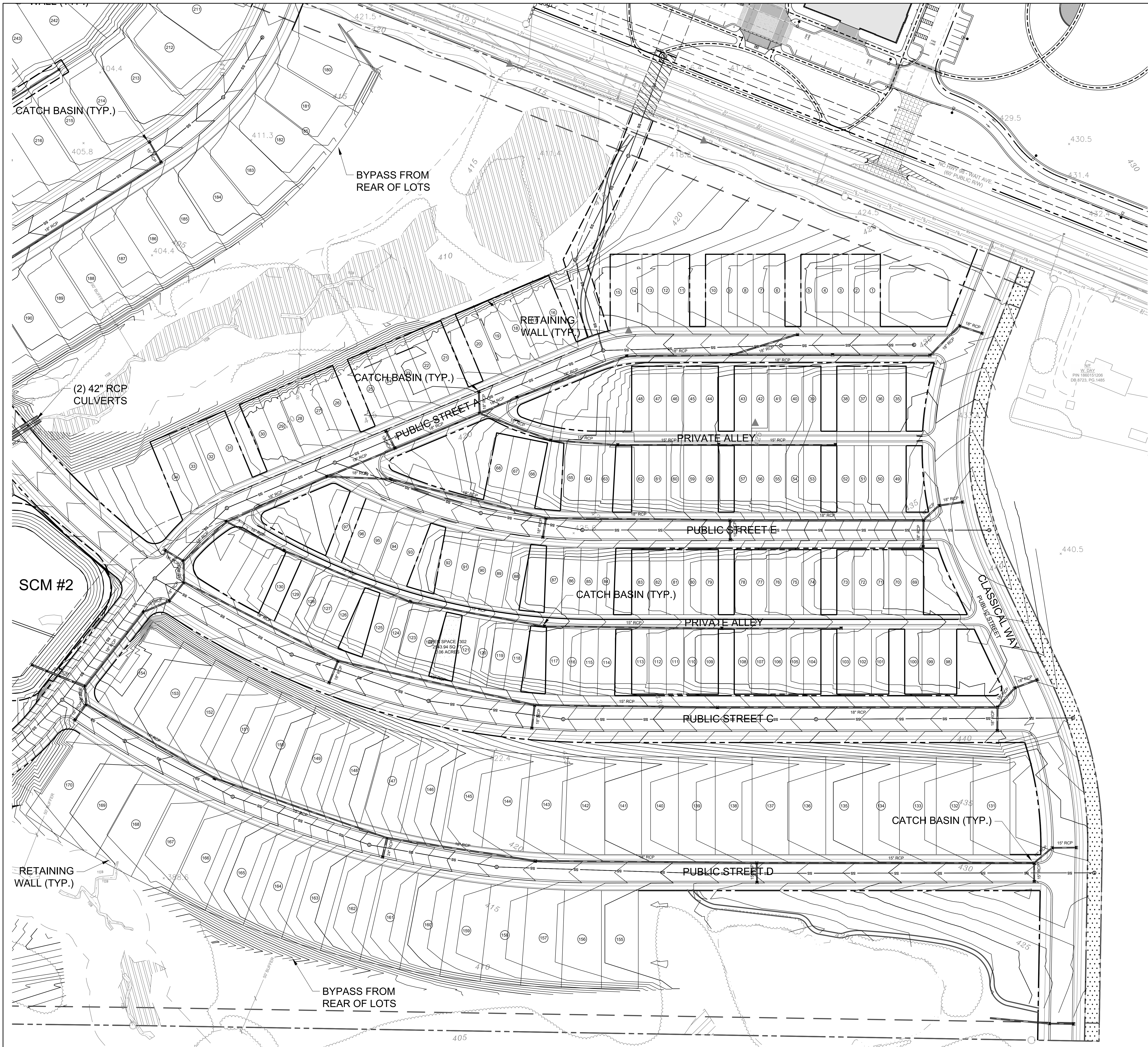
PRELIMINARY PLAT

No.	Date	Description

Title:

GRADING AND DRAINAGE PLAN WEST

Project number: C19003 Sheet #: **C5.01**
 Issued Date: 12.23.2020
 Drawn by: JH
 Approved by: CD



GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
---	LIMITS OF DISTURBANCE	N/A
---	PROPOSED MAJOR CONTOUR	N/A
---	PROPOSED MINOR CONTOUR	N/A
---	EXISTING MAJOR CONTOUR	N/A
---	EXISTING MINOR CONTOUR	N/A
---	PROPOSED STORM DRAINAGE	#/CB.XX
⊙	PROPOSED JUNCTION BOX	#/CB.XX
□	PROPOSED CATCH BASIN	#/CB.XX
---	PROPOSED AREA DRAIN	#/CB.XX
---	RIPRAP DISSIPATOR	#/CB.XX
→	FLOW DIRECTION	N/A
△	PROPOSED ELEVATION	N/A
---	TOP/BOTTOM OF CURB	N/A
---	TOP/BOTTOM OF WALL	N/A

NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

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PROJECT # C19003

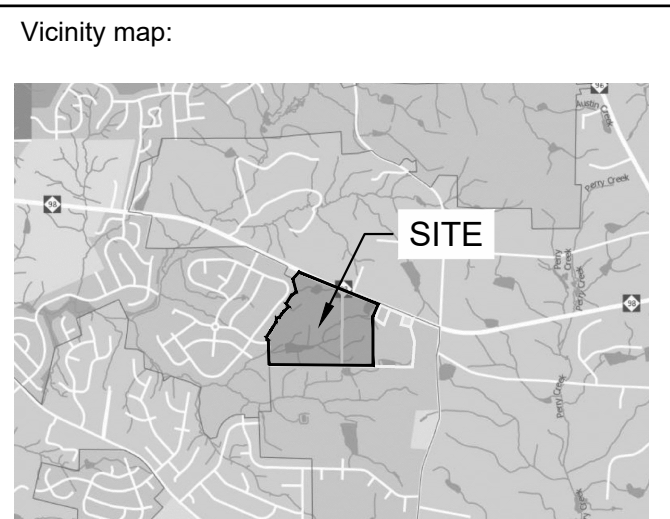
Client:
PULTE HOMES
CHRIS RAUGHLEY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919) 816-1100

Consultants:
COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #

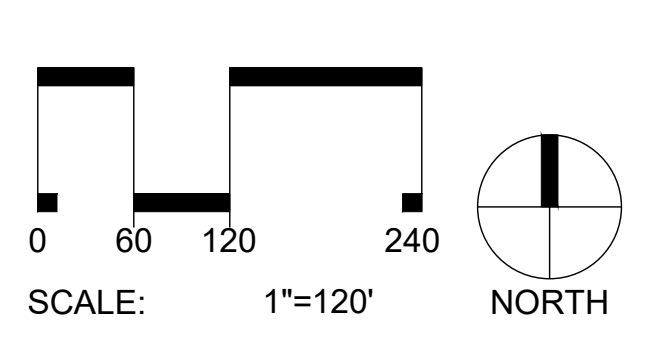
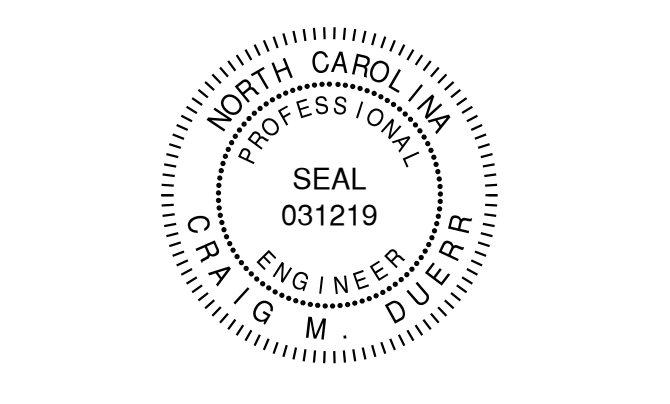
COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #

COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #

COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #



Seal:
PRELIMINARY - DO NOT
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Project:
**FORMER THALES
SITE**

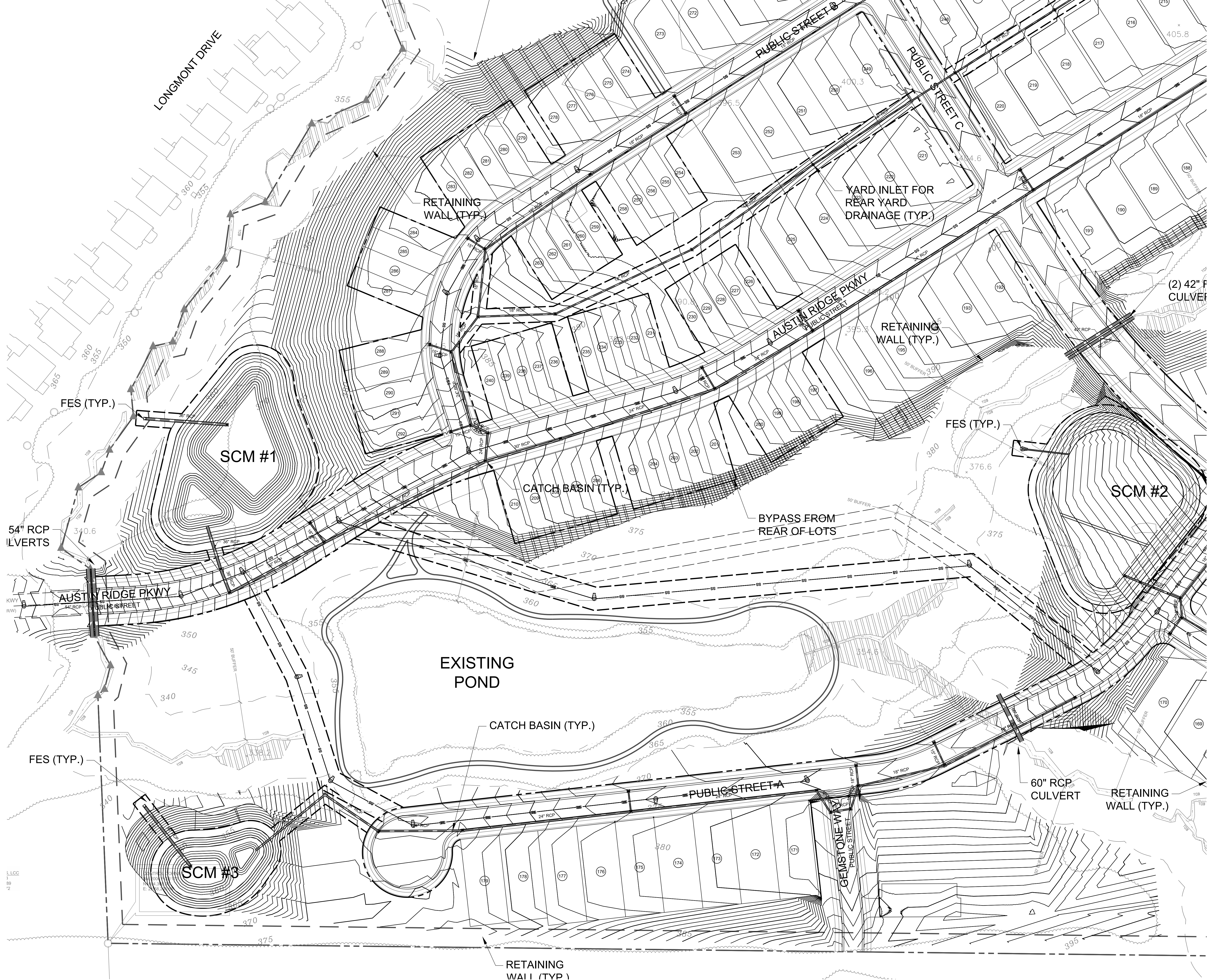
Issued for:
PRELIMINARY PLAT

No.	Date	Description

Title:
**GRADING AND
DRAINAGE PLAN EAST**

Project number: C19003 Sheet #:
Issued Date: 12.23.2020
Drawn by: JH
Approved by: CD **C5.02**

