WALLBROOK-TOWNHOME AMENITY PLAN

SPECIAL USE PERMIT CONDITIONS

- A. USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE ON THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL-TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USES.
- B. PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER
- WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.

 IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM -- RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED
- D. NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- E. DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 12 2020 MEMO BY STANTEC.
 F. AS SHOWN ON THE "PRELIMINARY PLAT PLAN SP 21-02," AREAS OF THE SITE EAST 0
- AS SHOWN ON THE "PRELIMINARY PLAT PLAN SP 21-02," AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

SURVEY NOTES

- 1. THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, DATED MAY 2, 2006.
- THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, 2001 ADJUSTMENT, NAD83(2001). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- 3. THE SUBJECT PARCEL IS ZONED CO-SUD (COMMERCIAL OUTLYING SPECIAL USE DISTRICT) PER WAKE COUNTY GIS.
- 4. SURVEY WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON UNDER THE SUPERVISION OF WILLIAM T. ROBBINS, PLS. FIELD WORK WAS COMPLETED MARCH 25, 2020
- 5. AREAS COMPUTED BY COORDINATE METHOD.6. NO CEMETERIES OBSERVED AS A RESULTS OF THE SURVEY.

DEVELOPER/OWNER

CURRENT ZONING: CO SUD

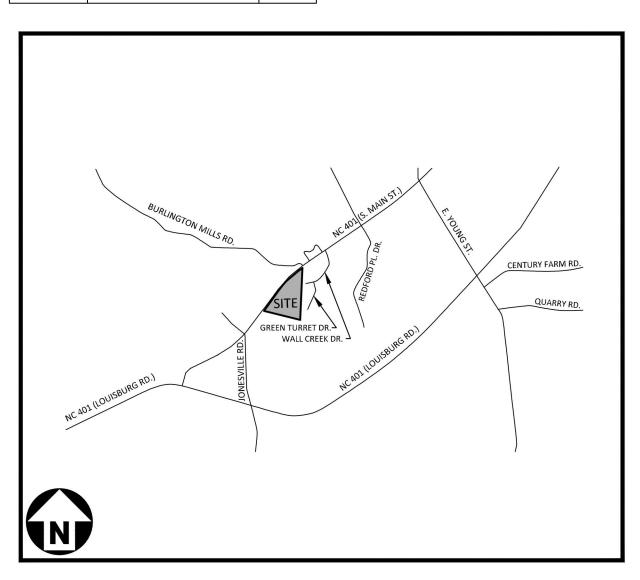
WALLBROOK LANDCO, LLC. 4700 SIX FORKS RD, SUITE 150 RALEIGH, NC 27609

SURVEY BY:
JOHNSON, MIRMIRAN & THOMPSON
9201 ARBORETUM PARKWAY, SUITE 310
RICHMOND, VIRGINIA 23236

TOPOGRAPHIC MARCH 25, 2020 ALTA SURVEY MARCH 25, 2020

WILLIAM T. ROBBINS, PLS NC LICENSE # 4192 804-323-9900

PARCEL OWNER LIST			
PIN	OWNER	AREA	
1758-56-8976	WALLBROOK LANDCO, LLC. 4700 SIX FORKS RD, SUITE 150 RALEIGH, NC 27609	42.324 AC.	



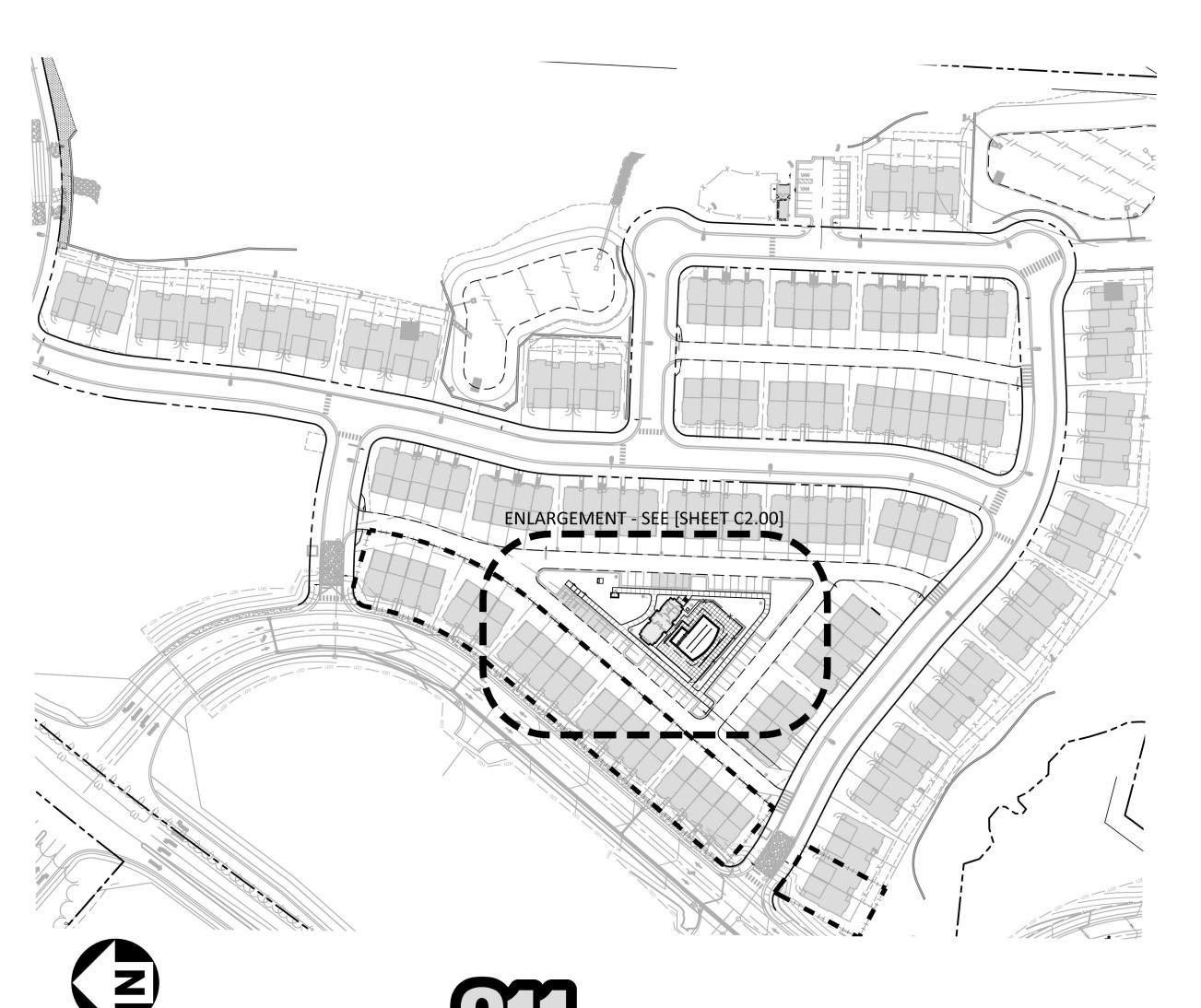
VICINITY MAP

S. MAIN STREET ROLESVILLE,NORTH CAROLINA, 27571

SITE DEVELOPMENT PLAN

PROJECT NUMBER: CPR-19100 TOWN OF ROLESVILLE PLAN NUMBER SP 22-09 DATE:NOVEMBER 11, 2022

SIGNATURE SET: JUNE 27, 2023



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX

C0.00 PROJECT NOTES
C2.00 SITE PLAN
C3.00 GRADING PLAN
C4.00 UTILITY PLAN
C8.00 SITE DETAILS
C8.01 SITE DETAILS
C8.02 SITE DETAILS
L5.00 LANDSCAPE PLAN

L5.01 LANDSCAPE NOTES AND DETAILS A201 ARCHITECTURAL ELEVATIONS

SITE PLAN APPROVAL CONTINGENT ON PRIOR APPROVALS:

-SUP 20-02 -ANX 21-06 -PR 21-04 -SP 21-02

-CD 22-04

15.4.5 - Streets

Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a

later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2

Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT



SP 22-09 /
Wallbrook Townhomes Amenity Center
APPROVED
Date: June 27, 2023

Town of Rolesville Planning Department

Meredith Truber

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT APPROVED

EROSION CONTROL
SEC-084327-2022

STORMWATER MGMT.
SWF-084502-2022

FLOOD STUDY
S-

DN: C=US,
E=janet.boyer@wakegov.com,
O=Wake County, OU=Watershed
Management, CN=Janet Boyer
Date: 2023.06.29 11:33:07-04'00'
ENVIRONMENTAL CONSULTANT SIGNATURE

SITE PERMITTING APPROVAL

Water and Sewer Permits (If applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit #

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval

City of Raleigh Review Officer



The John R. McAdams Company, Inc 2905 Meridian Parkway Durham, NC 27713

phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293

www.mcadamsco.com

CONTACT

SARA DONOHOE DONOHOE@mcadamsco.com PHONE: 919. 287. 0771

CLIENT

WALLBROOK LANDCO, LLC 4700 SIX FORKS RD, SUITE 150 RALEIGH, NORTH CAROLINA 27609

PROJECT DIRECTORY



REVISIONS

NO. DATE

SITE PLAN:

WALLBROOK
AMENITY PLAN
ROLESVILLE, NORTH CAROLINA,
27517
ROLESVILLE PROJECT#: SP 22-09
MCADAMSPROJECT #: CPR-19100

SITE PLAN NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- 2. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- 4. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR
- 5. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- 6. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811" REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- 7. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- 8. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 9. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT DETAILS.
- 10. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 11. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- 12. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 13. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.

NOTES:

- 1. ROADS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC ROW TO BE MAINTANED BY THE TOWN OF ROLESVILLE.
- 2. ROADS LABELED AS PRIVATE WILL BE DEDICATED AS PRIVATE AND BE MAINTAINED BY THE HOA.
- 3. GREENWAY EASEMENTS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC AND BE MAINTAINED BY THE TOWN OF ROLESVILLE
- 4. SANITARY SEWER EASEMENTS WILL BE DEDICATED AS PUBLIC EASEMENTS TO THE CITY OF RALEIGH.

