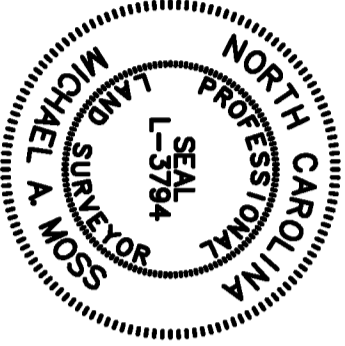


I, MICHAEL A. MOSS CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HEREON THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS GREATER THAN 1:1,000.00. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL.

THIS 10th DAY OF DECEMBER, A.D. 2021.



Michael A. Moss  
PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-3784  
Michael A. Moss  
PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-3784

THAT THE SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

LINE TABLE

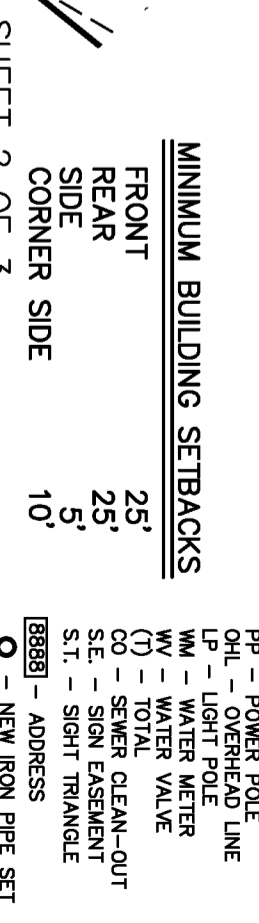
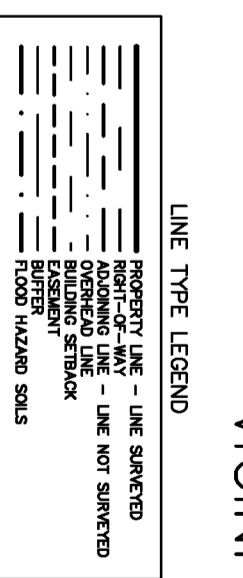
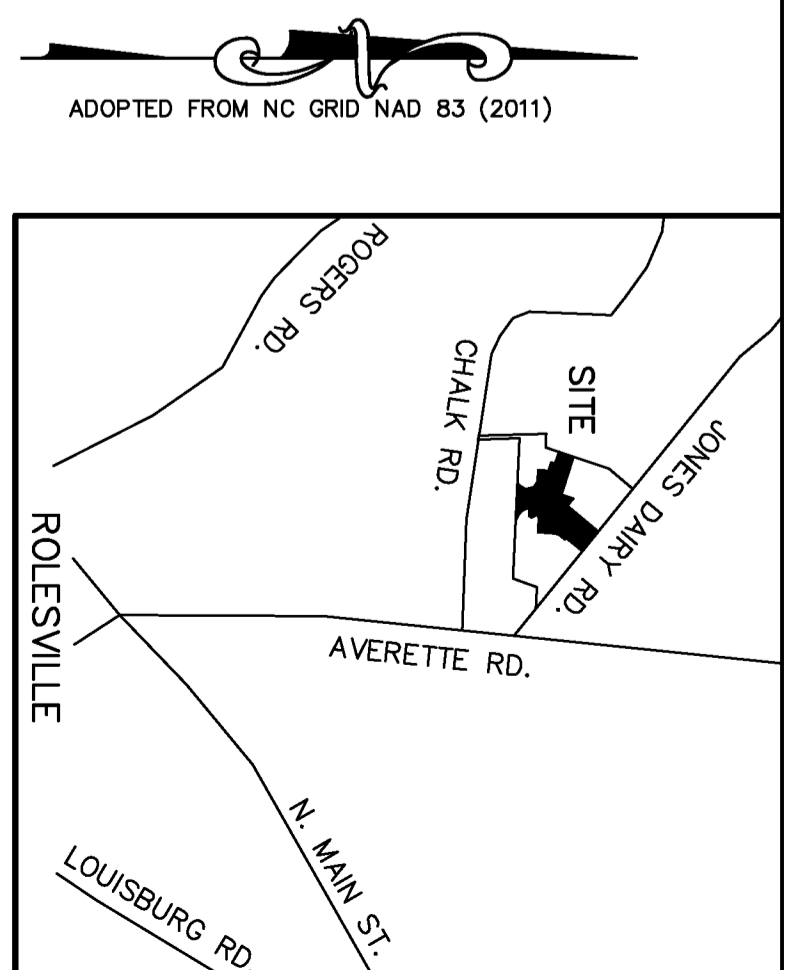
LINE	BEARING	DISTANCE
L-1	S 86°39'36" E	31.93
L-2	S 67°36'15" E	50.17
L-3	S 79°19'48" E	50.37
L-4	S 82°23'38" E	70.18
L-5	S 38°56'18" W	54.00
L-6	S 45°56'57" W	67.34
L-7	S 57°17'49" W	67.34
L-8	S 67°59'09" W	67.34
L-9	S 67°59'09" W	71.00
L-10	S 88°48'13" W	72.67
L-11	S 79°10'56" W	74.66
L-12	N 77°02'36" W	14.00
L-13	N 77°02'36" W	14.00
L-14	N 17°39'56" E	50.00
L-15	N 17°39'56" E	40.96
L-16	N 17°39'56" E	44.33
L-17	N 17°39'56" E	35.19
L-18	S 17°39'56" W	41.32
L-19	S 38°51'29" W	42.64
L-20	S 38°51'29" W	50.00
L-21	S 38°51'29" W	28.05
L-22	S 17°39'56" W	53.19
L-23	S 17°39'56" W	53.19