L:\Projects\2019\201903 - Wait Road\DWG\SS - Preliminary Plat\SS-Sheets\C19003-C5.00 Grading & Storm Drainage Plan.dwg Dec 23, 2020 - 2:01pm



GRADING LEGEND:	
SYMBOL	DESCRIPTION
(thick dashed line)	LIMITS OF DISTURBANCE
(solid line)	PROPOSED MAJOR CONTOUR
(dashed line)	PROPOSED MINOR CONTOUR
(dotted line)	EXISTING MAJOR CONTOUR
(dotted line)	EXISTING MINOR CONTOUR
(thick dashed line)	PROPOSED STORM DRAINAGE
(circle with 'D')	PROPOSED JUNCTION BOX
(square with 'CB')	PROPOSED CATCH BASIN
(square with 'AD')	PROPOSED AREA DRAIN
(dotted line with triangles)	RIPRAP DISSIPATOR
(arrow)	FLOW DIRECTION
(dotted line)	PROPOSED ELEVATION
(dotted line)	TOP/BOTTOM OF CURB
(dotted line)	TOP/BOTTOM OF WALL

DETAIL REFERENCE

N/A	#/CB.XX	#/CB.XX	N/A
N/A	#/CB.XX	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A
N/A	N/A	N/A	N/A

NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

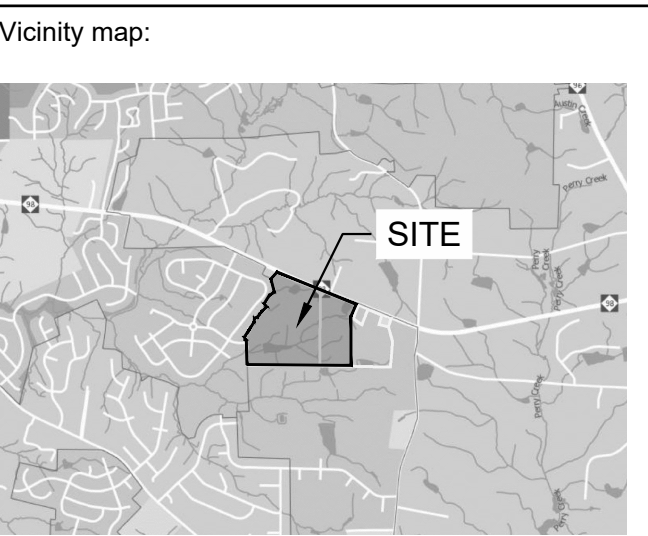
STEWART
223 S. WEST ST., #1100 FIRM LICENSE # C-1051
RALEIGH, NC 27603 www.stewartinc.com PROJECT # C19003

Client:

PULTE HOMES
CHRIS RAUGHLEY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919)816-1100

Consultants:

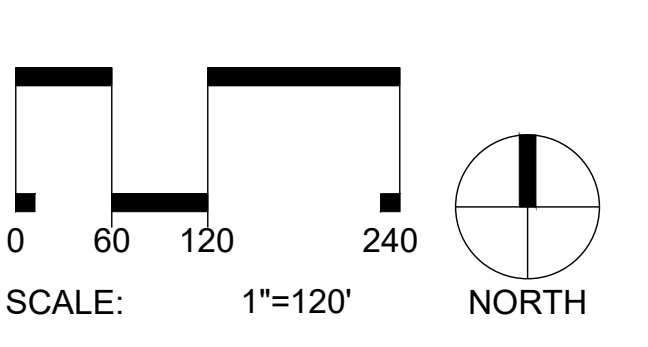
COMPANY NAME	CONTACT NAME	ADDRESS LINE 1	CITY, STATE ZIP CODE	PHONE #



NORTH

Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION

Professional Engineer
M. G. M. DIERKER
License No. 091219
State of North Carolina

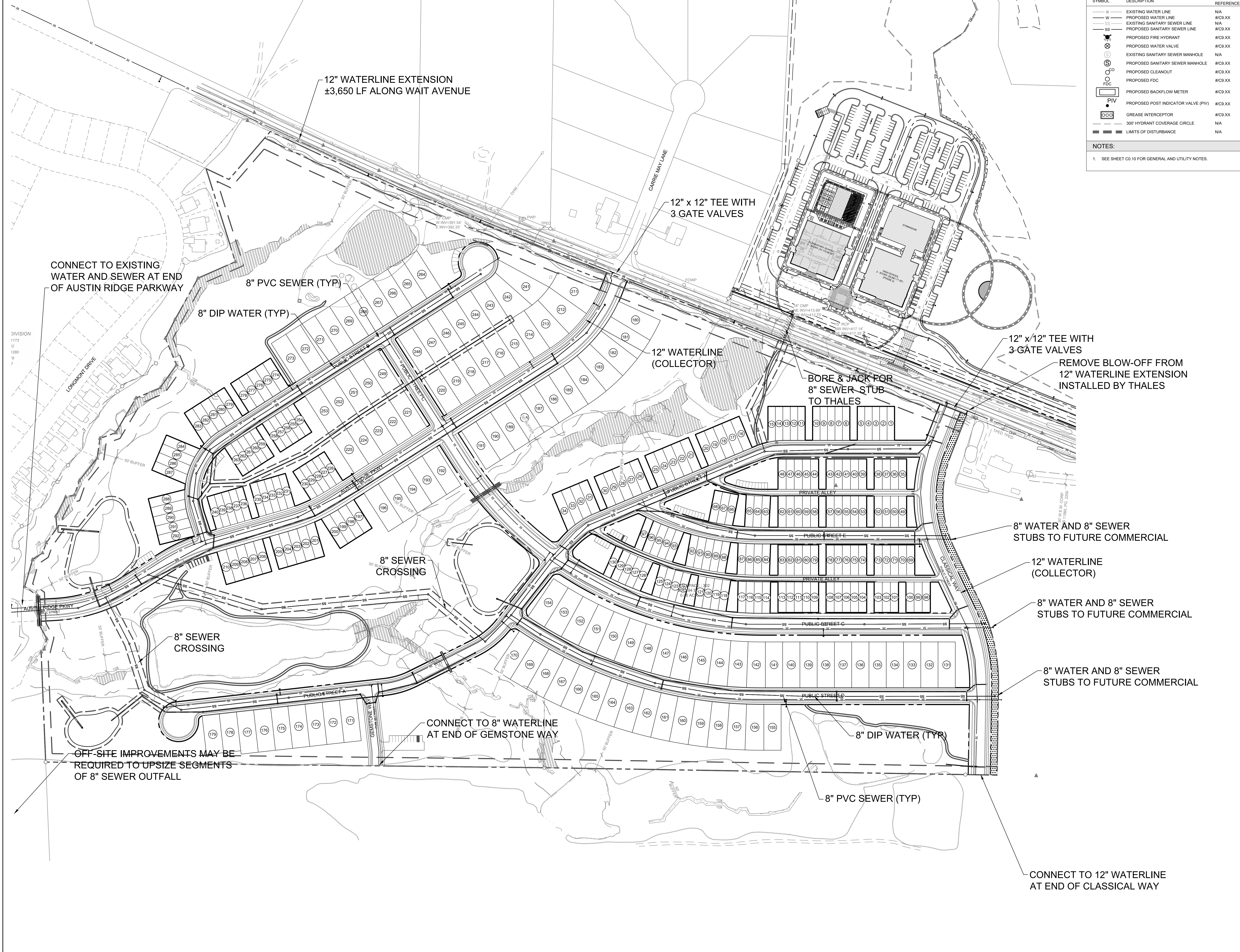


Project:
FORMER THALES SITE

Issued for:
PRELIMINARY PLAT

No.	Date	Description

L:\Projects\2019\C19003 - Main Road\DWG\SSS - Preliminary Plat\SSS - Preliminary Plat\SSS - Preliminary Plat.dwg Dec 23, 2020 - 2:01pm



UTILITY LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
	EXISTING WATER LINE	N/A
	PROPOSED WATER LINE	#/C9.XX
	EXISTING SANITARY SEWER LINE	N/A
	PROPOSED SANITARY SEWER LINE	#/C9.XX
	PROPOSED FIRE HYDRANT	#/C9.XX
	PROPOSED WATER VALVE	#/C9.XX
	EXISTING SANITARY SEWER MANHOLE	N/A
	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
	PROPOSED CLEANOUT	#/C9.XX
	PROPOSED FDC	#/C9.XX
	PROPOSED BACKFLOW METER	#/C9.XX
	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
	GREASE INTERCEPTOR	#/C9.XX
	300' HYDRANT COVERAGE CIRCLE	N/A
	LIMITS OF DISTURBANCE	N/A

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

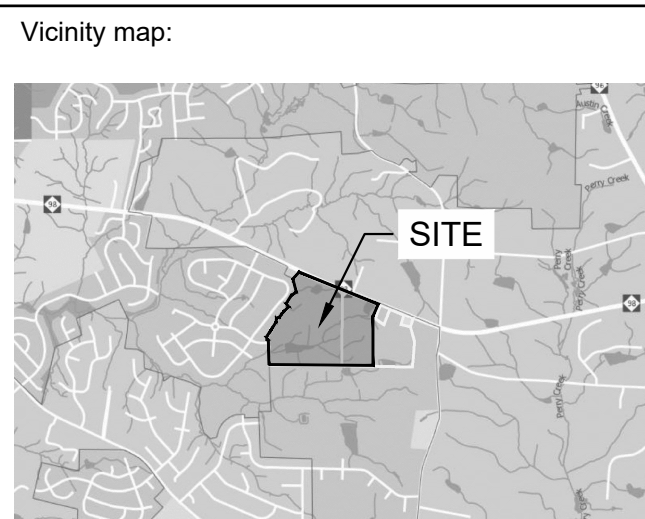
Client:
PULTE HOMES
CHRIS RAUGHLEY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919) 816-1100

