

# WALLBROOK-TOWNHOME AMENITY PLAN



**McADAMS**  
The John R. McAdams Company, Inc.

2905 Meridian Parkway  
Durham, NC 27713

phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293

www.mcadamsco.com

**CONTACT**

SARA DONOHOE  
DONOHOE@mcadamsco.com  
PHONE: 919. 287. 0771

**CLIENT**

WALLBROOK LANDCO, LLC  
4700 SIX FORKS RD, SUITE 150  
RALEIGH, NORTH CAROLINA 27609

**PROJECT DIRECTORY**

S. MAIN STREET  
ROLESVILLE, NORTH CAROLINA, 27571

**SITE DEVELOPMENT PLAN**  
PROJECT NUMBER: CPR-19100  
TOWN OF ROLESVILLE PLAN NUMBER SP 22-09  
DATE: NOVEMBER 11, 2022  
SIGNATURE SET: JUNE 27, 2023

**SHEET INDEX**

C0.00	PROJECT NOTES
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C8.02	SITE DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE NOTES AND DETAILS
A201	ARCHITECTURAL ELEVATIONS

**SITE PLAN APPROVAL CONTINGENT ON PRIOR APPROVALS:**

- SUP 20-02
- ANX 21-06
- PR 21-04
- SP 21-02
- CD 22-04

**15.4.5 - Streets**

15.4.5.1  
Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2  
Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

**GENERAL NOTES:**

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

**SPECIAL USE PERMIT CONDITIONS**

- USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE ON THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL-TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USES.
- PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.
- IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM -- RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED IMPROVEMENTS.
- NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 12, 2020 MEMO BY STANTEC.
- AS SHOWN ON THE "PRELIMINARY PLAT PLAN - SP 21-02," AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

**SURVEY NOTES**

- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, DATED MAY 2, 2006.
- THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, 2001 ADJUSTMENT, NAD83(2001). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- THE SUBJECT PARCEL IS ZONED CO-SUD (COMMERCIAL OUTLYING SPECIAL USE DISTRICT) PER WAKE COUNTY GIS.
- SURVEY WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON UNDER THE SUPERVISION OF WILLIAM T. ROBBINS, PLS. FIELD WORK WAS COMPLETED MARCH 25, 2020.
- AREAS COMPUTED BY COORDINATE METHOD.
- NO CEMETERIES OBSERVED AS A RESULTS OF THE SURVEY.

**DEVELOPER/OWNER**

CURRENT ZONING: CO SUD

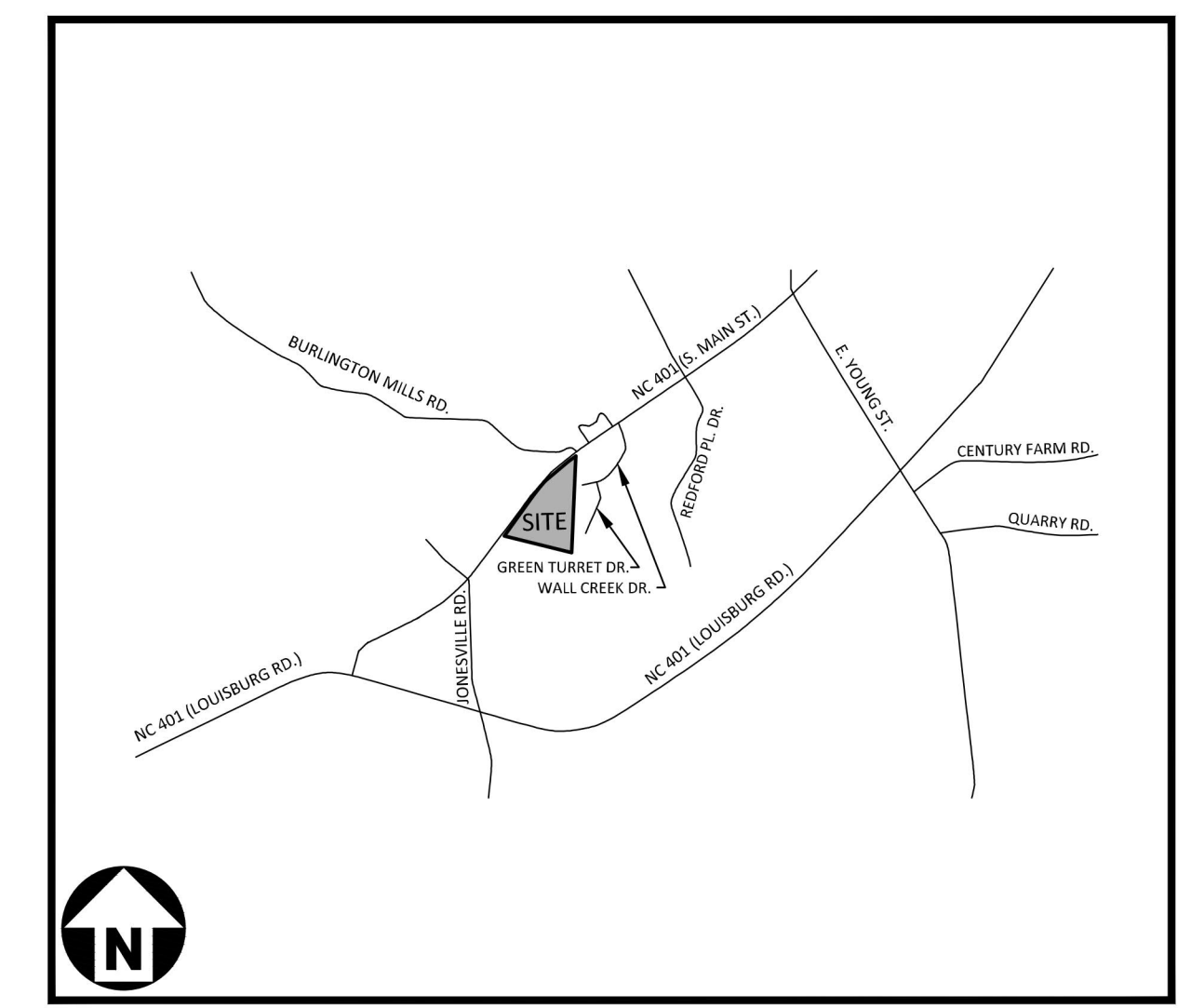
WALLBROOK LANDCO, LLC  
4700 SIX FORKS RD, SUITE 150  
RALEIGH, NC 27609

**SURVEY BY:**  
JOHNSON, MIRMIRAN & THOMPSON  
9201 ARBORETUM PARKWAY, SUITE 310  
RICHMOND, VIRGINIA 23236

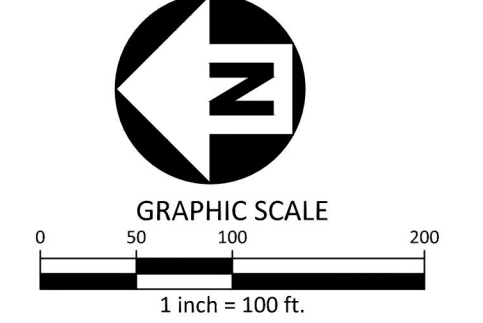
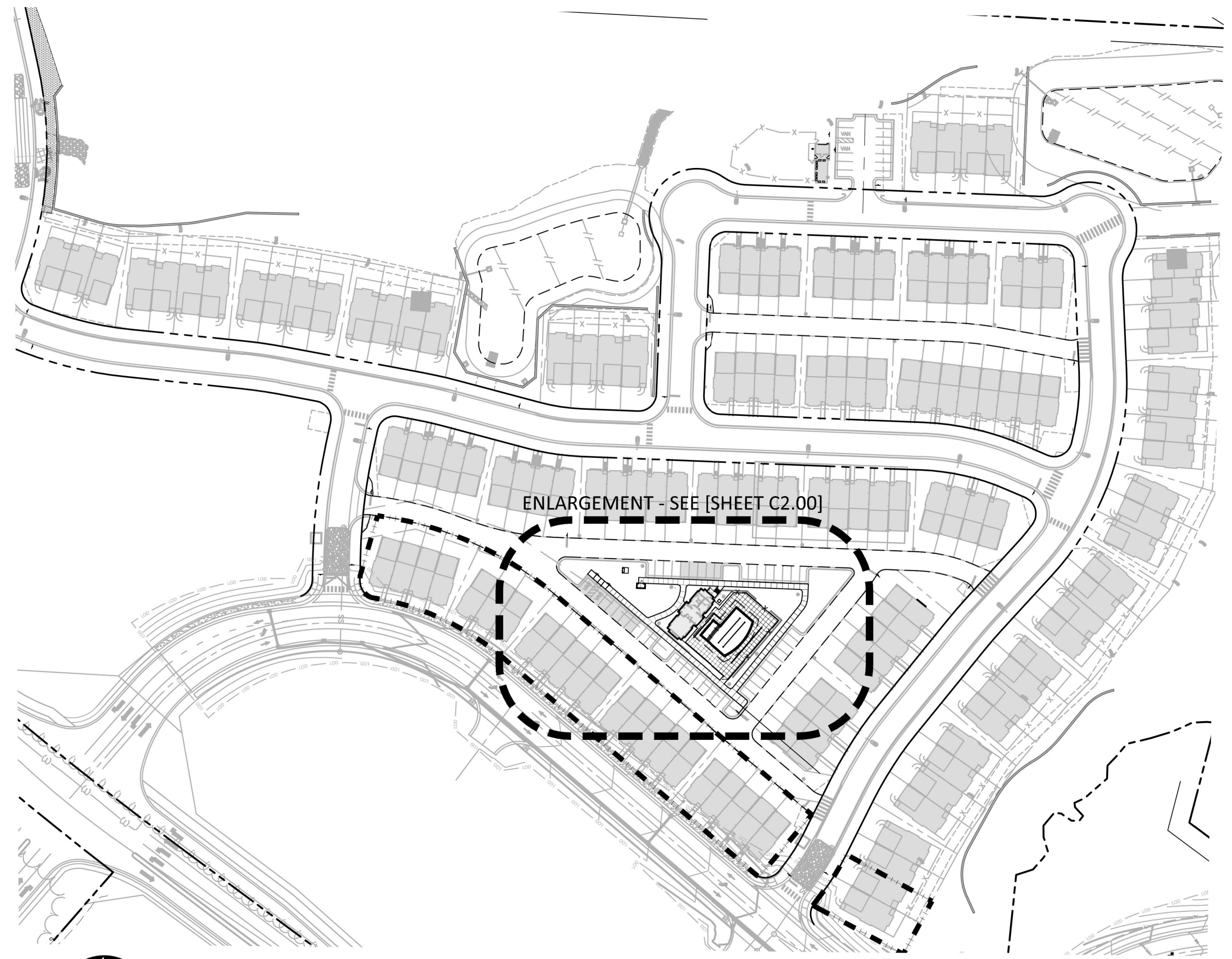
TOPOGRAPHIC MARCH 25, 2020  
ALTA SURVEY MARCH 25, 2020

WILLIAM T. ROBBINS, PLS  
NC LICENSE # 4192  
804-323-9900

PARCEL OWNER LIST		
PIN	OWNER	AREA
1758-56-8976	WALLBROOK LANDCO, LLC. 4700 SIX FORKS RD, SUITE 150 RALEIGH, NC 27609	42.324 AC



**VICINITY MAP**  
N.T.S.



Know what's below.  
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

**Rolesville**  
Growing Community • Capital Connections • 616.1837  
Planning

SP 22-09 /  
Wallbrook Townhomes Amenity Center  
**APPROVED**  
Date: June 27, 2023

*Janet Boyer*  
Town of Rolesville Planning Department

**EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT**

**APPROVED**  
EROSION CONTROL  SEC-084327-2022  
STORMWATER MGMT.  SWF-084502-2022  
FLOOD STUDY  S-

DATE: **Janet Boyer**  
Digitally signed by Janet Boyer  
DN: cn=Janet Boyer, o=Wake County, ou=Water Resource Management, cn=Janet Boyer  
2023.06.27 15:39:07 -0400

ENVIRONMENTAL CONSULTANT SIGNATURE

**SITE PERMITTING APPROVAL**

**Water and Sewer Permits (if applicable)**

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

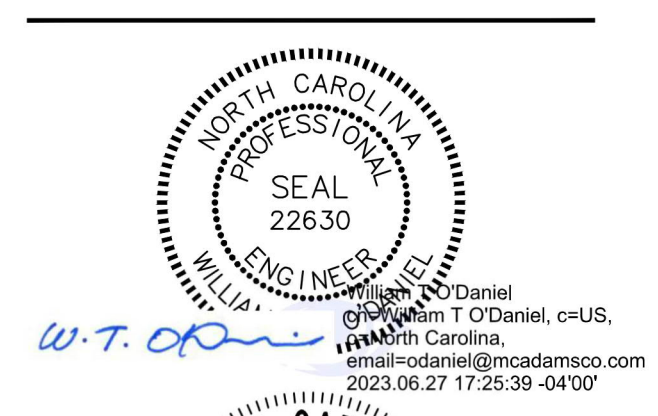
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and constructions methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

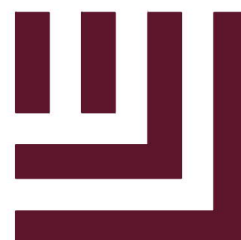
City of Raleigh Development Approval \_\_\_\_\_  
City of Raleigh Review Officer \_\_\_\_\_



**REVISIONS**

NO.	DATE

**SITE PLAN:**  
WALLBROOK AMENITY PLAN  
ROLESVILLE, NORTH CAROLINA,  
27571  
ROLESVILLE PROJECT#: SP 22-09  
MCADAMS PROJECT #: CPR-19100



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SITE PLAN - AMENITY
ROLESVILLE, NORTH CAROLINA
ROLESVILLE PROJECT #: SP 22-09

TOWN OF ROLESVILLE PROJECT NUMBER: TBD



REVISIONS

Table with 3 columns: NO., DATE, and description of revisions.

PLAN INFORMATION

Table with 2 columns: Field (PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE) and Value.

SHEET

PROJECT NOTES

C0.00

SITE PLAN NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
2. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT...

NOTES:

- 1. ROADS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC ROW TO BE MAINTAINED BY THE TOWN OF ROLESVILLE.
2. ROADS LABELED AS PRIVATE WILL BE DEDICATED AS PRIVATE AND BE MAINTAINED BY THE HOA.
3. GREENWAY EASEMENTS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC AND BE MAINTAINED BY THE TOWN OF ROLESVILLE.

STORM DRAINAGE NOTES

- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER...

NOTES:

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 864 AND BOOK 12466, PAGE 1149 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

(DEED OF EASEMENT SUPERSEDED BY BM 2008 PG 480 & 481)

RIGHT OF WAY AND UTILITY EASEMENTS RECORDED IN BOOK 13736, PAGES 1287 AND 1294 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2009, PAGE 1091, WAKE COUNTY REGISTRY.

(AS SHOWN ON SURVEY)

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 860 AND BOOK 12466, PAGE 1171 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

GRADING NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "PP" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.

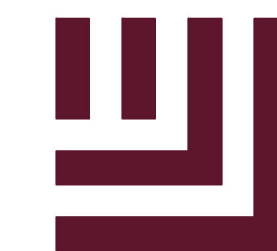
RETAINING WALL NOTES

- 1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
2. RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.



Know what's below. Call before you dig.

