



Town Board Regular Meeting
July 6, 2022 – 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

Agenda

A. CALL TO ORDER

1. Pledge of Allegiance
2. Invocation
3. Proclamation: Recognizing July as Parks and Recreation Month
4. Review of Agenda by the Board and Addition/Changes of Items of New Business to the Agenda for Consideration.
5. Board Liaison Reports
 - Mayor Pro Tem Vilga – Parks & Recreation Advisory Board
 - Commissioner Sutton – Economic Development
 - Commissioner Medley – Planning Board
 - Commissioner Alston – Veterans
 - Commissioner Sneed – Public Safety
6. Communication from Town Staff
 - Meredith Gruber – Planning
 - Mical McFarland – Community and Economic Development
 - Terri Simmons - Rolesville Chamber of Commerce
7. Public Invited to be Heard

Individuals wishing to participate in Public Invited to be Heard (non-agenda items) are requested to sign upon the form provided on the podium in the Town Board Chambers. When you are recognized, step to the podium, state your name and address then speak to the Town Board.

Individuals wishing to speak during the Public Invited to be Heard or during Public Hearing proceedings are encouraged to be prepared and individuals will be limited to three (3) minutes. Written comments are welcome and should be given to the Town Clerk prior to the start of the meeting.

B. CONSENT AGENDA

1. Minutes of the June 7, 2022 Regular Town Board Meeting and June 21, 2022 Work Session. **(Minutes will be completed by July 5, 2022).**

2. Authorize Town Manager to Sign Agreement of Obligation for Rolesville Rural Fire Department (RRFD) Fire Truck Loan with Wake Electric Membership Corporation.
3. Capital Project Ordinance – Amended for Main Street Project Design.
4. SUP21-01: Wait Avenue Subdivision (Pulte Homes) – Order of Denial.

C. BOARD ACTION

1. Main Street LAPP Grant Update.
2. Public Hearing: MA21-08 and ANX22-02 Barham Property.
3. Evidentiary Hearing: SP20-01 Elizabeth Springs Amenity Center.
4. Evidentiary Hearing: PR22-02 Granite Crest Phase IV.

D. COMMUNICATIONS

1. Communication from Town Attorney
2. Communication from Town Manager
3. Communication from Town Board

E. ADJOURN

The Town of Rolesville will make reasonable accommodations for access to Town services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call (919) 556-3506 by noon on the Thursday prior to the meeting to make arrangements.



Proclamation of the Town of Rolesville

NATIONAL PARKS AND RECREATION MONTH

July 1-31, 2022

WHEREAS, parks and recreation is an integral part of communities throughout this country, including the State of North Carolina and the Town of Rolesville; and

WHEREAS, parks and recreation promotes health and wellness, improving the physical and mental health of people who live near parks; and

WHEREAS, parks and recreation promotes time spent in nature, which positively impacts mental health by increasing cognitive performance and well-being, and alleviating illnesses such as depression, attention deficit disorders, and Alzheimer's; and

WHEREAS, parks and recreation encourages physical activities by providing space for popular sports, hiking trails, swimming pools and many other activities designed to promote active lifestyles; and

WHEREAS, park and recreation programming and education activities, such as out-of-school time programming, youth sports and environmental education, are critical to childhood development; and

WHEREAS, parks and recreation increases a community's economic prosperity through increased property values, expansion of the local tax base, increased tourism, the attraction and retention of businesses, and crime reduction; and

WHEREAS, parks and recreation is fundamental to the environmental well-being of our state; and

WHEREAS, parks and recreation is essential and adaptable infrastructure that makes our communities resilient in the face of natural disasters; and

WHEREAS, our parks and natural recreation areas ensure the ecological beauty of our state and provide a place for children and adults to connect with nature and recreate outdoors; and

WHEREAS, local parks in our state generated over \$6 billion in economic activity and provided over 37,000 jobs ranking North Carolina as 10th in the nation; and

WHEREAS, the U.S. House of Representatives has designated July as Parks and Recreation Month; and

WHEREAS, the State of North Carolina recognizes the benefits derived from parks and recreation resources.

NOW THEREFORE, I, Ronnie Currin, Mayor of the Town of Rolesville, along with the Town of Rolesville Board of Commissioners, do hereby proclaim July 1-31, 2022 as Parks and Recreation Month and encourage our citizens to participate in recreational programs, attend special events, and visit local parks here in Rolesville.

IN WITNESS WHEREOF, I do hereby set my hand and cause the seal of the Town of Rolesville to be affixed this 6th day of July, 2022.

Ronnie I. Currin, Mayor

ATTEST:

Robin E. Peyton, Town Clerk



Town Board Regular Meeting
June 7, 2022 – 7:00 PM
502 Southtown Circle, Rolesville, NC 27571

MINUTES

PRESENT: Ronnie Currin, Mayor
Sheilah Sutton, Commissioner
Michelle Medley, Commissioner
Kelly Arnold, Town Manager
Robin Peyton, Town Clerk
Amy Stevens, Finance Director
David Simmons, Police Chief

Paul Vilga, Mayor Pro Tem
April Sneed, Commissioner
Dan Alston, Commissioner
Dave Neill, Town Attorney
Eric Marsh, Assistant Town Manager
Michael Elabarger, Planner

A. CALL TO ORDER

Mayor Currin called the meeting to order at 7:00 p.m.

1. Pledge of Allegiance
Mayor Currin led the Pledge of Allegiance
2. Invocation – Dr. Randy Bridges, Senior Pastor, Rolesville Baptist Church
3. New Employee Introductions
 - Gary Broad-Police Officer
 - Eddie Henderson-Project & Facilities Coordinator
 - Dieva Hill-Human Resources Analyst
4. Review of Agenda by the Board and Addition/Changes of Items of New Business to the Agenda for Consideration.
Moved by Commissioner Sutton to approve the agenda; seconded by Commissioner Sneed. Motion to approve agenda carried by unanimous vote.
5. Board Liaison Reports
 - Mayor Pro Tem Vilga – Parks & Recreation Advisory Board
 - The PARAB meeting was postponed.
 - Promoted the Parks & Recreation Trail Art program occurring during the month of June. Vilga showed an example of the art being placed in the parks and noted that the Rolesville town logo can be found somewhere on each piece of artwork.
 - Commissioner Sutton – Economic Development
 - Rolesville Downtown Development met Friday May 20th with Wake County Economic Development who facilitated a brainstorming session for ideas regarding the Cobblestone development clock tower location and additions to the public

- gathering space. The “highest point in Rolesville” was discussed as well as ideas of pointing to it. The RDD group meets monthly on the 4th Friday in Town Hall.
- Attended the Ribbon Cutting ceremony for Carolina Legacy Volleyball on Wednesday, May 25th.
 - Attended the Eastern Wake County Local Governments Association inaugural meeting in Knightdale on Wednesday, May 25th with officials from Knightdale, Zebulon and Wendell. Each municipality shared their successes and challenges. The event was held at First and Main which proved to be a great venue that is certainly a good economic driver for Knightdale and should be looked to for something similar when designing the new community center at Cobblestone in addition to classrooms and recreation. Rolesville is to host the next quarterly meeting of the EWLGA.
- Commissioner Medley – Planning Board
 - Absent from last Planning Board meeting but received summary from the Planning Director.
 - The Planning Board considered a request to change zoning from Wake County Highway District to Residential High Conditional Zoning District. The Planning Board voted down the request and the Town Board will hold a Public Hearing on the case at its July 6th meeting.
 - Commissioner Alston – Veterans
 - Flag Day is Tuesday, June 14th. Rolesville Rotary Club has a flag program where they will come out and place flags in your yard on Memorial Day, Flag Day, Juneteenth, Independence Day, 9/11 and Veterans Day. Price is \$50. More information is on the Rolesville Rotary Club Facebook page.
 - Should be hearing back from WakeMed following meeting on April 6th about a medical center in Rolesville.
 - Waiting to hear back from Congresswoman Deborah Ross regarding getting a Veterans Center and Recruiting Center in Rolesville.
 - May 17th participated in his son’s Naval re-enlistment which occurred on his son’s birthday.
 - Commissioner Sneed – Public Safety
 - Met at Fire Department June 6th.
 - FD has been going through inspections.
 - Insurance of Services Office inspection was held. They passed the first part with flying colors and are waiting for results of second.
 - Provided staff update.
 - Hiring Battalion Chief. Working with an outside consultant. Hoping to have the position filled by July 1st.
 - Looking for a bookkeeping company.
 - Hoping to have new rescue truck in service by July 4th. Expecting a second truck, (Engine 152) soon.
 - Gearing up for July 4th event where the new truck will be present.
 - Have an increased call volume.
 - Knock box program is ongoing. Information on Town of Rolesville website.

6. Communication from Town Staff

Police Chief David Simmons

- Gave a presentation on Operation Medicine Drop.
- May 7th Bicycle Rodeo had 30 participants. The department gave out bicycle helmets. 50 helmets were received via a grant from NCDOT. The next rodeo will be in October.
- Camp KIDDS starts June 20th and ends June 24th with 30 participants.
- Preparing for July 4th celebration.

7. Public Invited to be Heard

Roxy Wilkins, 115 W. Young Street, Rolesville.

Ms. Wilkins' Mother, Nancy Kelly, was a Commissioner in Rolesville for 25 years and ended up being Mayor and her Step-Father was also a Commissioner for some time. Ms. Wilkins came to speak on her family's property located at 6200 Emily Lane. Ms. Wilkins is one of five owners of the property and is speaking on behalf of the other four. The property is known as the Rogers-Merritt Farm and has been under contract several times. The family feels the Town of Rolesville is holding sale of the property hostage by its not providing clear answers on rezoning of the property as posed by potential buyers. During prior presentations to the Town Board on the Commercial Growth Feasibility Study it was stated by Mical McFarland that the consultant conducting the CGF study contacted all interested parties. Ms. Wilkins stated that no one in her family was ever contacted adding that commercial and industrial zoning needs to be on a major highway like NC401 instead of in the middle of residential. Every potential buyer the family has been under contract with was for residential. The developer the property is currently under contract with has not received needed communication from the town to make them feel comfortable in moving forward with purchase of the property. Ms. Wilkins asked that the town assist with the rezoning of the property so that the family can move on.

Joe Mitchell, 189 Bear Track Trail

Mr. Mitchell stated he feels like the property located at 6200 Emily Lane is not a good fit for commercial and spoke to give validity to Ms. Wilkins' comments as the real estate agent handling the listing of the property.

B. CONSENT AGENDA

Moved by Commissioner Sutton to approve the consent agenda consisting of the following.

1. Minutes of the May 3, 2022 Regular Town Board Meeting and May 17, 2022 Work Session.
2. ANX 20-02 – Barham Land Annexation. Call for Public Hearing July 6, 2022.
3. ANX 22-03 – 5109 Mitchell Mill Road. Direct Clerk to Investigate the Petition Sufficiency.
4. Adoption of Flood Insurance Rate Maps.
5. Approve GFL Environmental Contract for solid waste and recycling collection for the period of 2022-2027.
6. Approve Town of Rolesville Bereavement Leave Policy.
7. Approve 2022-2023 Powell Bill Resolution.

8. Adoption of Ordinance 22-O-01 to amend the Code of Ordinance to Impose Term Limits for Appointed Boards.
9. Approve Chandler’s Ridge Development Agreement (First Amendment).
10. Receive Commercial Growth Feasibility Study Final Report.

Motion to approve the consent agenda seconded by Commissioner Medley and carried by unanimous vote.

C. BOARD ACTION

1. Consideration of FY2022-2023 Budget.
Finance Director Amy Stevens recapped presentations given in prior meetings (March Work Session, April 20th Regular Meeting and May 3rd Public Hearing). Stevens pointed out changes made following the meetings which are reflected in the meeting agenda packet materials. \$550,000 requested by Commissioner Vilga to be earmarked for entrance to the Farm was allocated in revisions.

Moved by Commissioner Sneed to adopt the FY2022/2023 Budget to include the Budget Ordinance for dates from July 1st , 2022 through June 30th 2023, the Capital Project Ordinance dated June 7, 2022, and the Resolution Authorizing the Wake County Revenue to Levy and Collect Property Taxes; seconded by Commissioner Medley. Motion to adopt the budget carried by unanimous vote.

2. Community Group Funding Committee Recommendations.
Mayor Pro Tem Vilga provided recommendations for awarding the Community Group Funding applicants for the following amounts along with an explanation of what each applicant does for the community:

Northern Wake Optimist Club	\$2,000
Rolesville Athletic Club	\$2,625
Thorne to Rose Foundation	\$2,000
Tri-Area Food Ministry	\$2,625
Woodrow Wilson DAV	\$ 750

The above amounts provide some award to all five applicants and totals the \$10,000 budgeted amount for the funding for the FY2022/2023.

Moved by Commissioner Sneed to approve the Community Group Funding recommendation as made by the Community Group Funding Committee; seconded by Commissioner Alston. Motion to approve carried by unanimous vote.

Mayor Currin noted that he met with the head of the Rolesville Athletic Club where it was revealed the club is trying to get the girls dugout up to the same standard as the boys which was renovated by volunteers in recent years. Mayor Currin added that if those in the community can make donations to the Rolesville High School Booster Club for the girls’ dugout, he will match the largest donation.