Consultants:

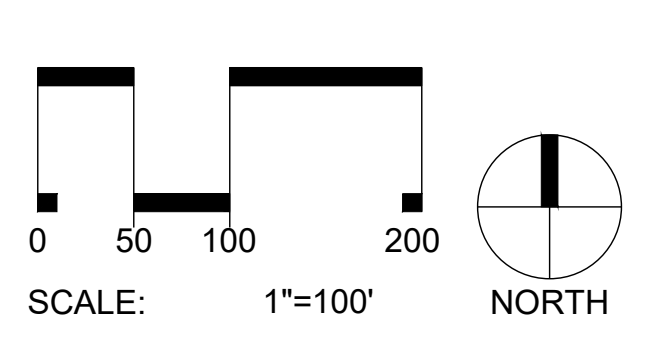
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CONTACT NAME: []
ADDRESS LINE 1: []
CITY, STATE ZIP CODE: []
PHONE #: []

COMPANY NAME: []
CONTACT NAME: []
ADDRESS LINE 1: []
CITY, STATE ZIP CODE: []
PHONE #: []

COMPANY NAME: []
CONTACT NAME: []
ADDRESS LINE 1: []
CITY, STATE ZIP CODE: []
PHONE #: []



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



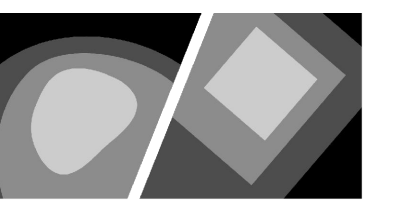
Project: FORMER THALES SITE

Issued for: PRELIMINARY PLAT

No.	Date	Description

Title: UTILITIES PLAN OVERALL

L:\Projects\2019\C19003 - Wait Road\DWGS - Preliminary Plats\Sheets\C19003-C6.00 Utility Plan.dwg Dec 23, 2020 - 2:04pm



STEWART

223 S. WEST ST., #1100
RALEIGH, NC 27603
FIRM LICENSE # C-1051
T 919.380.8750 PROJECT # C19003

Client:
PULTE HOMES
CHRIS RAUGHLAY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919)816-1100

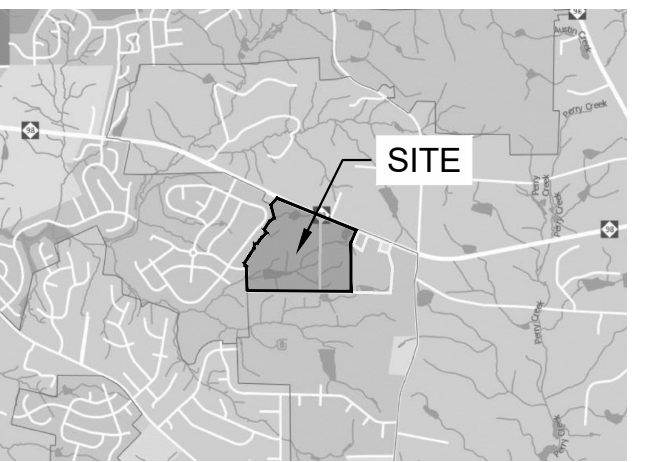
Consultants:
COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #

COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #

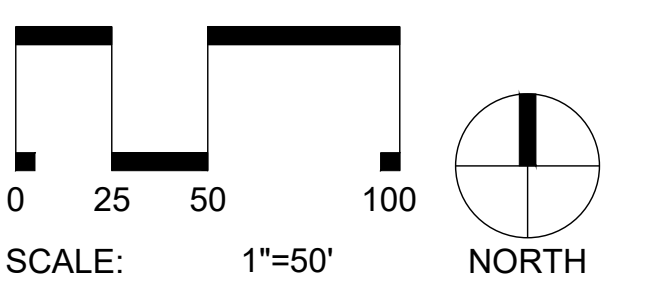
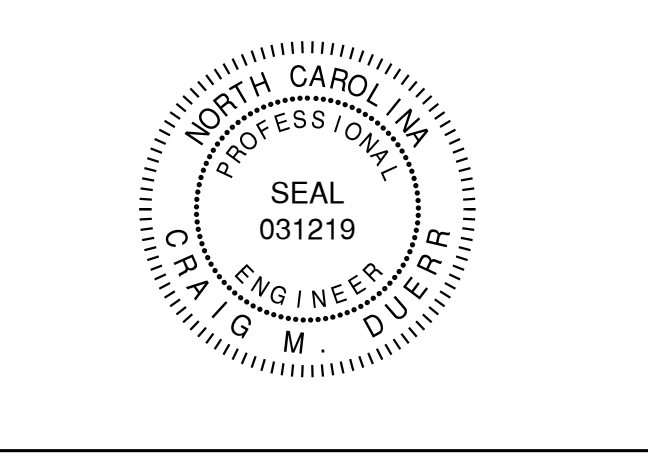
COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #

COMPANY NAME
CONTACT NAME
ADDRESS LINE 1
CITY, STATE ZIP/PO
PHONE #

Vicinity map:



Seal:
PRELIMINARY - DO NOT
USE FOR CONSTRUCTION



Project:
**FORMER THALES
SITE**

Issued for:
PRELIMINARY PLAT

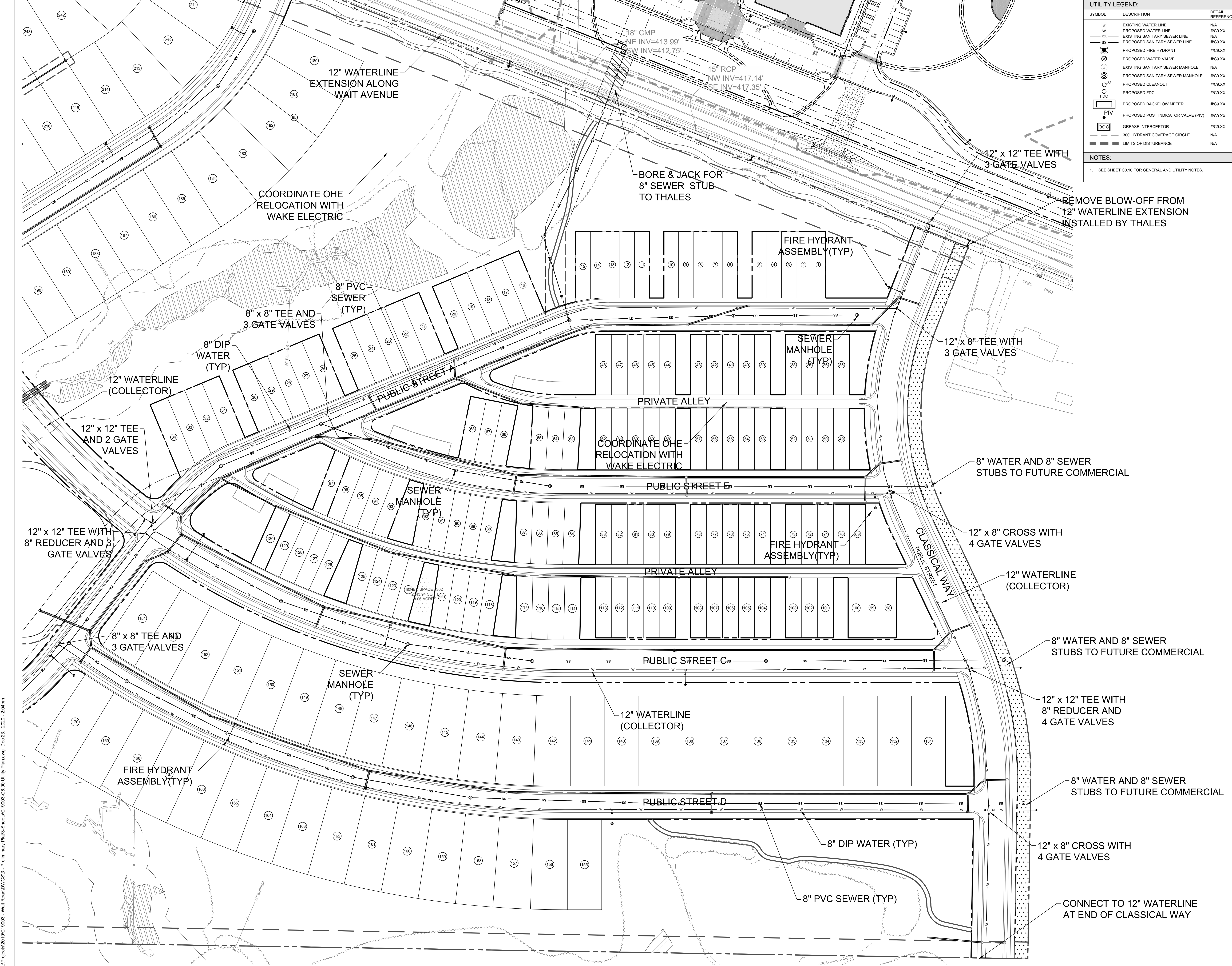
No.	Date	Description

Title:
UTILITIES PLAN WEST

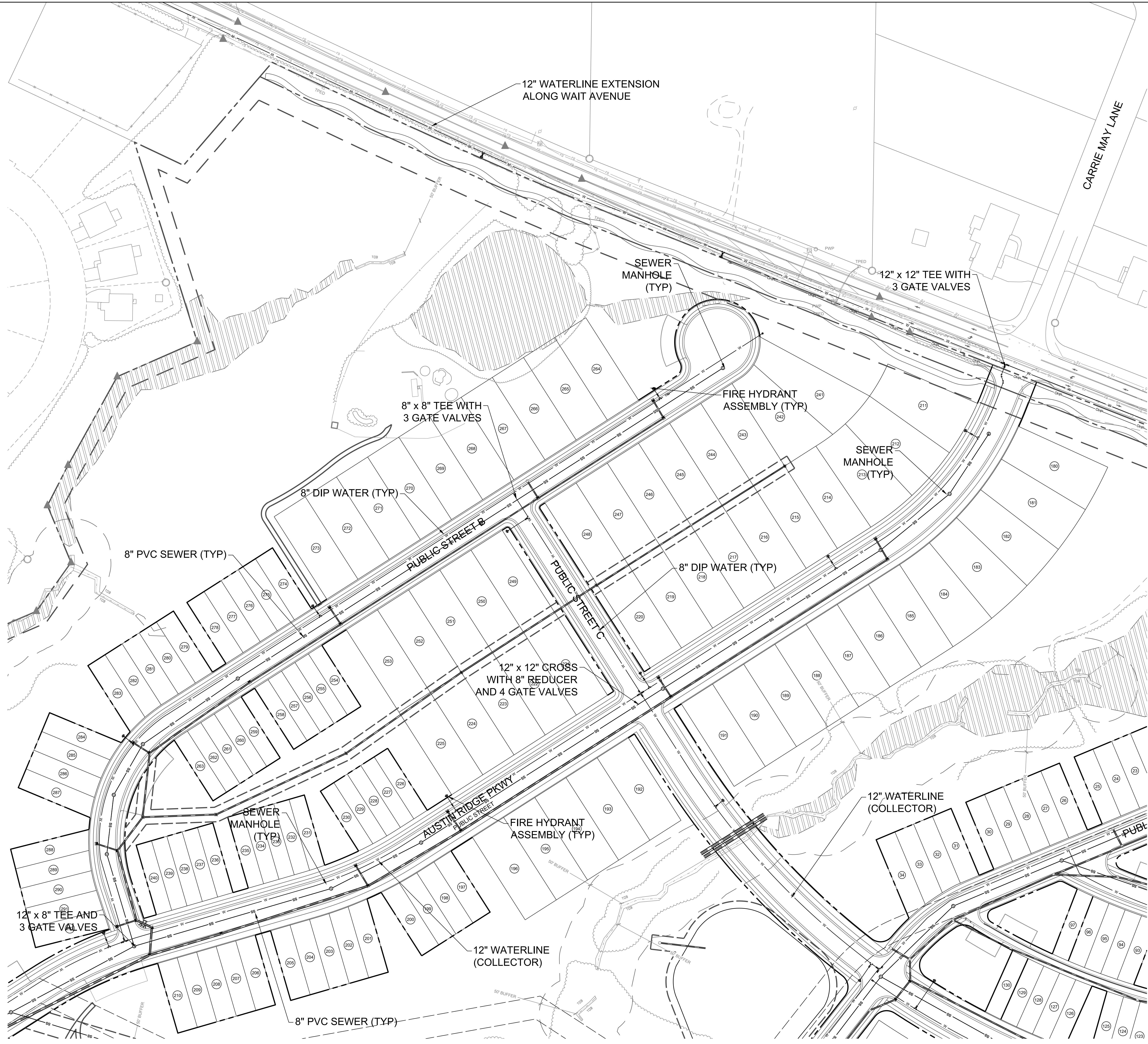
Project number: C19003 Sheet #:
Issued Date: 12.23.2020
Drawn by: JH
Approved by: CD
C6.02

SYMBOL	DESCRIPTION	DETAIL REFERENCE
-W-	EXISTING WATER LINE	N/A
-W-	PROPOSED WATER LINE	#/C9.XX
-SS-	EXISTING SANITARY SEWER LINE	N/A
-SS-	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊙	PROPOSED FIRE HYDRANT	#/C9.XX
⊙	PROPOSED WATER VALVE	#/C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
⊙	PROPOSED BACKFLOW METER	#/C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
⊙	300' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.



L:\Projects\2019\C19003 - Wait Road\DWG\SS - Preliminary Plat\SS-Sheets\C19003-06.00 Utility Plan.dwg Dec 23, 2020 2:04pm



UTILITY LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
—W—	EXISTING WATER LINE	N/A
- - -W-	PROPOSED WATER LINE	#/C9.XX
- - -SS-	EXISTING SANITARY SEWER LINE	N/A
- - -SS-	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊗	PROPOSED FIRE HYDRANT	#/C9.XX
⊕	PROPOSED WATER VALVE	#/C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
□	PROPOSED BACKFLOW METER	#/C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
○	300' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

NOTES:
 1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

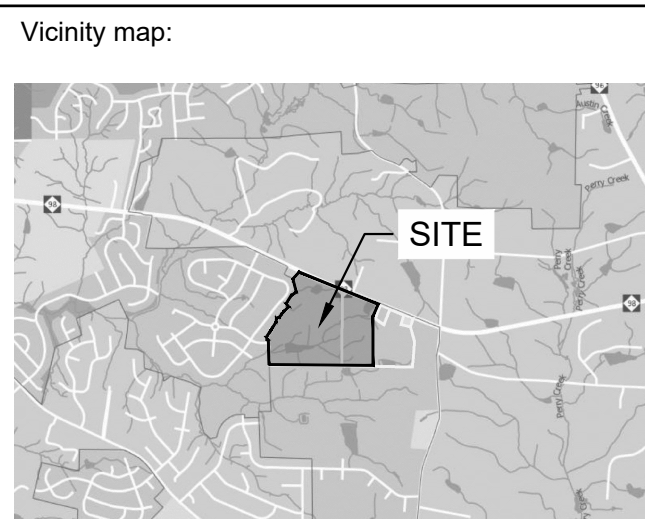
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 PROJECT # C19003

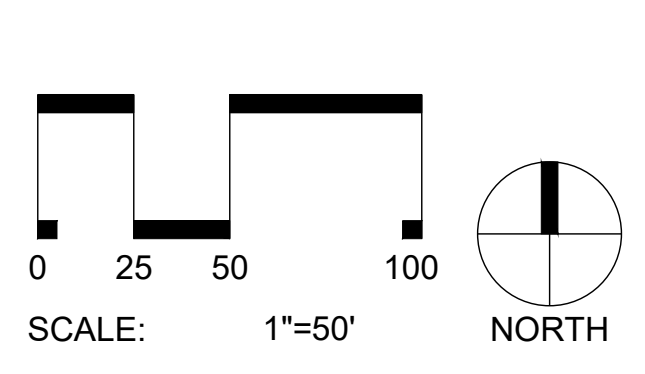
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 PULTE HOMES
 CHRIS RAUGHLEY
 1224 CRESCENT GREEN
 CARY, NC 27518
 PHONE (919)816-1100

Consultants:

COMPANY NAME
 CONTACT NAME
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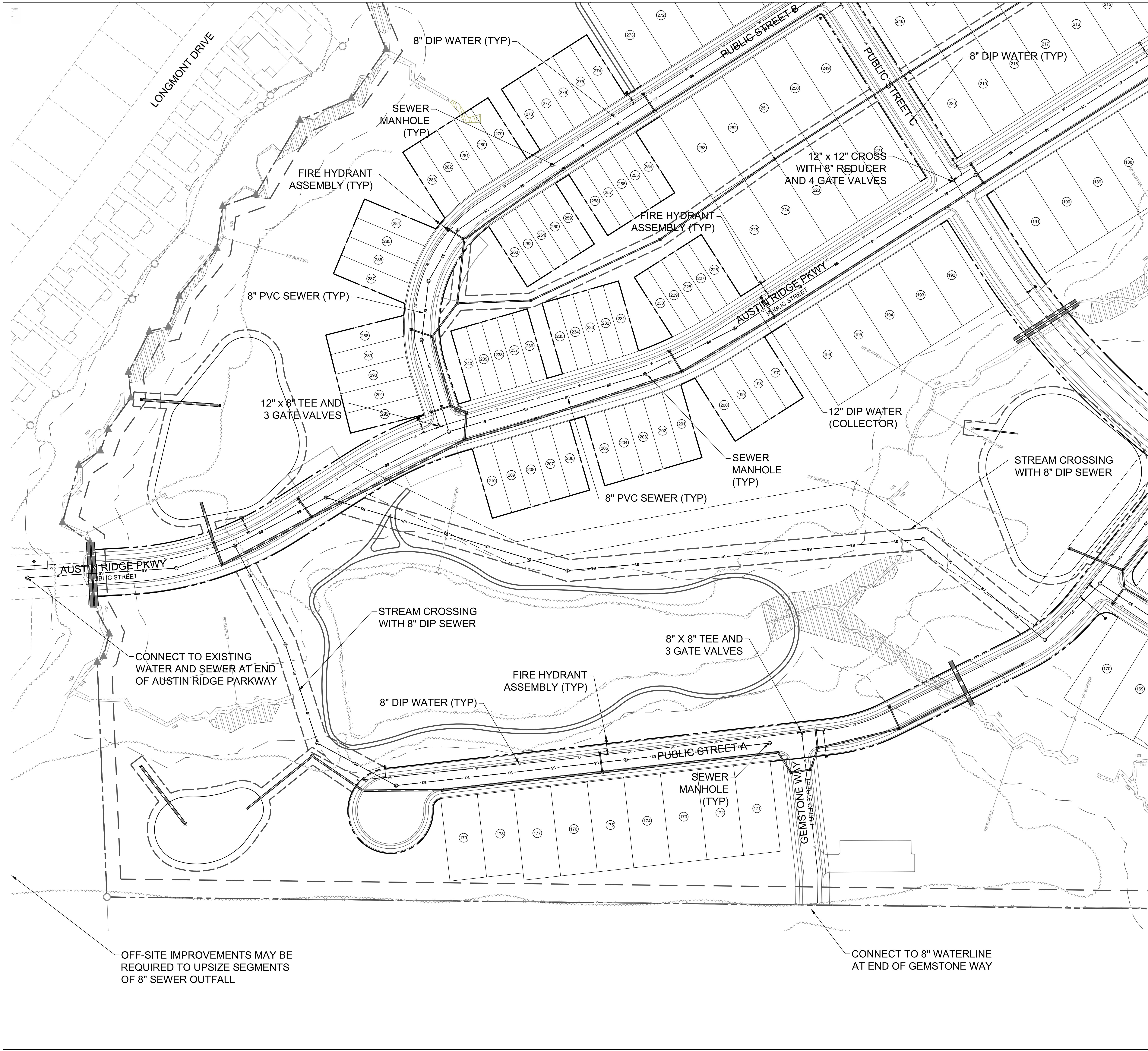
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No.	Date	Description

Title: **UTILITIES PLAN EAST**

Project number: C19003 Sheet #: **C6.03**
 Issued Date: 12.23.2020
 Drawn by: JH
 Approved by: CD

L:\Projects\2019\C19003 - Wait Road\DWG\SS - Preliminary Plat\SS-Sheets\C19003-C6.00 Utility Plan.dwg Dec 23, 2020 - 2:04pm



UTILITY LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
—W—	EXISTING WATER LINE	N/A
- - - - -	PROPOSED WATER LINE	#/C9.XX
—SS—	EXISTING SANITARY SEWER LINE	N/A
- - - - -	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊗	PROPOSED FIRE HYDRANT	#/C9.XX
⊙	PROPOSED WATER VALVE	#/C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
⊙	PROPOSED BACKFLOW METER	#/C9.XX
●	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
⊙	300' HYDRANT COVERAGE CIRCLE	N/A
— — — — —	LIMITS OF DISTURBANCE	N/A