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ROLESVILLE, NORTH CAROLINA  
ROLESVILLE PROJECT #: SP 22-09

TOWN OF ROLESVILLE PROJECT NUMBER: TBD



**REVISIONS**

NO.	DATE	DESCRIPTION
1	03. 31. 2023	PER TOWN COMMENTS
2	05. 31. 2023	PER TOWN COMMENTS
3	06. 27. 2023	SIGNATURE SET

**PLAN INFORMATION**

PROJECT NO.	CPR-19100
FILENAME	CPR19100-LandArch-S1
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	1"=20'
DATE	10. 28. 2022

**SHEET**

**SITE PLAN**

**C2.00**

**DETAIL KEY SCHEDULE**

01	CONCRETE SIDEWALK	C8.00
02	ACCESSIBLE SIDEWALK RAMP	C8.00
03	POOL FENCE AND GATE	C8.00
04	LANDSCAPE DRAIN INLET	C8.00
05	TRASH ENCLOSURE	C8.00

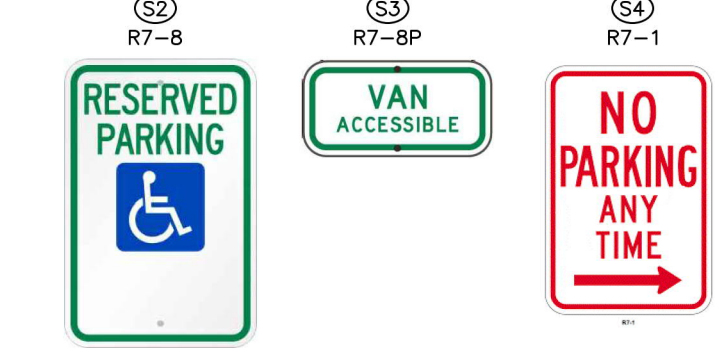
**SITE LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	DRAINAGE EASEMENT
	ACCESSIBLE RAMPS

**KEY LEGEND**

	ACCESSIBLE RAMP
	24" WHITE STOP BAR
	NO PARKING FIRE LANE
	24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
	PRIVATE STORM DRAINAGE EASEMENT
	PUBLIC STORM DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT

**SITE SIGN KEY:**

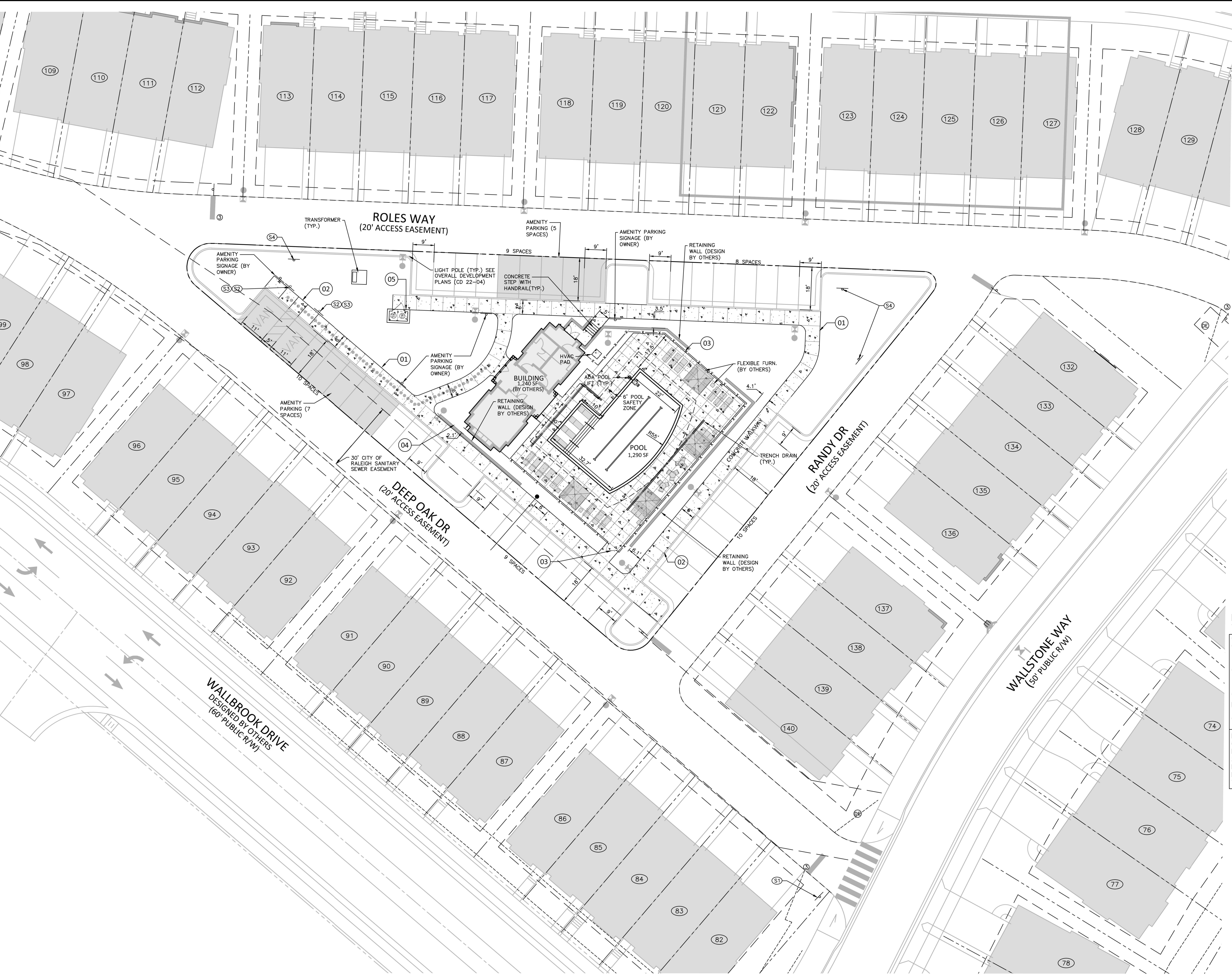


**GENERAL NOTES:**

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

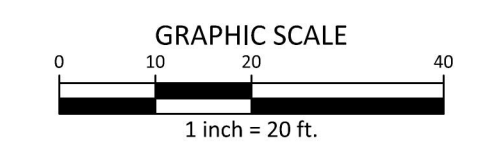
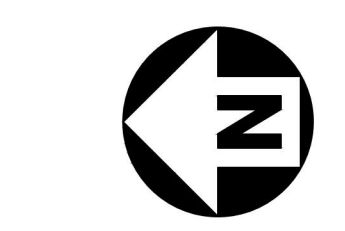
**REQUIRED TOWNHOME PARKING**

TOTAL UNITS	140
TOTAL 3 BEDROOM UNITS	124
(2 SPACES/TH + 0.5 SPACES)	
PER BEDROOM OVER 2) =	(124 x 2) + (124 x 0.5) = 310
TOTAL 4 BEDROOM UNITS	16
(2 SPACES/TH + 0.5 SPACES)	
PER BEDROOM OVER 2) =	(16 x 2) + (16 x 0.5) = 35
VISITOR PARKING	140 UNITS/4 = 35 SPACES
MAIL KIOSK PARKING	6 (SEE MAIL KIOSK CALCULATION TABLE)
<b>TOTAL REQUIRED PARKING</b>	<b>399 SPACES</b>
<b>PROVIDED PARKING:</b>	
GARAGE PARKING	140 x 2 = 280
DRIVEWAY PARKING	140 x 1 = 140
STREET PARKING	0
MAIL KIOSK PARKING	13
PARKING LOT SPACES	46 (12 AMENITY, 34 GUEST)
<b>TOTAL PARKING PROVIDED</b>	<b>479 SPACES</b>



**MATERIALS LEGEND**

SYMBOL	TYPE	STYLE/MANUFACTURER	COLOR/FINISH
	CONCRETE PAVING	3,000 PSI MIN. MUST MEET ALL STRUCTURAL AND GEOTECHNICAL REQUIREMENTS	MEDIUM BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL



X:\Projects\CPR\CPR-19100\Production\Planning and LandArch\Site Plan\Current Drawings\CPR19100-LandArch-S1.dwg, 6/27/2023 1:20:37 PM, Mahi, Shaw



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1	03. 31. 2023	PER TOWN COMMENTS
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**PLAN INFORMATION**

PROJECT NO. CPR-19100  
 FILENAME CPR19100-LandArch-G2  
 CHECKED BY SRD  
 DRAWN BY CMXY  
 SCALE 1"=10'  
 DATE 10. 28. 2022

**SHEET**

**GRADING PLAN**

**C3.00**

**GRADING LEGEND**

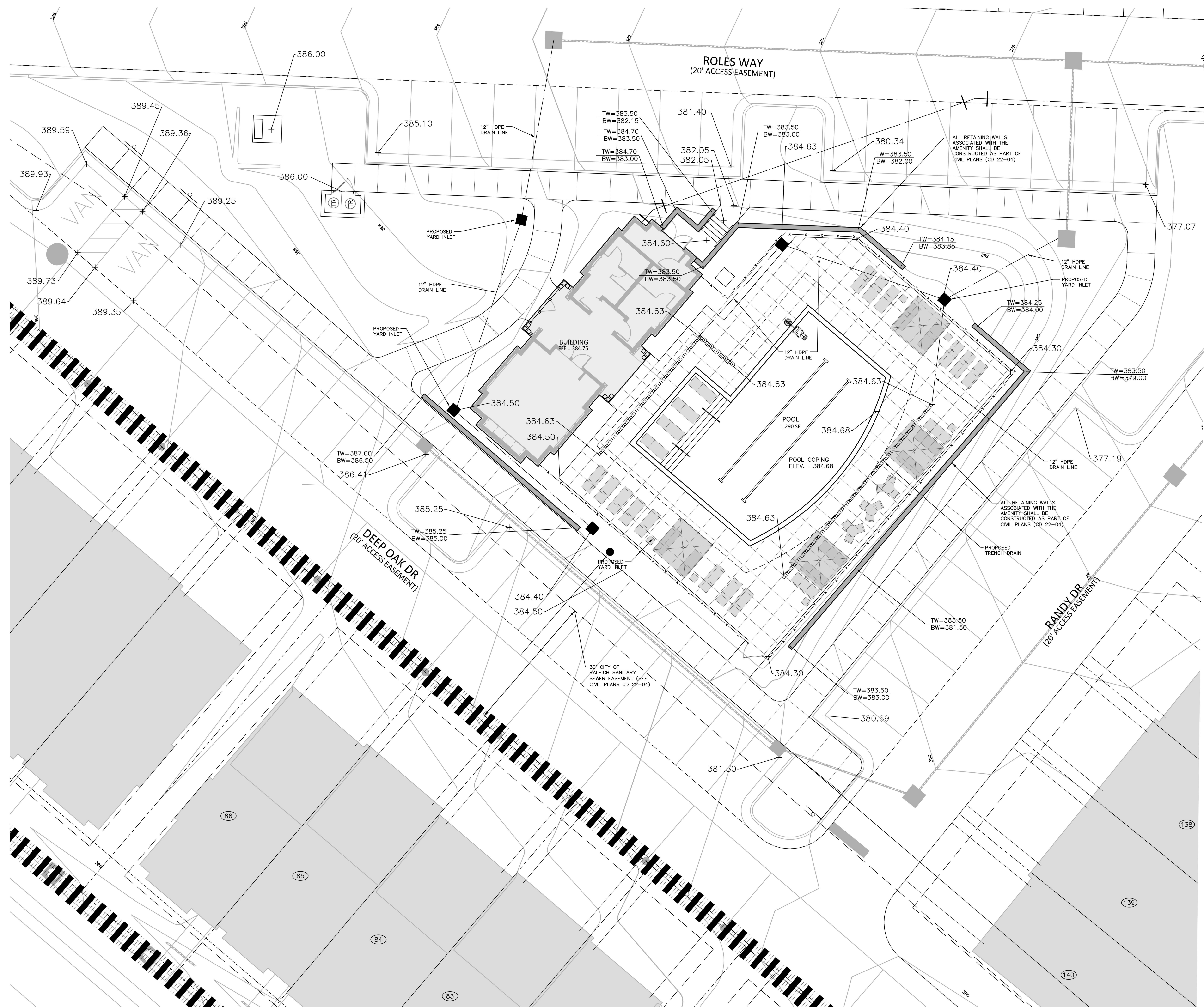
- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION  
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS  
NON-PERFORATED TUBING OR  
EQUAL 1.0% MIN. SLOPE 3' MIN.  
COVER PVC SCHEDULE 40 IN  
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA  
(2% MAX. SLOPE IN ALL DIRECTIONS)

**KEY LEGEND**

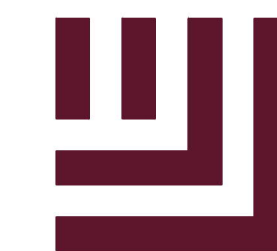
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- PRIVATE STORM DRAINAGE EASEMENT
- PUBLIC STORM DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT

**GENERAL NOTES:**

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT



X:\Projects\CPR\CPR-19100\Production\Planning and LA\Amenity\Site Plan\Current Drawings\CPR19100-LandArch-G2.dwg, 6/27/2023 1:22:52 PM, Mark Shaw



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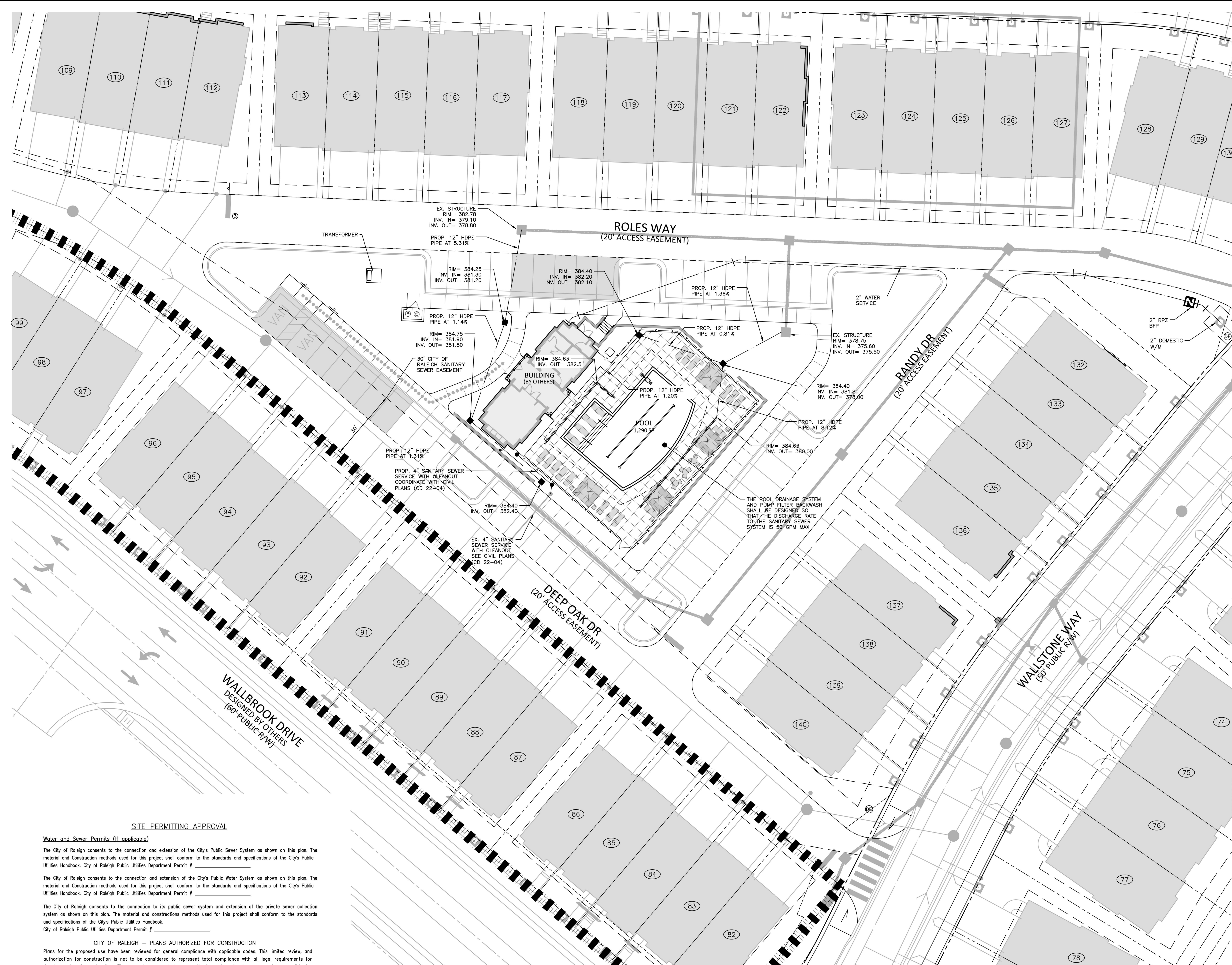
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  - ⊖ NO PARKING FIRE LANE
  - ⊕ 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
  - PRD PRIVATE STORM DRAINAGE EASEMENT
  - PSD PUBLIC STORM DRAINAGE EASEMENT
  - SSD SANITARY SEWER EASEMENT

- UTILITY LEGEND**
- FIRE HYDRANT ASSEMBLY
  - FIRE DEPARTMENT CONNECTION (FDC)
  - WATER METER
  - WATER VALVE
  - POST INDICATOR VALVE
  - VALVE IN MANHOLE
  - METER & VAULT
  - BACKFLOW PREVENTER
  - REDUCER
  - PLUG
  - BLOW-OFF ASSEMBLY
  - SANITARY SEWER MANHOLE
  - SEWER CLEAN-OUT
  - GREASE TRAP
  - SEWER FLOW DIRECTION ARROW
  - YARD LIGHTS
  - LIGHT POLE
  - POWER POLE
  - LINE BREAK SYMBOL
  - WATERLINE
  - WATER SERVICE LINE
  - UTILITY SLEEVE
  - SANITARY SEWER
  - SEWER SERVICE LINE
  - SEWER FORCE MAIN
  - GAS LINE
  - OVERHEAD UTILITY
  - UNDERGROUND ELECTRIC
  - TELEPHONE
  - EASEMENT LINE