STORM DRAINAGE NOTES

- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE STANDARDS.
- 3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 4 ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- 5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- 6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE
- STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- 7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- 8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL
- 9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- 11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION.

CITY OF RALEIGH PUBLIC UTILITIES

STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- 2. UTILITY SEPARATION REQUIREMENTS:
- a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
- b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN. DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 &
- f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALFIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED
- 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- 7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- 8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR
- ANY RIPARIAN BUFFER. WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION. 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS
- & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION. 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT
- 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

NOTES:

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 864 AND BOOK 12466, PAGE 1149 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

(919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

(DEED OF EASEMENT SUPERSEDED BY BM 2008 PG 480 & 481)

RIGHT OF WAY AND UTILITY EASEMENTS RECORDED IN BOOK 13736, PAGES 1287 AND 1294 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2009, PAGE 1091, WAKE COUNTY REGISTRY.

(AS SHOWN ON SURVEY)

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249. PAGE 860 AND BOOK 12466. PAGE 1171 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

GRADING NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- 4. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- 5. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- 6. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 7. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

RETAINING WALL NOTES

- 1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- 2. RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- 3. RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- 4. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION
- 5. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- 6. ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



phone 919. 361. 5000 fax 919. 361. 2269

2905 Meridian Parkway

Durham, NC 27713

www.mcadamsco.com

license number: C-0293, C-187

WALLBROOK LANDCO, LLC 4700 SIX FORKS RD, SUITE 150 RALEIGH, NORTH CAROLINA 27609



REVISIONS

NO. DATE

1 03. 31. 2023 PER TOWN COMMENTS 2 05. 31. 2023 PER TOWN COMMENTS 3 06. 27. 2023 SIGNATURE SET

PLAN INFORMATION

PROJECT NO. CPR-19100 CPR-19100-N2 FILENAME CHECKED BY DRAWN BY CMXY SCALE DATE 10. 28. 2022

SHEET

PROJECT NOTES



MATERIALS LEGEND

TYPE

CONCRETE PAVING

STYLE/MANUFACTURER

3,000 PSI MIN. MEDIUM BROOM FINISH
MUST MEET ALL STRUCTURAL AND PERPENDICULAR TO PATH OF GEOTECHNICAL REQUIREMENTS TRAVEL

COLOR/FINISH



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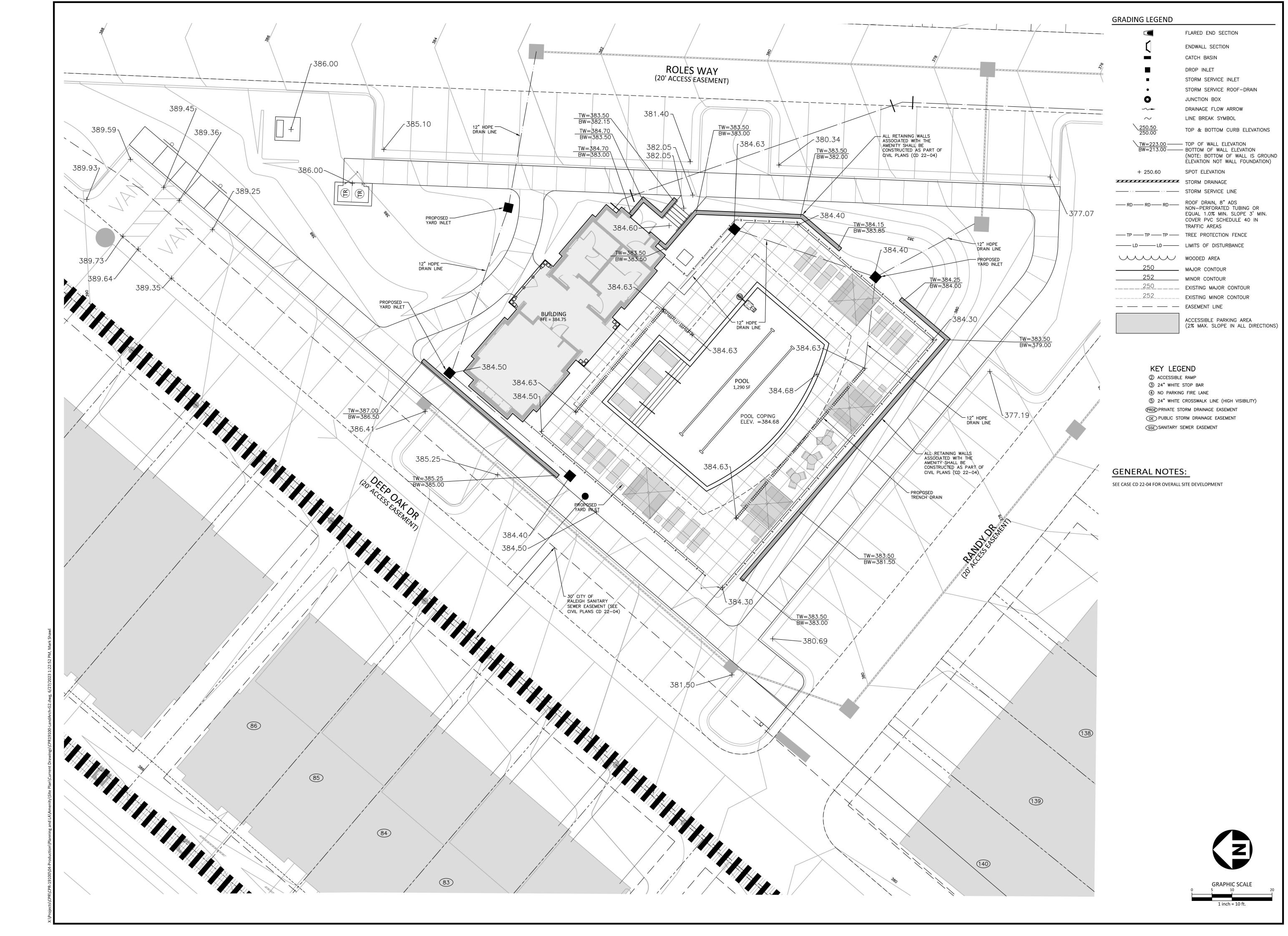
PLAN INFORMATION

PROJECT NO. CPR-19100 **FILENAME** CPR19100-LandArch-S1 CHECKED BY

DRAWN BY 1"=20' SCALE DATE 10. 28. 2022

SHEET

SITE PLAN





McAdams

The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713

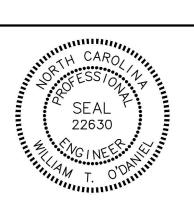
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WALLBROOK LANDCO, LLC
4700 SIX FORKS RD, SUITE 150

RALEIGH, NORTH CAROLINA 27609

AMENITY TH CAROLINA CT #: SP 22-09



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PLAN INFORMATION

PROJECT NO. CPR-19100
FILENAME CPR19100-LandArch-G2

CHECKED BY SRD

DRAWN BY CMXY

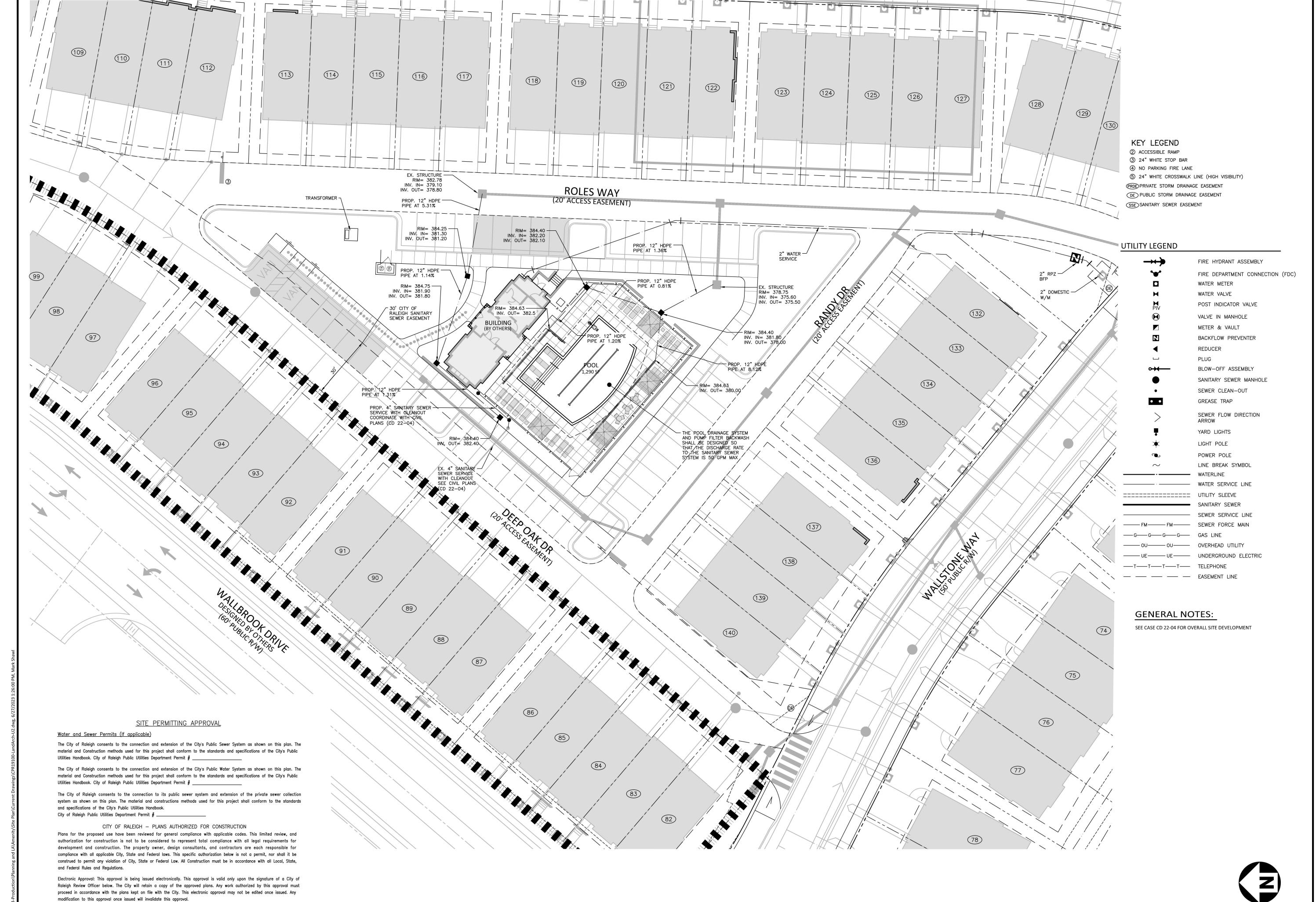
SCALE 1"=10'