CURVE TABLE

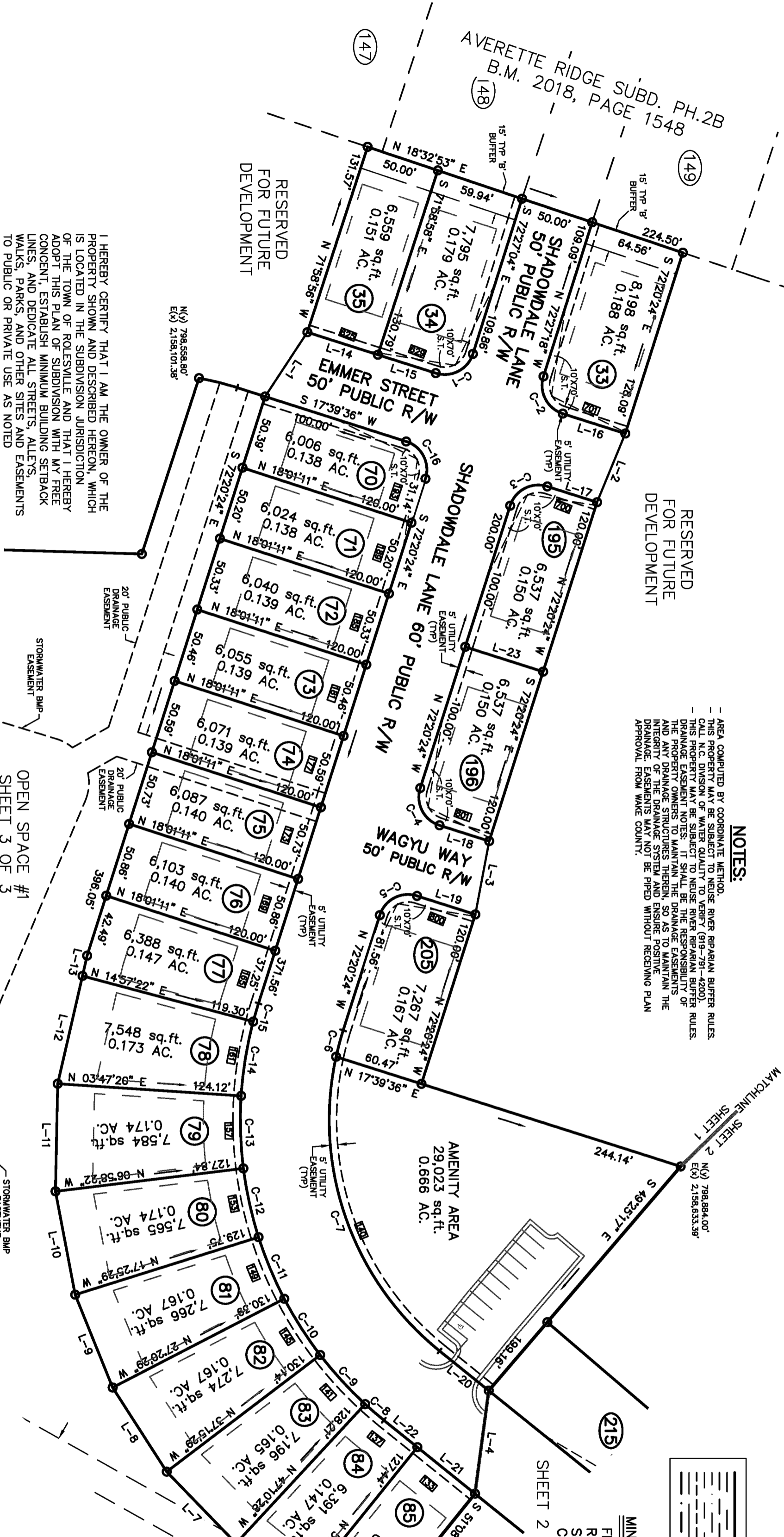
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-1	31.42	20.00	28.28	S 27°20'24" E
C-2	31.42	20.00	28.28	N 62°59'36" E
C-3	31.42	20.00	28.28	N 27°20'24" W
C-4	31.42	20.00	28.28	S 62°59'36" W
C-5	31.42	20.00	18.46	N 74°59'09" W
C-6	18.47	200.00	210.52	N 40°41'32" E
C-7	221.66	200.00	18.64	N 40°41'32" E
C-8	18.65	280.00	44.96	S 47°29'20" W
C-9	45.04	280.00	45.02	S 67°21'18" W
C-10	45.11	280.00	45.06	N 77°34'09" E
C-11	45.11	280.00	47.52	N 88°12'52" W
C-12	49.03	280.00	48.96	S 80°46'28" E
C-13	50.91	280.00	12.82	N 73°45'10" W
C-14	12.82	280.00	28.28	N 62°59'36" E
C-15	31.42	20.00	28.28	N 62°59'36" E
C-16	31.42	20.00	28.28	N 62°59'36" E