3. Public Hearing: MA22-04: 414 South Main Street (former Pine Glo).

Mayor Currin opened the public hearing on MA22-04 at 7:53 p.m.

STAFF COMMENTS

Planning Director Meredith Gruber provided an introduction and background on the application under hearing for Case: MA22-04, 414 South Main Street, rezoning request from General Industrial (GI) to General Commercial Conditional Zoning District (GC-CZ). Ms. Gruber listed the proposed excluded uses which may be found in the [agenda packet](#) for the meeting. Staff believes the current zoning is due to the use of the former property owner and its use of the building. Principle #5 and goals 4 and 5 and of the town's [Main Street Vision Plan](#) are supported by the proposed use of the property should the rezoning request be approved. Ms. Gruber is proposing putting off a Traffic Impact Analysis (TIA) until time of site plan rather than waive the TIA as the Land Development Ordinance (LDO) allows.

Staff is recommending approval of the rezoning under Case MA22-04, 414 South Main Street. The Planning Board unanimously recommended approval as well.

APPLICANT

Robert Shaar, 924 Evening Snow Street, Wake Forest, NC

Mr. Shaar, a resident of Rolesville since 2013, came before the board to state his experience as a developer and present his proposed plans for the building located at 414 South Main Street. Mr. Shaar reported he has several Letters of Interest (LOIs) from sports organizations as well as a potential restaurateur.

COMMENTS FROM PUBLIC IN FAVOR

Hugh Largey 421 Lindsays Run, Rolesville, NC

Asked if there was a provision in the zoning for Leisure Recreation like perhaps miniature golf and other more non-structured athletics for visitors of residents of Rolesville and more mature non-serious athletes.

COMMENTS FROM PUBLIC IN OPPOSITION

None

Mayor Currin closed the public hearing at 8:08 p.m.

Moved by Commissioner Alston to adopt rezoning request MA 22-04, 414 South Main Street; seconded by Commissioner Sutton. Motion to adopt carried by unanimous vote.

Moved by Commissioner Alston to adopt a Plan Consistency Statement, a Statement of Reasonableness, and a Future Land Use Map Amendment; seconded by Commissioner Sutton. Motion to adopt carried by unanimous vote.

4. Public Hearing: MA22-02: Elizabeth Springs R40W to R&PUD.
Mayor Currin opened the public hearing on MA22-02 at 8:011 p.m.

STAFF COMMENTS

Senior Planner Michael Elabarger provided the introduction by staff of Cases MA22-02 and SP22-01, Elizabeth Springs Watershed Removal applications and provided historical background on prior development requests on the property and noted its regulation falling under the Unified Development Ordinance (UDO) not the recently adopted Land Development Ordinance (LDO) which have different guidelines.

APPLICANT

Kevin Peach, Attorney for applicant Experience 1 Homes, LLC, 8493 Central Drive. Raleigh, NC

Responding to a question posed by Commissioner Medley, Mr. Peach reported that the property was regraded to flow away from the watershed thereby allowing the property to be removed from the watershed by the State of North Carolina. The applicant is asking that a portion of the property be rezoned from R40 to match the rest of the development zoned R&SUP.

PUBLIC IN FAVOR

None

PUBLIC IN OPPOSITION

None

COMMENTS FROM APPLICANT

David Schmidt, Developer, Experience 1 Homes, LLC, 1132 Goliath Lane, Apex, NC

Mr. Schmidt stated that his company bought the property from Wright-Whitley Properties with the understanding that as soon as the property was removed from the watershed the rezoning would be approved as per prior statements made by former Planning Director Danny Johnson. Mr. Schmidt stated that the traffic engineer was present to answer questions and respectfully asked for approval of the request as the entry feature and amenities cannot be built without approval.

There being no one remaining to speak, Mayor Currin closed the Public Hearing on MA22-02 at 8:30 p.m.

Moved by Commissioner Sutton to approve the rezoning request MA22-02 Elizabeth Springs Former Watershed Area; seconded by Commissioner Alston. Motion carried by unanimous vote.

Moved by Commissioner Sutton to adopt the Plan Consistency Statement, Statement of Reasonableness and Future Land Use Map Amendment; seconded by Commissioner Sneed. Motion to adopt carried by unanimous vote.

5. Evidentiary Hearing: SUP22-01 Elizabeth Springs Watershed Area.

Mayor Currin opened the Evidentiary Hearings on SUP22-01 Elizabeth Springs Watershed Area and Evidentiary Hearing PR22-03 Elizabeth Springs Watershed Area at 8:27 p.m. as both hearings were to be held concurrently with two separate votes.

Town Attorney Dave Neill provided the statement of evidentiary hearing and conducted the voir dire process with the board members in accordance with N.C.G.S. 160D-601. There being no indication of bias or conflict of interest by any member of the board, proceeding with the hearing was deemed appropriate and the Town Clerk swore in those witnesses wishing to provide testimony.

6. Evidentiary Hearing: PR22-03 Elizabeth Springs Watershed Area.

APPLICANT

Kevin Peach, Attorney for applicant Experience 1 Homes, Developer

Mr. Peach introduced witnesses for the applicant to include the following:

Tim Grissinger, Assistant Director, Bateman Civil Survey, 112 Piperwood Drive, Cary, NC
Mr. Peach queried Mr. Grissinger on his qualifications to provide expert testimony.

Town Attorney Dave Neill reported that the Town acknowledges Mr. Grissinger as an expert witness.

Mr. Peach queried Mr. Grissinger regarding the obligatory findings of facts to which Mr. Grissinger responded to them having been met.

Travis Fluitt, Traffic Engineer with Kimley-Horn, 421 Fayetteville Street, Raleigh
Mr. Peach queried Mr. Fluitt as to his qualifications to provide expert testimony.

Town Attorney Dave Neill reported the Town recognized Mr. Fluitt as a traffic engineer expert.

Mr. Peach queried Mr. Fluitt regarding the obligatory findings of facts to which Mr. Fluitt responded to them having been met.

Mr. Fluitt provided information on the Traffic Impact Analysis (TIA) that was conducted in December 2017 for the project as well as a Trip Generation Analysis with the new land use mix. None of the improvements from the recommended study have changed.

Gaye Orr, President and Partner with Coldwell Advantage Banker, 7511-102 Morning Dove Road, Raleigh
Ms. Orr submitted her credentials to the board in order to offer testimony in the hearing as an expert witness in real estate.

Town Attorney Dave Neill stated that the town recognized Ms. Orr as an expert in residential real estate.

Mr. Peach queried Ms. Orr as to potential impact the project may have on real estate values to which Ms. Orr stated, should the pending motion be denied, sales of the properties would be affected negatively due to the entrance and amenities, currently bare land, not being able to be built out. Conversely, should the entrance and amenities be built, there would be a positive impact on sales and there is concern of the market cooling.

David Schmidt 1132 Goliath Lane, Apex

Mr. Schmidt stated that there would be a negative impact if the entrance and amenities were not built out as current residents are waiting for the build out and potential buyers would be looking for the entrance and amenities on the cleared lots to come to fruition.

PUBLIC IN OPPOSITION

None

Mayor Currin closed the public hearing on Case SP22-01 and Case ?? at 9:01 p.m.

Moved by commissioner Alston to approve the Special Use Permit request SUP22-01, Elizabeth Springs Former Watershed Area, based on the evidence and testimony received at the hearing to determine the Findings of; seconded by Mayor Pro Tem Vilga. Motion to approve carried by unanimous vote.

Moved by Commissioner Alston to approve Preliminary Subdivision Plat request PR22-03, Elizabeth Springs Former Watershed Area, based on the evidence and testimony received at the hearing to determine the Findings of Facts; seconded by Commissioner Sutton. Motion to approve carried by unanimous vote.

The Town Board recessed.

The Town Board returned from recess at 9:10 p.m.

The following evidentiary hearings (PR21-04 and SP21-02 were facilitated concurrently).

7. Evidentiary Hearing: PR21-04 Wallbrook
The Town Clerk was asked by the Town Attorney to enter previous evidentiary hearing comments in to record from previous hearings and administer the oath of office to those wishing to provide testimony. A new voir dire was conducted as the following hearings concerned different locations and projects and does not repeat from the previous hearings. Satisfactory answers were received thereby eliminating any concern of conflicts of interest.
8. Evidentiary Hearing: SP21-02 Wallbrook Townhomes.

STAFF REPORT

Planning Director Meredith Gruber provided the staff report and reported that the Land Development Ordinance (LDO) regulates the preliminary plat and the Unified Development Ordinance (UDO) the site plan processes.

Gruber reviewed standards under LDO for the preliminary plat and standards under the UDO for the site plan.

Gruber reported that the project went through six reviews by the Technical Review Committee and that staff is recommending approval.

Application and staff report were admitted in to evidence.

EVIDENCE FROM APPLICANT

No opposing council was seen as being present.

Mark Frederick, Parker, Poe, Adams and Bernstein 301 Fayetteville Street, Raleigh
Mr. Frederick, Attorney presented himself as representative for the applicant, Crosslands Southeast. Mr. Frederick distributed a binder containing documents used in the proceedings to include the Special Use Permit Resolution approved by the Town Board in 2021, the Traffic Impact Analysis (TIA), TIA addendum and a report by the Real Estate Appraiser speaking in the hearing. The documents were tendered and admitted in to evidence.

Mr. Frederick provided an overview of the Wallbrook project, a multi-use development.

Michael Isaac, Senior Project Engineer for Crosslands Southeast, 121 W. Trade St. Suite 2550, Charlotte, NC

Mr. Frederick queried Mr. Isaac as to his qualifications and was acknowledged by the Town as an expert in project engineering.

Mr. Isaac was queried as to the findings of facts under his purview and his responses were the approval criteria were met by the proposed project as submitted in the hearings.

John Briond, President of Hampton Pointe Homeowners Association, 1000 Evening Shade Avenue, Rolesville, NC

Mr. Briond posed the cross-examination question on the paris-tract of the buffer which backs up to Middleground Avenue to which Mr. Austin Williams agreed to upgrades and the keeping of mature trees in addition to erecting a fence. It was confirmed that those agreements were correct. Expressing stormwater concerns, Mr. Briond asked if the buffer would not cross his property. Mr. Isaac responded that the projects calls for it to travel under Main Street. In response to his traffic questions, Mr. Briond was asked to wait for testimony by the transportation engineer. It was revealed that the Paris tract is not part of the evening's hearings. As the paris-tract is not part of the hearing so conditions were not required under the current site plan review.

Brian Figundis, Arc Consulting, 2755 -B Charles Boulevard, Greenville, SC

Mr. Frederick queried Mr. Figundis as to his qualifications and was acknowledged by the Town as an expert in civil engineering and site plan design.

Mr. Figundis was queried as to the findings of facts under his purview and his responses were the approval criteria were met by the proposed project as submitted in the hearings.

Signed findings of Fact and Conclusions of Law with Conditions approved April 6, 2021 admitted and accepted in to evidence.

Allen Hatters, 602 Crestar Drive, Rolesville

Question on trees remaining through construction in his area and how will the intersection of Wall Creek and Main Streets be affected by the proposed project intersection.

Mike Sanchez, McAdams 255 Meridian Parkway, Durham

Following the provision of his qualifications, Mr. Sanchez was tendered and accepted as an expert in civil engineer and site design.

James Woodard, 420 Green Turret Drive

Mr. Woodward questioned who would be liable should something happen involving the out of ground portion of the septic pipe proposed in the easement requested on his project to which was responded that the City of Raleigh would be responsible and writes liability provisions in to its easement agreements.

Matt Pietsch, Project Manager with Stantec Engineering, 801 Jones Franklin Rd., Suite 300, Raleigh, NC

Mr. Pietsch submitted his qualifications and was accepted as an expert witness in transportation engineering and traffic impacts.

Mr. Pietsch directed his testimony to the findings of facts under his purview and his responses were the approval criteria were met by the proposed project as submitted in the hearings.

Ron Patterson, 600 Crestar Drive, Rolesville, NC

Asked about the right turn at extension of Wall Creek Drive. Mr. Pietsch explained that a left turn will no longer be permitted out of Wall Creek in the project plans.

Mitch Amiano, 4900 Burlington Mills Road, Rolesville, NC

Asked for clarification on the realignment of Burlington Mills Road to which a clarification was provided.

Nathaniel Cooper, 116 Wall Creek Drive, Rolesville, NC

Mr. Cooper asked where the new sidewalks were to be placed, the traffic impact on existing street if traffic is approved and if the Traffic Impact Analysis included existing streets to which answered were provided.

Charles Johnson, 120 Wall Creek Drive, Rolesville, NC

Questioned the proposed alignment of the extended Wall Creek Drive, specifically why wouldn't people want to turn right to use it as a pass through if traffic is backed up on Main Street. Mr. Pietsch responded to his questions.

Commissioner Sutton asked if the street near the ABC store continues to which Mr. Figundis answered that there is a stub there that will continue through Carlton Pointe.

Hunter Howell, 412 W. Chad Street, Cary, NC Bowbridge Property Appraisers

Mr. Howell provided his qualifications, was tendered as expert in property appraisal and accepted by the Town as an expert witness.

Tabs 2 & 3 admitted in to the record and admitted into evidence.

Tab 4 of the binder admitted in to evidence.