DATE 10. 28. 2022

SHEET

GRADING PLAN

C3.00



City of Raleigh Development Approval ____

City of Raleigh Review Officer



UTILITY PLAN

The John R. McAdams Company, Inc. 2905 Meridian Parkway Durham, NC 27713

> phone 919. 361. 5000 fax 919. 361. 2269

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DRAWN BY **SCALE** 1"=20'

DATE 10. 28. 2022

SHEET

- RAMP SIDE SLOPES NOT TO EXCEED 1:12 SLOPE 1:12 MAX CURB TAPER A ∠ CURB TAPER (0"-6")─ DETECTABLE WARNING SURFACE NOTE: RAMP LANDING AREA SHALL RECEIVE A 24" DETECTABLE WARNING SURFACE OF COLOR TO CONTRAST WITH ADJOINING SURFACES PER ICC A117.1-2009 SECT. 705 REQUIREMENTS. ACCESSIBLE SIDEWALK RAMP N.T.S.

O2 ACCESSIBLE SIDEWALK RAMP SCALE: NTS

OPERATED BY AN ELECTRONIC OPENER.

PLATE FOR EXIT BAR

- ADA TOE PLATE

MATERIAL AND SIZE:

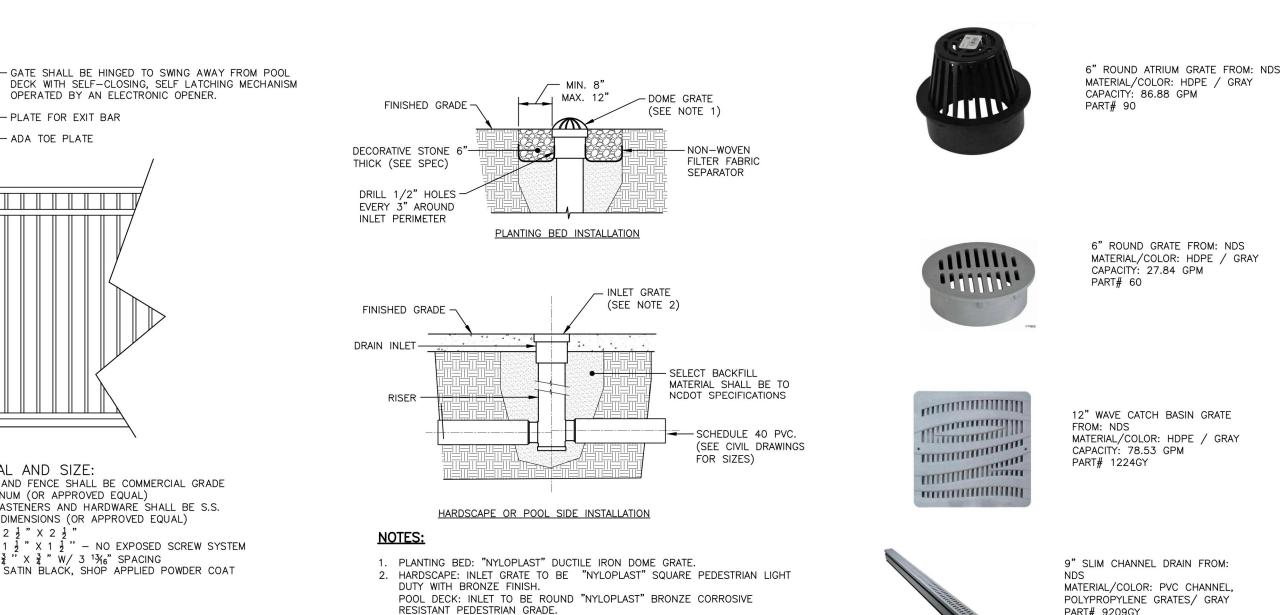
POSTS: $2\frac{1}{2}$ " X $2\frac{1}{2}$ "

GATE AND FENCE SHALL BE COMMERCIAL GRADE ALUMINUM (OR APPROVED EQUAL)

3. GATE DIMENSIONS (OR APPROVED EQUAL)

ALL FASTENERS AND HARDWARE SHALL BE S.S.

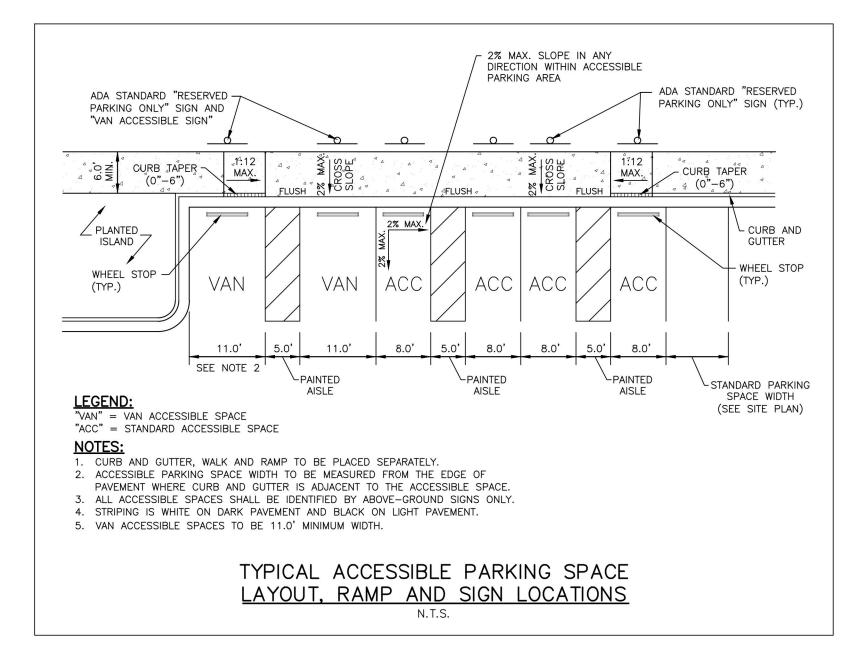
RAILS: $1\frac{1}{2}$ " X 1 $\frac{1}{2}$ " — NO EXPOSED SCREW SYSTEM PICKETS: $\frac{3}{4}$ " X $\frac{3}{4}$ " W/ 3 $\frac{13}{6}$ " SPACING FINISH: SATIN BLACK, SHOP APPLIED POWDER COAT



4. SEE GRADING PLAN FOR ALL GRATE SIZES. 1 LANDSCAPE DRAIN INLET SCALE: NTS

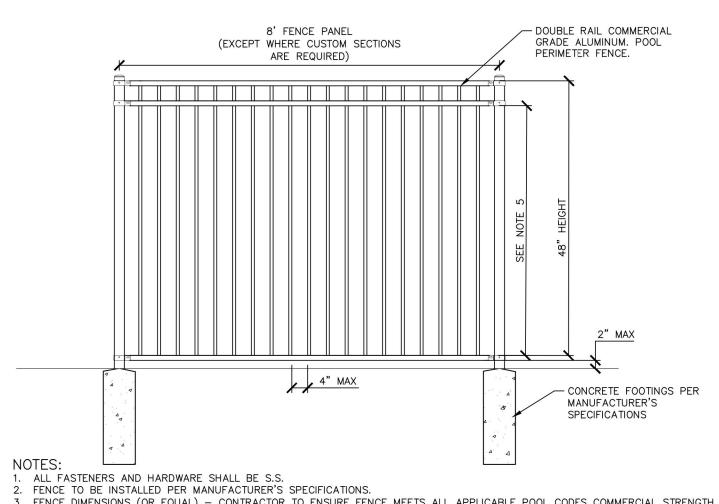
INSTALLATION METHODS.

3. FOLLOW MANUFACTURER'S GUIDELINES FOR MATERIAL REQUIREMENTS AND



06 VAN ADA PARKING DETAIL

SCALE: NTS



3. FENCE DIMENSIONS (OR EQUAL) - CONTRACTOR TO ENSURE FENCE MEETS ALL APPLICABLE POOL CODES COMMERCIAL STRENGTH ALUMINUM

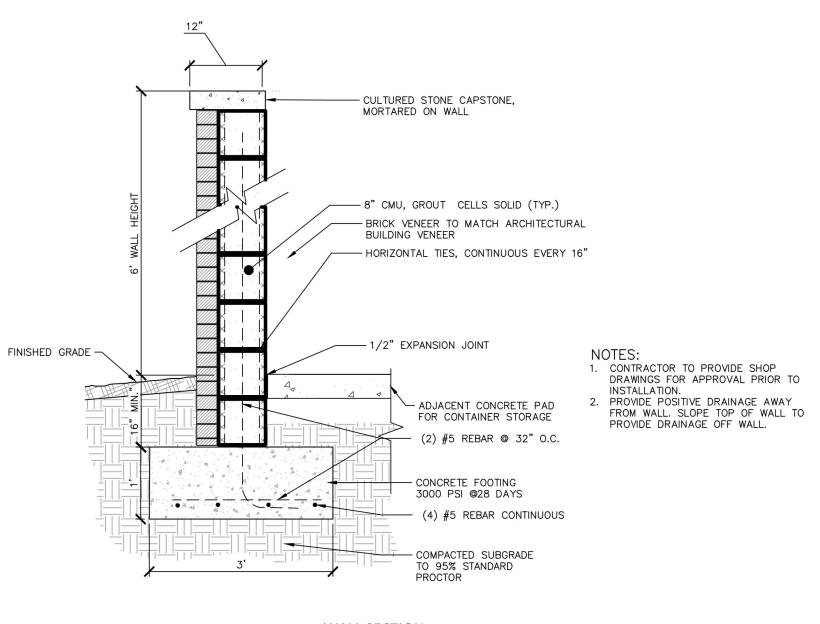
POSTS: $2\frac{1}{2}$ " X $2\frac{1}{2}$ " RAILS: $1\frac{1}{2}$ " X $1\frac{1}{2}$ " - NO EXPOSED SCREW SYSTEM PICKETS: \$\frac{1}{4}\text{ "X} \frac{3}{4}\text{ "W/ 3 \$\frac{13}{6}\text{ "SPACING}} \\
COLOR: SATIN BLACK, SHOP APPLIED POWDER COAT 4. CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA

5. FOR POOL FENCING, THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4 INCHES; WHERE THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS EXCEEDS 1-3/4 INCHES THERE SHALL BE AT LEAST 30 INCHES BETWEEN ANY HORIZONTAL BOTTOM RAIL OR STRINGER AND THE NEXT HORIZONTAL RAIL OR STRINGER.