NOTES:
 1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

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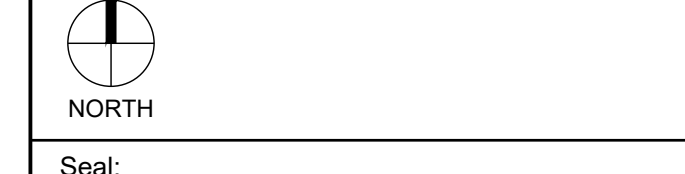
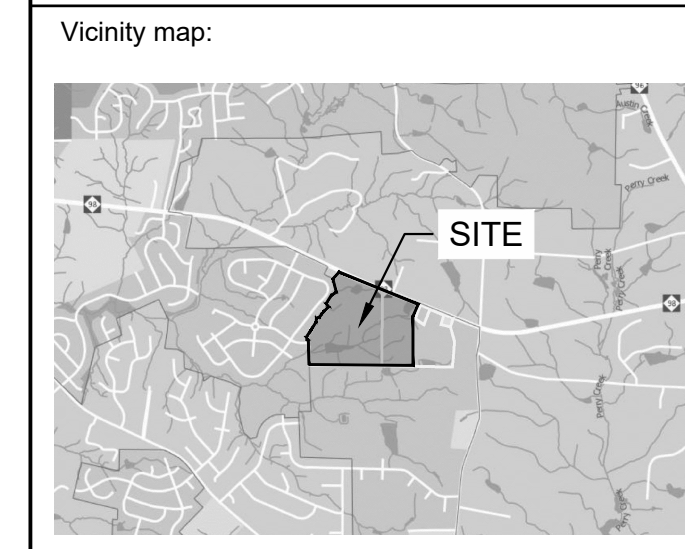
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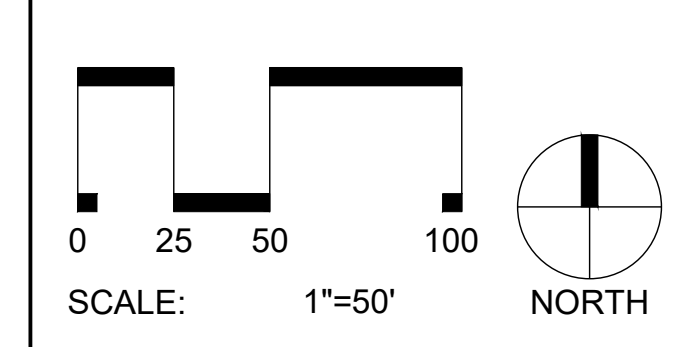
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No.	Date	Description

Title:

UTILITIES PLAN SOUTH

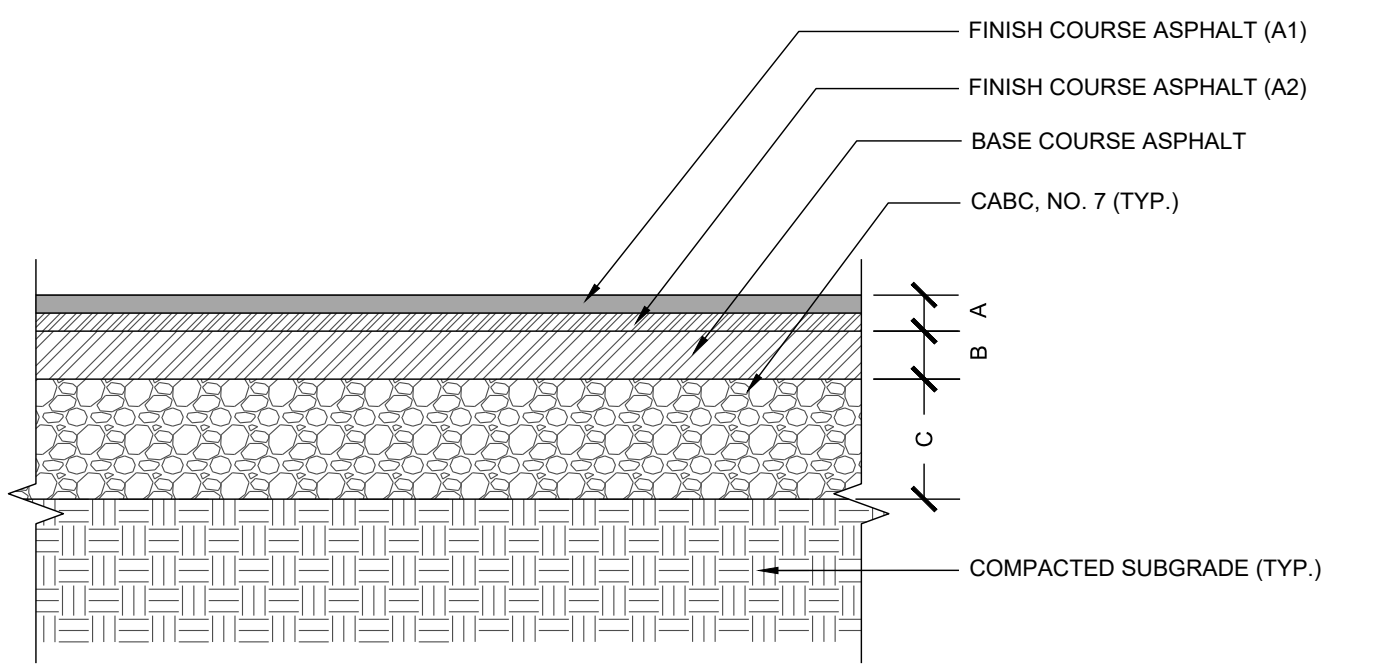
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C6.03

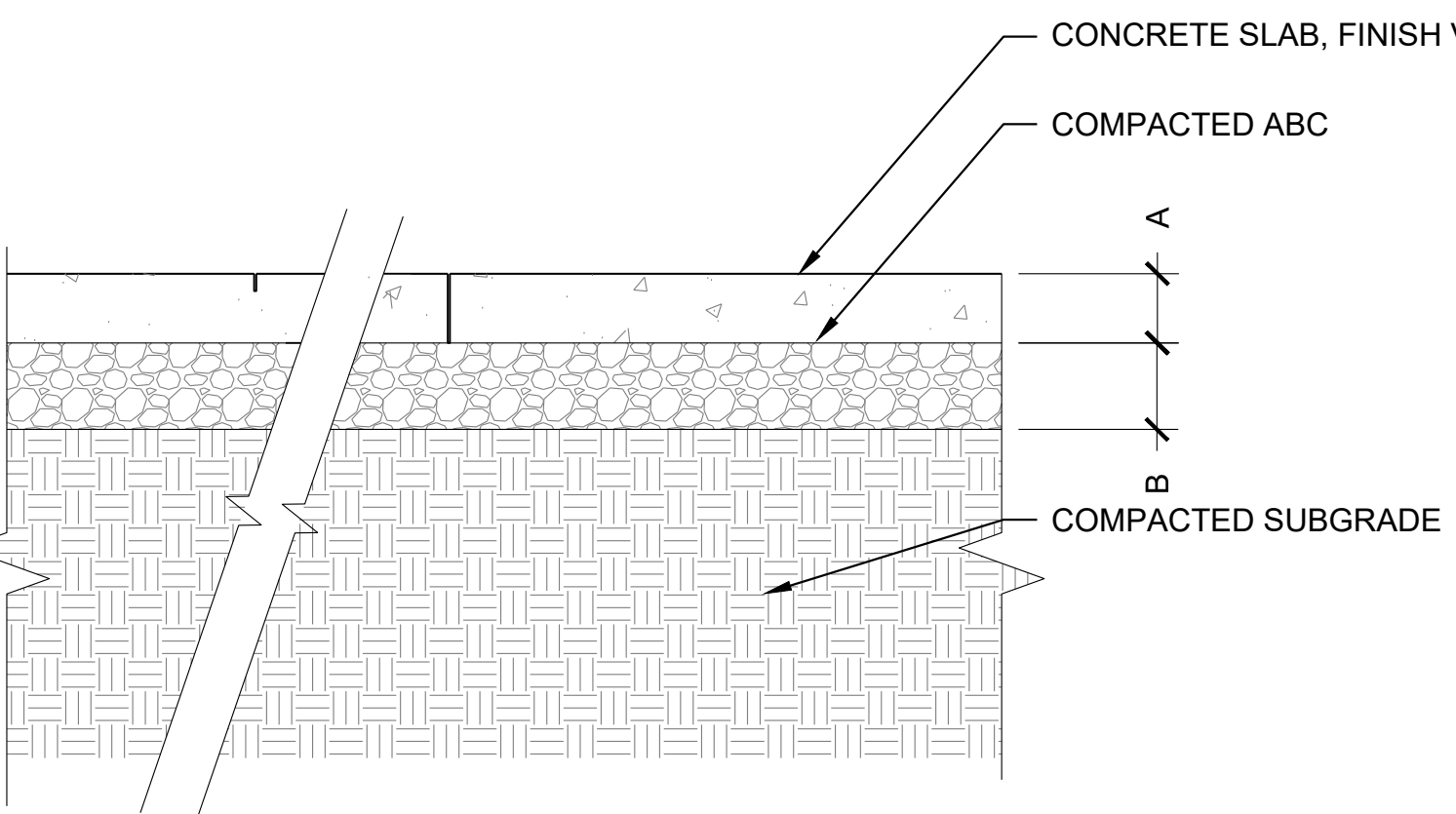
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Type	Description	SEE NOTE 2		SEE NOTE 3	
		A1 (FINAL LIFT) (S9.5B)	A2 (S9.5B)	B (119.0B)	C (ABC)
AP1	ROADWAY DUTY	---	1.5"	4"	10"
AP2	PARKING STANDARD DUTY	1.5"	1.5"	---	6"
AP3	PARKING HEAVY DUTY	1.5"	1.5"	2.5"	8"
AP4	ASPHALT PATCH (FULL DEPTH)	---	1.5"	6"	0"

- NOTE:
- WHERE EXISTING ASPHALT MEETS NEW ASPHALT, SAW CUT EXISTING ASPHALT TO PROVIDE A CLEAN EDGE.
 - FINAL LIFT OF ASPHALT IN PARKING LOT BY OTHERS (N.I.C.)
 - CONTRACTOR SHALL INSTALL FINAL LIFT OF ASPHALT (A2) FOR ROADWAY CONSTRUCTION.