IN OPPOSITION

None

CLOSING REMARKS

Attorney Frederick summarized the evidence presented with respect to each approval criteria.

There being no one remaining to present evidence, Mayor Currin closed the public hearings on PR21-04 and SP21-02 at 10:54 p.m.

Moved by Commissioner Sutton to approve the Preliminary Subdivision Plat under Case: SP21-01 based on the evidence presented in determining the Findings of Fact; seconded by Commissioner Alston. Motion to approve carried by unanimous vote.

Moved by Commissioner Vilga to approve the Site Plan, SP21-02, Wallbrook Townhomes, based on the evidence and testimony received at the hearing to determine the Findings of Fact; seconded by Commissioner Medley. Motion to approve carried by unanimous vote.

D. COMMUNICATIONS

1. Communication from Town Attorney

- In 2008 the towns of Apex, Knightdale and Garner received local legislation that allowed them to publish public hearing notices on their websites eliminating the requirement to publish in a local newspaper. The Town of Garner is now asking that being extended to all notices, not just those that pertain to public hearings. Representative Gill has agreed

to introduce Bill 1031 in response to Garner's request. Other Wake County municipalities have been asked if they wish to be included. General Consensus was to add Rolesville with Representative Everette as Co-Sponsor.

2. Communication from Town Manager

- Bid opening on LAPP project occurred June 7th at 2:00 p.m. Requirement is for three bids to be received and only two were submitted so no bids were opened. Second attempt will be June 28th.
- June 21st Town Board Work Session will begin with Town Board discussion of meeting facilitation policies and procedures.

3. Communication from Town Board

NONE

E. ADJOURN

There being no further business before the board, Mayor Currin adjourned the meeting at 11:10 p.m.

Ronnie I. Currin, Mayor

ATTEST:

Robin E. Peyton, Town Clerk



Board of Commissioners Work Session

June 21, 2022

6:00 p.m.

The Town Board will gather for a meal and procedural discussion beginning at 5:30 p.m.

MINUTES

PRESENT: Ronnie Currin, Mayor
Sheilah Sutton, Commissioner
Michelle Medley, Commissioner
Kelly Arnold, Town Manager
Robin Peyton, Town Clerk
Meredith Gruber, Planning Director
David Simmons, Police Chief

Paul Vilga, Mayor Pro Tem
April Sneed, Commissioner
Dan Alston, Commissioner
Dave Neill, Town Attorney
Eric Marsh, Assistant Town Manager
J. G. Ferguson, Parks & Rec Director

Mayor Currin called the meeting to order at 6:00 p.m.

1. Board Rules and Procedures.
Town Attorney Dave Neill provided a [presentation](#) (Part I) as an introduction of items for consideration for inclusion in a future policy document for adoption.
2. Town Resolution Pertaining to Proposed Unification of Rolesville Rural Fire Department (RRFD)
Town Manager Kelly Arnold recapped meetings held between the Town of Rolesville and the Rolesville Rural Fire Department. Arnold noted that the agendas and minutes from these meetings are on the town of Rolesville website: [Fire | Town of Rolesville, NC \(rolesvillenc.gov\)](#)
[Resolution 222-R-12: Resolution of the Board of Commissioners of the Town of Rolesville Relating to the Proposed Unification of the Rolesville Rural Fire Department with the Town of Rolesville](#) is being presented for consideration of adoption by the Town Board. Prior to its adoption, Arnold reported that a modification is necessary to ensure the Rolesville Rural Fire Department (RRFD) adopts and signs its own resolution first and that a commitment be addressed and language included to ensure long-term support for fire trucks and structures in future. Mr. Arnold asked that the modified resolution be brought back to appear on the Town Board's July 6th meeting consent agenda to which the Town Board agreed.
3. RRFD Loan Agreement for Rescue Truck.
Town Manager Kelly Arnold reported on his being contacted from Wake Electric Membership Co-op Legal Council who is offering a zero-interest, 10-year loan to the RRFD for the new truck purchase. The Town must sign an agreement of obligation if the unification takes place. Mr. Arnold agreed to put the requirement information before the Town Board for consideration. In the event of the merger, the Town would assume the debt for the loan. Loan documents would be amended following any merger. The Town would assume the assets as well as liabilities. The Town Board agreed to have the matter put on the Consent Agenda of its July 6th meeting for

approval.

4. Bicycle Plan and & Greenway Plan Study Final Review.
Parks & Recreation Director introduced Kathryn Zeringue with McAdams who gave a final presentation on the [Bicycle Plan](#) and [Greenway Plan](#) study recommendations for review by the Town Board.
5. Review of Community Center at Cobblestone Facility (focusing on proposed design and other alternative designs as it relates to programming).
Town Manager Kelly Arnold introduced the review based upon input from board members. Staff is looking to see if there are desired modifications to the plan as it exists. The [proposed facility](#) is approximately an 18000 sq. ft. facility with a gym at a proposed cost of 7.5M.

Parks & Recreation Director J.G. Ferguson gave a presentation on the facility as currently planned to refresh the Town Board's memory. Mr. Ferguson confirmed that plans are for a warming kitchen in the facility as opposed to a full catering kitchen and a multi-purpose room for holding banquets.

Discussion was held on the need for a non-shared event venue that the Town could use for meetings, receptions, etc. followed by the reiteration that the plans for the Farm facility would provide for such a venue. Staff was asked to conduct more research to find a facility that is being shared such as is proposed in the current Community Center plan. Concerns are that Parks & Recreation programs will consume the multi-purpose room to the extent that it could not be used by others. Also discussed was the non-revenue generating nature of Parks & Recreation versus more recovery of direct costs.

The Town Board took a brief recess and returned to open session at 9:18 p.m.

6. Land Development Ordinance (LDO) Amendments Round 3
Planning Director Meredith Gruber reviewed the most recent proposed [amendments](#) to the LDO.
7. Adjourn
There being no additional business before the board, Mayor Currin adjourned the meeting at 10:01 p.m.

Ronnie I. Currin, Mayor

ATTEST:

Robin E. Peyton, Town Clerk



Memo

To: Mayor and Town Board
From: Kelly Arnold, Town Manager
Date: June 21, 2022
Re: Consent Agenda – Authorize Town Manager to Sign Agreement of Obligation for Rolesville Rural Fire District (RRFD) Fire Truck Loan with Wake Electric Membership Corporation

Background

The RRFD has received a new Rescue Truck that will become part of the Fire Emergency Services fleet. This truck was ordered several months ago and is ready to be in service. RRFD sought and received a zero-interest ten-year loan through Wake Electric Membership Corporation. Associated with their due diligence, Wake Electric Membership Corporation discovered the possibility of a Town unification with RRFD. As a result, Wake Electric is insisting that the Town acknowledge the RRFD obligation as part of the loan closing documents.

While it is the Town Attorney's and Town Manager's opinion that this acknowledgement is not necessary since the Town will commit to taking on all RRFD obligations, if there are any, in the possible unification. But since this will take place in a possible unification there are no reasons for the Town not to approve this obligation.

To close the loan, RRFD needs the Town to approve this potential obligation with Wake Electric.

UPDATE: The Town Board reviewed at their June 21, 2022 meeting and provided direction to place the item on consent agenda for consideration.

Recommended Action

The recommended motion is to authorize the Town Manager to sign the Wake Electric Agreement of Obligation.

Attachments

Letter from Wake Electric General Counsel

Obligation Agreement



Wake Electric

228 Park Avenue
Youngsville, North Carolina 27596
Telephone: 919.863.6300 or 800.474.6300
Internet: www.wemc.com

May 27, 2022

Kelly Arnold
Town Manager
Town of Rolesville
502 Southtown Circle
Rolesville, North Carolina 27571

VIA ELECTRONIC MAIL
Kelly.arnold@rolesville.nc.gov

Amy Stevens
Finance Director
Town of Rolesville
502 Southtown Circle
Rolesville, North Carolina 27571

VIA ELECTRONIC MAIL
amy.stevens@rolesville.nc.gov

Re: Wake Electric Membership Corporation (“Wake EMC”) Zero-Interest Loan for \$400,000.00 to Rolesville Rural Fire Department, Inc. for new Rescue Truck

Dear Mr. Arnold and Ms. Stevens:

Wake Electric Membership Corporation has entered into an Agreement with the Rolesville Rural Fire Department, Inc. (“Fire Department”) to provide a zero-interest loan in the amount of \$400,000.00 to the Fire Department for purposes of financing a new Rescue Truck. We understand that the new Rescue Truck is arriving next week on Friday, June 3, 2022 – and we plan to conduct a closing on June 3, 2022. The term of the Loan is for ten (10) years – with Annual Payments of \$40,000.00/year. We understand that this zero-interest Loan is projected to save the Fire Department approximately \$60,000.00 over the life of the Loan.

In preparing these Loan Documents, Wake EMC learned that the Town of Rolesville is now involved in discussions with the Fire Department with plans for a potential Merger effective July 1, 2024.

If the Fire Department’s assets and revenues are all merged into the Town of Rolesville effective July 1, 2024 – than the original Fire Department will have no funds or assets to re-pay the Wake EMC Loan of \$400,000.00.

Rolesville – Arnold & Stevens
May 27, 2022
Page 2

As you know, Wake EMC is a non-profit member-owned Cooperative. Wake EMC has an obligation to its Membership to ensure future payments on this Loan Obligation.

In order to perform its due diligence – and in order to ensure that the Fire Department can seize this opportunity for a zero-interest Loan – Wake EMC requests that the Town of Rolesville sign the enclosed document to assure Wake EMC that the Town will acknowledge, accept and pay this Fire Department debt if the Merger is consummated effective July 1, 2024 or thereafter.

Wake EMC requests that Mr. Arnold execute the enclosed Acknowledgement Form. Please have Chief Rodney Privette deliver the original signed document to Wake EMC before the closing on January 3, 2022.

Please do not hesitate to contact me with any questions:

Cynthia M. Currin
General Counsel for Wake EMC
228 Park Avenue
Youngsville, NC 27596
ccurrin@currinenergy.com
Cell: (919) 931-9450

Thank you in advance for your kind assistance in this matter.

Sincerely,

Cynthia M. Currin
General Counsel

Cc: James E. Mangum, Jr.
Lisa Kennedy, Manager of Financial Services
Rachel Roberson, Legal Assistant
Fred Keller, Manager of Community Services
Kirk Metcalf, Manager of Member Services
Fire Chief, Rodney Privette



AGREEMENT OF OBLIGATION

WHEREAS, the Rolesville Rural Fire Department, Inc. has ordered a new Pierce Rescue Truck to be delivered to the Fire Department on or about June 3, 2022;

WHEREAS, Wake Electric Membership Corporation (“Wake EMC”) has agreed to provide a \$400,000.00 zero-interest Loan to the Rolesville Rural Fire Department, Inc. for purposes of financing this new Rescue Truck;

WHEREAS, the Term of the Loan is ten (10) years – with Annual Payments to Wake EMC of \$40,000.00/year, with the first payment due and payable on July 1, 2023;

WHEREAS, the Town of Rolesville is conducting official discussions and negotiations with the Rolesville Rural Fire Department, Inc. (“Fire Department”) for a Merger of the Fire Department’s assets and operations into the Town of Rolesville effective July 1, 2024 (or later);

NOW THEREFORE, if the Merger is consummated, the Town of Rolesville does hereby acknowledge and agree to be legally bound by the Terms and Conditions of the Loan Agreement, Promissory Note and Security Instruments executed by the Rolesville Rural Fire Department, Inc. in favor of Wake EMC for this \$400,000.00 debt to Wake EMC. A copy of the complete Loan Package is attached hereto as Attachment A and incorporated by reference.

The Town specifically agrees that, if the Merger is consummated – then the Town of Rolesville will assume the full legal responsibilities for the remaining Debt (and Debt payments) to Wake EMC, effective with the date of Merger. The Town agrees to execute Legal Documents at the time of the Merger to re-affirm the terms of this Loan Transaction and Promissory Note with Wake EMC. If the Town of Rolesville consummates the Merger but chooses not to take advantage of the terms of this zero-interest Loan, then the Town will pay the full amount of the remaining outstanding debt owed to Wake EMC on the date of Merger – and Wake EMC will be removed as First Lienholder on the Title at that time. If the Merger is not consummated during the tenure of this 10-year Loan Agreement, then the Town of Rolesville will have no legal obligation under this Agreement.

The Rolesville Town Manager has the legal authority to execute this document.

This the _____ day of June, 2022.

TOWN OF ROLESVILLE

(SEAL)

Kelly Arnold, Town Manager

LOAN AGREEMENT

WAKE ELECTRIC MEMBERSHIP CORPORATION

TO

ROLESVILLE RURAL FIRE DEPARTMENT, INC.

STATE OF NORTH CAROLINA

WAKE COUNTY

LOAN AGREEMENT
(LOAN FUNDS TO BE USED BY ROLESVILLE
RURAL FIRE DEPARTMENT, INC. ("FIRE DEPARTMENT"))

This LOAN AGREEMENT is entered this the 3rd day of June, 2022, by and between the Rolesville Rural Fire Department, Inc. ("Fire Department"), a North Carolina non-profit corporation having its principal place of business in Rolesville, Wake County, North Carolina; and Wake Electric Membership Corporation ("Wake"), a North Carolina electric membership corporation having its principal office at 100 South Franklin Street, Wake Forest, North Carolina (27587).