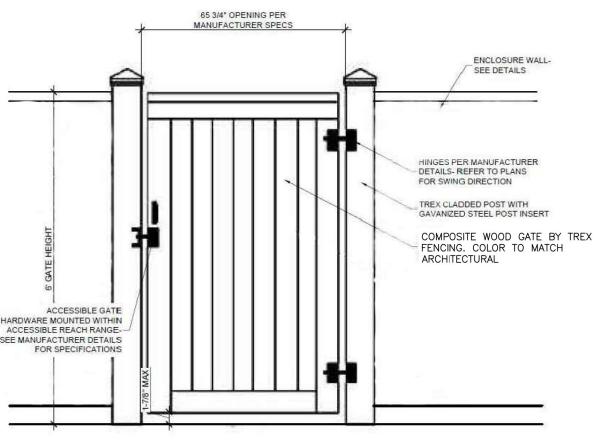
O3 POOL FENCE AND GATE

SCALE: NTS

05 TRASH ENCLOSURE SCALE: NTS



WALL SECTION



1. GATE HARDWARE WILL BE OPERABLE WITH ONE HAND AND WILL NOT REQUIRE >5LBS OF FORCE, PINCHING, TIGHT GRASPING OR TWISTING OF THE WRIST TO

2. GATE ENTRY CONTROLS WILL BE LOCATED NOT LESS THAN 34" MINIMUM AND

3. CONTRACTOR TO SUBMIT MANUFACTURER INFORMATION AND CUT SHEETS FOR

LATCH PRIOR TO ORDERING. COORDINATE THE SYSTEM WITH OTHER SITE

7. POOL GATE SHALL MEET ADA & ALL CODES. BRING ANY DISCREPANCIES TO

4. FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

THE ATTENTION OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT

4. CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA.
5. POOL GATE AND POOL FENCE TO BE FLUSH.
6. SELF—CLOSING LATCH IS TO BE MOUNTED ON THE POOL SIDE OF THE GATE AT

48" MAXIMUM ABOVE FINISHED GRADE.

A MAXIMUM 48" ABOVE FINISHED GRADE.

ACCESS CONTROLS AS REQUIRED.

ENCLOSURE GATE

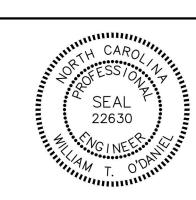
The John R. McAdams Company, Inc 2905 Meridian Parkway

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REVISIONS

PART# 9209GY

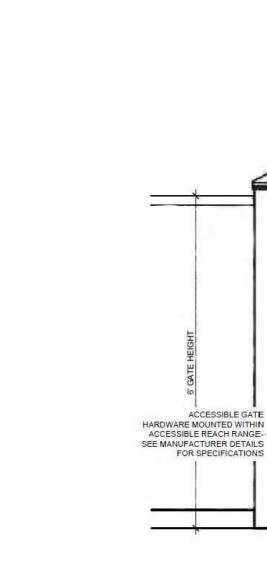
NO. DATE 1 03. 31. 2023 PER TOWN COMMENTS 2 05. 31. 2023 PER TOWN COMMENTS 3 06. 27. 2023 SIGNATURE SET