**GENERAL NOTES:**  
SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

**SITE PERMITTING APPROVAL**

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all local requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval \_\_\_\_\_  
City of Raleigh Review Officer \_\_\_\_\_

**REVISIONS**

NO.	DATE	COMMENTS
1	03.31.2023	PER TOWN COMMENTS
2	05.31.2023	PER TOWN COMMENTS
3	06.27.2023	SIGNATURE SET

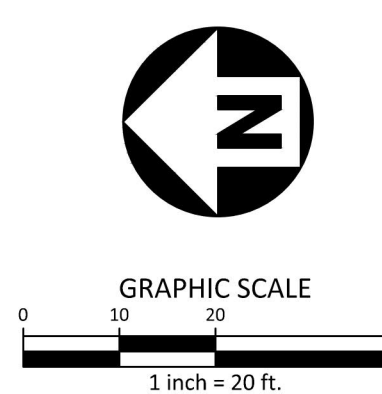
**PLAN INFORMATION**

PROJECT NO. CPR-19100  
 FILENAME CPR19100-LandArch-U2  
 CHECKED BY SRD  
 DRAWN BY CMXY  
 SCALE 1"=20'  
 DATE 10.28.2022

**SHEET**

**UTILITY PLAN**

**C4.00**



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WALLBROOK  
SITE PLAN - AMENITY  
ROLESVILLE, NORTH CAROLINA  
ROLESVILLE PROJECT #: SP 22-09

TOWN OF ROLESVILLE PROJECT NUMBER: TBD



REVISIONS

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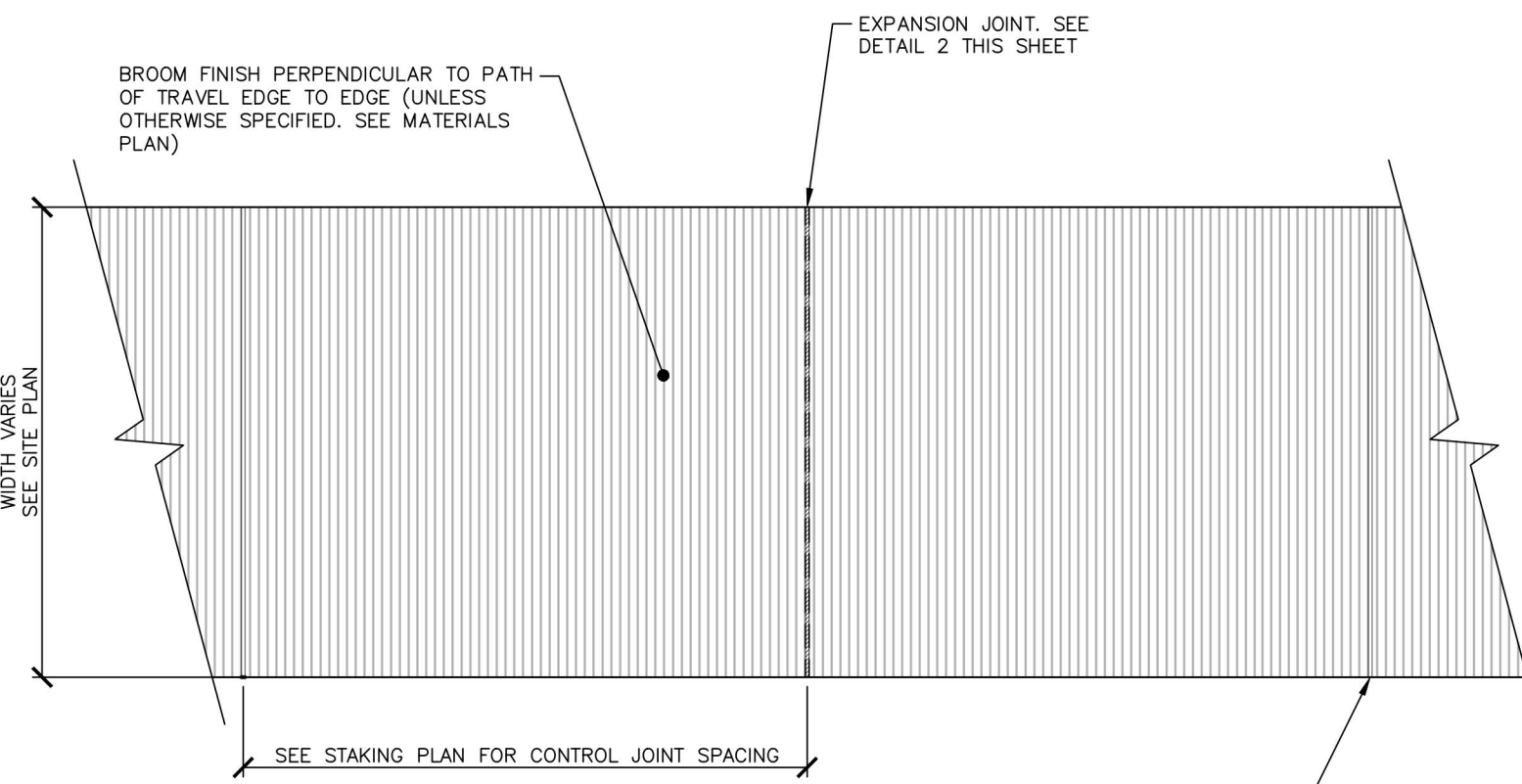
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FILENAME	CPR-19100-D2
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	10.28.2022

SHEET

SITE DETAILS

C8.00

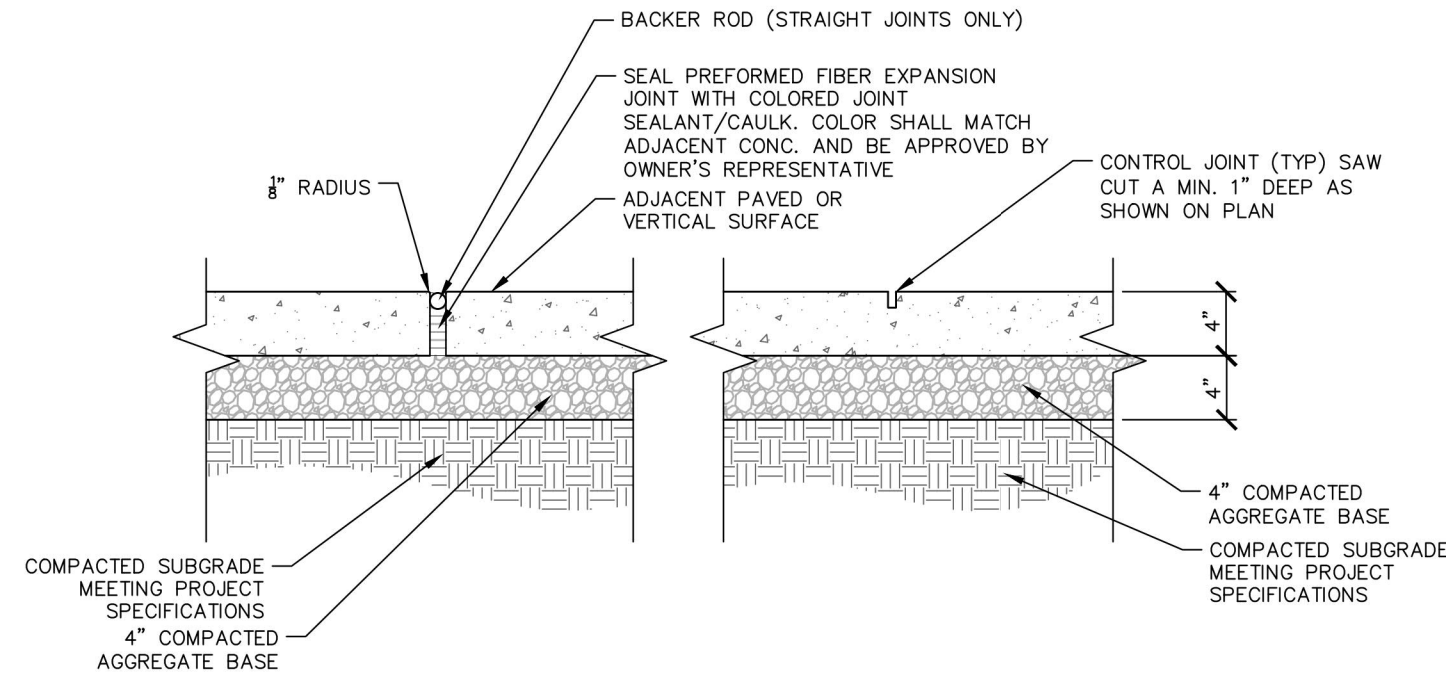


- NOTES:
- REFER TO LAYOUT PLAN FOR SIDEWALK LOCATIONS, TYPES AND WIDTHS.
  - REFER TO DETAILED LAYOUT PLAN FOR SPECIFIC JOINT LOCATIONS AND SPACING.
  - USE THIS DETAIL FOR TYPICAL JOINT SPACING WHEN NO SPECIFIC JOINT SPACING IS INDICATED ON PLANS.
  - CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
  - MAXIMUM SIDEWALK CROSS-SLOPE IS 2%.
  - POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.

PLAN

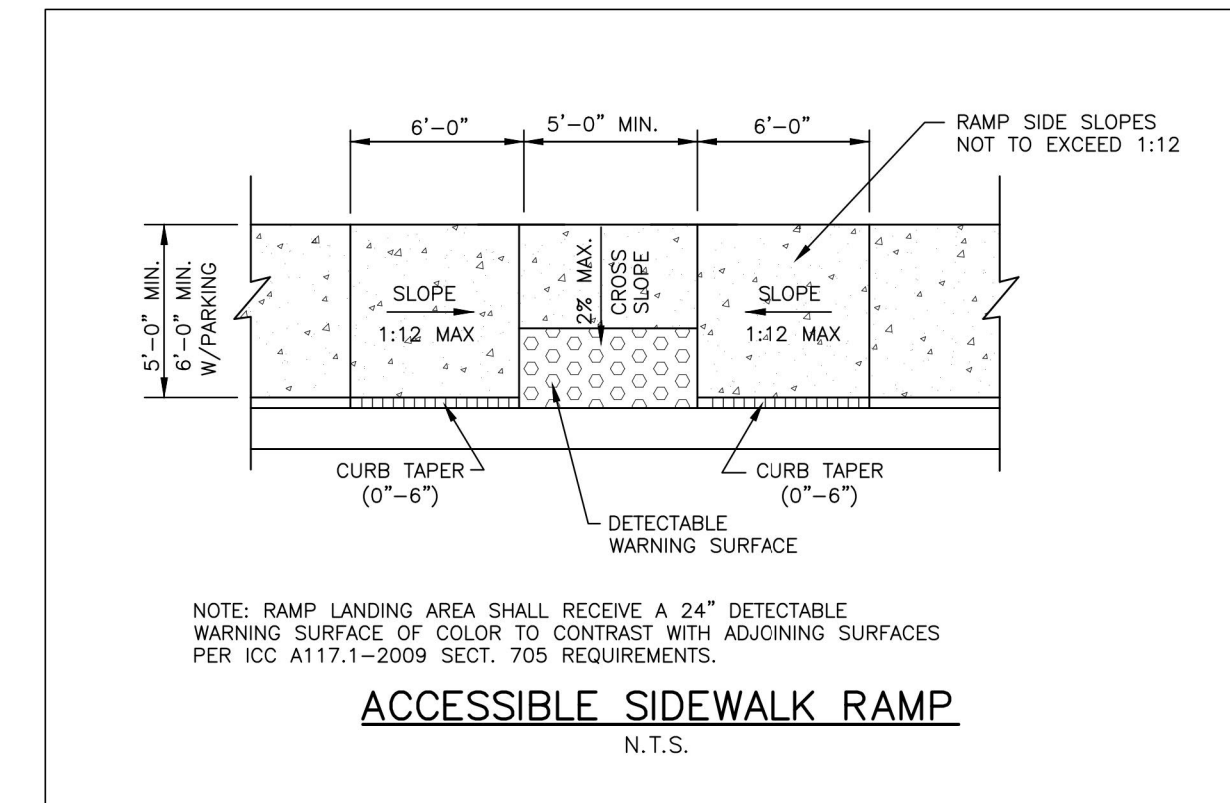
01 CONCRETE SIDEWALK

SCALE: 1"=1'-0"



- NOTES:
- EXPANSION JOINTS SHALL BE INSTALLED WHERE CONCRETE PAVEMENT ABUTS ALL VERTICAL SURFACES INCLUDING BUT NOT LIMITED TO ALL BUILDINGS, STRUCTURES, STAIRS, CURBS, COLUMNS, WALLS, LIGHT POLES, ETC.
  - WHERE WALK ABUTS RIGID STRUCTURE, JOINT SHALL BE WATERTIGHT.
  - PROVIDE EXPANSION JOINTS @ 20' O.C. MAX UNLESS OTHERWISE SHOWN/REQUIRED. (SEE MATERIALS & STAKING PLAN)
  - CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
  - SAW CUT TO A MIN. DEPTH OF 1". CONTRACTOR TO CLOSELY COORDINATE LOCATIONS AND DESIGNS PRIOR TO AND DURING CONSTRUCTION.
  - ALL CONCRETE SHALL BE 3,000 PSI UNLESS OTHERWISE REQUIRED BY PROJECT SPECIFICATIONS.
  - POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.

SECTION

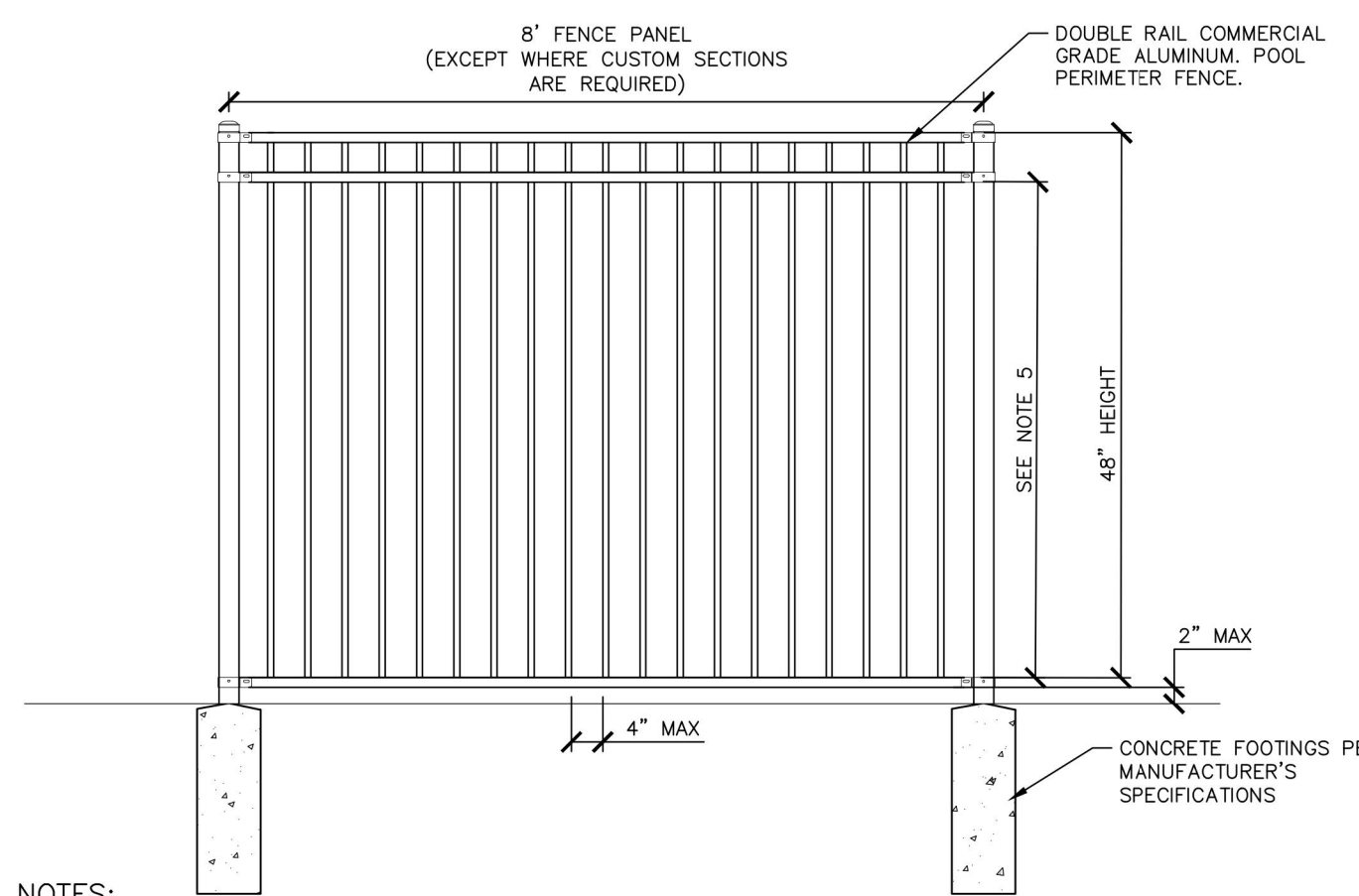


ACCESSIBLE SIDEWALK RAMP

N.T.S.