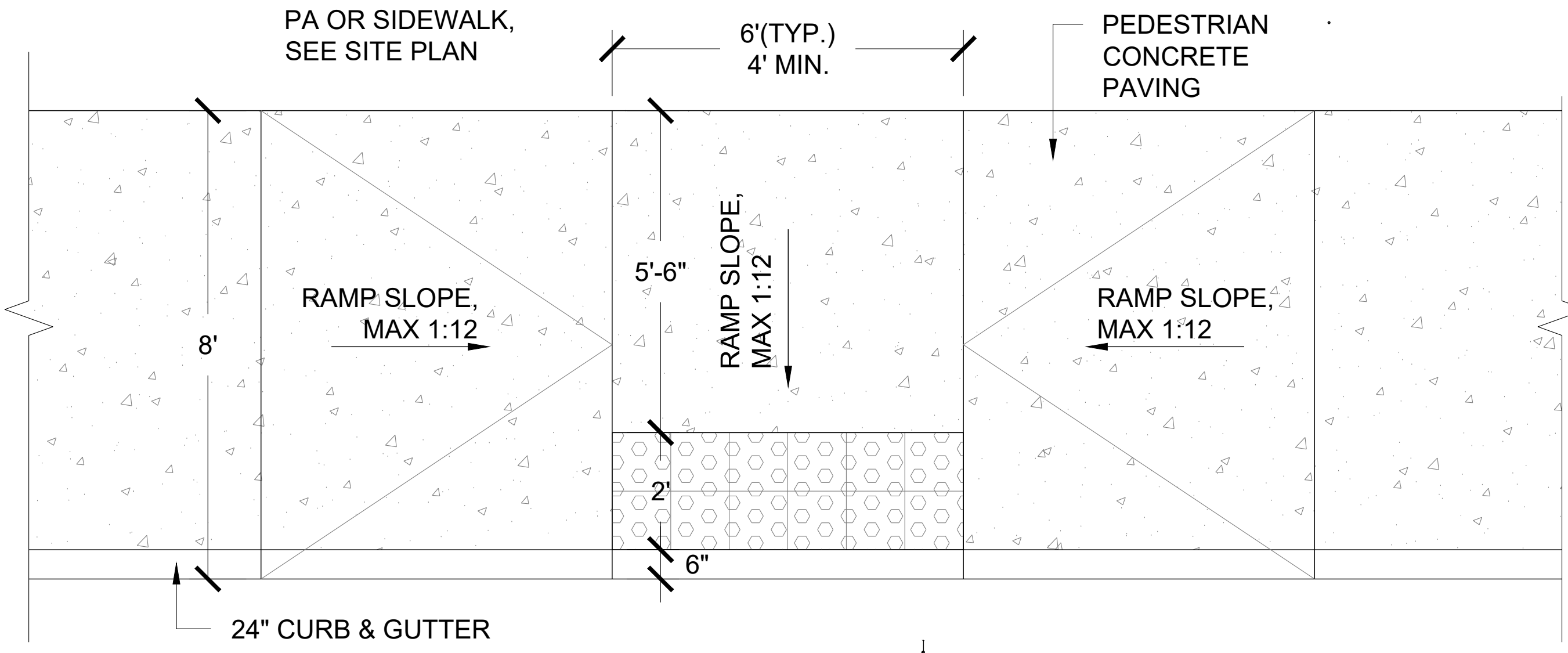
1 ASPHALT PAVING SECTION NTS



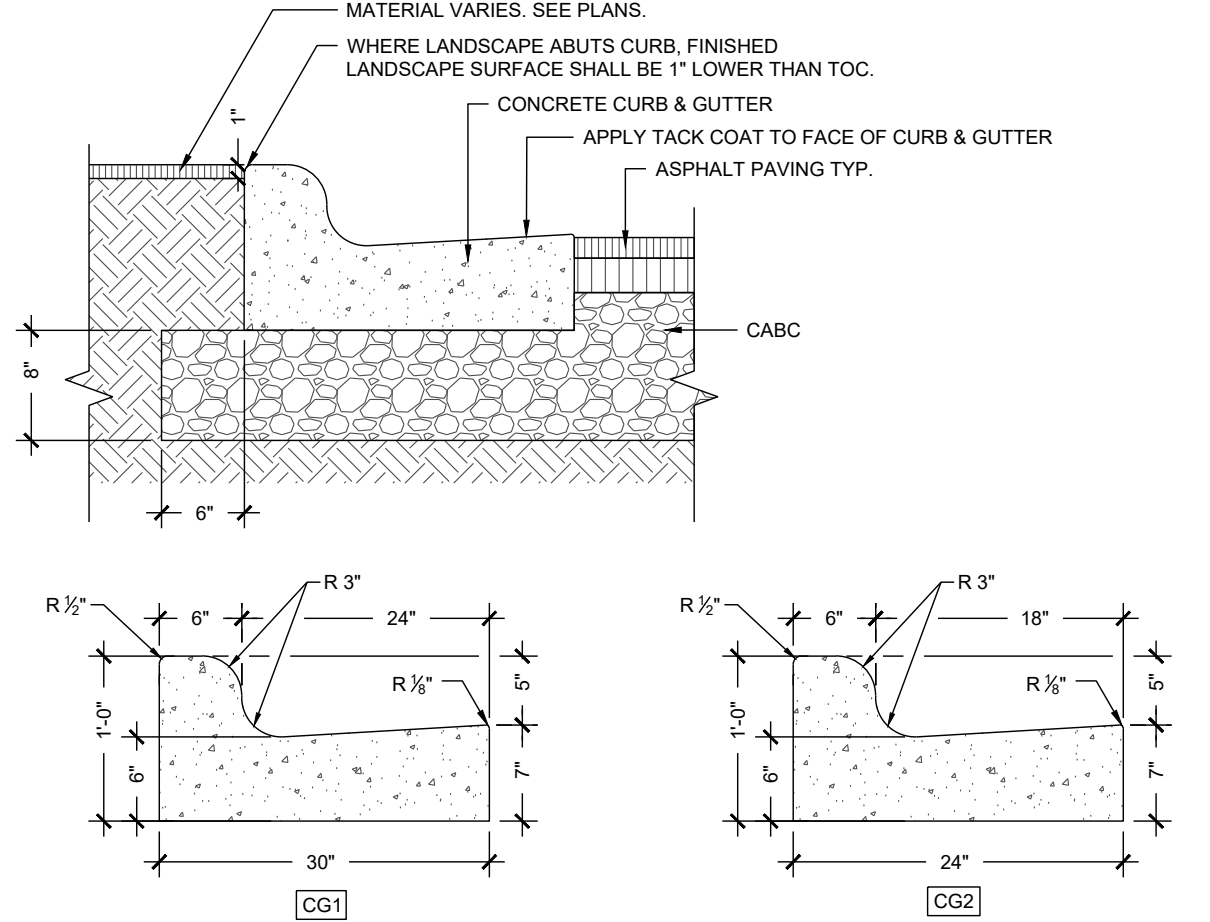
A	B	STRENGTH
4"	4"	PEDESTRIAN CONCRETE 4000 psi
8"	6"	HEAVY DUTY VEHICULAR CONCRETE 4500 psi

CONCRETE SHALL HAVE A MINIMUM MODULUS OF RUPTURE OF 650 PSI.