PLAN INFORMATION

PROJECT NO. CPR-19100 FILENAME CPR-19100-D2 CHECKED BY SRD DRAWN BY CMXY

SCALE N/A DATE 10. 28. 2022 SHEET

SITE DETAILS



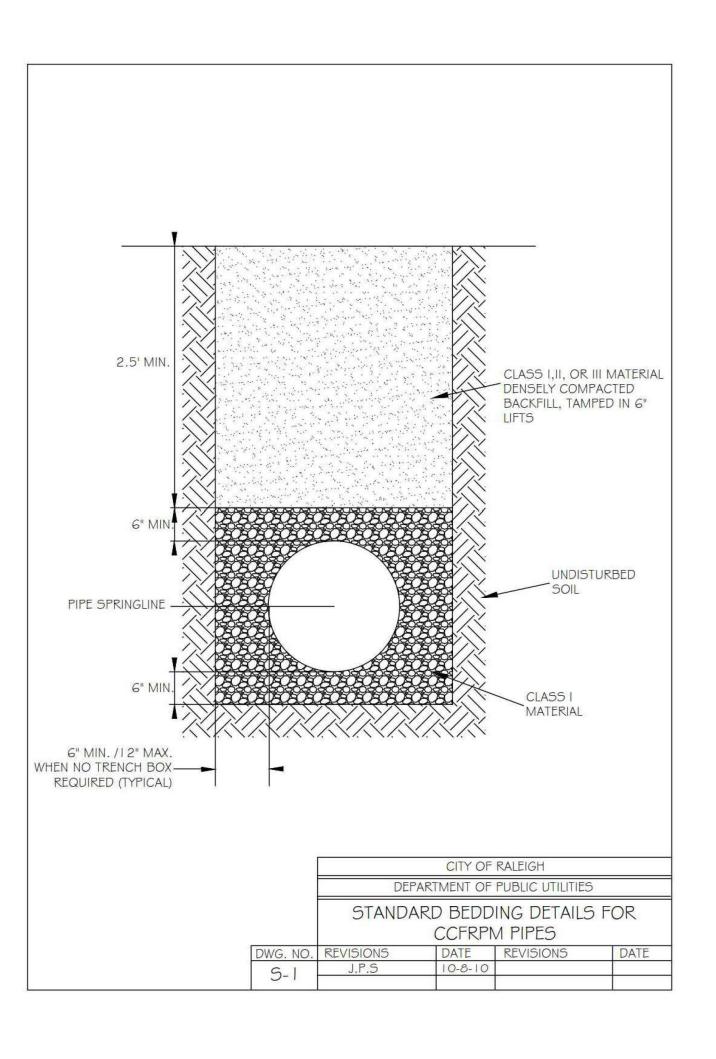
CONTRACTOR TO CONFIRM POST -

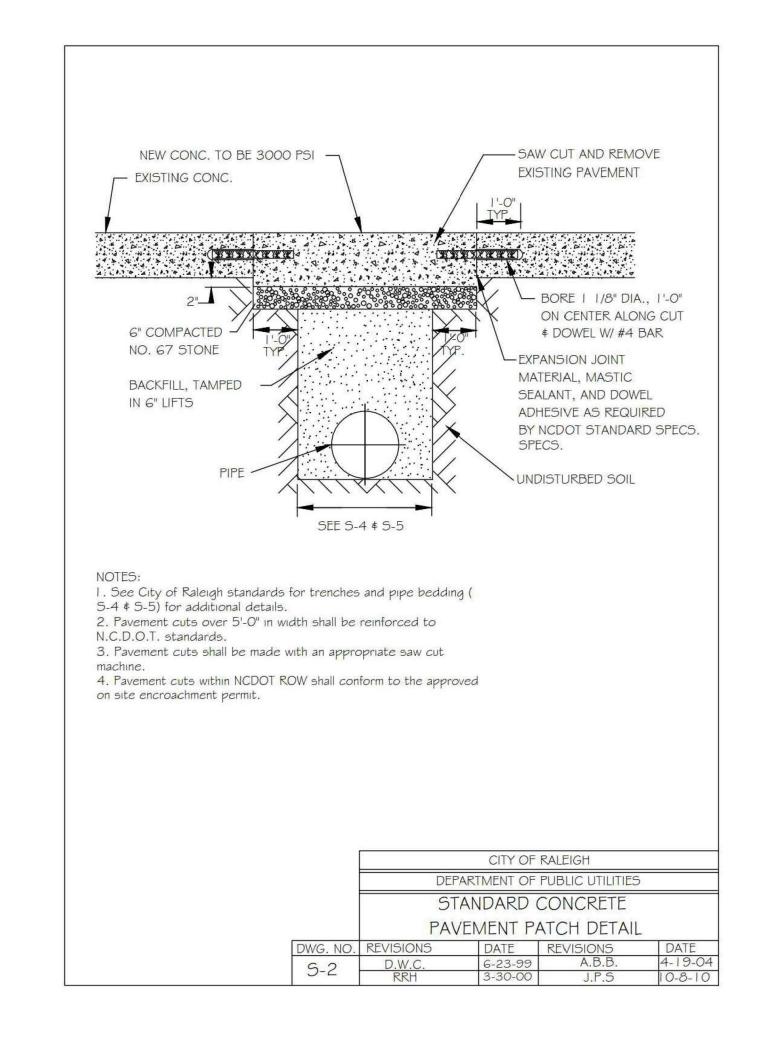
ELECTRONIC CARD SWIPE RATED FOR -

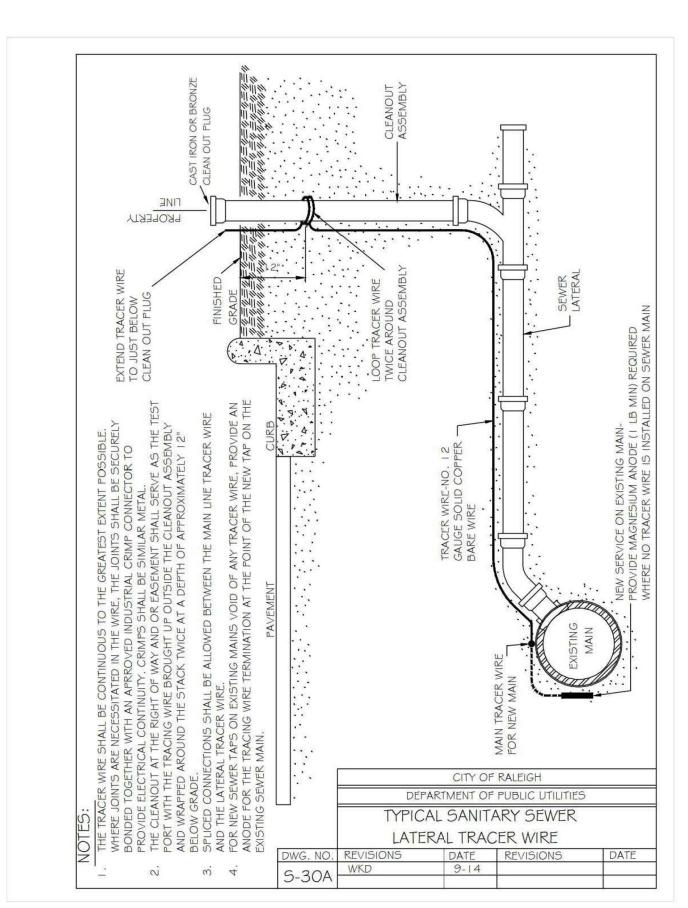
OUTDOOR USE MOUNTED OUTSIDE OF POOL

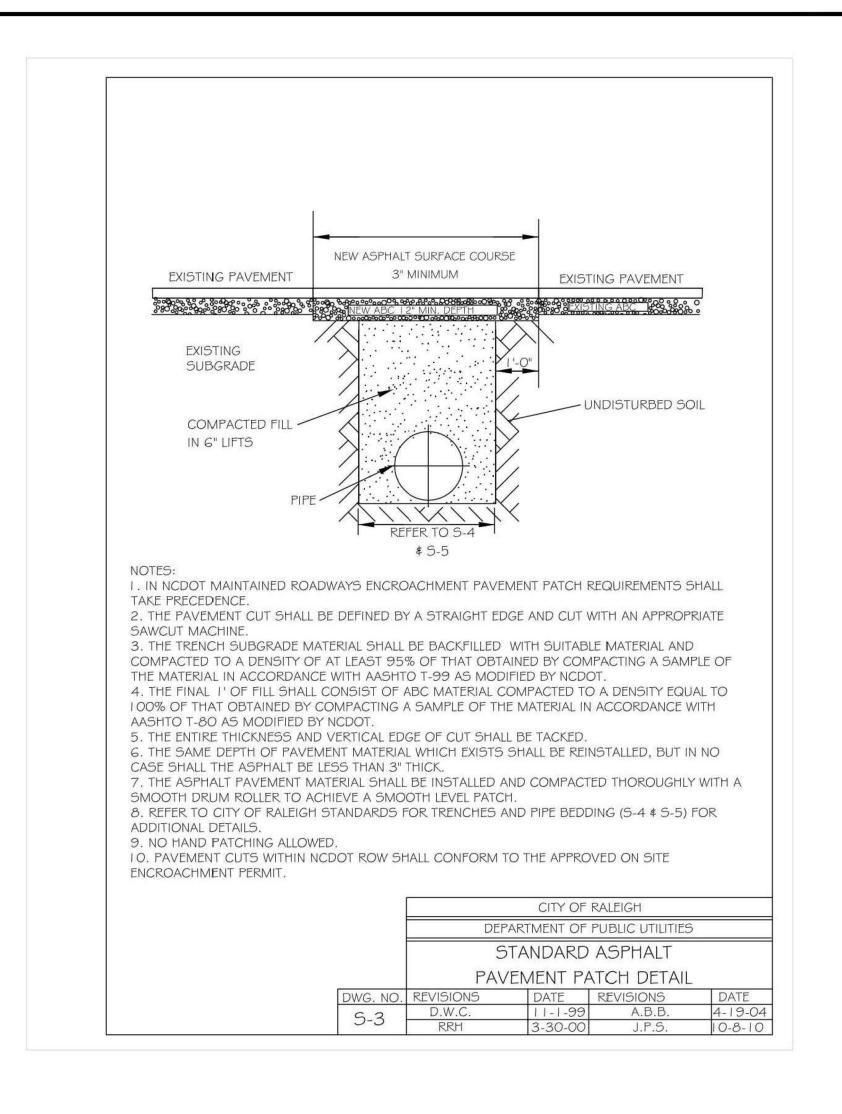
ELECTRONIC CARD SWIPE READER