02 ACCESSIBLE SIDEWALK RAMP

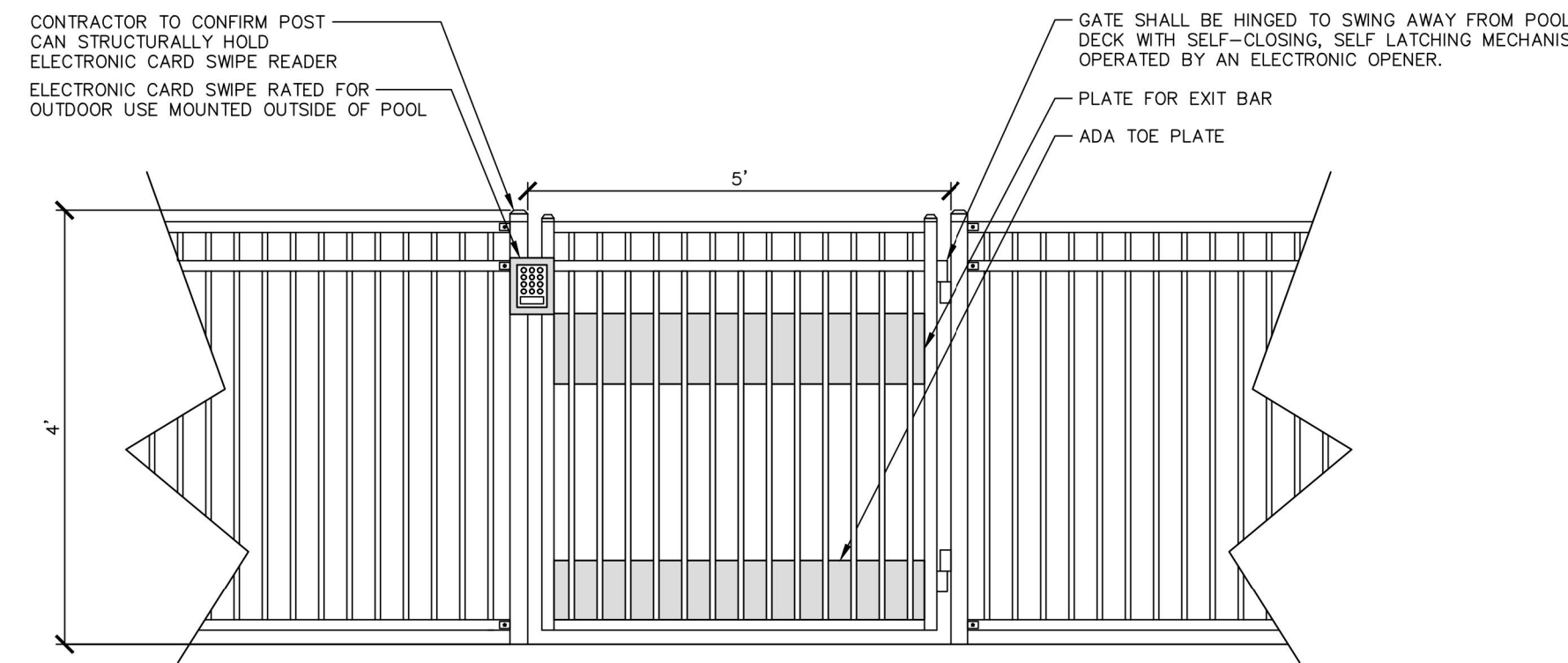
SCALE: NTS



- NOTES:
- ALL FASTENERS AND HARDWARE SHALL BE S.S.
  - FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - FENCE DIMENSIONS (OR EQUAL) - CONTRACTOR TO ENSURE FENCE MEETS ALL APPLICABLE POOL CODES COMMERCIAL STRENGTH ALUMINUM
- POSTS: 2 1/2" x 2 1/2"  
RAILS: 1 1/2" x 1 1/2" - NO EXPOSED SCREW SYSTEM  
PICKETS: 3/4" x 3/4" W/ 3/16" SPACING  
COLOR: SATIN BLACK, SHOP APPLIED POWDER COAT
- CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA
  - FOR POOL FENCING, THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4 INCHES; WHERE THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS EXCEEDS 1-3/4 INCHES THERE SHALL BE AT LEAST 30 INCHES BETWEEN ANY HORIZONTAL BOTTOM RAIL OR STRINGER AND THE NEXT HORIZONTAL RAIL OR STRINGER.

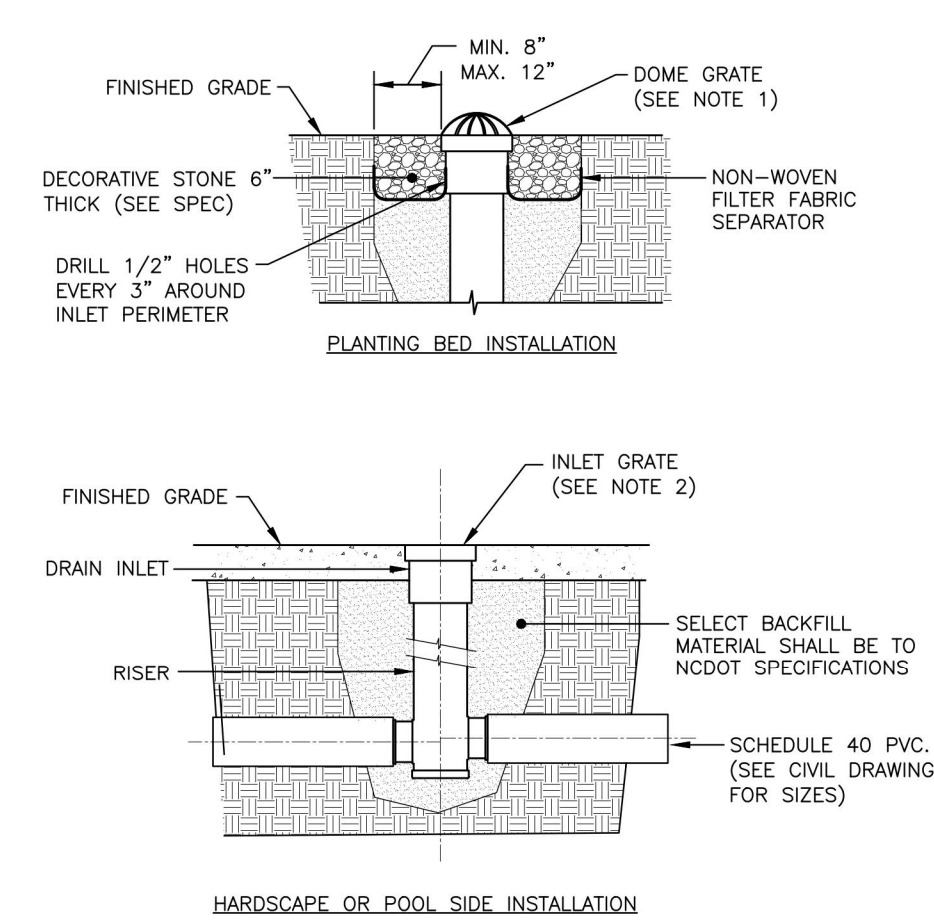
03 POOL FENCE AND GATE

SCALE: NTS



- NOTES:
- GATE HARDWARE WILL BE OPERABLE WITH ONE HAND AND WILL NOT REQUIRE USES OF FORCE, PINCHING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE.
  - GATE ENTRY CONTROLS WILL BE LOCATED NOT LESS THAN 34" MINIMUM AND 48" MAXIMUM ABOVE FINISHED GRADE.
  - CONTRACTOR TO SUBMIT MANUFACTURER INFORMATION AND CUT SHEETS FOR LATCH PRIOR TO ORDERING. COORDINATE THE SYSTEM WITH OTHER SITE ACCESS CONTROLS AS REQUIRED.
  - CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA.
  - POOL GATE AND POOL FENCE TO BE FLUSH.
  - SELF-CLOSING LATCH IS TO BE MOUNTED ON THE POOL SIDE OF THE GATE AT A MAXIMUM 48" ABOVE FINISHED GRADE.
  - POOL GATE SHALL MEET ADA & ALL CODES. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
  - FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- MATERIAL AND SIZE:
- GATE AND FENCE SHALL BE COMMERCIAL GRADE ALUMINUM (OR APPROVED EQUAL)
  - ALL FASTENERS AND HARDWARE SHALL BE S.S.
  - GATE DIMENSIONS (OR APPROVED EQUAL)
- POSTS: 2 1/2" x 2 1/2"  
RAILS: 1 1/2" x 1 1/2" - NO EXPOSED SCREW SYSTEM  
PICKETS: 3/4" x 3/4" W/ 3/16" SPACING  
FINISH: SATIN BLACK, SHOP APPLIED POWDER COAT

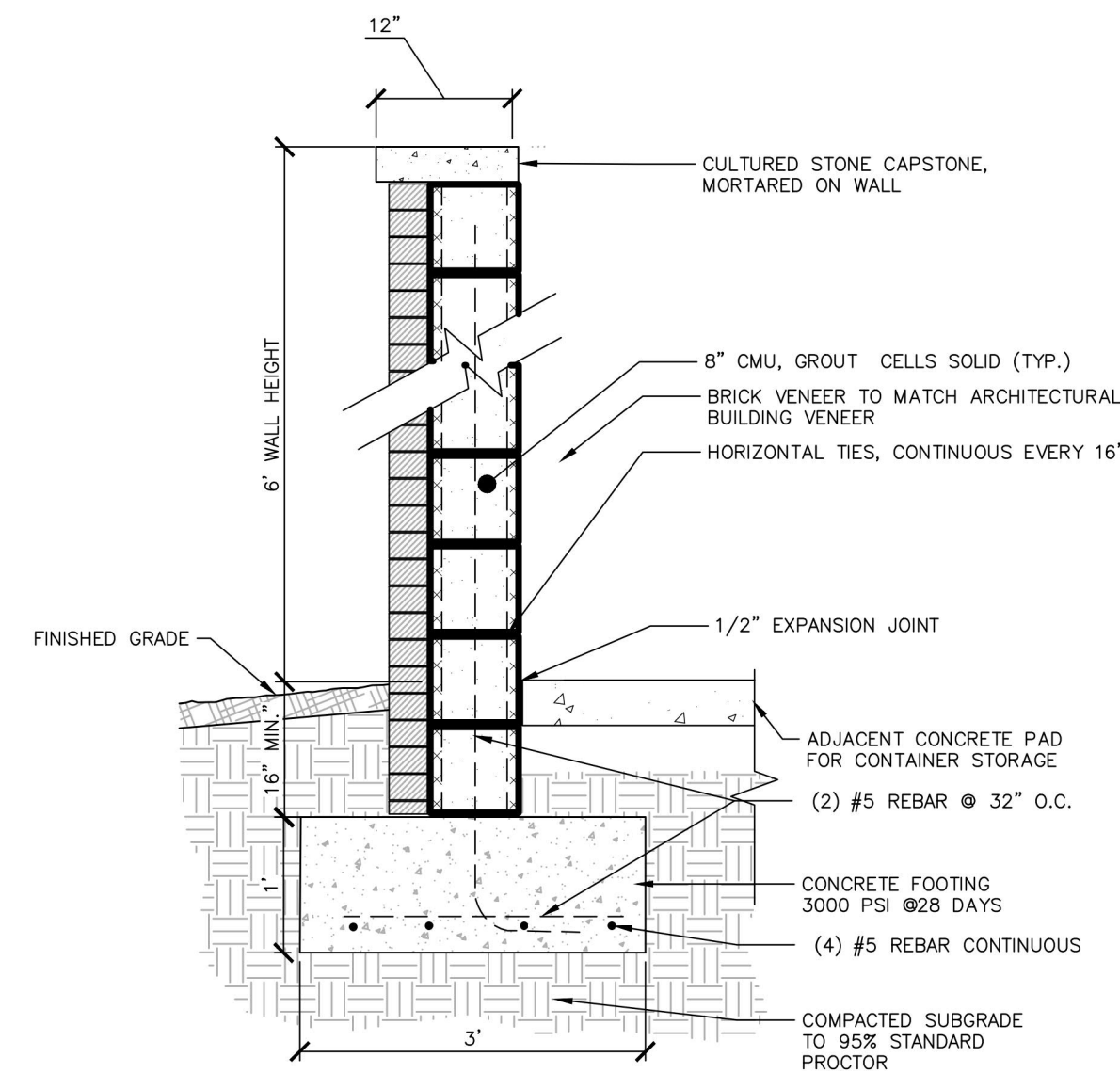
ENCLOSURE GATE



- NOTES:
- PLANTING BED: "NYLOPLAST" DUCTILE IRON DOME GRATE.
  - HARDSCAPE: INLET GRATE TO BE "NYLOPLAST" SQUARE PEDESTRIAN LIGHT DUTY WITH BRONZE FINISH. POOL DECK: INLET TO BE ROUND "NYLOPLAST" BRONZE CORROSIVE RESISTANT PEDESTRIAN GRATE.
  - FOLLOW MANUFACTURER'S GUIDELINES FOR MATERIAL REQUIREMENTS AND INSTALLATION METHODS.
  - SEE GRADING PLAN FOR ALL GRATE SIZES.

04 LANDSCAPE DRAIN INLET

SCALE: NTS

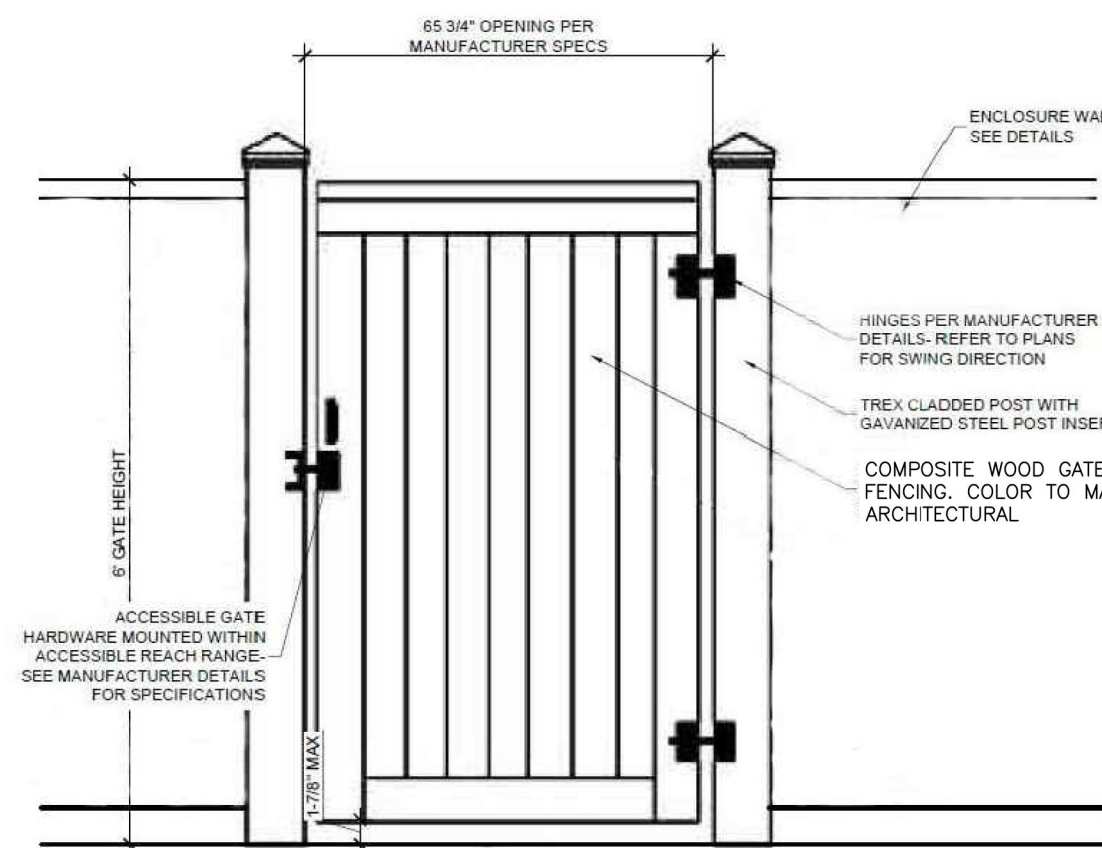


- NOTES:
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM WALL. SLOPE TOP OF WALL TO PROVIDE DRAINAGE OFF WALL.