2 CONCRETE SIDEWALK SECTION NTS

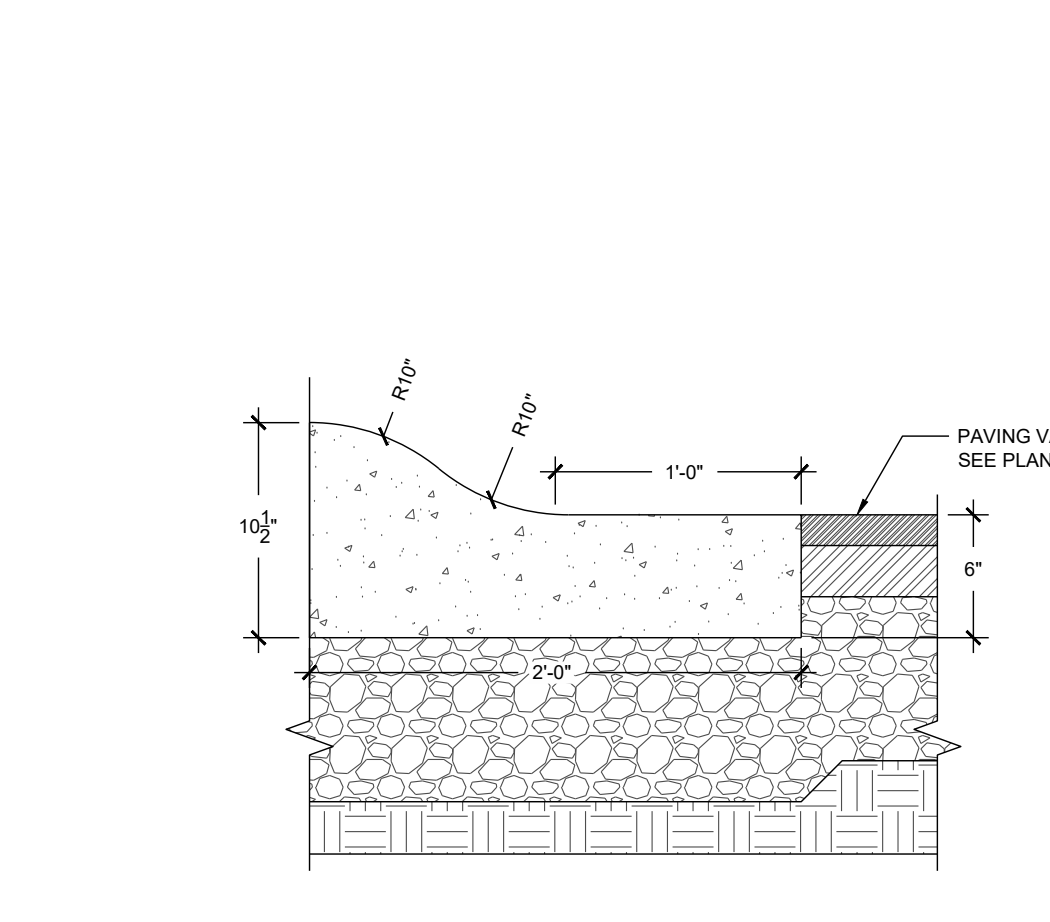


3 PARALLEL RAMP DETAIL SECTION NTS

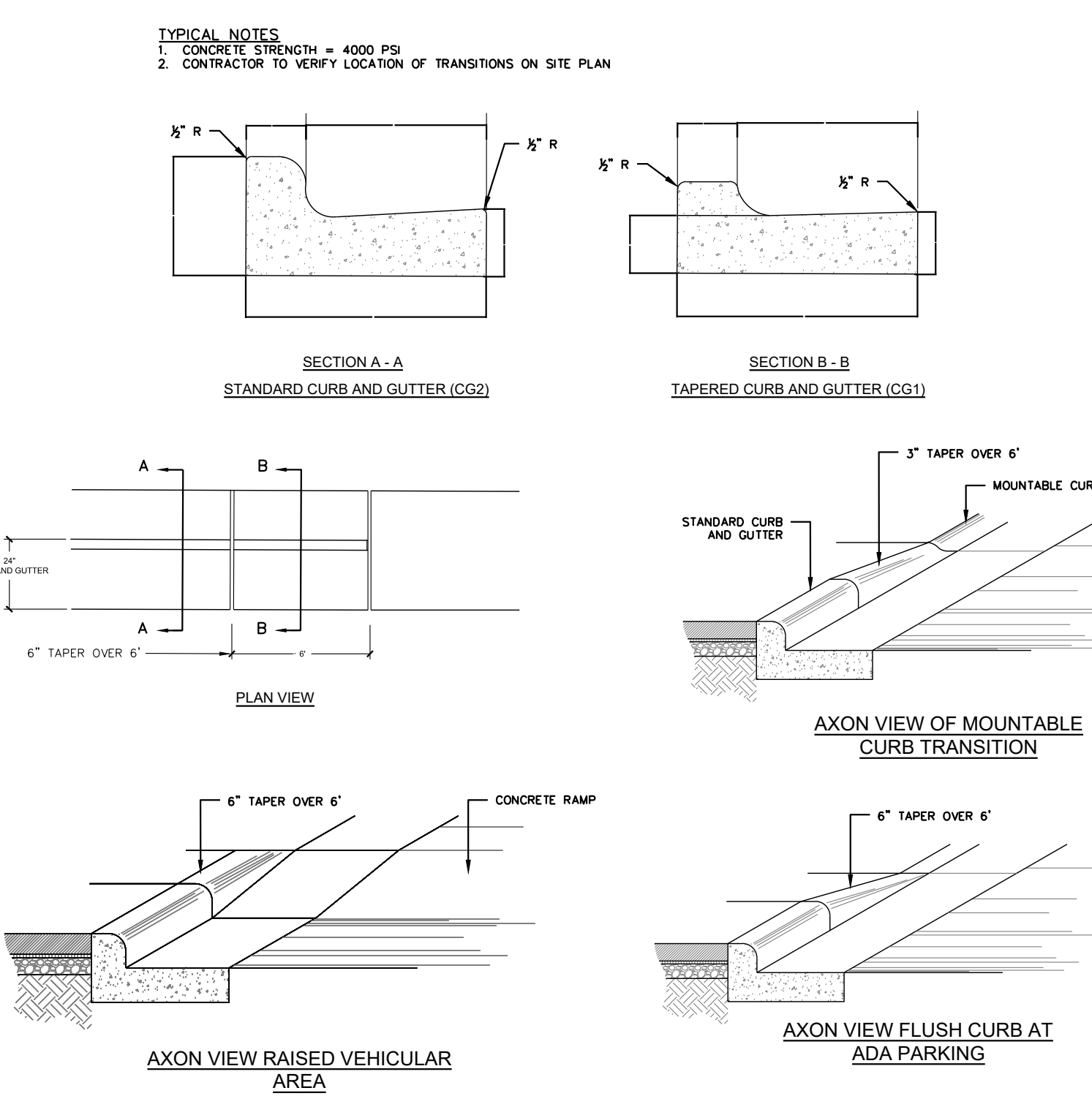


- CONCRETE GUTTER/CURB NOTES:
- ALL CONCRETE GUTTER/CURBS SHALL BE INSTALLED PER SPECIFICATION SECTION 32 13 13 CONCRETE PAVING.
 - 10" MAXIMUM BETWEEN CONSTRUCTION JOINTS ON MACHINE POUR.
 - 1/2" EXPANSION JOINT EVERY 96" AND CONTINUOUSLY ALONG BACK OF CURB ADJACENT TO CONCRETE PAVING.
 - 4000 PSI CONCRETE AT 28 DAYS MINIMUM. 4" SLUMP MAXIMUM.
 - BASE COURSE AGGREGATE SHALL BE CABC AGGREGATE BASE COURSE NO. 7.
 - FINISH SHALL BE FINE BROOM FINISH PER SAMPLE PANEL.
 - LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1082.2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 846.01.