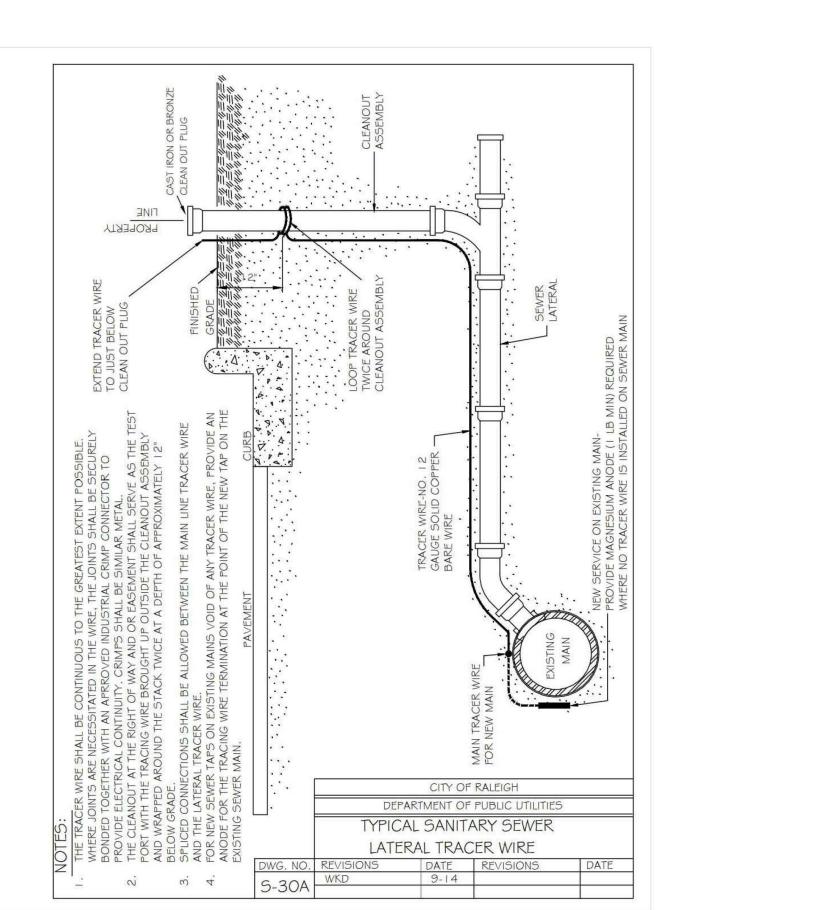
CAN STRUCTURALLY HOLD

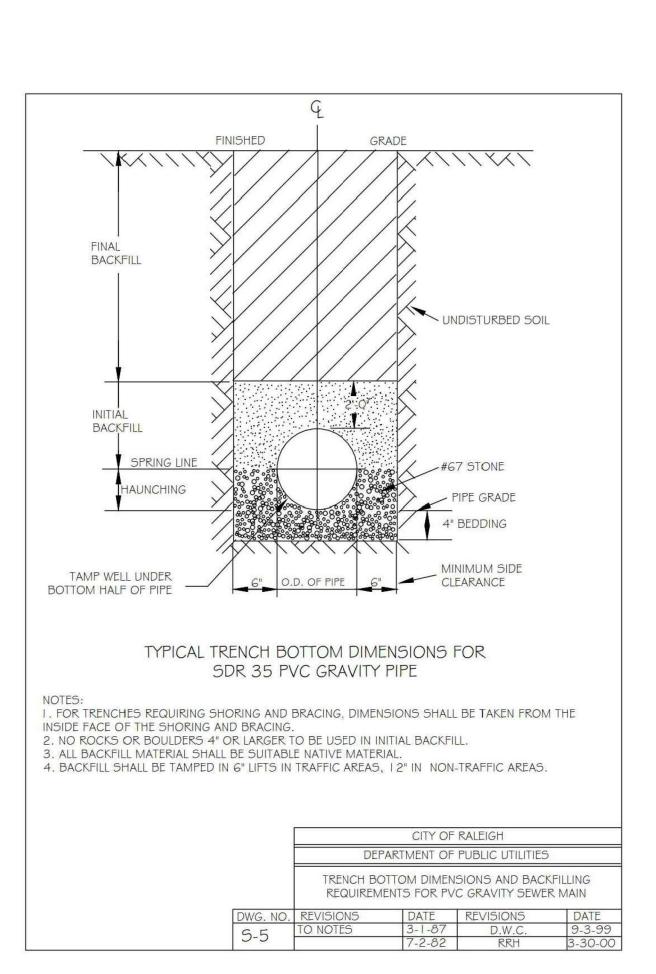














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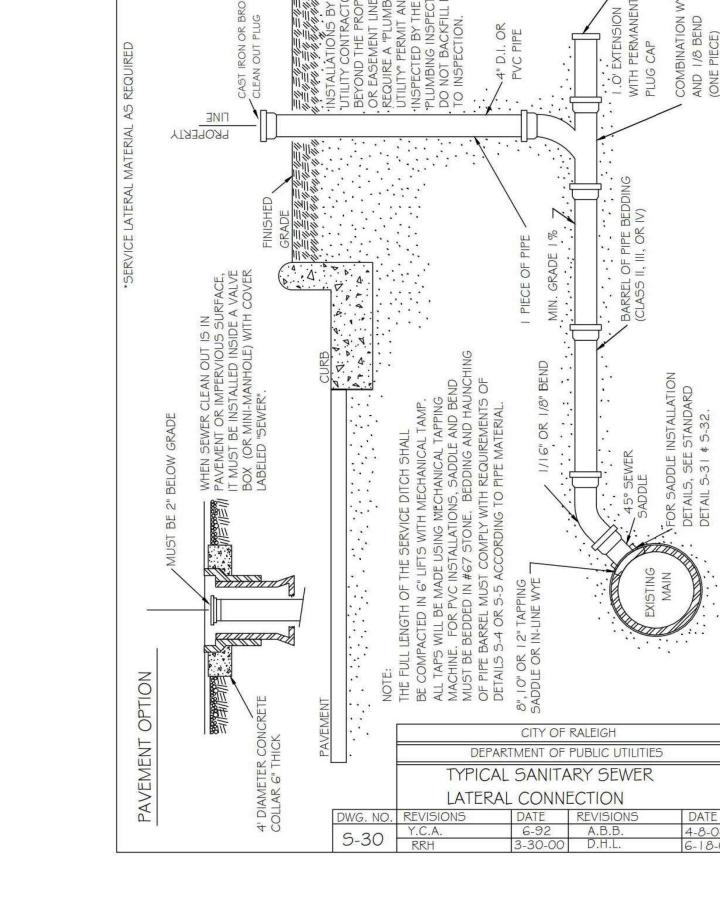
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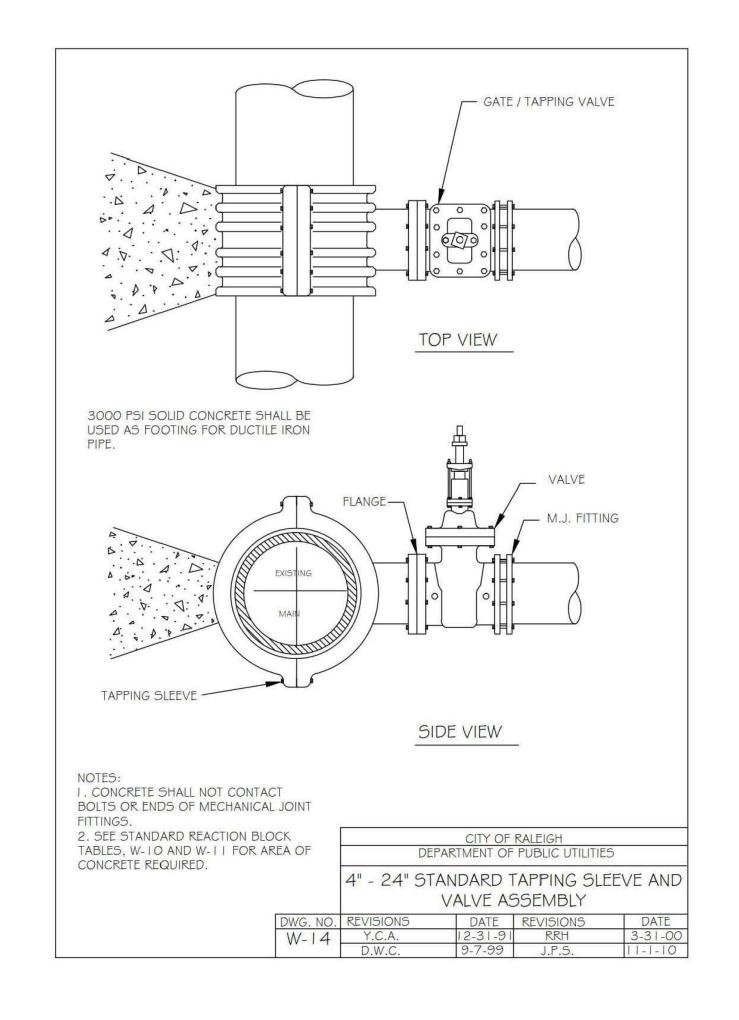
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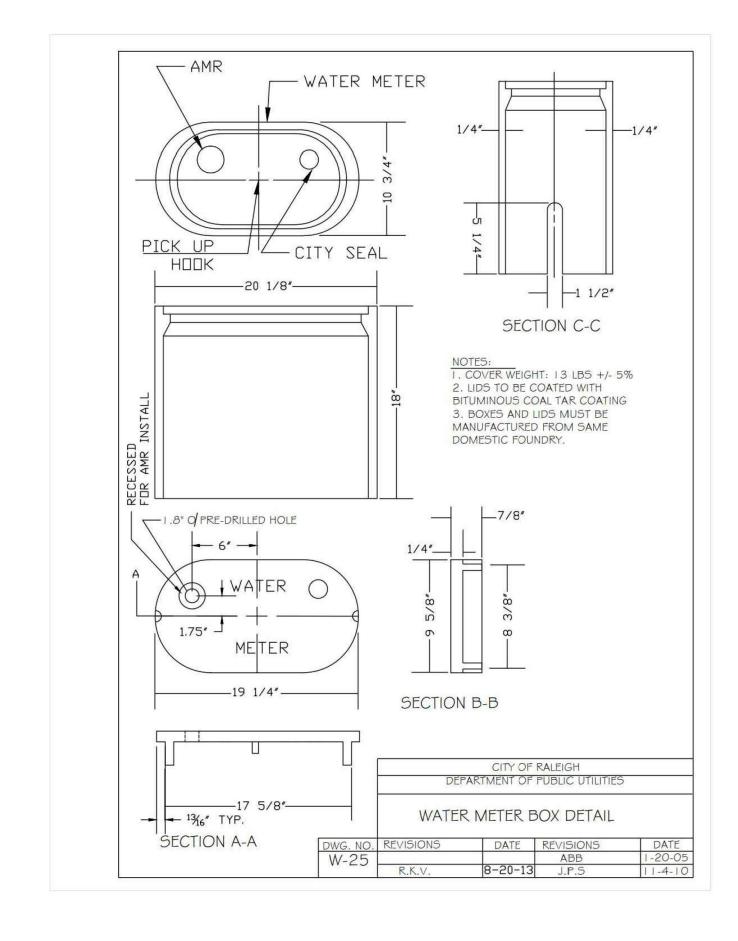
PROJECT NO. CPR-19100 **FILENAME** CPR-19100-D2 CHECKED BY DRAWN BY SCALE N/A