WALL SECTION

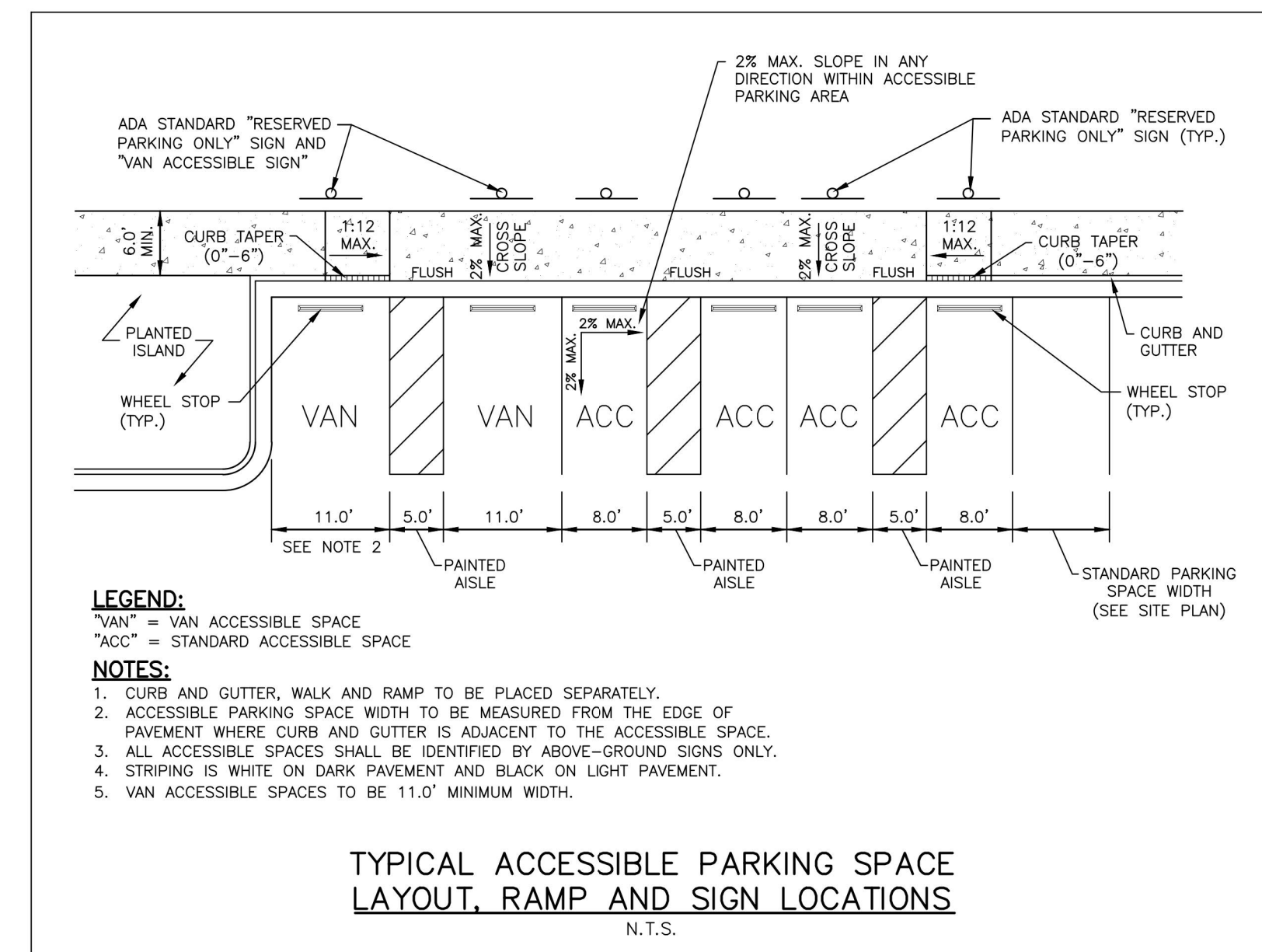
05 TRASH ENCLOSURE

SCALE: NTS



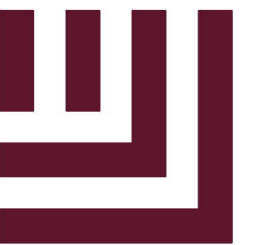
06 VAN ADA PARKING DETAIL

SCALE: NTS



TYPICAL ACCESSIBLE PARKING SPACE LAYOUT, RAMP AND SIGN LOCATIONS

N.T.S.



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**WALLBROOK**  
SITE PLAN - AMENITY  
ROLESVILLE, NORTH CAROLINA  
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TOWN OF ROLESVILLE PROJECT NUMBER: TBD