WITNESSETH

In consideration of the mutual covenants made in this Agreement, the parties agree as follows:

1. **Purpose and Amount of Loan:**

A. Rescue Truck: Wake agrees to lend the Fire Department and the Fire Department agrees to repay to Wake or its assigns the principal sum of \$400,000.00 (the "Loan"). The funds will be used to finance the purchase of a 2022 Pierce Rescue Truck ("Fire Truck" or "Rescue Truck"). The new truck will allow the Fire Department to deliver its services in a safer and more efficient manner. The vehicle has been ordered from Atlantic Emergency Solutions, Inc. in Manassas, Virginia at a Purchase Price of \$659,420. [The Fire Department paid a down payment of \$200,000.00, and has acquired an initial Bridge Loan from Civic Federal Credit Union for \$459,420.00.] (The contract and specifications for the Rescue Truck are attached hereto as Attachment A.) [Vin # _____] The vehicle will be housed at the Fire Station located at 104 Young Street, Rolesville, North Carolina 27511. The Fire Department is a non-profit corporation. IT provides services to approximately 33 square miles in Northeastern Wake County including the Town of Rolesville. The Fire Department provides five suppression services, medical services, rescue services and mutual aid.

B. Payment Terms: The Fire Department acknowledges its debt to Wake in the full amount of \$400,000.00. The Fire Department commits to re-pay the full amount of the Debt of \$400,000.00 to Wake in accordance with the terms of the Promissory Note.

There is a possibility that the Rolesville Rural Fire Department, Inc. may merge its assets and operations into the Town of Rolesville effective July 1, 2022, or later. If so, the Town of Roelsville has the option to: (1) Continue to make payments to Wake EMC under the original terms of the Loan Agreement, Promissory Note and Security

Documents, or; (2) To pay off the remaining debt to Wake EMC in full at the time of the Merger. If the Town of Rolesville decides to continue with the 10-year zero-interest Loan Agreement & Loan Arrangements with Wake EMC, then the Town of Rolesville will sign new Loan Documents and Promissory Note to re-affirm the terms of this Loan Transaction for payment of remaining outstanding Debt to Wake EMC based on the outstanding Debt at the time of the Merger.

2. **Loan Servicing Charge:** Wake reserves the right to charge an annual loan servicing charge that does not exceed the greater of \$400.00 or one percent per year of the unpaid principal of the Loan at the beginning of the year. Any such servicing charge will be based on costs incurred by Wake for administration and collection of this Loan. If Wake decides to assess a loan servicing charge, it shall provide the Fire Department with written notice of the amount of the charge. The charge shall be paid within fifteen (15) days of the receipt of the notice, unless Wake and the Fire Department agree otherwise.
3. **Interest:** The Loan shall not have an interest rate.
4. **Term:** The term of the Loan shall be for one hundred and twenty (120) months.
5. **Promissory Note:** The Loan shall be evidenced by a Promissory Note in a form that Wake requires. The Note shall be signed by the Fire Department.
6. **Rights and Obligations:** The Fire Department agrees to repay on time any and all supplemental loans that the Fire Department obtains to finance the project that is to be completed through the use of the Loan.
7. **Conditions of Closing:** The obligation of Wake to make the Loan is subject to the receipt by Wake from the Fire Department of the signed Promissory Note and the following additional conditions precedent:
 - A. *Truth of Warranties:* The truth and accuracy, as of the closing date, of all representations and warranties made by the Fire Department in this Agreement and the receipt by Wake of all documents, certificates of officers of the Fire Department, and any other evidence, as Wake shall have requested.
 - B. *Copies of Documents:* The receipt by Wake from the Fire Department of copies of all documents connected with this Agreement and the transactions contemplated by the Loan, or respecting the business and affairs of the Fire Department, that Wake or its counsel may have requested, satisfactory in form and substance to Wake and its counsel and certified, when appropriate, by proper corporate officers and government authority.

- C. *Closing Costs*: The payment by the Fire Department of all closing costs and expenses related to the Loan.
8. **Application of Proceeds**: The Fire Department agrees that the Loan proceeds will be used for the purposes described in the application for loan funds generally described in Section 1 of this Agreement.
- A. *Disbursement of Funds*: Prior to or on the date of the Closing of this Loan, Wake will wire the \$400,000.00 in loan proceeds to the trust account of counsel for the Fire Department (James S. Warren of Warren, Shackleford Thomas Attorneys, PLLC, located at 343 S. White Street, Wake Forest, NC 27587), who will then use the \$400,000.00 loan funds from Wake EMC [along with additional funds from the Fire Department] to pay (in full) the Fire Department's initial Bridge Loan to Civic Federal Credit Union for Loan Number 4062633-110.
9. **Security**:
- A. *Security Agreement, Pledge Agreement and Financing Statement*: The Fire Department shall sign and deliver to Wake, at the closing of the Loan, a security agreement (the "Security Agreement"), the Pledge Agreement and financing statements (the "Financing Statements") giving Wake security on all items listed on Exhibit 10.A. attached and incorporated here through reference, to secure the payment of any amounts owed on the Promissory Note or payable to Wake. The property provided as security and listed on Exhibit 10.A. shall be referred to as "Equipment" or "Property" throughout the rest of this Agreement.
- B. *Representations Regarding Security*: The Fire Department represents that Wake will have a valid first priority security interest on all of the Property and Equipment, free and clear of all liens and encumbrances, except liens for taxes not yet due, and subject only to the exceptions noted on Exhibit 10.D., attached and incorporated here through reference.
- C. *Form of Documents*: The Security Agreement, Pledge Agreement, Financing Statement and Note, shall be in a form satisfactory to Wake and shall provide among other things, that in the event of default by the Fire Department of any agreement, covenant or condition contained in this Loan Agreement, or in the Promissory Note, Pledge Agreement or Security Agreement, Wake may, at its option, in addition to all other remedies, take possession of the property given as security. Wake shall be under no obligation to exercise this right and its action in this respect shall be wholly at its option.
- D. *Performance Bond/Surety Bond*. The Fire Department will not be required to purchase a performance bond in the form of a surety bond as surety to ensure performance by the manufacturer – so long as the Fire

Truck has been delivered to the Rolesville Rural Fire Department, Inc. prior to the closing date of this Loan, and so long as the Fire Truck has been built to and meets all specifications as originally required by the Fire Department.

- E. *Title to Vehicle - Wake Electric Membership Corporation as First Lienholder.* As further security for this loan transaction, Wake Electric Membership Corporation will be identified and listed on the Title (with North Carolina Division of Motor Vehicles) to the Fire Truck as the First Lienholder. The Title will be delivered directly to Wake Electric Membership Corporation to Cynthia M. Currin, General Counsel, at 228 Park Avenue, Youngsville, North Carolina 27596. Title to the vehicle will remain in the possession of Wake Electric Membership Corporation until payment is made in full.
 - F. *Right to Inspect:* Wake shall, until the Promissory Note has been fully repaid, including any interest that may be owed, have the right at all reasonable hours to inspect and audit all books, records, contractual documents and other papers related to the business of the Fire Department; and Wake shall have free access to the Property and the Equipment listed on Exhibit 10.A. for the purpose of inspection or audit and also for the purpose of determining the condition of the property/equipment. In addition, the Fire Department shall provide Wake with financial statements at least annually, no later than five (5) months after the close of the Fire Department's fiscal year.
10. **Insurance:** The Fire Department shall have and maintain insurance at all times with respect to all Loan collateral against risks of fire and extended coverage, theft, and other risks as Wake may require and, in the case of motor vehicles, collision, containing terms, in a form, for a period and written by companies as may be satisfactory to Wake. The Fire Department will provide a Certificate of Insurance establishing that Wake EMC is the insured for this vehicle. The Fire Department agrees that if there is damage of any type to the loan collateral, that the Fire Department will either: (1) replace or repair the collateral in a manner (and to the extent and based on a time frame) satisfactory to Wake, or (2) repay the amount of the loan, in full, including all loan servicing charges and any interest which may be due in accordance with the Promissory Note, within 30 days of the date of damage.
11. **Debtor Representations:** In order to induce Wake to make the Loan, the Fire Department represents and warrants:
- A. *Action, Suit, Proceeding:* That it is not a party to any action, suit or proceeding pending, or, to the knowledge of the Fire Department, threatened at law or in equity before any court or administrative officer or agency which brings into question the validity of the transaction

contemplated by this Agreement or might result in any adverse change in the business or financial condition of the Fire Department.

- B. *No Default:* That the Fire Department is not in default of any obligations, covenants, or conditions contained in any bond, debenture, note, or other evidence of indebtedness or any mortgages or collateral instruments securing the same. The making of this Agreement and the consummation of the transaction contemplated will not violate any provision of law or result in a breach or constitute a default under any agreement to which the Fire Department is a party or result in a creation of any lien, charge or encumbrance upon any of its property or its assets.
- C. *Filing of Tax Returns:* The Fire Department has filed all tax returns which are required to be filed and has paid or made provision for the payment of all taxes which have or may become due pursuant to the returns or pursuant to any assessments received by them. No tax liability has been asserted by the Internal Revenue Service or other taxing agency, federal, state or foreign, for taxes materially in excess of those already provided for and the Fire Department knows of no basis for any deficiency assessment.
- D. *Indemnification:* The Fire Department indemnifies and holds Wake harmless against any losses, claims, damages, or liabilities to which it may be subject as a result of any claim for services in the nature of a finder's fee or commission with respect to the transaction contemplated or arising out of the Loan and will reimburse Wake for any legal or other expenses incurred by it in investigating or defending any claim or liability asserted.
- E. *Use of Proceeds:* The Fire Department shall use all of the proceeds of this loan for the purposes stated in Sections 1 and 8 of the Agreement.
- F. *Authority to Complete Transaction:* The Fire Department has the complete and full authority to complete the transactions contemplated by this Agreement and use the loan funds for the purposes provided in Sections 1 and 8 of this Agreement. The Fire Department has the authority to participate in this project.
- G. *Conflict of Interest:* None of the members of the Fire Department Board of Directors or the Fire Department employees, or any close relatives of the Fire Department Board of Directors or the Fire Department employees are directors, officers, or the manager of Wake, except as disclosed in Exhibit 12.G. attached. Close relative for the purpose of this provision shall mean a spouse, child, grandchild, parent, grandparent, brother, or sister.

- H. *Coastal Barrier Restrictions*: The project is not going to be located within an area that is subject to the Coastal Barriers Resources Act, and funds will not be used to promote the development of coastal barriers.
 - I. *No Transfer of Business Activity*: The project will not result primarily in the transfer of any existing employment or business activity from one area to another.
12. **Conditions of Loan**: The making of the Loan shall be subject to the following conditions precedent:
- A. *Representations and Warranties are True*: All of the representations and warranties contained in this Agreement shall be true and correct on and as of the closing date.
 - B. *Transactions are Satisfactory*: All proceedings taken in connection with the transaction contemplated by this Agreement and all documents incidental to the transactions shall be satisfactory in form, scope, and substance to Wake's counsel, and Wake shall have received copies of all documents which it or its counsel may request in connection with the transaction in form, scope, and substance satisfactory to its counsel.
 - C. *Consents Obtained*: All necessary approvals or consents, if any approvals or consents are required, of governmental bodies shall have been obtained or will be prior to construction. The Fire Department warrants that no approval is required from the Local Government Commission.
 - D. *Corporate or Governmental Authorization*: If the Fire Department, or any entity constituting part of the Fire Department, is a corporation (or a governmental body), there shall be delivered to Wake (with respect to each corporation or governmental body, if there be more than one) a copy of the record of minutes of the Board of Directors of each corporation (or the Board of the governing body) or a resolution in form and substance satisfactory to Wake, specifically authorizing its officers to execute this Agreement, and all other documents necessary to the consummation of this transaction. The record of the minutes of the Board, or resolution, shall be certified to be true by the secretary or assistant secretary of the corporation, or by the official Clerk of the governmental body.
 - E. *Expenses*: The Fire Department shall have paid (or, at the option of Wake, will pay promptly after closing) all reasonable expenses in connection with the Loan including, but not limited to, expenses for appraisals, re-appraisals, surveys, searches, guarantees, policies of title insurance, examination of title, perfecting and recording papers, whether or not a loan is made.