NOTES:

- AREA COMPUTED BY COORDINATE METHOD.
- THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER RIPARIAN BUFFER RULES. DRIPAGE EASEMENT NOTES - IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS TO MAINTAIN THE DRAINAGE EASEMENTS AND ANY DRAINAGE STRUCTURES THEREIN AS TO MAINTAIN THE DRAINAGE EASEMENTS. EASEMENTS MAY NOT BE PEED WITHOUT RECEIVING PLAN APPROVAL FROM WAKE COUNTY.



OWNER/DEVELOPER:  
KB HOME RALEIGH-DURHAM, INC.  
4308 S. MIAMI BLVD STE 100A  
DURHAM, N.C. 27703  
(919) 788-7960



I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF ROLESVILLE AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER STIPS AND EASEMENTS TO PUBLIC OR PRIVATE USE AS NOTED

Designed by: Dany Schwartz  
Division Prescribed: 2021

OWNER: Meredith Gruber  
DATE: 12/13/2021

ROLESVILLE, NORTH CAROLINA  
Meredith Gruber  
REVIEW OFFICER

12/13/2021  
Meredith Gruber  
REVIEW OFFICER

CERTIFICATE OF APPROVAL FOR RECORDING

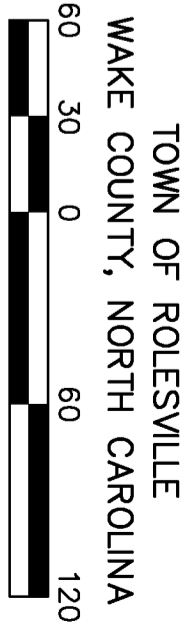
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE TOWN OF ROLESVILLE, NORTH CAROLINA AND THAT THIS PLAT HAS BEEN APPROVED BY THE SUBDIVISION ADMINISTRATOR OF THE TOWN OF ROLESVILLE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