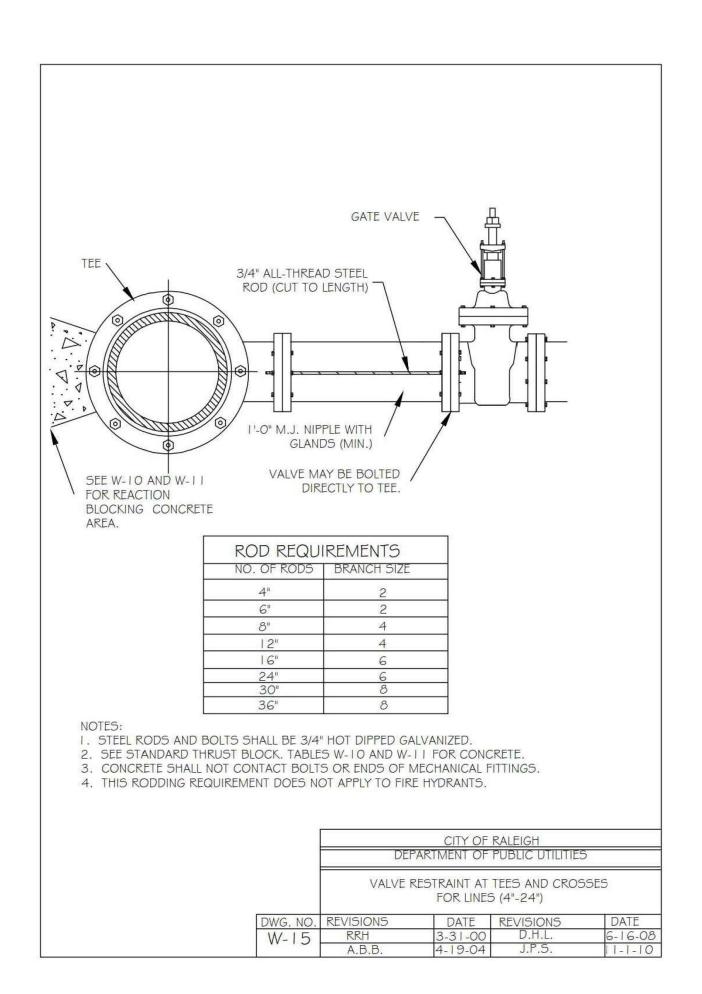
DATE 10. 28. 2022 SHEET

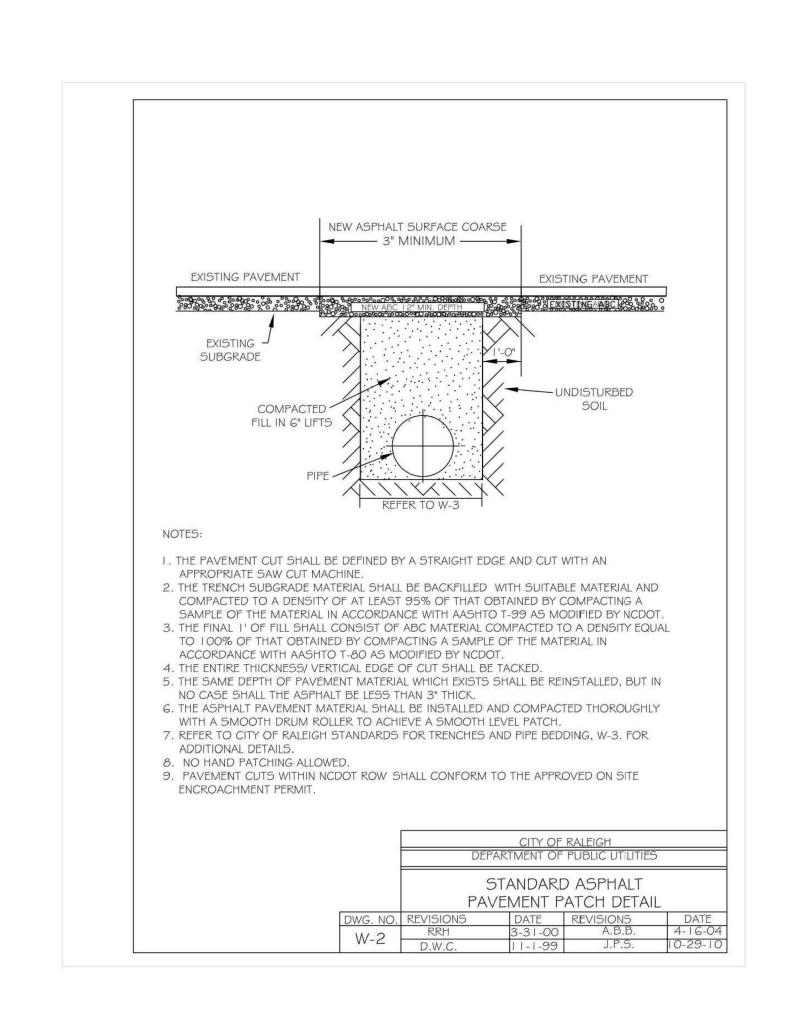
SITE DETAILS

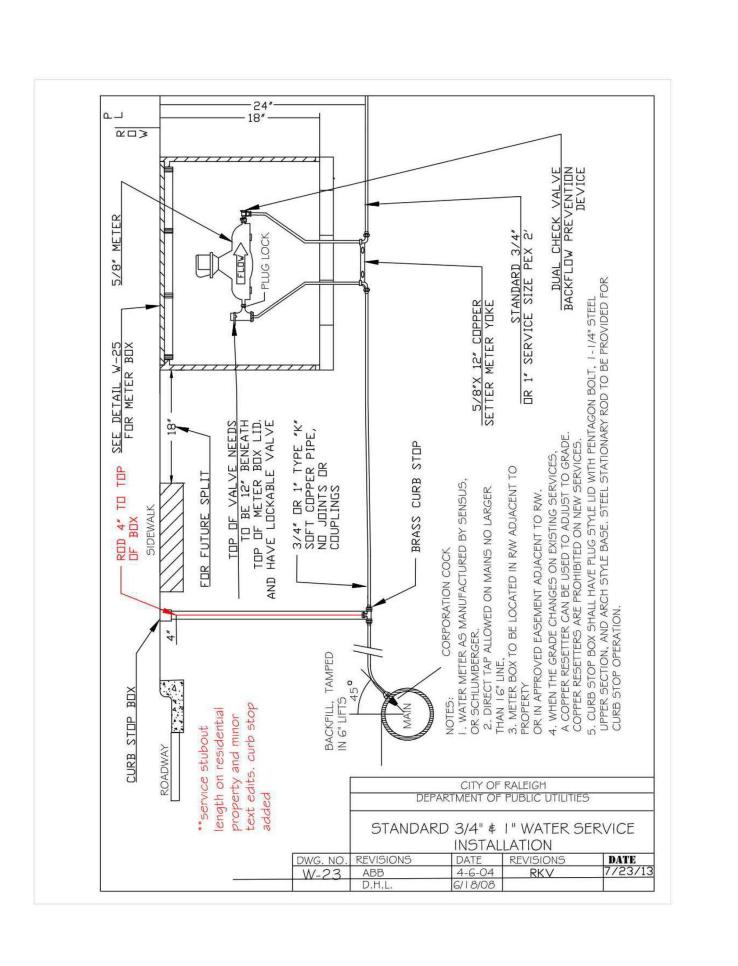












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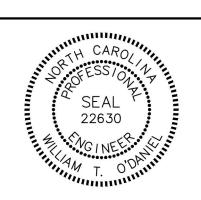
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WALLBROOM

ITE PLAN - AMENIT

ROLESVILLE, NORTH CAROLINA

OLESVILLE PROJECT #: SP 22-0



REVISIONS

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PLAN INFORMATION

PROJECT NO. CPR-19100
FILENAME CPR-19100-D2
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SCALE N/A
DATE 10. 28. 2022
SHEET

SITE DETAILS

C8.02



*PROPOSED PLANTINGS SHALL SATISFY THE ROLESVILLE CODE BY VISUALLY SCREENING ABOVE-GROUND UTILITY EQUIPMENT FROM ROAD

SITE LEGEND

PROPERTY LINE RIGHT-OF-WAY LINE EASEMENT LINE CENTERLINE DRAINAGE EASEMENT ACCESSIBLE RAMPS

TYPE (A) TYPE (B) TYPE (C)

② ACCESSIBLE RAMP 3 24" WHITE STOP BAR 4 NO PARKING FIRE LANE

(5) 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)

DE PUBLIC STORM DRAINAGE EASEMENT SSE SANITARY SEWER EASEMENT

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

KEY LEGEND

PRDE PRIVATE STORM DRAINAGE EASEMENT

GENERAL NOTES:

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PLAN INFORMATION

PROJECT NO. CPR-19100 **FILENAME** CPR19100-LandArch-LS1

CHECKED BY DRAWN BY 1"=20' **SCALE** DATE 10. 28. 2022

SHEET

LANDSCAPE PLAN



GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- 2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS
- 3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- 4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION
- 5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- 7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- 9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- 10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- 11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- 12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- 13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON BLANS
- 14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- 15. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- 16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- 17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- 18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- 19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- 20. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- 21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- 22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- 23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS
- DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.

 24. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE,

PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.

- 25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- 26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- 27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- 28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- 29. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE

WARRANTY & MAINTENANCE:

- 1. WARRANTY: INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS
 THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE
 YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES
- INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS
 RESULTING FROM LACK OF ADEQUATE MAINTENANCE,
 NEGLECT, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND
 CONTRACTOR'S CONTROL.
- STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR
 STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR
- 2. MAINTENANCE: INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM SHALL INCLUDE:
- TREE AND SHRUB MAINTENANCE: MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO
- KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 GROUND COVER AND PLANT MAINTENANCE: MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

PLANTING SPECIFICATIONS:

- GENERAL

 1. REFER TO CIVIL DRAWINGS FOR NOTES AND DETAILS ON SITE GRADING AND EROSION AND SEDIMENT CONTROL. REFER TO SEEDING AND SODDING NOTES FOR TURF GRASS

 INSTALLATION
- 2. CONTRACTOR TO SUBMIT A LIST OF PLANT MATERIALS AND SOURCES FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. CONTRACTOR TO COORDINATE ANY DISCREPANCIES OR SUBSTITUTIONS WITH LANDSCAPE ARCHITECT.
- 3. DURING DELIVERY, STORAGE AND HANDLING, CONTRACTOR TO PROTECT AND MAINTAIN PLANT LIFE UNTIL PLANTED. PROVIDE PROTECTIVE COVERING OVER ALL PLANTINGS DURING TRANSPORT. ADEQUATELY PROTECT PLANTS FROM DRYING OUT, EXPOSURE OF ROOTS TO SUN, WIND OR EXTREMES OF HEAT AND COLD TEMPERATURES. IF PLANTING IS DELAYED MORE THAN 24 HOURS AFTER DELIVERY, STORE PLANTS IN LOCATION PROTECTED FROM SUN AND WIND AND PROVIDE ADEQUATE WATER TO THE ROOT BALL PACKAGE. PLANT MATERIAL DAMAGED AS A RESULT OF DELIVERY, STORAGE OR HANDLING WILL BE REJECTED.
- 4. PLANTS, INCLUDING TREES, SHRUBS, GROUNDCOVERS, VINES AND ORNAMENTAL GRASSES, TO BE INSTALLED BETWEEN THE FOLLOWING DATES:
 SPRING PLANTING SEASON: MARCH 15 TO JUNE 1
 FALL PLANTING SEASON: SEPTEMBER 15 TO DECEMBER 1
- 5. PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT. PLANT TREES AND SHRUBS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWNS. PROTECT LAWN AREAS TO REMAIN AND PROMPTLY REPAIR DAMAGE CAUSED BY PLANTING OPERATIONS.
- 6. CONTRACTOR SHALL CAREFULLY EXAMINE THE CIVIL, RECORD AND SURVEY DRAWINGS TO BECOME FAMILIAR WITH EXISTING UNDERGROUND CONDITIONS BEFORE DIGGING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF ALL SURFACE AND SUBSURFACE CONDITIONS, AND TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY CIRCUMSTANCES THAT WOULD NEGATIVELY IMPACT UNDERGROUND CONDITIONS OR THE HEALTH OF THE

PRODUC^{*}

- 1. TREE AND SHRUB MATERIAL: FURNISH NURSERY-GROWN, TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL GROWTH HABIT, WELL-DEVELOPED BRANCH STRUCTURE, HEALTHY FOLIAGE, AND VIGOROUS ROOT SYSTEMS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS IN ANSIZ60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL BE FREE FROM DEFECTS OR DAMAGE, INCLUDING BUT NOT LIMITED TO, DISFIGURING KNOTS, SUNSCALD INJURIES, FROST CRACKS, ABRASION OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, FIRE ANTS, AND ALL FORMS OF INFESTATION.
- 2. SOIL: ASTM D 5268 TOPSOIL, pH RANGE OF 5.5 TO 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

3 SOIL AMENDMEN

- A. ORGANIC COMPOST: WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, ph RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4" SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- B. INORGANIC SOIL AMENDMENTS: COMMERCIAL GRADE, FREE OF TOXIC MATERIALS.
- 4. FERTILIZER: GRANULAR OR PELLET SLOW-RELEASE FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHOROUS AND POTASSIUM IN THE COMPOSITION AS DIRECTED BY SOIL ANALYSIS TESTING.
- 5. ORGANIC MULCH: SHREDDED HARDWOOD IN NATURAL BROWN COLOR; 3" MAXIMUM SIZE IN LONGEST DIMENSION; FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR A TOP DRESSING OF TREES AND SHRUBS.
- 6. STAKES AND GUYS: DEEPROOT ARBORTIE STAKING AND GUYING MATERIAL OR APPROVED

PLANTING INSTALLATION:

EXAMINATION AND PREPARATION

- INSTALLER TO EXAMINE AREAS TO RECEIVE EXTERIOR PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

 PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND
- LAWNS AND EXISTING PLANTINGS FROM DAMAGE CAUSED BY PLANTING OPERATIONS
 REFER TO CIVIL DRAWINGS FOR EROSION AND SEDIMENT CONTROL MEASURES.