- F. *Mortgagee Approval Obtained:* All necessary approvals or consents required with respect to this transaction by any mortgagee or other party having any interest in the Equipment or the Property. The failure to have obtained any consents shall constitute a default of this Agreement.
 - G. *Debarment Certification:* The Fire Department shall have completed the certification form attached as Exhibit 13.G. “Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion – Lower Tier Covered Transactions.” In addition, the Fire Department shall require that the same form be completed in conjunction with any lower tier covered transactions as provided in 7 CFR Part 3017.
13. **Affirmative Covenants:** Until the Note is paid in full and all of the other payments due Wake have been paid and the performance of all of the terms, conditions, and provision of this Agreement and any Security Agreement have been complied with, the Fire Department shall cause the following to be done:
- A. *Information to be Provided:* The Fire Department will deliver to Wake within fifteen days after any written request therefore from Wake information as may be reasonably necessary to determine whether the Fire Department is complying with its covenants and agreements contained in this Loan Agreement or an Event of Default has occurred.
 - B. *Payment of Note:* The Fire Department will punctually pay or cause to be paid the principal and any interest as it becomes due in accordance with the terms of the Note:
 - C. *Payment of All Taxes and Assessments:* The Fire Department will, upon demand, promptly pay and discharge all taxes, assessments, or other governmental charges which may lawfully be levied or assessed on its income or profits or on any property, real, personal, or mixed, belonging to it or upon any part thereof, and also all lawful claims for labor or material and supplies, which, if unpaid, might become a lien or charge upon any property except that the Fire Department shall not be required to pay any taxes, assessments, charges, levies, or claims so long as the validity of the taxes, assessments, charges, levies, or claims are being actively contested in good faith by proper proceedings, provided that any taxes, assessments, charges, levies, or claims shall be placed in escrow during the proceedings and shall be paid upon a final adjudication and order to pay from a court of competent jurisdiction.
 - D. *Payment to Other Debtors:* The Fire Department will, upon demand, pay or cause to be paid the principal and interest on all indebtedness to other lenders incurred or assumed by it when and as the same shall become due and payable unless the indebtedness is renewed or extended, and will observe, perform, and discharge, all of the covenants, conditions, and obligations, which are imposed on it by any and all agreements securing

or evidencing an encumbrance upon the Equipment or the Property to prevent an occurrence of any act or omission which under the provisions may be declared to be a default which could result in a lien being placed upon the Equipment or the Property.

- E. *Security Maintenance:* The Fire Department will at all times cause all of the property to be maintained and kept in condition and repair such that Wake's security will be adequately protected.
- F. *Covenants are Severable:* In the event that any provision of this Agreement or any other instrument executed at closing or the loan application shall be declared unenforceable by a court of competent jurisdiction, the remainder of the agreement or instrument, including the loan application, shall nevertheless remain in full force and effect, and to this end, the provisions of all covenants, conditions, and agreements described in this Agreement are deemed separate.
- G. *Insurance on Equipment and Property:* The Fire Department will keep the Equipment and Property insured by financially sound and reputable insurers, that have been approved by Wake, against loss or damage by fire, explosion, and other hazards customarily insured against by extended coverage for the full insurable amount of the property. If a loss occurs, the Fire Department will comply with paragraph 11. The Fire Department will also maintain, with financially sound and reputable insurers, insurance against other hazards and risks including Worker's Compensation Insurance, as appropriate.
- H. *Notice of Public Hearing:* The Fire Department will give Wake prior notice, in writing, of any public hearing or meeting before any administrative or other public agency which may, in any manner, affect the Project, the Equipment or the pledged assets.
- I. *Statements Showing Expenditures:* The Fire Department will furnish from time-to-time, whenever requested, statements showing itemization of prospective expenditures, expenditures to date, items due and unpaid, and itemized statements with receipted bills and other evidence satisfactory to Wake.
- J. *Additional Assurances:* From time-to-time, the Fire Department will execute and deliver any and all further, or other, instruments, and perform such acts, as Wake or its counsel may reasonably deem necessary or desirable to confirm and secure to Wake all rights and remedies conferred upon Wake by the terms of this Agreement and by the Note.
- K. *Other Considerations:* The loan may be provided pursuant to the Rural Business-Cooperative Service Economic Development Loan and Grant program. The Rural Business-Cooperative Service is a United States

Government administrative agency. Since the Loan is being made as part of a federal program the Loan is subject to the various acts and restrictions provided in 7 CFR §1703. To the extent that the project, Loan and the Fire Department may be subject to the acts and restrictions provided in 7 CFR §1703, the Fire Department agrees to comply with the same.

- L. *Wake Assurances:* Upon payment or provision for payment in full of all of the Fire Department's obligations hereunder, including the Loan balance then outstanding and all other payments due hereunder, Wake, at the Fire Department's request, shall cancel the Security Agreement, Pledge Agreement and UCC-1 Financing Statement and this Agreement will terminate.

14. **Negative Covenants:** Until payment in full of the Note and performance of all the obligations of this Agreement, the Fire Department will not do the following.

- A. *No Liens or Encumbrances:* The Fire Department will not create nor suffer to exist any mortgage, pledge, lien, charge, or encumbrance, including liens arising from judgments, on the Equipment, which remain on the property for more than ten days, except for taxes not delinquent or which are being contested in good faith and by appropriate proceedings.
- B. *Sale Outside of the Ordinary Course of Business:* The Fire Department will not sell nor convey nor suffer to be conveyed any of their property in a manner that is not in the ordinary course of its business during the terms of its obligation to Wake.

15. **Additional Covenants:**

- A. *Expenses:* The Fire Department agrees to pay all costs and taxes that might be imposed or determined to be payable in connection with the execution, issuance, or delivery of the Note, or in connection with any modification, amendment, or alteration of the terms and provisions of this Agreement, and to save Wake and any other holder of the Note harmless against any and all liability with respect to the Note, all of which agreements of the Fire Department shall survive payment of the Note.
- B. *Expenses of Collection or Enforcement:* If the Fire Department shall at any time default in making any payment on the Note, the Fire Department agrees that it will, to the fullest extent permitted by law, pay to the holder of the Note, in addition to any other amounts that may be due from the Fire Department to the holder, an amount equal to the costs and expenses of collection or enforcement incurred by the holder in the collection.
- C. *Expenses of Correction by Wake of Default:* In the event of any default by Fire Department in the full performance or observance of any covenant or agreement contained in this Agreement or in the Note, Wake may, upon

15 days' written notice to the Fire Department, and at Wake's sole option (but without any obligation of Wake to do so), take any steps necessary or appropriate to correct or remedy the default in whole or in part, and all costs and expenses incurred by Wake in taking the steps (including reasonable attorneys' fees incurred by Wake and including any other sums paid or payable by Wake to third parties) shall upon written demand by Wake be due and payable by the Fire Department, with interest (payable on the first day of each calendar month) from the time of occurrence by Wake at the rate of 10% per annum until paid. In the event Wake takes any action provided for in the preceding sentence, the commencement or taking of the action shall not be deemed to be a waiver by Wake of the default of the Fire Department or a waiver of any other available remedy of Wake by reason of the default.

16. **Restrictions on Use of Funds:** The Fire Department warrants and represents that loan funds will not be used for the following purposes:

- A. *Funds not to be used to Purchase Assets from Wake:* None of the loan funds will be used by the Fire Department to purchase or lease any real property, materials, equipment, or services from Wake, or officers, directors, or the manager of Wake, or close relatives of officers, directors, or the manager of Wake, except as disclosed on Exhibit 17.A. attached. Close relative for the purpose of this provision shall mean a spouse, child, grandchild, parent, grandparent, brother, or sister.
- B. *Funds not to be used for Electric Purposes:* None of the funds will be used by the Fire Department for electric or telephone purposes.
- C. *Not Used for Feasibility Studies:* None of the loan funds will be used by the Fire Department for the purposes of completing feasibility studies, unless the studies are being completed in conjunction with the project for which loan funds are being provided.

17. **Events of Default:** The principal indebtedness evidenced by the Note or the unpaid balance of the Note at the time outstanding, shall be due and payable at the election of Wake if any one or more of the following events (hereafter called "Events of Default") shall occur for any reason whatsoever, and whether the occurrence shall be voluntary, involuntary, or come about or be affected by operation of law, or pursuant to or in compliance with any judgment, decree, or order, of any court or any order, rule or, regulation, of any administrative or government body.

- A. *Failure to Pay Note When Due:* Default shall be made in payment on the Note when due and payable, and such default be continued for a period of 50 days; or
- B. *Failure to Comply with Covenants:* Default shall be made in the performance or observance of any of the covenants or agreements

contained in Sections 12, 14, 15, 16 and 17, or of any other provision of this Loan Agreement; or

- C. *Representations in Agreement:* Any representation or warranty made by the Fire Department or any statement or representations made in any certificate, statement, or opinion, delivered pursuant to this Loan Agreement shall prove to have been incorrect in any material respect as of the date when made; or
 - D. *Default in Covenants:* Default shall be made in the performance or observance of any of the other covenants or agreements of the Fire Department contained in this Agreement not covered by (A), (B) or (C) above, and the default shall have continued for a period of 30 days after written notice to the Fire Department by Wake; or
 - E. *Insolvency or Bankruptcy:* The Fire Department shall admit in writing its inability to pay its debts generally as they become due, make an assignment for the benefit of creditors, file a petition in bankruptcy, be adjudicated insolvent or bankrupt, petition or apply to any tribunal for the appointment of any receiver or trustee, or commence any proceedings under any arrangement, readjustment of debt, or statute of any jurisdiction, whether now or hereafter in effect; or there is commenced against the Fire Department any such proceedings which remains undismissed for a period of 30 days; or
 - F. *Consent to Proceeding:* The Fire Department by any act indicates its consent to, approval of, or acquiescence in any proceedings or in the appointment of any receiver or of any trustee for the Fire Department with respect to a substantial part of its property; or
 - G. *Final Judgment:* If any final judgment for the payment of money that is not fully covered by liability insurance and is in excess of \$10,000.00 shall be rendered against the Fire Department and the judgment is not discharged within 30 days; or
 - H. *Change in Ownership or Control:* If the Fire Department during the term of this Loan affects a change in ownership or control of the business or its assets without the prior written consent of Wake.
18. **Funds to be Used for Public Purpose:** The parties acknowledge that the loan will be used for a public purpose. In addition, the Fire Department acknowledges that it will use its best efforts to defend against any lawsuit that may be brought that challenges the Fire Department's use of the Loan or its right to participate in Wake's Revolving Loan Program and other Loan Programs.

19. **Waiver of Notice:** The Fire Department and Guarantors expressly waive any requirement for presentation, demand, protest, notice of protest or other notice or dishonor of any kind, other than notice specifically provided for in this Agreement.
20. **Notices:** All notices, demands and communications shall be delivered, or sent by certified mail, return receipt requested, addressed in each case as follows, until some other address shall have been designated in a written notice to the other parties:

To the Fire Department: Rolesville Rural Fire Department, Inc.
 104 East Young Street
 Rolesville, North Carolina 27571

 Attention: Fire Chief

To Wake: Wake Electric Membership Corporation
 100 South Franklin Street
 P.O. Box 1229
 Wake Forest, North Carolina 27588

 Attention: General Manager

Notice shall be deemed to have been given when mailed.

21. **Survival of Representations, Warranties, and Obligations:** All representations and warranties contained in this Agreement shall survive the execution and delivery of this Agreement and of the Note, Security Agreement, and Financing Statements, and Pledge Agreement and any investigation at any time made by Wake or on its behalf, and any sale or transfer of the Note, Security Agreement, Financing Statements and Pledge Agreement. All obligations of the Fire Department, and Guarantors (if there are any), under this Loan Agreement, and under the Note, the Security Agreement and Pledge Agreement, which have not been fully performed, paid and satisfied at the time of closing of the Loan, shall survive the closing.
22. **Construction and Amendment:** This Loan Agreement constitutes the entire agreement between the parties pertaining to the subject matter and supersedes all prior and contemporaneous agreements and understandings of the parties in connection with it. This Agreement may not be changed, amended, or terminated orally but only by agreement in writing and signed by the party against whom enforcement of any change, amendment, or termination is sought.
23. **Payment:** The Fire Department will pay to Wake at its address specified in Section 20, or at such other address as it may designate in writing, all amounts payable with respect to the principal of, and interest on, any Note held by Wake.
24. **Successors and Assigns:** All covenants, agreements, representations, and warranties made in this Agreement or in certificates delivered in connection herewith shall,

whether so expressed or not, bind and inure to the benefit of the successors and assigns of the Fire Department and Wake.

25. **Counterparts**: This Agreement may be executed in two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.
26. **No Waiver; Remedies Cumulative**: No exercise, partial exercise, failure, or delay on the part of Wake in exercising any power or right under this Agreement, or under the Note, or Security Agreement, shall operate as a waiver of the power or right, except as specifically provided in this Agreement. No remedy conferred in this Agreement or in the Note, or Security Agreement, is intended to be exclusive, to any other remedy, and each and every other remedy existing at law or in equity or by statute or otherwise, may be sought by the enforcing party.
27. **Execution by Additional Parties and Guarantors**: When any party other than those named at the outset of this Agreement join in the signing of this Agreement, they have done so for the purpose of consenting to all of the terms and conditions of this Agreement and agree to be bound by it. Any party who has signed this Agreement as Guarantor shall be deemed to have guaranteed performance by the Fire Department of all of its obligations and under the Note, Security Agreement, Financing Statements, and Pledge Agreement, and all such persons or entities who have signed as Guarantor shall be deemed to have made the guarantee unconditionally, and they shall be jointly and severally liable for the performance by the Fire Department of all of the obligations.
28. **Governing Law**: This Agreement and the Note, the Security Agreement, the Financing Statements and Pledge Agreement, shall be governed by and interpreted in accordance with the laws of the State of North Carolina.
29. **RUS Review**: This Agreement may be subject to review and approval by the Rural Business-Cooperative Service and will not be binding on the parties until approval is obtained. In addition, no amendments will be made to this Agreement until they have been approved by the Rural Business-Cooperative Service.
30. **Indemnity**: The Fire Department shall indemnify and save Wake harmless from any and all liability, loss, damage, expense, causes or action, suits, claims or judgments arising from any type of claim, as well as from injury to person or property resulting from or based upon the actual or alleged use, operation, delivery or transportation of any or all of the Equipment or its location or condition; and shall, at its own cost and expense, defend any and all suits which may be brought against Wake, either alone or in conjunction with others upon any such liability or claim or claims and shall satisfy, pay and discharge any and all judgments and fines that may be recovered against Wake in any such action or actions, provided, however, that Wake shall give the Fire Department written notice of any such claim or demand.