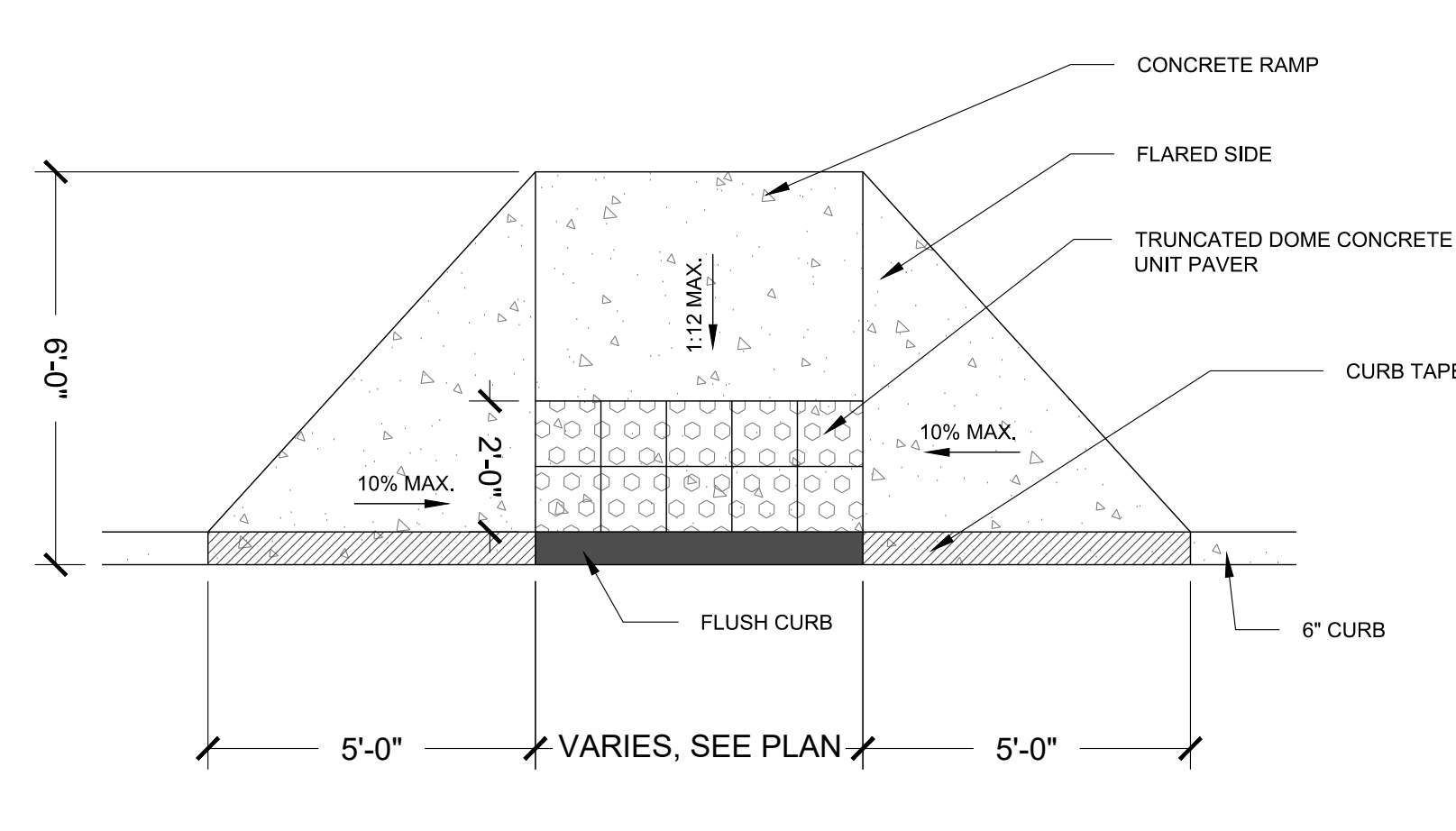
4 CURB AND GUTTER SECTION NTS



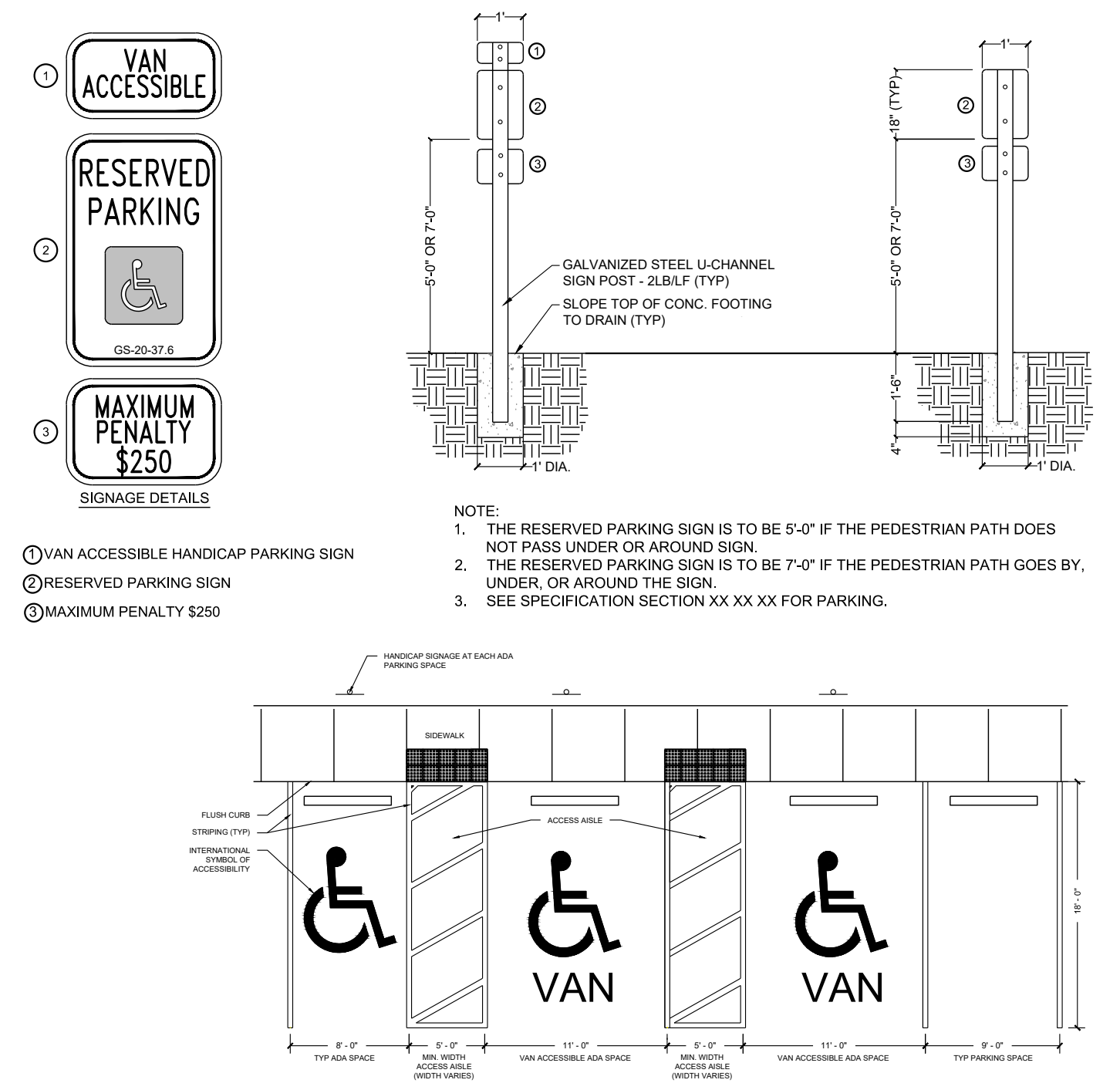
5 ROLL CURB SECTION NTS



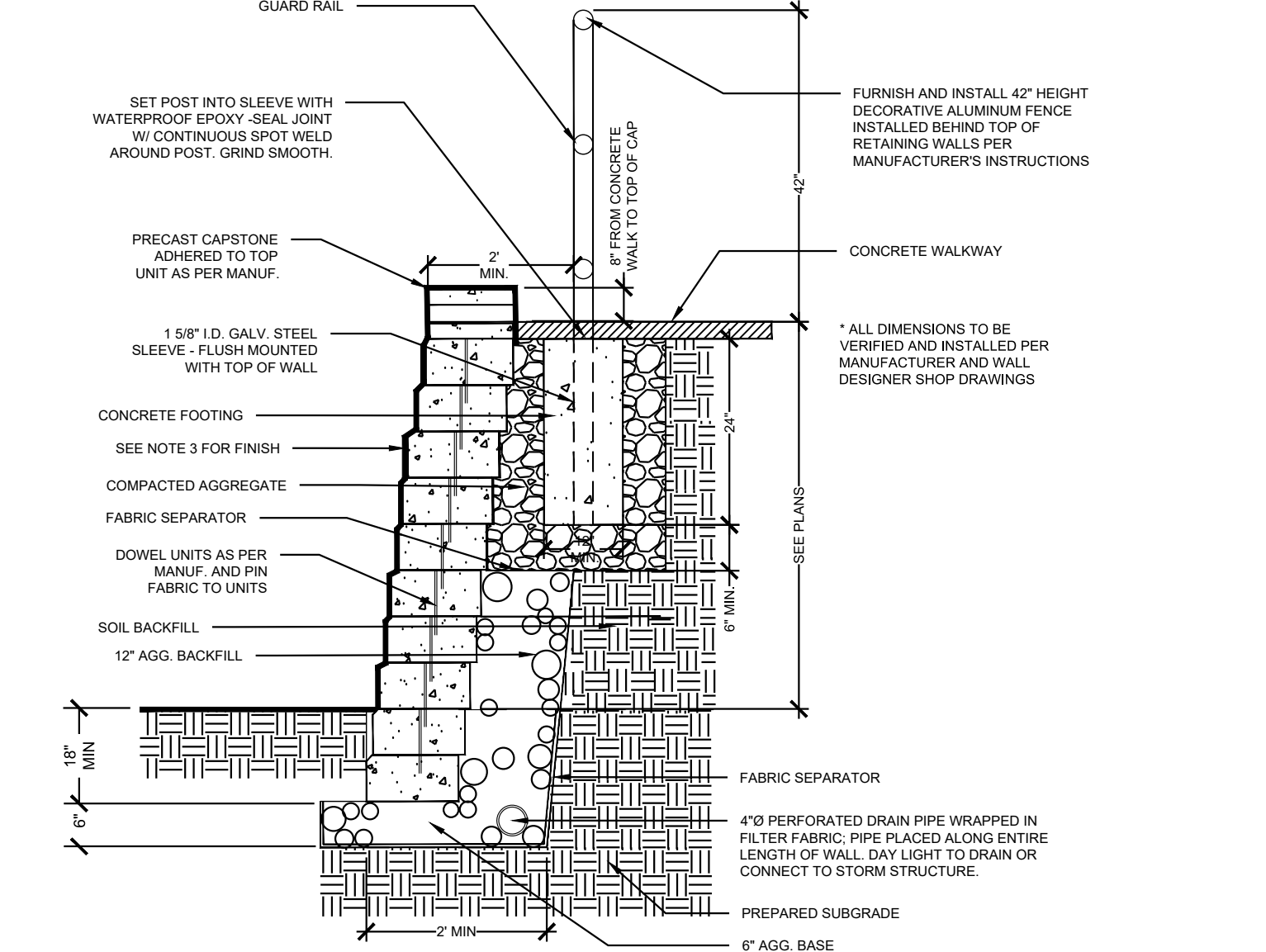
6 CURB TRANSITIONS PLAN NTS



7 CURB RAMP DETAIL PLAN NTS

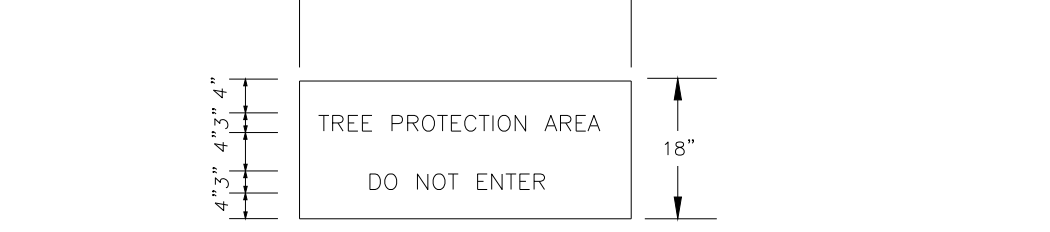
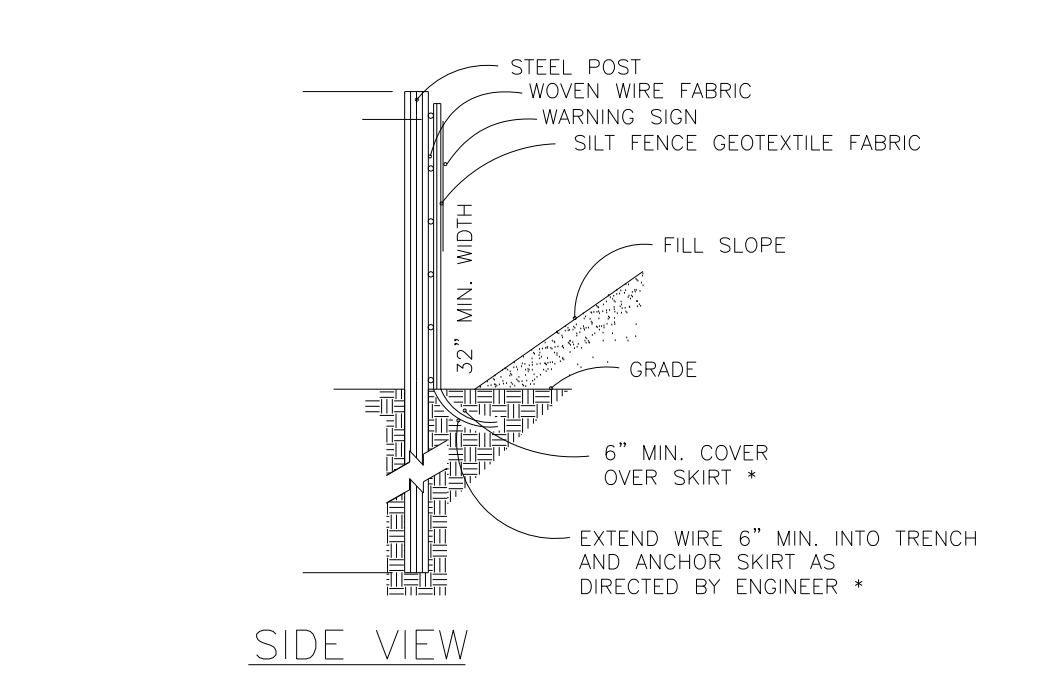


8 ADA ACCESSIBLE PARKING PLAN NTS



- NOTES:
- THE CONTRACTOR IS REQUIRED TO ENGAGE INSPECTION AND TESTING SERVICES, INCLUDING INDEPENDENT TESTING LABORATORIES, TO PROVIDE QUALITY ASSURANCE AND TESTING SERVICES THROUGHOUT THE CONSTRUCTION OF ALL SEGMENTAL RETAINING WALLS. ENGINEERING AND INSPECTION SERVICES SHALL ONLY BE PERFORMED BY QUALIFIED AND EXPERIENCED TECHNICIANS AND ENGINEERS. AS A MINIMUM, QUALITY ASSURANCE TESTING SHOULD INCLUDE FOUNDATION SOIL INSPECTION, SOIL BACKFILL TESTING, VERIFICATION OF DESIGN PARAMETERS, AND OBSERVATION OF CONSTRUCTION FOR GENERAL COMPLIANCE WITH DESIGN DRAWINGS AND SPECIFICATIONS.
 - THE CONTRACTOR IS REQUIRED TO ENSURE THAT A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA DESIGN, PREPARE, STAMP AND SIGN A SET OF SHOP DRAWINGS FOR SUBMITTAL AND APPROVAL PRIOR TO THE INSTALLATION OF THIS WALL ON SITE. CERTIFICATION OF WALL SHALL BE BY "WALL DESIGNER".
 - FINISH: STRAIGHT, SPLIT FACE BLOCK. COLOR TO BE EARTH TONE.

9 RETAINING WALL PLAN NTS



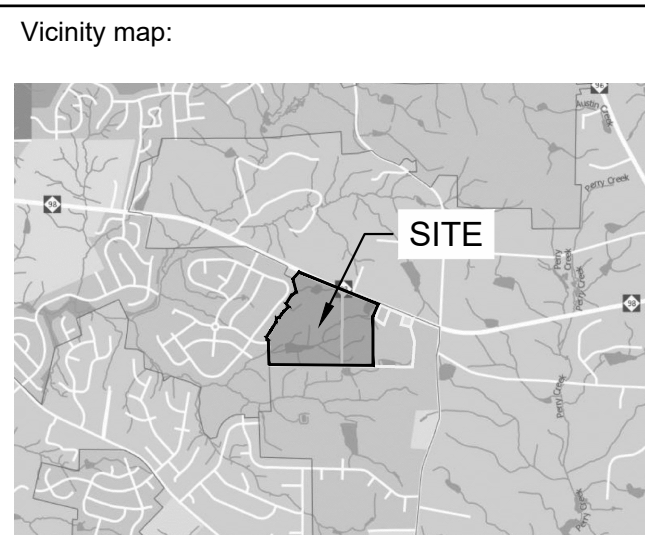
10 TREE PROTECTION FENCE PLAN NTS

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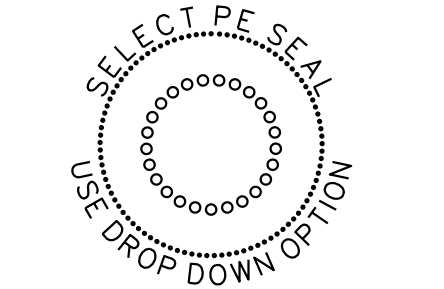
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No.	Date	Description

SITE DETAILS

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