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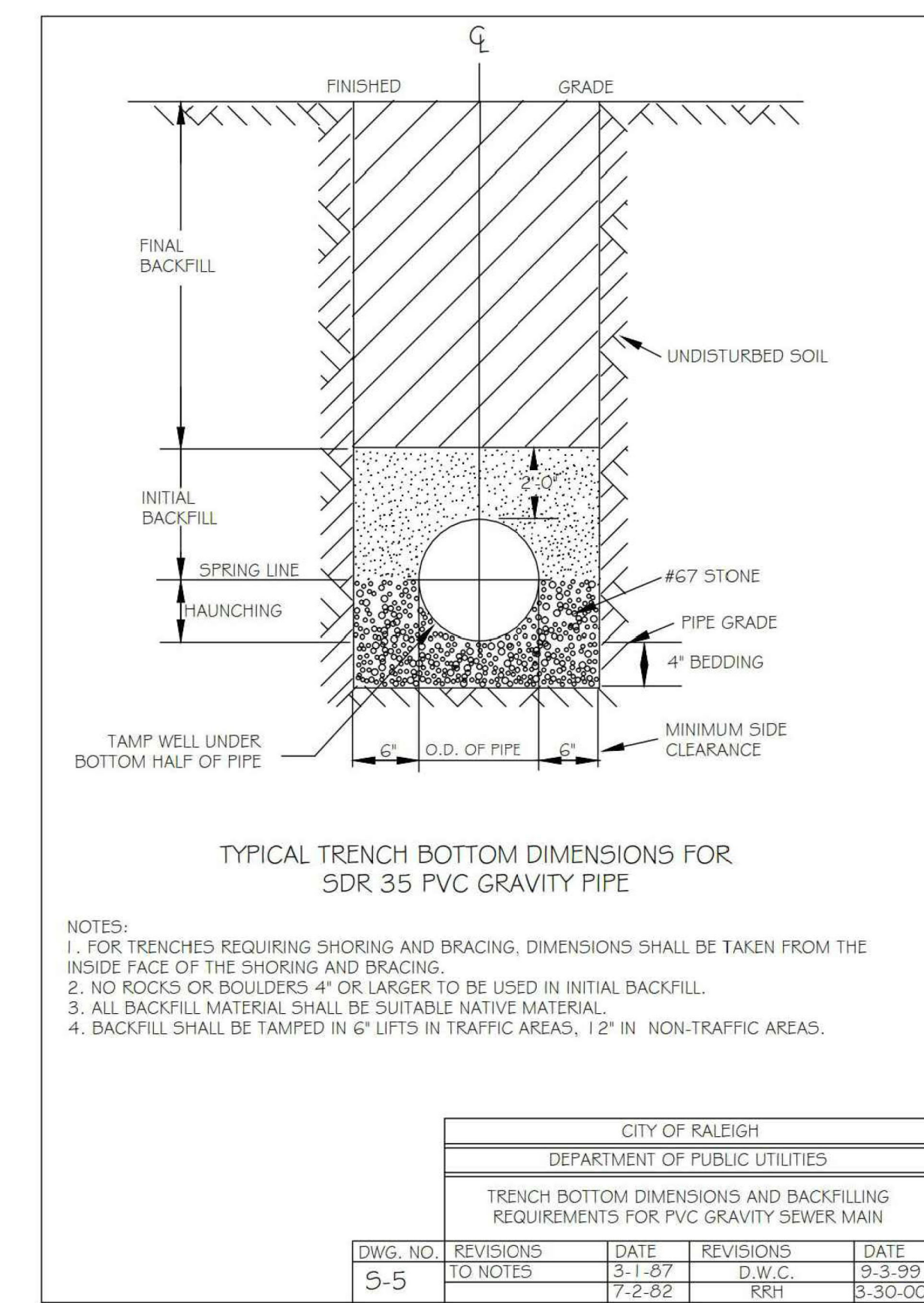
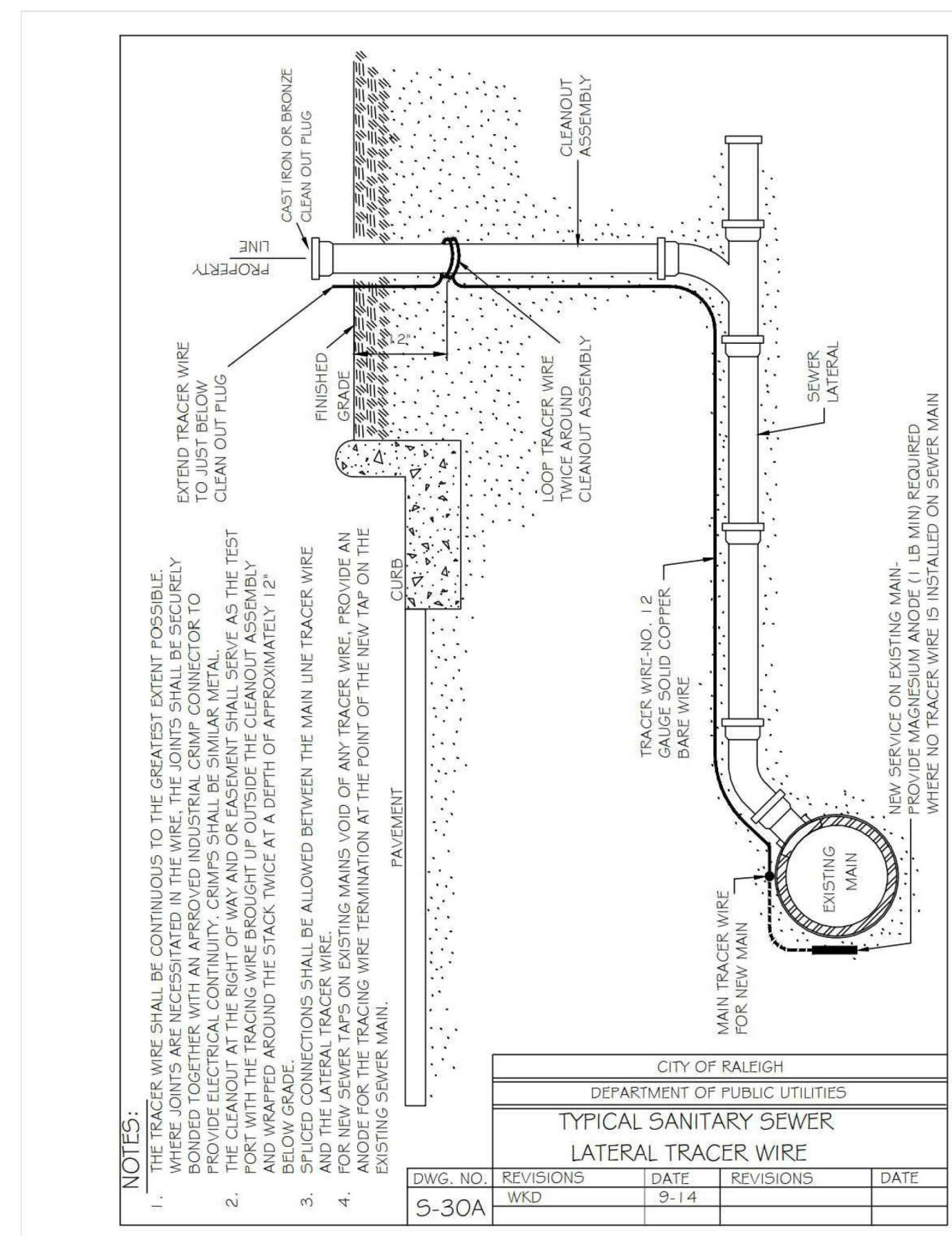
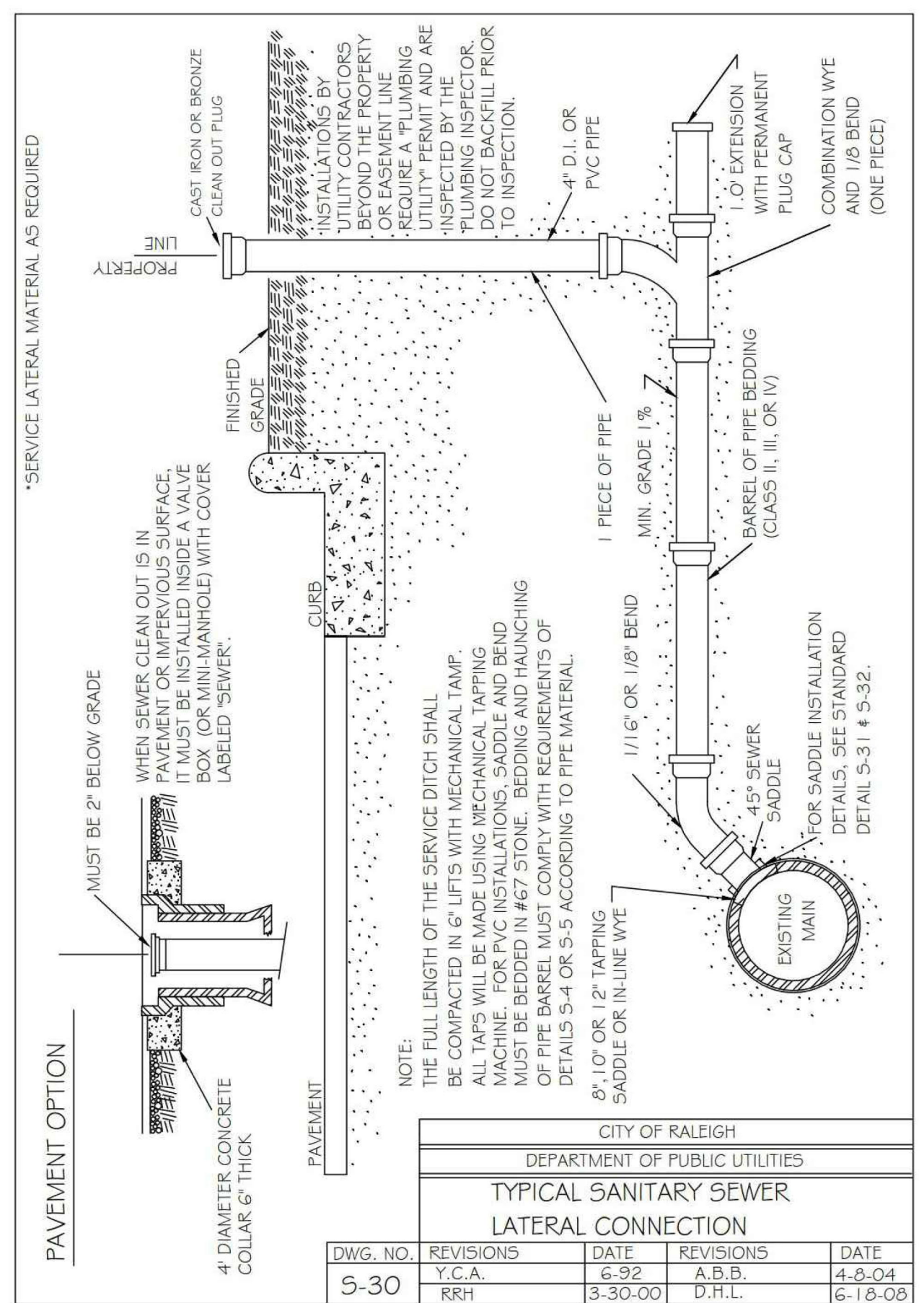
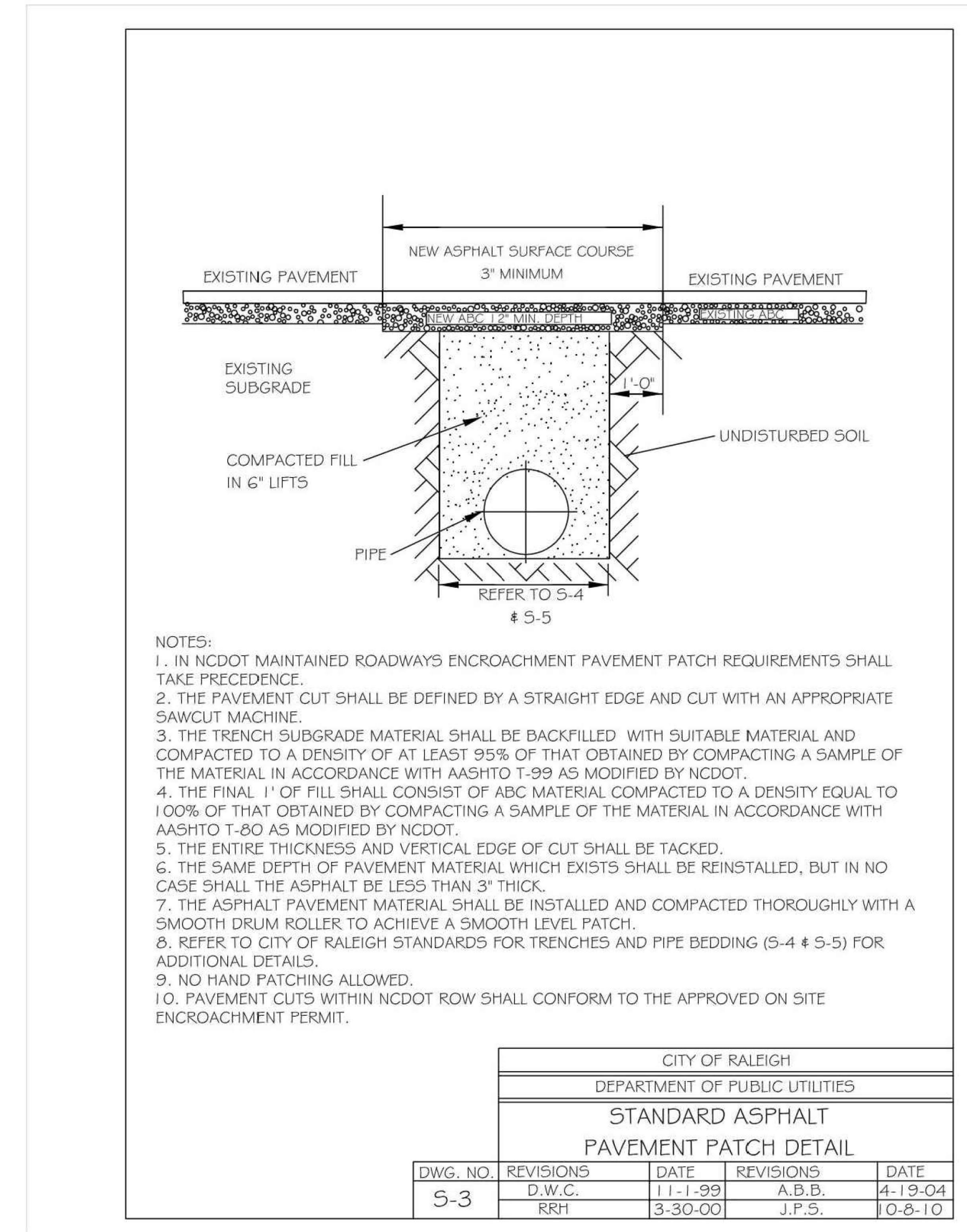
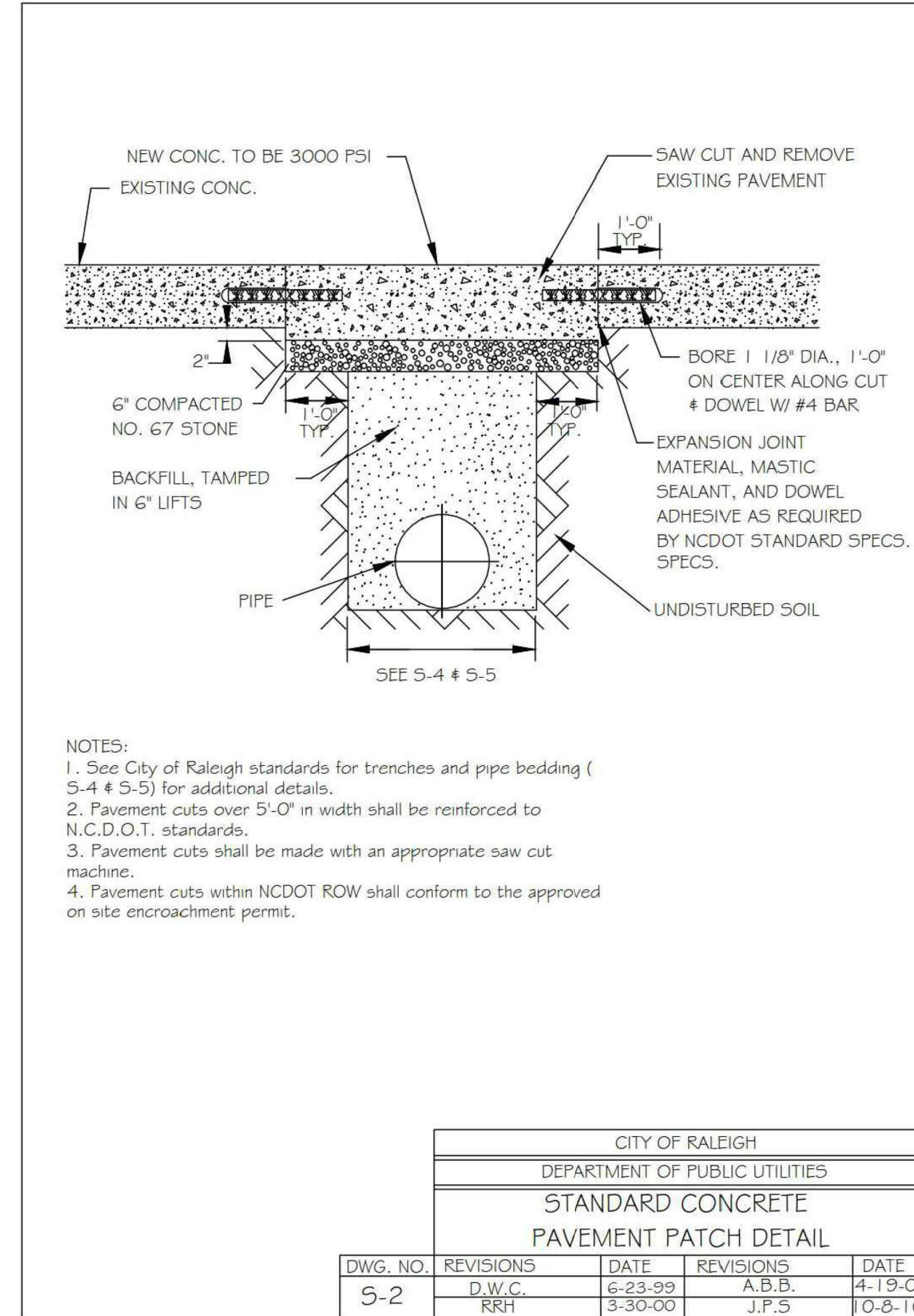
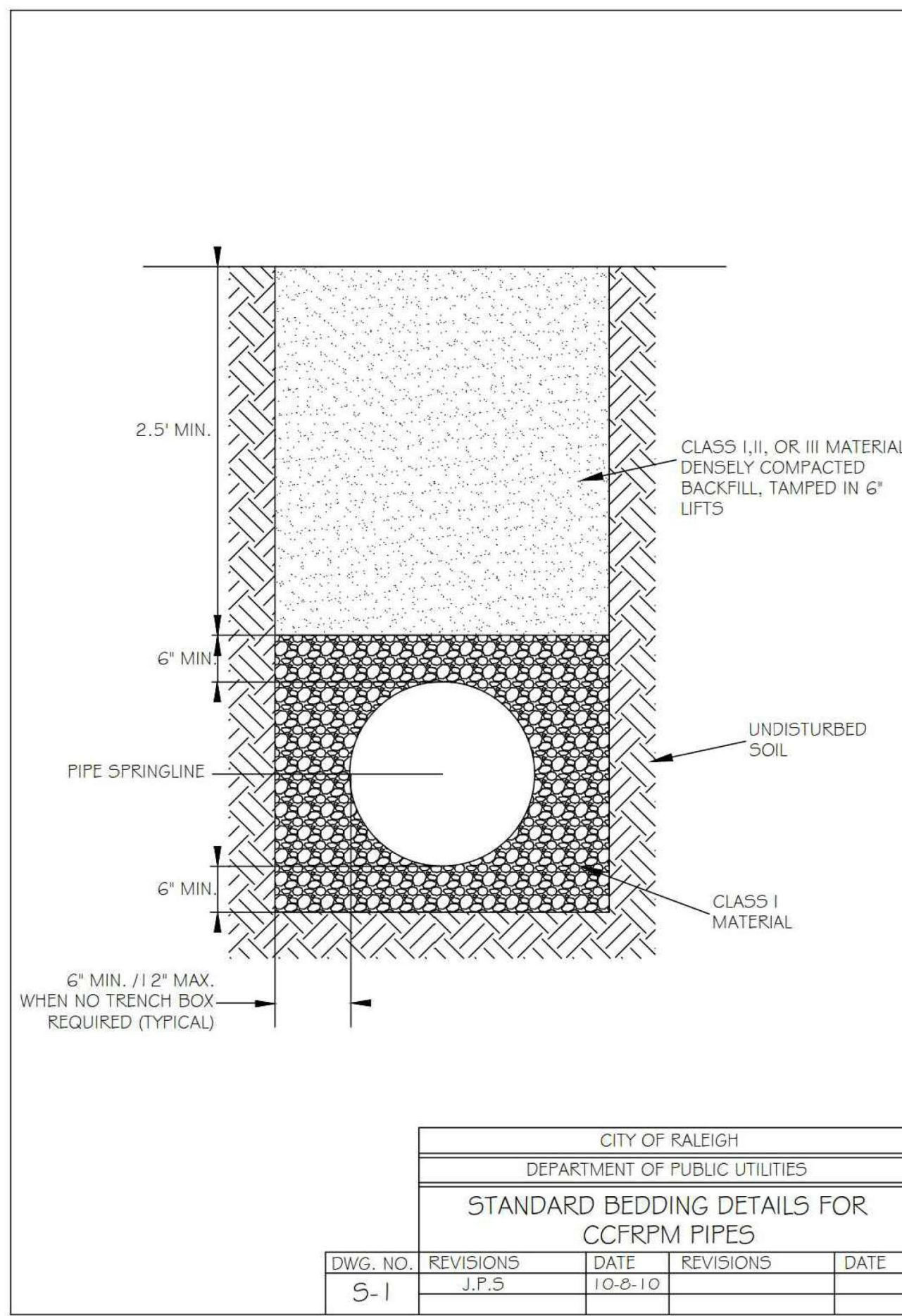
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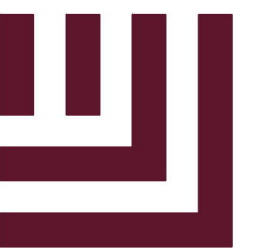
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FILENAME	CPR-19100-D2
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	10.28.2022