Designed by: Mary Hill Gruber  
SUBDIVISION ADMINISTRATOR, TOWN OF ROLESVILLE

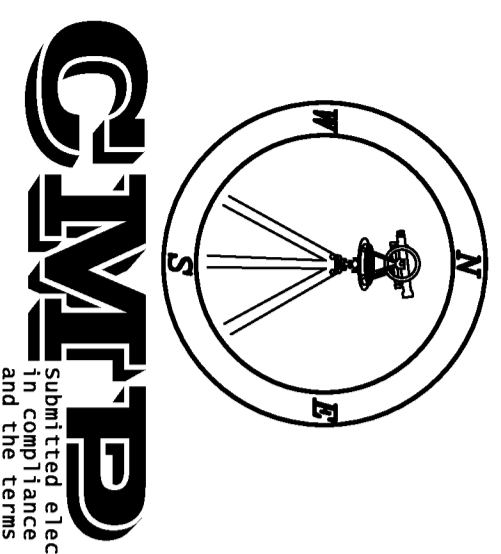
DATE: 12/13/2021

I HEREBY CERTIFY THAT ALL STREETS, UTILITIES AND OTHER REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO TOWN SPECIFICATIONS AND STANDARDS IN THE SUBDIVISION OR THAT GUARANTEES OF THE INSTALLATION OF THE REQUIRED IMPROVEMENTS IN AN AMOUNT AND MANNER SUFFICIENT TO THE TOWN OF ROLESVILLE HAS BEEN RECEIVED AND THAT THE FILING FEES FOR THIS PLAT, IN THE AMOUNT OF \$605, HAS BEEN PAID.

Meredith Gruber



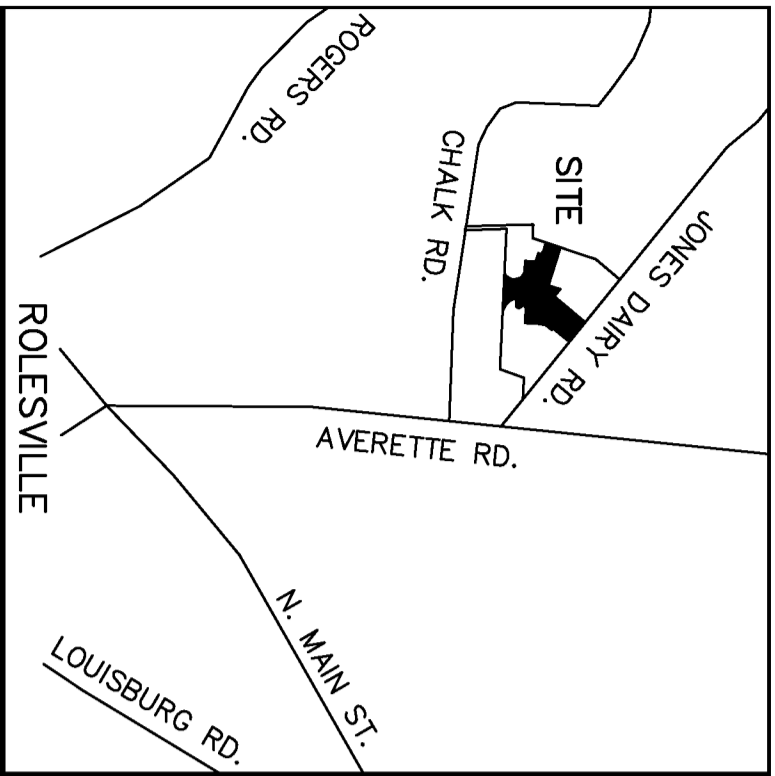
JULY 29, 2021  
PIN # 1759-88-7615  
ZONED R & PUD  
SHEET 1 OF 3



Submitted electronically by "Cawthorne, Moss & Panclera, PC" in compliance with North Carolina statutes governing recordable documents and the terms of the submitter agreement with the Wake County Register of Deeds.