 3. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS PER PLANTING PLAN. OBTAIN
 LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING AND MAKE MINOR

PLANTING BED ESTABLISHMEN

ADJUSTMENTS AS NEEDED.

- 1. VERIFY SITE GRADING PRIOR TO DIGGING. LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER. APPLY TOP SOIL, FERTILIZER, LIME AND SOIL AMENDMENTS AND THOROUGHLY BLEND PLANTING SOIL MIX TO CREATE ACCEPTABLE PLANTING SOIL AS DESCRIBED THROUGH ANLA.
- EXCAVATE CIRCULAR PITS AND TRENCHES WITH SIDES SLOPED INWARD, LEAVING THE
 CENTER AREA RAISED SLIGHTLY TO SUPPORT THE ROOT BALL AND ASSIST IN DRAINAGE.
 EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND
 BURLAPPED AND CONTAINER-GROWN STOCK. SCARIFY PIT OR TRENCH WALLS.

TREE, SHRUB, VINE, ORNAMENTAL GRASS AND GROUNDCOVER PLANTING 1. SET BALLED AND BURLAPPED OR CONTAINER-GROWN STOCK PLUMB AND CENTER OF PIT

- OR TRENCH WITH ROOT BALL 1 INCH ABOVE ADJACENT FINISHED GRADES.

 2. REMOVE WIRE AND PALLETS ENTIRELY FROM ROOT BALL. REMOVE BURLAP FROM TOPS OF
- ROOT BALLS AND PARTIALLY FROM SIDES BUT DO NOT REMOVE FROM UNDER ROOT BALL.

 3. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE MIX AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. WATER AGAIN AFTER
- PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX.

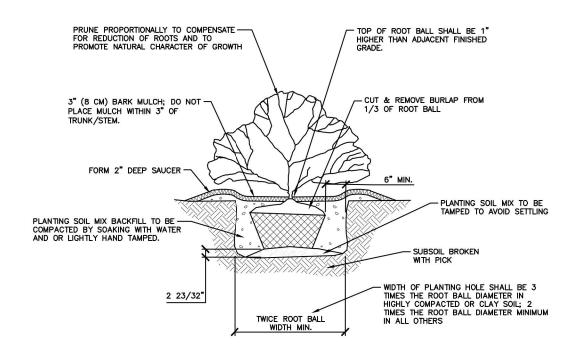
 4. APPLY 3-INCH MINIIMUM AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEFORE EDGE OF PLANTING PIT OR TRENCH OR TO EDGE OF BEDLINE. DO NOT PLACE MULCH WITH 3 INCHES OF ROOT FLARE, TRUNK OR STEMS.
- MULCH WITH 3 INCHES OF ROOT FLARE, TRUNK OR STEMS.

 5. PRUNE, THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICE AND TO RETAIN NATURAL CHARACTER. DO NOT CUT TREE LEADERS. REMOVE
- ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.

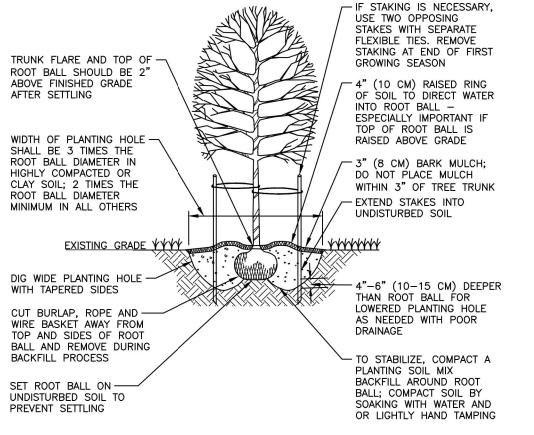
 6. INSTALL GUYING AND STAKING PER MANUFACTURER'S SPECIFICATIONS. REMOVE GUY WIRES AND STAKES AFTER TWO PLANTING ESTABLISHMENT SEASONS.
- DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT



1 SHRUB INSTALLATION



- NOTES:

 1. SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; ARE GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.

 2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, BE SURE TO
- SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.

 3. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC
- TREE SPECIES.

 4. IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY
- ROOTS OUT OF THE OUTER LATER OF POTTING SOIL; THEN CUT OR POLL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.

 5. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL
- TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.





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> **VENITY** CAROLINA #: SP 22-09

SIIE PLAIN - AIVIEN ROLESVILLE, NORTH CAROLI ROLESVILLE PROJECT #: SP 22



REVISIONS

NO. DATE

1 03. 31. 2023 PER TOWN COMMENTS
2 05. 31. 2023 PER TOWN COMMENTS
3 06. 27. 2023 SIGNATURE SET

PLAN INFORMATION

PROJECT NO. CPR-19100

FILENAME CPR19100-LandArch-LS1

CHECKED BY SRD

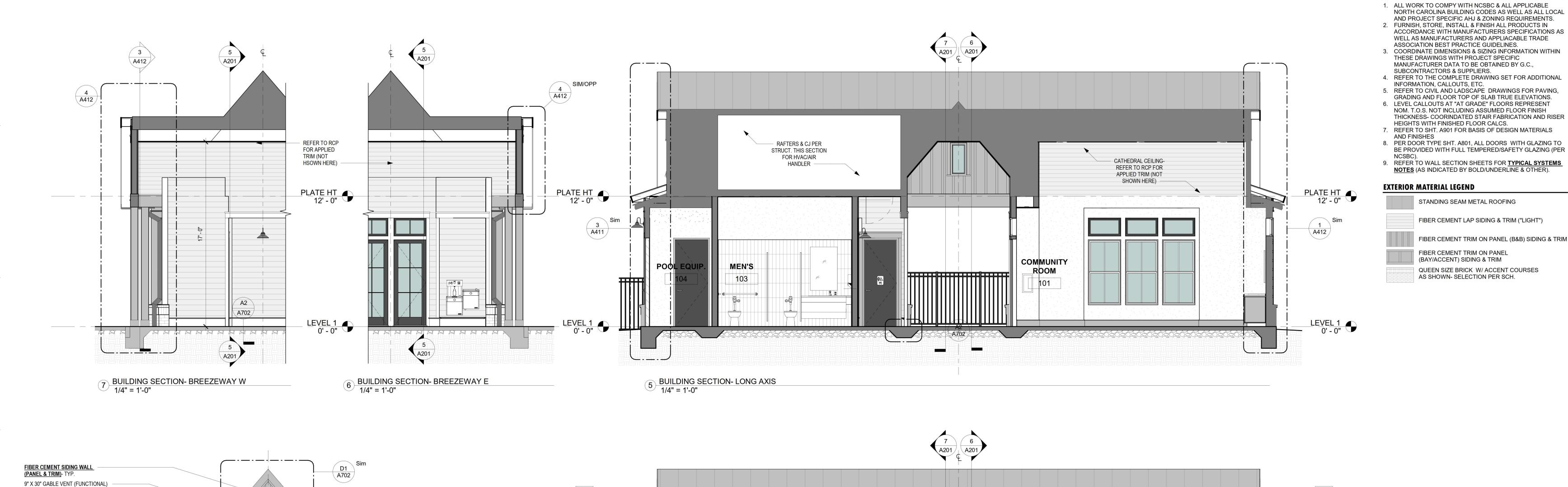
DRAWN BY CMXY

SCALE N/A

DATE 10. 28. 2022

SHEET

AND DETAILS



RS01

ROOF SYSTEM- TYP.

 $-\,$ 6" HALF RND. GUTTER W/ 4" D.S.-

REFER TO CIVIL STORMWATER CONNECTIONS- TYP.

FIBER CEMENT SIDING WALL (PANEL & TRIM)- TYP. 1X6 TYP. W/ 1X10 CORNER BD'S,

PROJECTED DRIP/TRANSITION

TRIM AS SHOWN IN UPPER

& UPPER FASCIA. 5/4

RS02

RS03

ROOF SYSTEM- TYP.

CONNECTIONS- TYP.

6" HALF RND. GUTTER W/ 4" D.S.-REFER TO CIVIL STORMWATER

FIBER CEMENT SIDING WALL

POOL ENCL. FENCING & GATES PER

OPENINGS PER LIFE SAFETY PLAN

CIVIL & ARCH.- PROVIDE CLEAR

CHEVRON INFILL PANELS

UNDER EACH TRANSOM

(PANEL & TRIM)- TYP.

D1 A702

W/ INSECT SCREENING

EXHAUST VENTS- REFER TO — MECH. (PROPOSED ALIGNMENT

AS SHOWN)

PLATE HT 12' - 0"

COLUMN- TYP.

FIBER CEMENT SIDING WALL (LAP)- TYP.

POOL ENCL. FENCING & GATES PER CIVIL & ARCH.- PROVIDE

4 ELEVATION- POOLHOUSE RIGHT 1/4" = 1'-0"

2 ELEVATION- POOLHOUSE LEFT 1/4" = 1'-0"

CLEAR OPENINGS PER LIFE SAFETY PLAN

BRICK VENEER WALL- TYP

FIBER CEMENT SIDING WALL (PANEL & TRIM)- TYP.

W/ INSECT SCREENING

PLATE HT 12' - 0"

FIBER CEMENT SIDING WALL (LAP)- TYP.

BRICK VENEER WALL- TYP.

<u>LEVEL 1</u> 0' - 0"

9" X 30" GABLE VENT (FUNCTIONAL)

MIDPT. "BUILDING HT."

10' - 0"







WALLBROOK POOLHOUSE 421 DEEP OAK DR. ROLESVILLE, NC 27571

Prepared For CS-WALLBROOK LLC

Client Contract

ARCHITECT:

ELEVATION / BUILDING SECTION GENERAL NOTES:

STANDING SEAM METAL ROOFING

FIBER CEMENT TRIM ON PANEL (BAY/ACCENT) SIDING & TRIM

AS SHOWN- SELECTION PER SCH.

FIBER CEMENT LAP SIDING & TRIM ("LIGHT")

QUEEN SIZE BRICK W/ ACCENT COURSES

FIBER CEMENT TRIM ON PANEL (B&B) SIDING & TRIM



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Issue Date 10.21.2022 - FOR

CONSTRUCTION Sheet Title

Original drawing is 42 x 30. Do not scale contents of this drawing.

ELEVATIONS