IN WITNESS WHEREOF, this Agreement is entered by the parties as of the day first above written.

ROLESVILLE RURAL FIRE DEPARTMENT, INC.

[CORPORATE SEAL]

By: _____
Charles Spencer Jones, President

Attest:

Frank Pearce, Jr., Secretary

STATE OF NORTH CAROLINA

COUNTY OF WAKE

I, Rachel G. Roberson, a Notary Public of Franklin County and State aforesaid, certify that **Frank Pearce, Jr.**, as Secretary of Rolesville Rural Fire Department, Inc., personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this ___ day of June, 2022.

Rachel G. Roberson, Notary Public

My Commission Expires: December 18, 2026

[SEAL]

WAKE ELECTRIC MEMBERSHIP CORPORATION

[CORPORATE SEAL]

By: _____
Suzanne K. Morgan, President of Board of Directors

Attest:

Robert Joe Eddins, Secretary
Wake Electric Membership Corporation, Board of Directors

STATE OF NORTH CAROLINA

COUNTY OF WAKE

I, Rachel G. Roberson, a Notary Public of the County and State aforesaid, certify that **Robert Joe Eddins**, as Secretary of Wake Electric Membership Corporation, personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this _____ day of _____, 2022.

Rachel G. Roberson, Notary Public

My Commission Expires: December 18, 2026

[SEAL]

Exhibit 10.A.
Loan Security – Personal Property/Equipment

(List all property which will be used to secure the Loan below.)

See U.C.C. Financing Statements. The list of property from the U.C.C. Financing Statements is incorporated herein by reference.

- (1) Fire Truck – The VIN # on the Fire Truck is # _____. The Specifications are as set forth in Paragraph 1 of this Loan Agreement and also as set forth in Attachment A.

- (2) Pledged Assets - Personal property in the form of assets pledged by Debtor to Secured Party pursuant to the Pledge Agreement executed of even date, whereby Debtor pledges as security for its Loan Agreement (of even date) including payments received by the Debtor from the following sources: Town of Rolesville, Wake County and revenues from Fire Tax District Taxes. Debtor will be setting aside, in a separate account, by February 1, of each year, revenues in the amount of \$40,000.00, to be used exclusively for its annual payment to Wake Electric Membership Corporation pursuant to the Loan Agreement, Security Agreement and Promissory Note of even date.

Exhibit 10.D.

Exceptions to Real Estate Title

(If no exceptions, state, None.)

Exhibit 12.G.

Fire Department-Conflict of Interest

(Provide information regarding close relatives as required. If none, state "None.")

Except

Rodney Privette, Fire Chief of the Rolesville Rural Fire Department, Inc. serves on the Board of Directors of Wake Electric Membership Corporation ("Wake EMC"). Therefore, in accordance with the Wake EMC Policies, Rodney Privette has not participated in actions by the Wake EMC Board of Directors to approve this Loan. Instead, Rodney Privette has left the Wake EMC Board Room when this Loan was discussed and approved. The Wake EMC Board has also approved Loans to the following local Fire Departments: (1) Wake Forest; (2) Youngsville; (3) Creedmoor, and; (4) Oxford. The Wake EMC Board of Directors has required the same liens and security interest for this Loan as for all other Loans to local Fire Departments.

Frank Pearce, Jr. is the Secretary of the Rolesville Rural Fire Department, Inc. Mr. Pearce is a member of Wake Electric Membership Corporation. Mr. Pearce is a Member of the Board of Directors of Wake Electric Care, Inc. (Operation Round Up). However, Mr. Pearce has had no role in the Wake EMC board's decision to provide this Loan to the Rolesville Rural Fire Department, Inc.

Exhibit 17.A.

Purchase from Close Relatives

(Assets or Services to be provided from Close Relative with Loan Funds.)

None

NORTH CAROLINA

June 3, 2022

WAKE COUNTY

PLEDGE AGREEMENT

In consideration of a zero (0%) percent interest loan of \$400,000.00 and other good and valuable considerations, Rolesville Rural Fire Department, Inc., (“Debtor”) hereby pledges to Wake Electric Membership Corporation (“Lender” or “Wake”), the following assets: specific payments made to the Debtor from the following revenues: Town of Rolesville, Wake County, and revenues from “Fire Tax” District Taxes. The Debtor will set aside in a separate account by February 1 of each year, \$40,000.00 to be used exclusively to pay the annual payment owed to WEMC based on the terms of the Promissory Note and Loan Agreement related to this Pledge Agreement and executed on the same date. The Debtor will pay the full annual amount due by July 1 of each year of the 10-year term, with the first payment due and payable on July 1, 2023. This Pledge is conditional such that, if Debtor timely and faithfully repays in annual installments the amounts required toward the total loan of \$400,000.00, as indicated in the Promissory Note and Loan Agreement executed between the parties bearing the same date hereof, Debtor shall be entitled to remain in possession of the pledged assets. Should Debtor default in any annual installment repayment of the loan proceeds, and such default not be remedied within 15 days from and after the default, Lender shall be authorized access to Debtor’s premises, bank accounts and other locations where any of the pledged assets may be found and shall be entitled to take immediate possession of those funds pledged to Wake for that year. Also of even date herewith, Debtor has entered into and executed a Security Agreement and a UCC-1 Financing Statement, both running in favor of Lender. “After-acquired” assets and payments will be covered and will serve as additional collateral under the UCC-1 Financing Statement and the Security Agreement. When all payments on the outstanding balance due on the loan of \$400,000.00 have been made, this Pledge will be cancelled. In no event shall Lender be authorized to take possession of the assets, accounts, monies and other goods pledged herein by Debtor as long as the Debtor is not in default of any of the terms of the Promissory Note or Loan Agreement executed as of even date herewith.

IN WITNESS WHEREOF, Debtor has executed this Pledge Agreement on or as of this 3rd day of June, 2022.

ROLESVILLE RURAL FIRE DEPARTMENT, INC.

[SEAL]

By: _____
Charles Spencer Jones, President

Attest:

Frank Pearce, Jr., Secretary

STATE OF NORTH CAROLINA

COUNTY OF WAKE

I, Rachel G. Roberson, a Notary Public of the County of Franklin, North Carolina, certify that **Frank Pearce, Jr.**, as Secretary of Rolesville Rural Fire Department, Inc. personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 3rd day of June, 2022.

Rachel G. Roberson, Notary Public

My Commission Expires: December 18, 2026

[SEAL]

SECURITY AGREEMENT

1. **Parties.** This agreement is made the 3rd day of June, 2022, between the Rolesville Rural Fire Department, Inc., hereafter called "Debtor" and Wake Electric Membership Corporation, herein called "Secured Party".
2. **Loan and Security Interest.** Debtor acknowledges the loan of \$400,000.00 which amount will be advanced to Debtor by Secured Party in accordance with the terms of the Loan Agreement of even date and Debtor agrees to repay said amount according to the terms of said Promissory Note and Loan Agreement. In consideration thereof, Debtor is executing a UCC Financing Statement, of even date.
3. **Default.** Failure by the Debtor to make the payment as provided in the aforesaid Promissory Note or to comply with the terms of the Loan Agreement shall constitute default under this Agreement. Upon default and at any time thereafter Secured Party may declare the obligations secured due and payable and shall have the remedies of a Secured Party under the Uniform Commercial Code. Secured Party may require Debtor to make the collateral available to Secured Party. Expenses of executing on the Loan Agreement, Promissory Note and UCC Financing Statement shall include Secured Party's reasonable attorneys' fees and legal expenses.

This the 3rd day of June, 2022.

ROLESVILLE RURAL FIRE DEPARTMENT, INC.

[SEAL]

By: _____
Charles Spencer Jones, President

[ATTEST]

Frank Pearce, Jr., Secretary

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, Rachel G. Roberson, a Notary Public of the County of Franklin, North Carolina, certify that **Frank Pearce, Jr.**, as Secretary of Rolesville Rural Fire Department, Inc., personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 3rd day of June, 2022.

Rachel G. Roberson, Notary Public

My Commission Expires: December 18, 2026

[SEAL]

STATE OF NORTH CAROLINA

COUNTY OF WAKE

PROMISSORY NOTE

\$400,000.00

Date: June 3rd, 2022

The undersigned promises to pay to the order of Wake Electric Membership Corporation ("WEMC") located at 228 Park Avenue, Youngsville, North Carolina 27596, all money advanced under this Promissory Note, up to and including \$400,000.00 without interest, in annual installments as described further in this Promissory Note, the first installment being due and payable on the 1st day of July, 2023.

The terms and conditions of the payment of the principal and any interest, if any, is as follows:

1. Payments: Annual payments, based upon the amount advanced, shall be paid beginning on the date provided above, and on the first (1st) day of July each year. The Payment Schedule for the 10-year term of the Loan is attached hereto as Attachment A and hereby incorporated by reference. The check from the Rolesville Rural Fire Department, Inc. shall be hand delivered to Wake Electric Membership Corporation annually as set forth on Attachment A. The balance of the principal and interest shall be due and payable on or before July 1, 2032

2. Basis for Determining the Amount of Annual Payment: The annual payment shall be the amount of the outstanding principal divided by the number of years remaining in the loan term as set forth on Attachment A.

3. Default: The failure to make an annual payment or the failure to comply with any of the terms of the Loan Agreement, Pledge Agreement, Security Agreement or UCC Financing Statement, securing this note will constitute the default of this Promissory Note. In the event of default, the entire balance of the principal remaining shall at the option of WEMC, and without notice to the undersigned, be automatically due and payable. Failure to exercise this option shall not constitute a waiver of the right to exercise the same at any other time. The principal of this note and any part thereof shall bear interest at the rate of 18% per annum after default until paid. WEMC, upon default, shall have the right to employ an attorney and enforce its rights and remedies and the undersigned agrees to pay to WEMC attorneys' fees plus any costs incurred by WEMC in exercising its rights and remedies upon default.

4. Waiver of Presentment: All parties to this note, whether principal, surety, guarantor, or endorser, hereby waive presentment for payment, demand, protest, and notice of dishonor, and all defenses on the grounds of extension of time for the payment hereof, which may be given by the holder of the note or to anyone that has assumed the payment of this Promissory Note.

5. Security Agreements: This Promissory Note is secured by a Security Agreement, a Pledge Agreement and a UCC Financing Statement that are being entered at the same time and in conjunction with the entering of this Promissory Note. WEMC is entitled to the security granted it under these documents.

6. Prepayment Allowed: This Promissory Note may be prepaid in full or in part at any time without penalty or premium.

7. Jurisdiction: This Promissory Note is to be governed and construed according to the laws of the State of North Carolina.

IN TESTIMONY WHEREOF, the undersigned has caused this Promissory Note to be executed under seal in its corporate name and its corporate seal to be hereby affixed, all by order of the Board of Directors first duly given, the day and year first above written.

ROLESVILLE RURAL FIRE DEPARTMENT, INC.

(SEAL)

By: _____
Charles Spencer Jones, President

Attest:

Frank Pearce, Jr., Secretary

STATE OF NORTH CAROLINA

COUNTY OF WAKE

I, Rachel G. Roberson, a Notary Public of Franklin County, North Carolina, certify that **Frank Pearce, Jr.**, as Secretary of Rolesville Rural Fire Department, Inc., personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this 3rd day of June, 2022.

Rachel G. Roberson, Notary Public

My Commission Expires: December 18, 2026

[SEAL]

Attachment A to Promissory Note

PAYMENT SCHEDULE

Rolesville Rural Fire Department, Inc. will make annual payments to Wake Electric Membership Corporation over the 10-year term of this Loan. This is a summary of the minimum payment schedule. The payments will be made to Wake Electric Membership Corporation, Post Office Box 1229, Wake Forest, North Carolina 27588-1229 by personal hand delivery of the check to C. Fred Keller (with Wake EMC Community Services) at 228 Park Avenue, Youngsville, North Carolina 27596 (or to whatever employee Wake Electric Membership Corporation hereinafter designates for such delivery at whatever address is designated by Wake Electric Membership Corporation) by the following due dates:

<u>Payment #</u>	<u>Due Date</u>	<u>Amount of Payment</u>
1.	July 1, 2023	\$40,000.00
2.	July 1, 2024	\$40,000.00
3.	July 1, 2025	\$40,000.00
4.	July 1, 2026	\$40,000.00
5.	July 1, 2027	\$40,000.00
6.	July 1, 2028	\$40,000.00
7.	July 1, 2029	\$40,000.00
8.	July 1, 2030	\$40,000.00
9.	July 1, 2031	\$40,000.00
10.	July 1, 2032	\$40,000.00

CLOSING STATEMENT

WAKE EMC LOAN TO ROLESVILLE RURAL FIRE DEPARTMENT, INC.