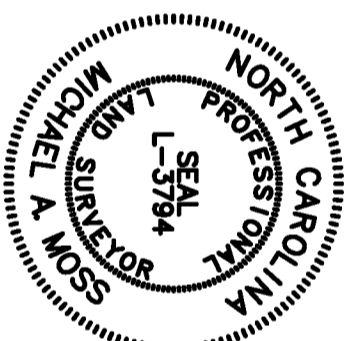
LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148





I, MICHAEL A. MOSS CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HEREON. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES. THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS GREATER THAN 1:10000. THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL.

THIS 10th DAY OF DECEMBER, A.D. 2021.



Michael A. Moss  
 PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-3794  
 Michael A. Moss  
 PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-3794

THAT THE SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

**NOTES:**

- AREA COMPUTED BY COORDINATE METHOD.
- THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER RIPARIAN BUFFER RULES.
- THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER RIPARIAN BUFFER RULES.
- DRAINAGE EASEMENT NOTES: IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS TO MAINTAIN THE DRAINAGE EASEMENTS TO THE INTEGRITY OF THE DRAINAGE SYSTEM AND ENSURE POSITIVE DRAINAGE. EASEMENTS MAY NOT BE PEED WITHOUT RECEIVING PLAN APPROVAL FROM WAKE COUNTY.
- ALL CERTIFICATIONS AND SIGNATURES ON SHEET 1 OF 3.

**MINIMUM BUILDING SETBACKS**

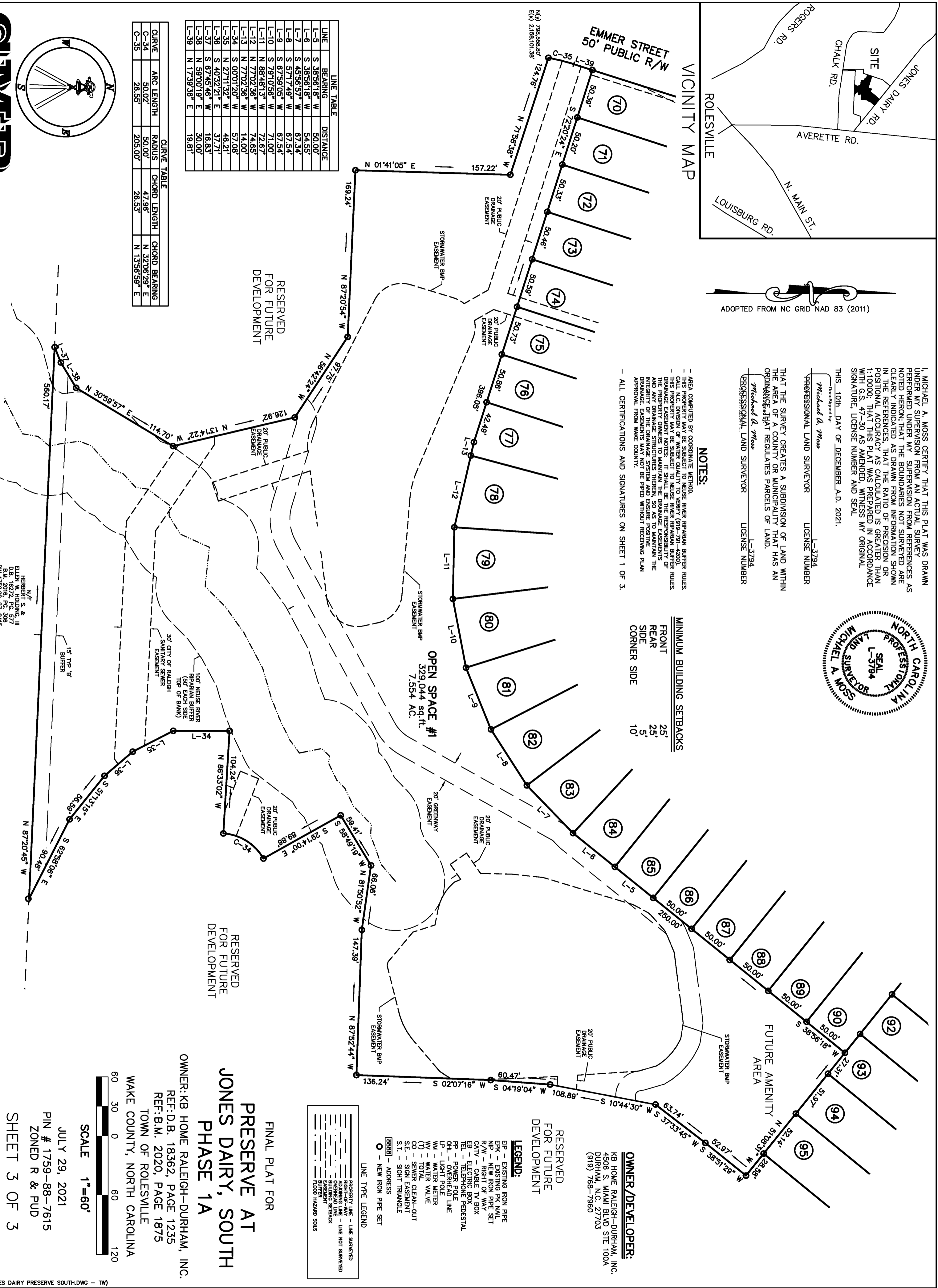
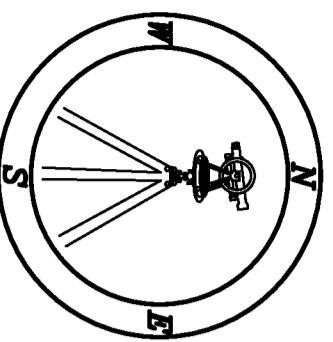
FRONT	25'
REAR	25'
SIDE	5'
CORNER SIDE	10'