SHEET

SITE DETAILS

**C8.01**





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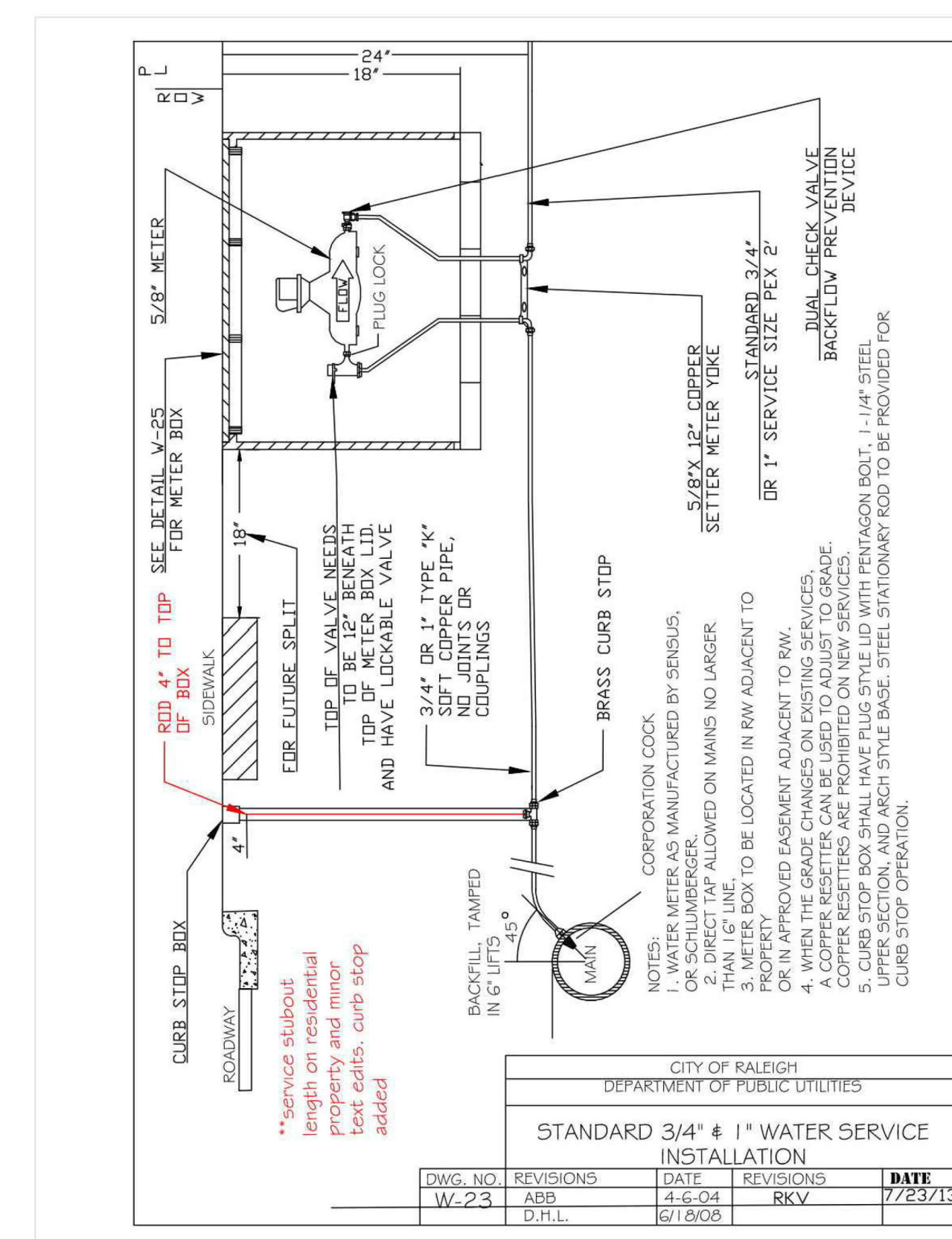
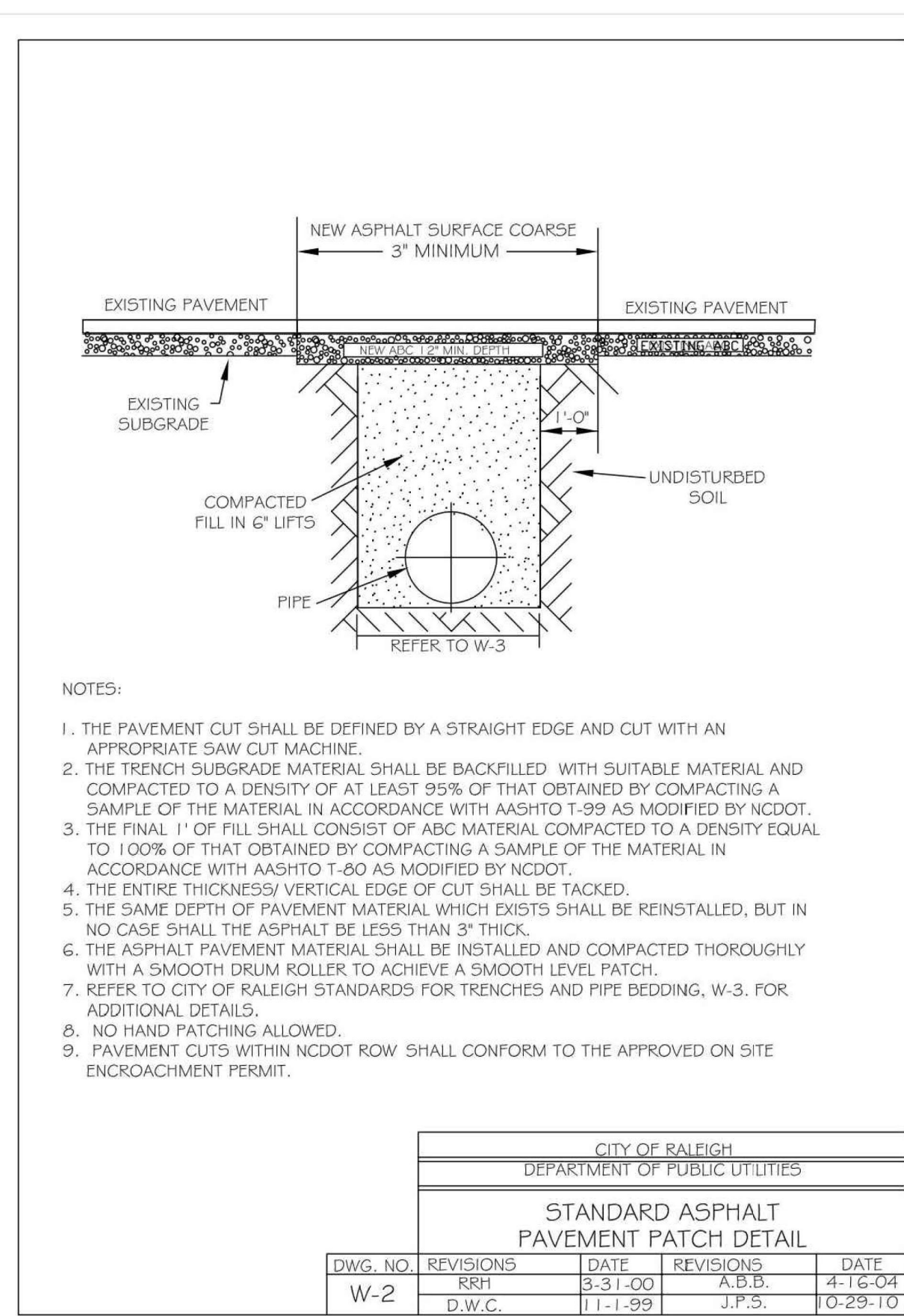
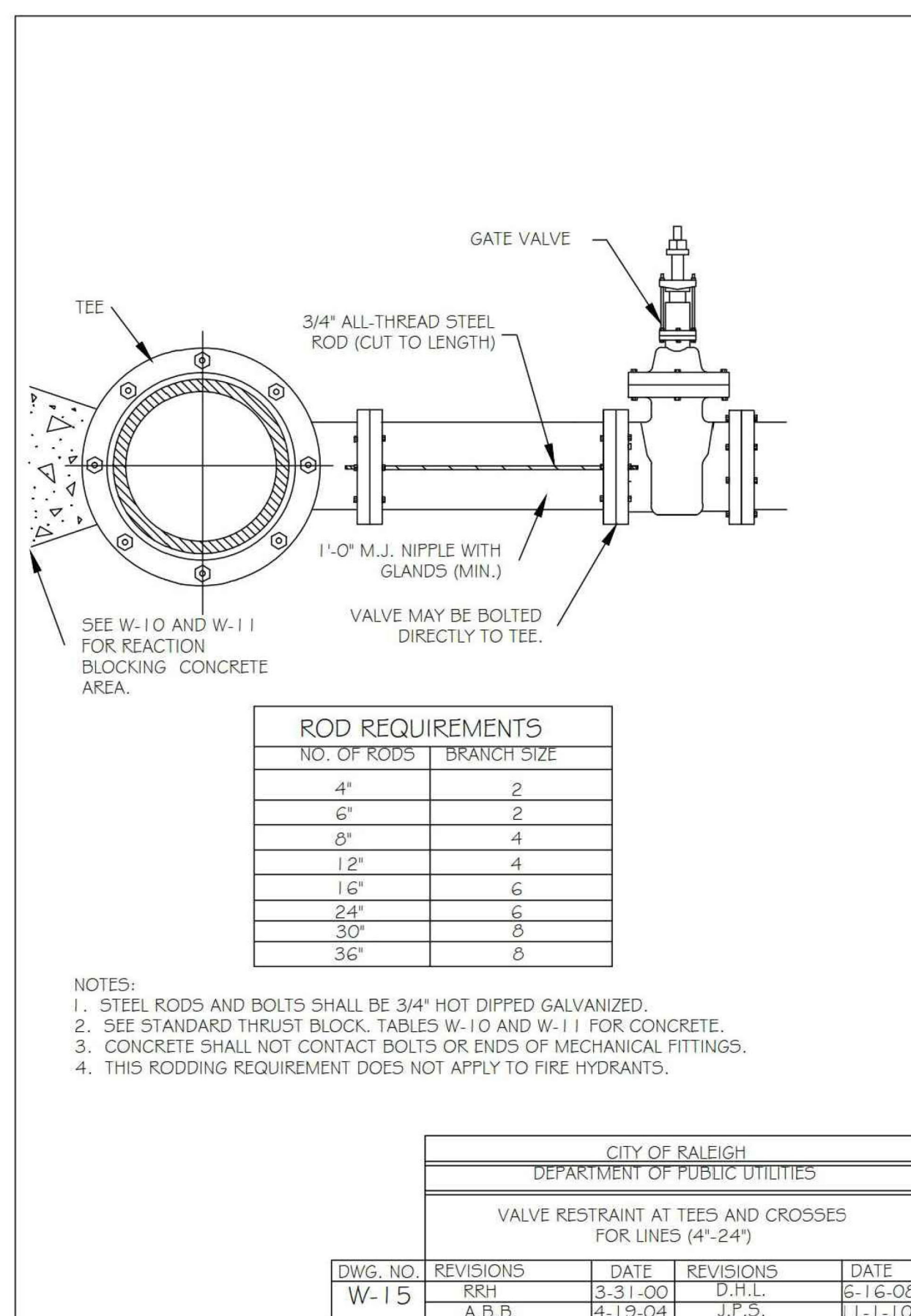
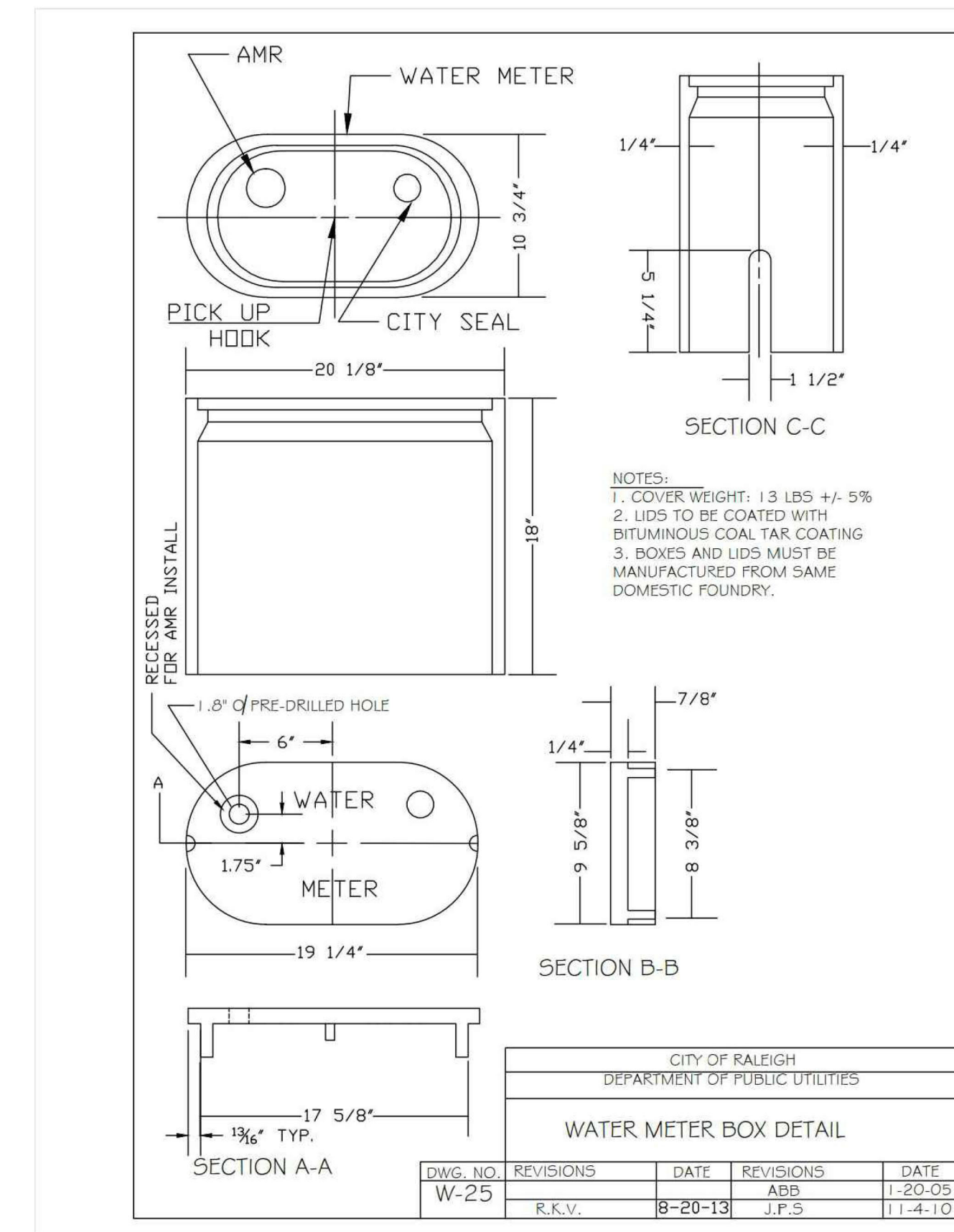
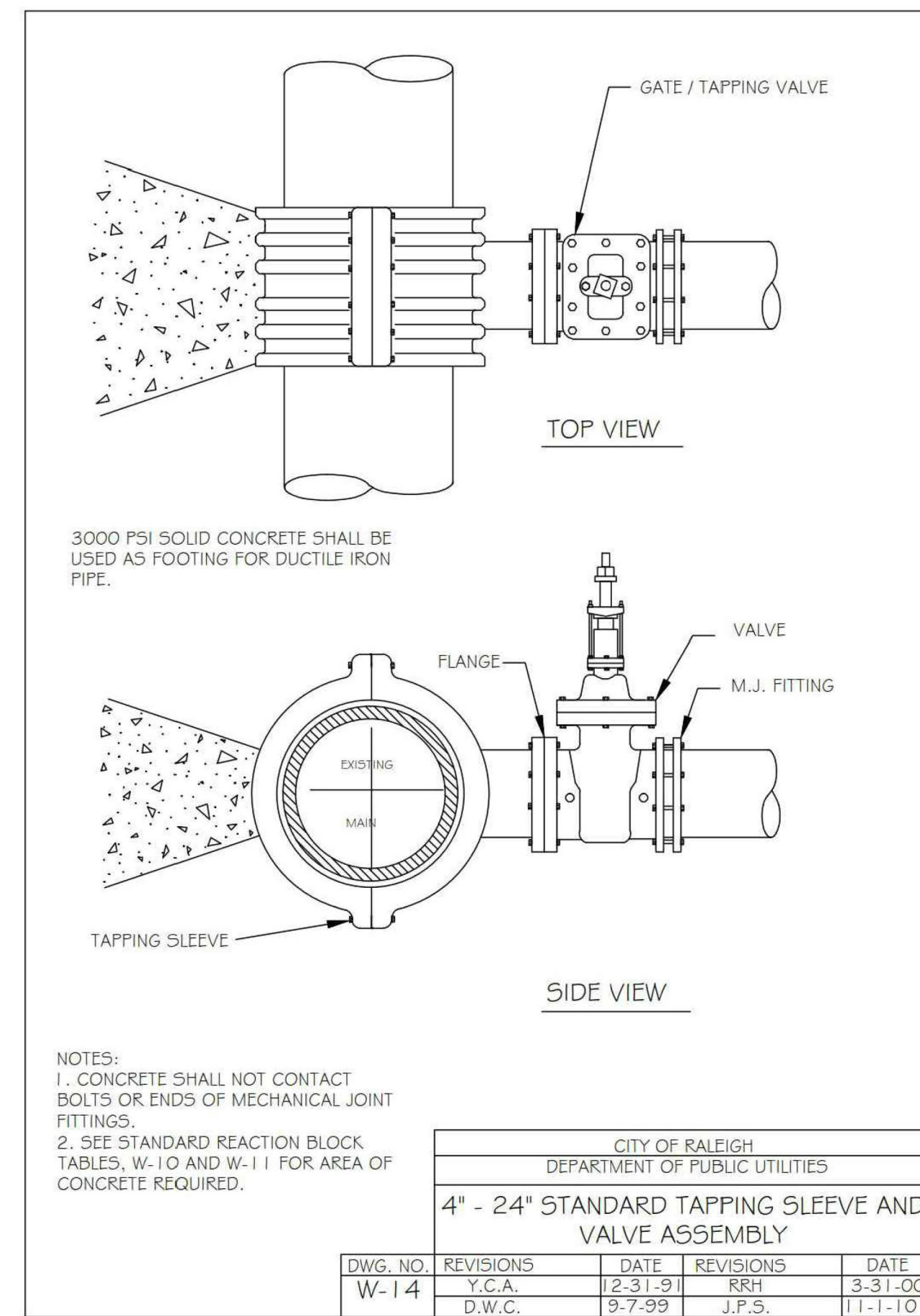
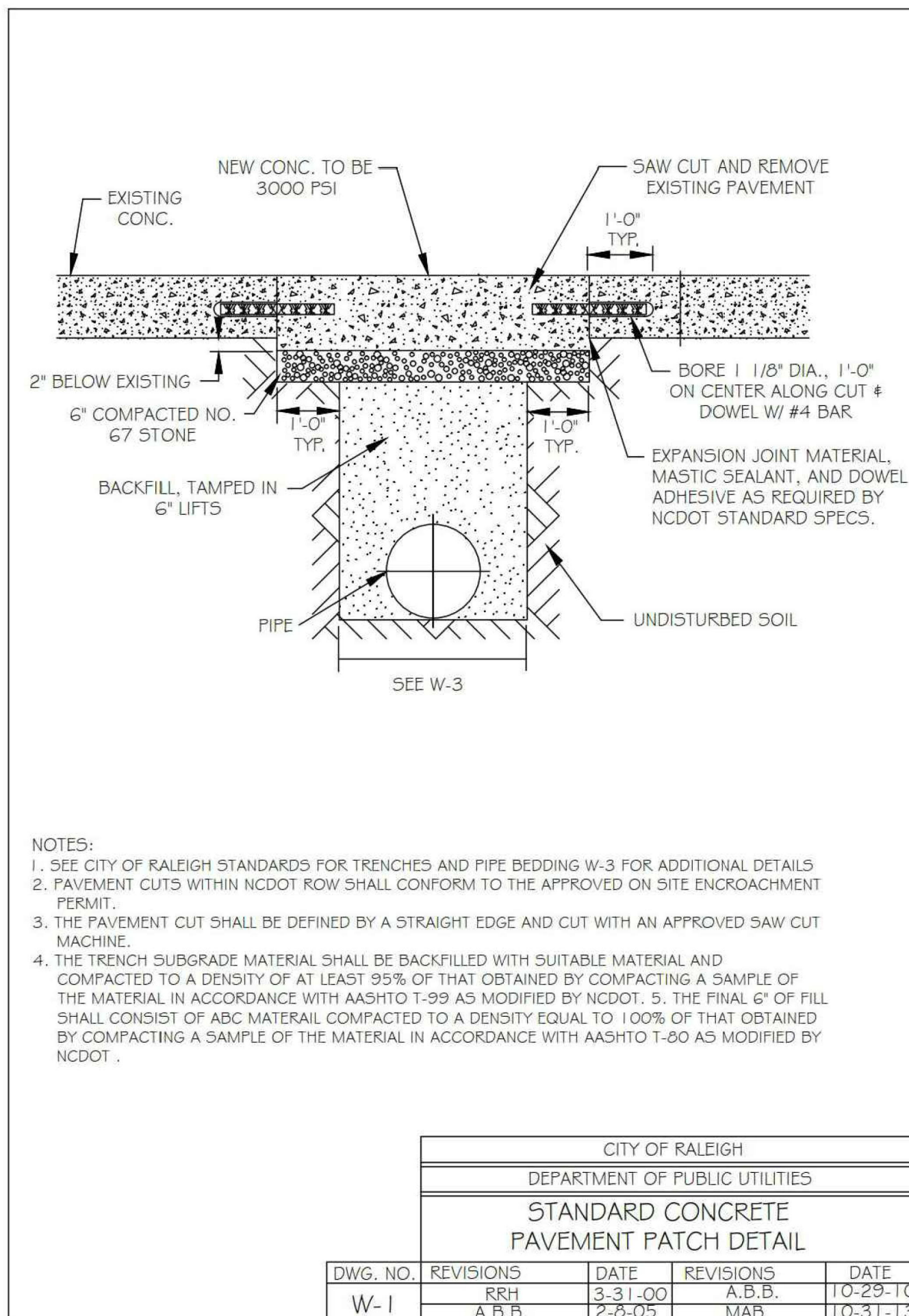
**PLAN INFORMATION**