June 3, 2022

I. Funds To Be Received by James S. Warren of
Warren, Shackelford & Thomas, PLLC (Counsel for Fire Department)

- A. From Wire Transfer by Wake Electric Membership Corporation by June 3, 2022 to James S. Warren of Warren, Shackelford & Thomas, PLLC Trust Account \$400,000.00
- B. From Wire Transfer by Rolesville Rural Fire Department, Inc. by June 3, 2022 to James S. Warren of Warren, Shackelford, & Thomas, PLLC Trust Account for payment of Principal to Civic Federal Credit Union. \$ _____
- C. From Wire Transfer by Rolesville Rural Fire Department, Inc. by June 3, 2022 to James S. Warren of Warren, Shackelford & Thomas, PLLC Trust Account for payment of Interest to Civic Federal Credit Union (2.6% Interest from February, 2021 to Closing Date). \$ _____

II. Payment to Civic Federal Credit Union.

James S. Warren of Warren, Shackelford & Thomas PLLC, will pay total funds owed by Rolesville Rural Fire Department, Inc. directly to Civic Federal Credit Union on June 3, 2022. \$4_____.00

APPROVED:

Rolesville Rural Fire Department, Inc.

By: _____
Charles Spencer Jones, President

By: _____
James S. Warren, Counsel for

APPROVED:

Wake Electric Membership Corporation

By: _____
Kirk T. Metcalf, Manager of Member Services

By: _____
Cynthia M. Currin, General Counsel

Rolesville Rural Fire Department, Inc.



Memorandum

To: Mayor and Town Board
From: Mical McFarland, Community & Economic Development Manager
Date: July 6, 2022
Re: Agenda Item B.3 Capital Project Ordinance – Amended for Main Street Project Design

Background

Over the course of the last two years of design work for the Main Street LAPP project, there have been unforeseen costs for NCDOT review, easements, and demolition. The following unanticipated expenses include:

NCDOT review and technical assistance	\$66,000
Easements and ROW acquisition	\$78,000
Demolition and Permits	\$22,000
Total amount requested	\$166,000

The existing project budget has been used to pay for these costs, but additional expenditures remain to complete the right of way acquisition, so a budget amendment is requested to ensure there will be enough funds to finish out the project. Staff is asking the Board to approve the attached capital project ordinance for the Town to cover these services and activities and balance the project budget.

Relationship to Current Budget/Goals

One key focus area of the 2020-2022 Strategic Plan is *Mindful Growth*, under which is the following goal:

- Implement the Main Street Vision Plan

Recommended Action

I move approval of the amended capital project ordinance for the Main Street Vision Plan as presented.

Attachments: Capital Project Ordinance

**CAPITAL PROJECT ORDINANCE
FOR THE TOWN OF ROLESVILLE**

BE IT ORDAINED by the Board of Commissioners of the Town of Rolesville, North Carolina that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project ordinance is hereby adopted:

Section 1. The project authorized is the implementation of the Main Street Vision Plan including the realignment of Burlington Mills Road near South Main Street and pedestrian and street improvements along South Main Street between Burlington Mills Road and Young Street.

Section 2. This capital project ordinance amends the previous capital project ordinance of September 7, 2021 to reflect an additional \$166,000 appropriation for DOT review, easement acquisition, and demolition.

Section 3. The officers of this unit are hereby directed to proceed with the capital project within the terms of the budget contained herein.

Section 4. The following amounts are appropriated for the project:

	<u>FY18-19</u>	<u>FY19-20</u>	<u>FY20-21</u>	<u>FY21-22</u>	<u>FY22-23</u>	<u>Total</u>
Design & Acquisition	\$400,000	\$572,256	\$228,000	\$1,006,500	\$166,000	\$2,372,756

Section 5. The following revenues are anticipated to be available to complete this project:

	<u>FY18-19</u>	<u>FY19-20</u>	<u>FY20-21</u>	<u>FY21-22</u>	<u>FY22-23</u>	<u>Total</u>
Capital Rsv for street fees	\$200,000	\$310,000		\$85,000		\$595,000
Reimbursements		87,256		200,000		287,256
General Fund transfer	<u>200,000</u>	<u>175,000</u>	<u>228,000</u>	<u>721,500</u>	<u>166,000</u>	<u>1,490,500</u>
	\$400,000	\$572,256	\$228,000	\$1,006,500	\$166,000	\$2,372,756

Section 6. The Finance Officer is hereby directed to maintain within the Capital Project Fund sufficient specific detailed accounting records. The Finance Officer is directed to include an analysis of past and future costs and revenues on this capital project in the annual budget submission made to the Board.

Section 7. Copies of this capital project ordinance shall be furnished to the Town Clerk, the Budget Officer, and the Finance Officer for direction in carrying out this project.

Adopted this 6th day of July 2022

Ronnie I. Currin
Town of Rolesville Mayor

Attest: _____
Robin E. Peyton
Town Clerk

**STATE OF NORTH CAROLINA
TOWN OF ROLESVILLE**

**TOWN OF ROLESVILLE
BOARD OF COMMISSIONERS
SUP 21-01
(amending SUP 18-01)**

**RE: THALES ACADEMY &
PULTE HOMES COMPANY, LLC
2028 & 2206 WAIT AVENUE**

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**ORDER OF DENIAL
SPECIAL USE PERMIT
AMENDMENT**

THIS MATTER COMING ON to be heard before the Board of Commissioners of the **TOWN OF ROLESVILLE** (“the **Board**”) at its April 5, 2022 regular meeting, and there continued to May 3, 2022 upon the application of **THALES ACADEMY**, (“**Owner**”), and **PULTE HOMES COMPANY, LLC** (“**Developer**”) (Owner and Developer collectively, “**Applicant**”) for an amendment to SUP 18-01 to allow for a mixed use development Wait Avenue in Rolesville, North Carolina, proposing both residential and commercial uses (the “**Project**”). Based on that hearing, the admitted evidence, and the sworn witness testimony, the Board makes the following findings of fact and conclusions of law:

The following Commissioners were seated for this evidentiary hearing: Mayor Pro-Tem Paul Vilga, Dan Alston, Michelle Medley, April Sneed, and Sheilah Sutton. Mayor Ronnie Currin presiding.

As SUP 18-01 was previously considered and approved under the Rolesville Unified Development Ordinance (the “**UDO**”), the instant evidentiary hearing for amendment was also heard under the dictates of the UDO to the extent consistent with the requirements of Chapter 160D of the North Carolina General Statutes.

FINDINGS OF FACT

1. The property subject to the requested Special Use Permit consists of two (2) parcels of land having PINs 1850-95-0449 and 1860-04-5778, totaling approximately 92.32 acres and commonly known as 2028 & 2206 Wait Avenue, Rolesville, North Carolina (the “**Property**”).
2. The Property is zoned R&PUD District. This is a dormant district under the current Rolesville Land Development Ordinance. Pursuant to the UDO, the R&PUD District is designated for “locations under unified control, planned as a whole, and developed in a

single operation or in a programed series of units or stages of development, with appropriate design and site planning controls.” (UDO § 4.1)

3. The Applicant proposed an amendment to the SUP to allow for the following:
 - a. The inclusion of 191 townhome single-family attached dwelling units and reduction of single-family detached dwelling units from 143 to 102.
 - b. The replacement of the single, non-residential use of a new private school campus (Thales Academy) with the designation of three (3) lots for future commercial development. No details regarding the new commercial development lots were introduced.
4. Mr. Matthew Peach, an engineer, with Stantec Consulting Services was tendered as an expert in traffic engineering and testified as an expert as to impacts of the Project upon traffic safety and congestion. The Applicant tendered as evidence a traffic impact analysis prepared by Mr. Peach’s firm in May of 2021 (the “TIA”). Mr. Peach’s analysis relied upon traffic counts from 2017 and 2018.
5. Mr. Rich Kirland, an MAI commercial appraiser, was tendered as an expert as real estate property values and to impacts of the Project upon adjoining property. The Applicant tendered as evidence Mr. Kirkland’s written analysis (the “Appraisal”) that concludes that the residential uses of the Project will not have injurious effect upon the value of adjoining property. The Appraisal did not make an assessment of the potential impacts upon adjoining property of the commercial portions of the Project.
6. Also testifying on behalf of the Applicant were Mr. Chris Raughley, vice president of entitlements and land development for the Developer and Riyad Baroudi, the Developer’s civil engineer.
7. The following were admitted into evidence at the hearing: the Rolesville Planning Staff Memo and attachments, including Location Map, Special Use Permit Application, SUP Application Maps, Neighborhood Meeting Documents, Applicant’s updated list of proposed conditions of May 3, 2022, the TIA, and the Appraisal.

CONCLUSIONS OF LAW

Based upon the evidence introduced at the hearing, the proposed use, and the findings of fact above, the Board of Commissioners finds the application fails to meet all the requirements of Section 3.6.2 of the Unified Development Ordinance, in that:

- The Applicant failed to provide competent, material, and substantial evidence that the Project and/or use will not substantially injure the value of adjoining property (UDO § 3.6.2(B));
- The Applicant failed to provide competent, material, and substantial evidence that the Project and/or uses thereon will generally conform with the Comprehensive Plan and other official plans of the Town (UDO § 3.6.2(D));
- The Applicant failed to provide competent, material, and substantial evidence that the Project and/or use will not cause undue traffic congestion or create a traffic hazard (UDO § 3.6.2(F)); and
- The Applicant failed to provide competent, material, and substantial evidence that the Project and use comply with all applicable requirements of this ordinance. (UDO § 3.6.2(G)).

ACTION

Upon a motion to deny the application for special use permit amendment made by Commissioner Sutton, which was seconded by Commissioner Medley, the Board voted in favor of the motion to deny by a vote of 5-0.

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ACCORDINGLY, based upon the foregoing FINDINGS OF FACT and CONCLUSIONS OF LAW, the Town of Rolesville Board of Commissioners hereby issues this ORDER OF DENIAL OF SPECIAL USE PERMIT AMENDMENT for application SUP 21-01.

This, the 6th day of July 2022.

Town Clerk



Memo

To: Mayor and Town Board of Commissioners
From: Meredith Gruber, Planning Director
Date: June 29, 2022
Re: Agenda Item C.2: Map Amendment (Rezoning) MA 21-08 and ANX 22-02 Barham Land

Background

Rezoning

The Town of Rolesville Planning Department received a Map Amendment (Rezoning) application in December 2021 for 12.43 acres located at 2005 and 2033 Wait Avenue with Wake County PINs 1850965586 and 1850962688. The applicant, JA2GA, LLC, is requesting to change the zoning from Wake County Highway District (HD) to Residential High Conditional Zoning District (RH-CZ).

<i>Wake County Highway District</i>	The Wake County Highway District (HD) is a low-density residential district with a maximum density of 1.45 units per acre. In addition to residential uses, the HD District allows a wide range of nonresidential uses by right and others with a Special Use Permit. For example, a neighborhood/convenience retail store with gas sales is permitted by right, and vehicle repair/service or sales/leasing would require a Special Use Permit from Wake County.
<i>Town of Rolesville Residential High District</i>	The Town of Rolesville’s Residential High (RH) District is for residential purposes, including single family attached, double family, and multifamily dwellings. The RH District implements the high density residential future land use at a density range of 6 to 12 units per acre.

A concept plan showing 52 single family attached homes at a density of 4.2 units per acre is included as a condition of the rezoning request. Four additional conditions are also proposed:

1. The development shall be limited to 52 units.
2. A minimum 6’ opaque fence shall be placed around the perimeter of the property.
3. Site construction shall occur between the hours of 8AM and 6PM Monday through Saturday. The blasting, hammering, drilling or similar destruction of rock shall occur between the following hours: 9AM and 6PM Monday through Friday and 10AM and 6PM Saturday.
4. The street stub shown on the provided sketch plan to Parcel No. 1850-86-7665 shall be constructed so that the perimeter fence is continuous and not broken for the stub. At the discretion of the Town of Rolesville Board of Commissioners, the stub may also be

map amendment application for Residential High Density is requested for the establishment of a residential district in which the principal use of the land is for residential purposes, including attached, double family, and multiple family dwellings to support the growing need for housing within Wake County. The primary use in the immediate vicinity along this corridor is residential, and thus, the amendment will be in harmony with surrounding developments. Adequate public infrastructure exists in the area, and the site will be developed according to the Town of Rolesville's Land Development Ordinance, which will ensure that the proposed uses do not adversely affect adjoin uses.

Neighborhood Meeting

The applicant held a neighborhood meeting on May 18, 2022, at Main Street Park. A summary memo is included as an attachment.

Comprehensive Plan

Land Use

The Future Land Use Map does not include the subject parcels along Wait Avenue. Nearby parcels on the south side of Wait Avenue are designated as Medium Density Residential.

Medium Density Residential is classified as predominately single-family residential uses with portions of duplex, townhouse, or multifamily residential. These are lots or tracts at a density range of three to five dwelling units per acre.

Transportation and Traffic

As per the Town of Rolesville's Community Transportation Plan, Wait Avenue is identified as a variable width right-of-way with a median, curb and gutter, and a sidepath.

The applicant provided a trip generation letter (attached) stating the proposed development would generate 365 daily trips. This is below the Town of Rolesville's threshold of more than 100 peak hour trips and/or more than 1000 daily trips.

Consistency

The applicant's request for 52 single family attached homes at a density of 4.2 units per acre is reasonably consistent with the Town of Rolesville's Comprehensive Plan.