**LINE TABLE**

LINE	BEARING	DISTANCE
L-5	S 38°56'18" W	50.00'
L-6	S 38°56'18" W	54.55'
L-7	S 45°56'57" W	67.34'
L-8	S 57°17'49" W	67.34'
L-9	S 67°59'05" W	67.34'
L-10	S 79°10'56" W	71.00'
L-11	N 88°48'13" W	72.67'
L-12	N 77°02'36" W	74.65'
L-13	N 77°02'36" W	14.00'
L-34	S 00°01'20" W	57.08'
L-35	N 27°11'52" W	46.21'
L-36	S 40°52'21" E	37.71'
L-37	S 67°45'46" W	16.83'
L-38	N 59°00'19" E	30.00'
L-39	N 17°39'36" E	19.81'

**CHORD TABLE**

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-34	50.02'	50.00'	47.96'	N 32°06'29" E
C-35	26.55'	205.00'	26.53'	N 13°58'59" E



**OWNER/DEVELOPER:**  
 KB HOME RALEIGH-DURHAM, INC.  
 4306 S. MIAMI BLVD STE 100A  
 DURHAM, N.C. 27703  
 (919) 788-7960

**RESERVED FOR FUTURE DEVELOPMENT**

- LEGEND:**
- EP - EXISTING IRON PIPE
  - EK - EXISTING PK NAIL
  - NIP - NEW IRON PIPE SET
  - R/W - RIGHT OF WAY
  - CATV - CABLE TV BOX
  - EB - ELECTRIC BOX
  - TEL - TELEPHONE PEDESTAL
  - PH - OVERHEAD LINE
  - UP - LIGHT POLE
  - WM - WATER METER
  - WV - WATER VALVE
  - (T) - TOTAL
  - CO - SEWER CLEAN-OUT
  - S.E. - SIGN EASEMENT
  - S.T. - SIGHT TRIANGLE
  - [8888] - ADDRESS
  - - NEW IRON PIPE SET

**LINE TYPE LEGEND**

---	PROPERTY LINE - LINE SURVEYED
---	ADJOINING LINE - LINE NOT SURVEYED
---	DRAINAGE EASEMENT
---	SEWER EASEMENT
---	FLOOD HAZARD SOUS

**FINAL PLAT FOR PRESERVE AT JONES DAIRY, SOUTH PHASE 1A**

**OWNER:** KB HOME RALEIGH-DURHAM, INC.  
 REF: D.B. 18362, PAGE 1235  
 REF: B.M. 2020, PAGE 1875  
 TOWN OF ROLESVILLE  
 WAKE COUNTY, NORTH CAROLINA



JULY 29, 2021  
 PIN # 1759-88-7615  
 ZONED R & PUD  
 SHEET 3 OF 3



CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148