PROJECT NO.	CPR-19100
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CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	10.28.2022

**SHEET**

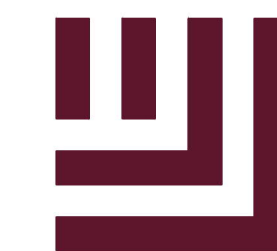
SITE DETAILS

**C8.02**



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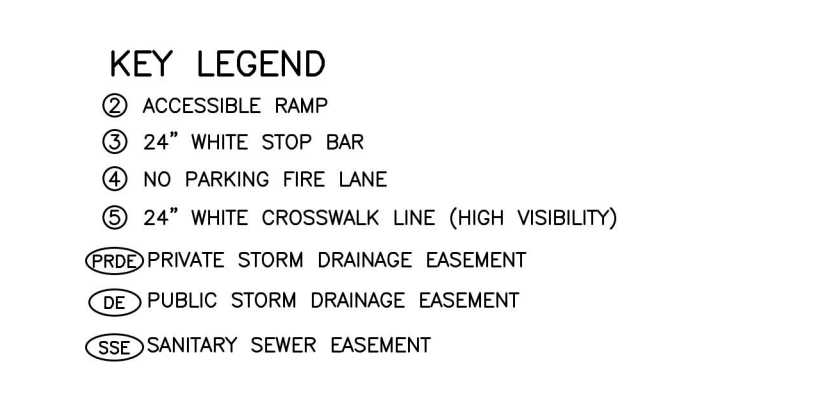
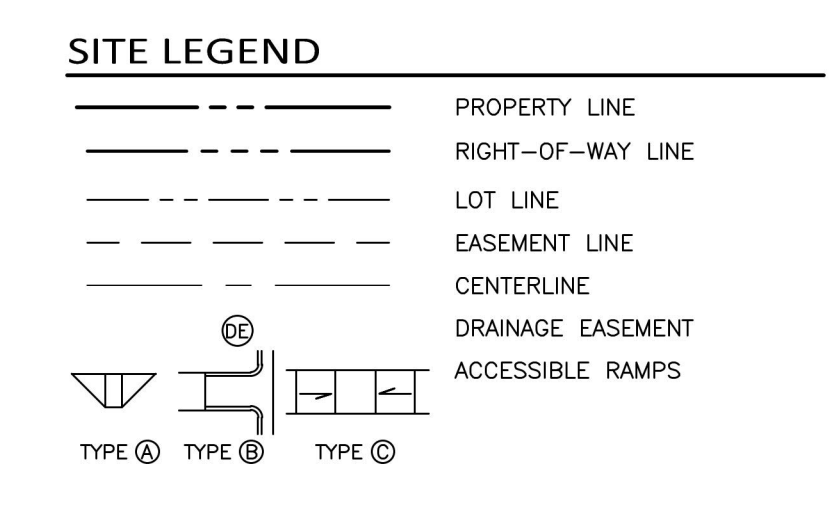
**PLAN INFORMATION**

PROJECT NO. CPR-19100  
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 SCALE 1"=20'  
 DATE 10. 28. 2022

**SHEET**

**LANDSCAPE PLAN**

**L5.00**



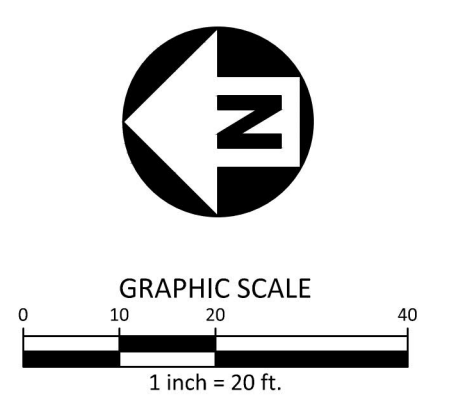
**GENERAL NOTES:**  
 SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT



**PLANT SCHEDULE**

SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	REQUIRED	PROVIDED
ICSS2	9	9	Steeds Japanese Holly	Ilex cornata 'Steeds'	36"	9	9
LCER	5	5	Ever Red Loropetalum	Loropetalum chinense 'Ever Red'	30"	5	5
VND	12	12	Dwarf Yaupon	Ilex vomitoria 'Nano'	24" min	12	12

\*PROPOSED PLANTINGS SHALL SATISFY THE ROLESVILLE CODE BY VISUALLY SCREENING ABOVE-GROUND UTILITY EQUIPMENT FROM ROAD RIGHT-OF-WAY AT MATURITY



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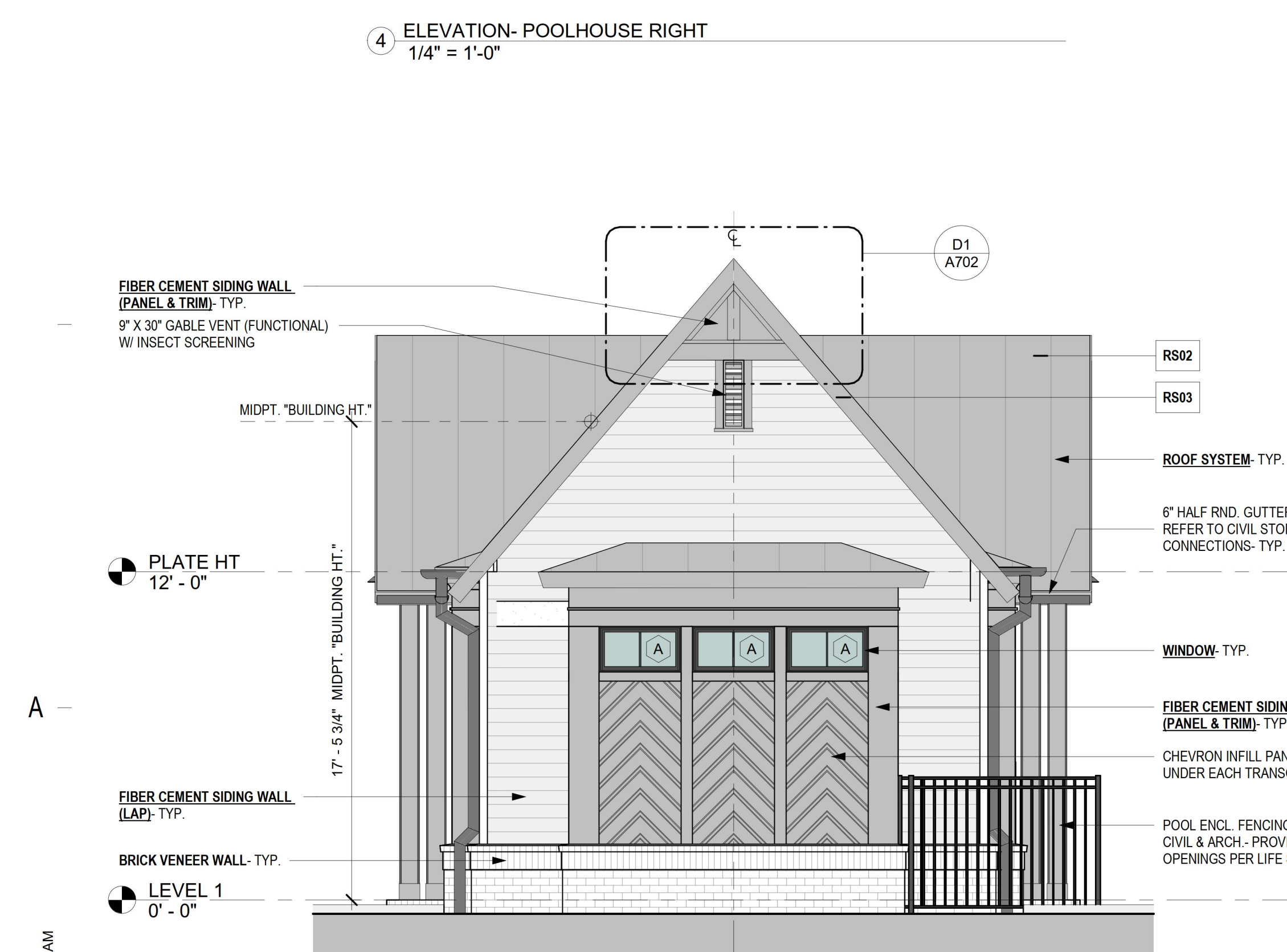
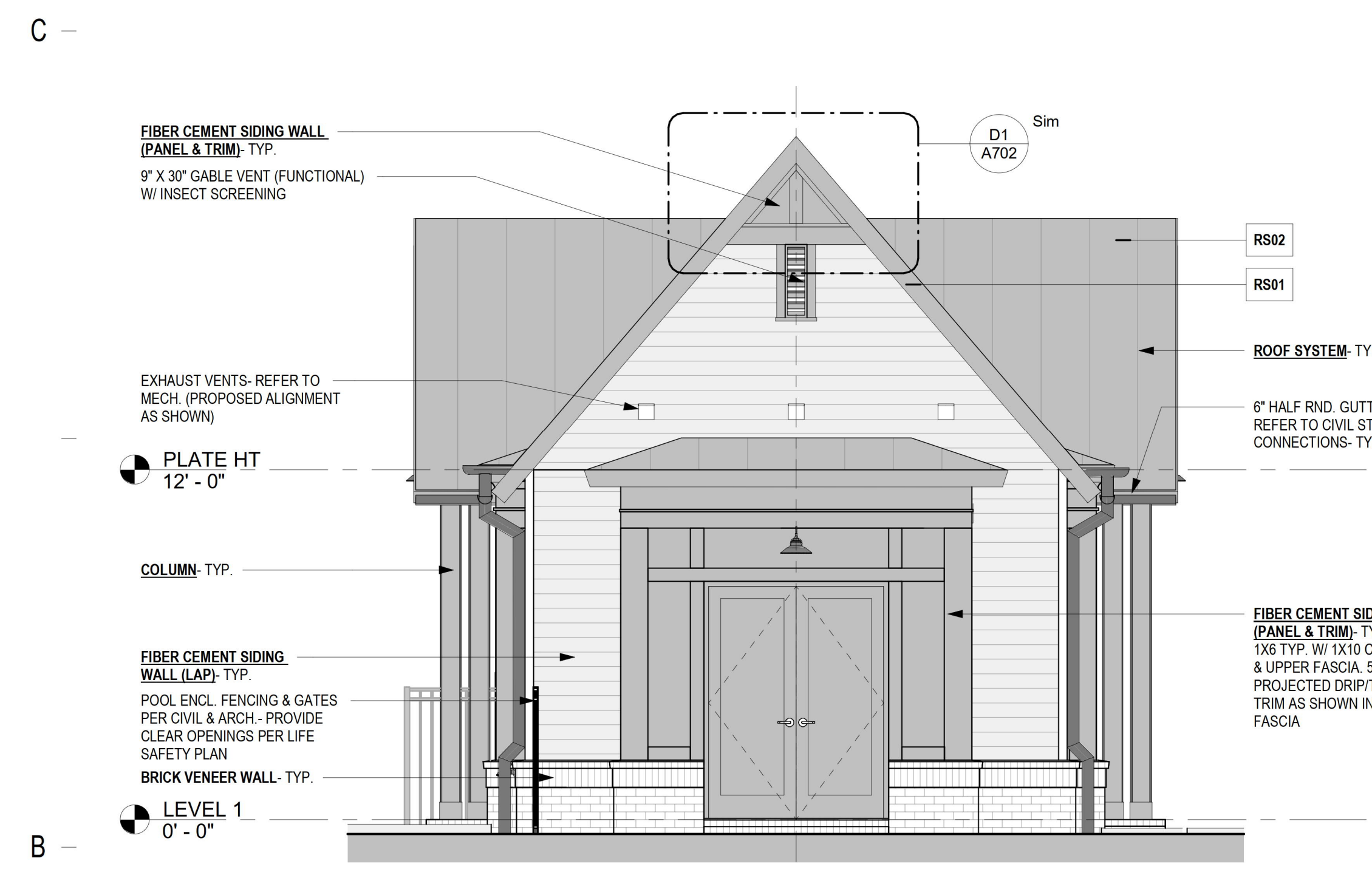
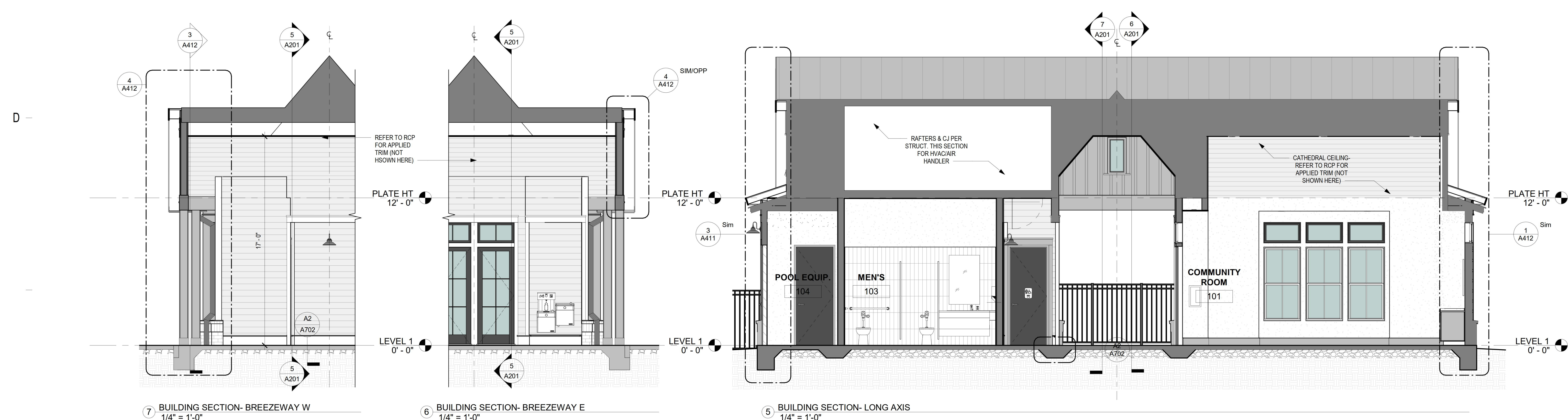


**ELEVATION / BUILDING SECTION GENERAL NOTES:**

1. ALL WORK TO COMPLY WITH NCSBC & ALL APPLICABLE NORTH CAROLINA BUILDING CODES AS WELL AS ALL LOCAL AND PROJECT SPECIFIC AHJ & ZONING REQUIREMENTS.
2. FURNISH, STORE, INSTALL & FINISH ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AS WELL AS MANUFACTURERS AND APPLICABLE TRADE ASSOCIATION BEST PRACTICE GUIDELINES.
3. COORDINATE DIMENSIONS & SIZING INFORMATION WITHIN THESE DRAWINGS WITH PROJECT SPECIFIC MANUFACTURER DATA TO BE OBTAINED BY G.C., SUBCONTRACTORS & SUPPLIERS.
4. REFER TO THE COMPLETE DRAWING SET FOR ADDITIONAL INFORMATION, CALLOUTS, ETC.
5. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR PAVING, GRADING AND FLOOR TOP OF SLAB TRUE ELEVATIONS.
6. LEVEL CALLOUTS AT "AT GRADE" FLOORS REPRESENT NOM. T.O.S. NOT INCLUDING ASSUMED FLOOR FINISH THICKNESS- COORDINATED STAIR FABRICATION AND RISER HEIGHTS WITH FINISHED FLOOR CALCS.
7. REFER TO SHT. A901 FOR BASIS OF DESIGN MATERIALS AND FINISHES.
8. PER DOOR TYPE SHT. A801, ALL DOORS WITH GLAZING TO BE PROVIDED WITH FULL TEMPERED/SAFETY GLAZING (PER NCSBC).
9. REFER TO WALL SECTION SHEETS FOR TYPICAL SYSTEMS, NOTES (AS INDICATED BY BOLD/UNDERLINE & OTHER).

**EXTERIOR MATERIAL LEGEND**

- STANDING SEAM METAL ROOFING
- FIBER CEMENT LAP SIDING & TRIM ("LIGHT")
- FIBER CEMENT TRIM ON PANEL (B&B) SIDING & TRIM
- FIBER CEMENT TRIM ON PANEL (BAY/ACCENT) SIDING & TRIM
- QUEEN SIZE BRICK W/ ACCENT COURSES AS SHOWN- SELECTION PER SCH.



10/31/2022 11:24:44 AM