Development Review

The Technical Review Committee (TRC) reviewed this rezoning request and concept plan. Two outstanding comments include:

- Although there are currently no greenway connections on the site, with the potential for more development in this area, staff would still recommend that an easement be created for a future greenway, which can be shown at the preliminary plat stage.
- Staff would like to see a pedestrian crossing to the development and the greenway to the south across NC 98/Wait Avenue. (The viability and location of such will ultimately be at the discretion and determination of NCDOT at a later stage of development, and thus it is premature for the Applicant to possibly show a location due to this.)

These comments may be addressed at the time of preliminary plat submittal and review.

Staff Analysis

Staff has identified the following pros and cons associated with the MA 21-08 Barham Land rezoning request and concept plan.

Pros

- The rezoning request is reasonably consistent with the Comprehensive Plan based on dwelling type and density.
- The transportation network as shown in the concept plan appears to have some flexibility in making connections to adjacent properties depending on how those properties may redevelop in the near or long term. For example, the two cul-de-sacs could be redesigned to connect to Wait Avenue and the property to the north.

Cons

- A Type 3 Perimeter Buffer is required between the proposed development and existing residential development. This buffer type is 25 feet wide, includes 4 trees, 2 understory trees, and 60 shrubs per 100 linear feet, as well as a 6' wall. Proposed condition 2 states a 6-foot opaque fence shall be placed around the perimeter of the property. What is included in the LDO will provide better screening and likely a more attractive appearance than a fence. (Staff recommends the Town Board remove condition 2.)
- Transitions between uses may be made with buffers (landscape materials, etc.), providing adequate distance between uses, and/or architecture and building massing. The concept plan as shown makes it difficult to determine if an adequate transition is being made between the proposed development and the existing rural residential land use. Additional space for plantings and/or a special planting design that respects both rural and suburban landscape patterns may improve the transition between the proposed and existing uses.

Planning Board Meeting

At the Planning Board meeting on May 23, 2022, discussion centered on the type of residential dwellings, site preparation (primarily rock blasting), design aspects of the proposed buildings, and trip generation. The board unanimously recommended denial 5 – 0 (1 absence, 1 recusal) of MA 21-08 Barham Land.

Rezoning Review Standards

The Land Development Ordinance includes eight review standards that the Board of Commissioners may consider when reviewing a rezoning case:

1. Is the application consistent with the Comprehensive Plan and other applicable adopted town plans;
2. Is it in conflict with any provision of the LDO or the Town Code of Ordinances;
3. Does the application correct any errors in the existing zoning present at the time it was adopted;
4. Does it allow uses that are compatible with existing and allowed uses on surrounding land;
5. Would it ensure efficient development within the town, including the capacity and safety of the street network, public facilities, and other similar considerations;
6. Would it result in a logical and orderly development pattern; and
7. Would it result in adverse impacts on water, air, noise, storm water management, wildlife, vegetation, wetlands, and the natural functioning of the environment.

8. If a conditional rezoning, the Board of Commissioners may also consider if the conditional rezoning addresses the impacts reasonably expected to be generated by the development or use of the site, can reasonably be implemented and enforced for the subject property, and if it will mitigate specific issues that would likely result if the subject property were zoned to accommodate all the uses and the minimum standards of the corresponding general zoning district.

Consistency and Reasonableness

As noted under the Comprehensive Plan section of this report, the rezoning request for the subject property is reasonably consistent with Rolesville’s Comprehensive Plan. A request for a residential product at a density of 4.2 units per acre aligns with the Medium Density Future Land Use Designation. If the Board of Commissioners approves MA 21-08, a motion to adopt a Plan Consistency Statement, Statement of Reasonableness, and Future Land Use Map Amendment (to assign Medium Density Residential to the subject parcel) will follow the motion of approval.

Proposed Motions

1. Motion to (approve or deny) rezoning request MA 21-08 Barham Land.
2. (Following approval only) Motion to adopt a Plan Consistency Statement, Statement of Reasonableness, and Future Land Use Map Amendment for MA 21-08.
3. Motion to (approve or deny) the annexation petition received under G.S. 160A-31 for ANX 22-02 Barham Land.

Attachments

1	MA 21-08 Application
2	MA 21-08 Vicinity Map
3	MA 21-08 Future Land Use Map
4	MA 21-08 Zoning Map
5	MA 21-08 Neighborhood Meeting Summary
6	MA 21-08 Concept Plan
7	MA 21-08 Conditions
8	MA 21-08 Trip Generation Letter
9	ANX 22-02 Petition for Annexation and Attachments
10	ANX 22-02 Certificate of Sufficiency
11	ANX 22-02 Resolution 22-R-07



Case No. MA 21-08
Date Rcvd 12-10-2021

Map Amendment Application

Contact Information

Property Owner JA2GA LLC

Address 818 S White St City/State/Zip Wake Forest, NC 27587

Phone 919-556-5418 Email jmas@millridgeco.com

Developer Same

Contact Name _____

Address _____ City/State/Zip _____

Phone _____ Email _____

Property Information

Barham Land name to be used

Address 2005 and 2033 Wait Ave

Wake County PIN(s) 1850962688 and 1850965586

Current Zoning District HD (Wake County) Requested Zoning District RH

Total Acreage 12.43

Owner Signature

I hereby certify that the information contained herein is true and completed. I understand that if any item is found to be otherwise after evidentiary hearing before the Town Board of Commissioners, that the action of the Board may be invalidated.

Signature James M. Adams, Sr. Date 12/6/21

STATE OF NORTH CAROLINA

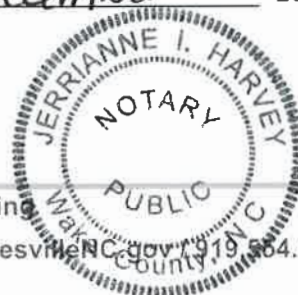
COUNTY OF Wake

I, a Notary Public, do hereby certify that James M. Adams, Sr.

personally appeared before me this day and acknowledged the due execution of the foregoing instrument. This the 6th day of December 20 21.

My commission expires 12/16/25.

Signature Jerrianne I. Harvey Seal



Town of Rolesville Planning

PO Box 250 / Rolesville, North Carolina 27571 / Rolesville, NC gov 919.554.6517



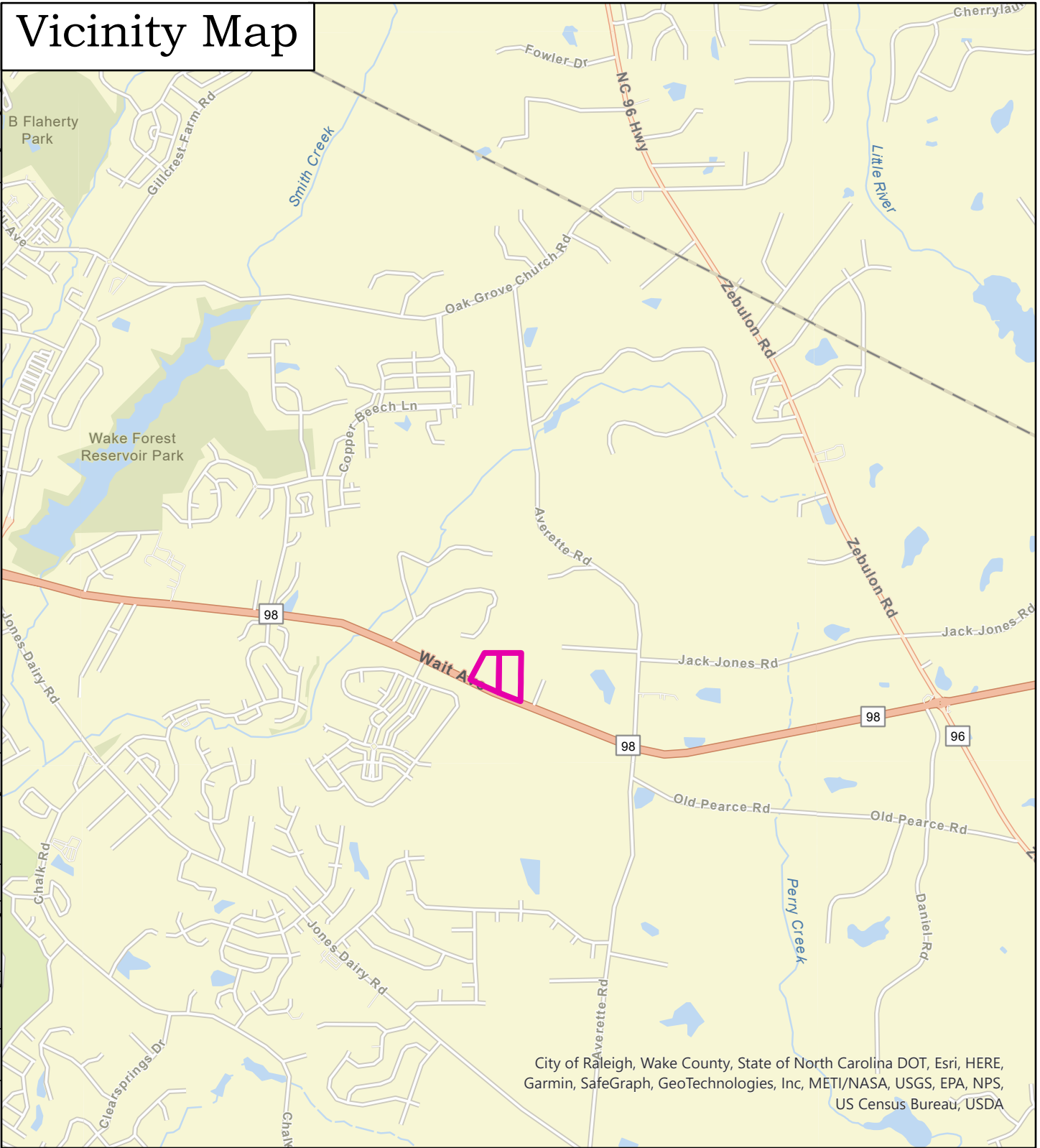
Map Amendment Application

Rezoning Justification

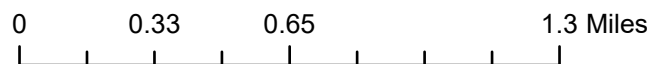
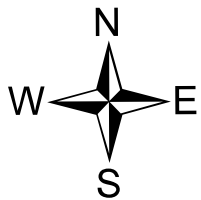
The subject parcels are currently within Wake County's jurisdiction and are included in Ordinance #2001-05, the 'Ordinance Establishing an Annexation Agreement between the Town of Rolesville, North Carolina and the Town of Wake Forest, North Carolina,' in which they are within the Town of Rolesville's jurisdiction for annexation. The parcels are not within the Town of Rolesville's Future Land Use Plan. The map amendment application for Residential High Density (RH) is requested for the establishment of a residential district in which the principal use of the land is for residential purposes, including attached, double family, and multiple family dwellings to support the growing need for housing within Wake County. The primary use in the immediate vicinity along this corridor is residential, and thus, the map amendment will be in harmony with surrounding developments. Adequate public infrastructure exists in the area, and the site will be developed according to the Town of Rolesville's Unified Development Ordinance, which will ensure that the proposed uses do not adversely affect adjoining uses.

Vicinity Map

Path: C:\Users\SRaby\Desktop\GIS\2022 Projects\ANX 22-02 MA 21-08 Barham Land\ANX 22-02 MA 21-08 Barham Land\Map1.aprx



City of Raleigh, Wake County, State of North Carolina DOT, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA



**Barham Lands (MA 21-08)
Neighborhood Meeting Summary**

On Wednesday, May 18, 2022, a neighborhood meeting was held to inform neighbors of the proposed rezoning of 2005 and 2033 Wait Avenue (Barham Lands) and to gain their feedback for consideration in the rezoning. The notification sent to the neighbors is attached along with the list of neighbors notified. The neighbors that attended the meeting are shown on the attached attendees list. Jon Frazier, a principal with FLM Engineering, and Nil Ghosh, an attorney with Morningstar Law Group, represented the developer.

Following a brief presentation by Mr. Ghosh, the neighbors in attendance were invited to ask questions and share comments and concerns. Below is a list of the questions, comments, and concerns raised along with answers provided by Mr. Ghosh and Mr. Frazier. The questions and answers are summarized for brevity.

Q: Is the plan shown the latest plan?

A: Yes, the plan presented is the latest plan submitted to and reviewed by Town of Rolesville staff.

Q: Has a cluster development been considered for this property?

A: No, in our experience, cluster developments are typically utilized where there are significant natural, undevelopable features, such as flood plains, stream buffers, etc. This site does not contain any of those features.

Q: Preservation of open space is a concern.

A: The plan meets the town's requirements for preserving open space.

Q: What type of commercial development has been considered for the site?

A: Under the existing Wake County HD zoning, several commercial uses are allowed including neighborhood convenience with gas sales, self-storage, and office.

Q: When will the tree survey be performed? The neighbors would prefer a natural buffer to a planted buffer.

A: The tree survey will be performed prior to site plan development. Existing vegetation will be preserved in buffer areas to the extent practical.

Q: One-story homes are more appropriate for seniors.

A: The homes contemplated for this development will have a first-floor master bedroom.

Q: Will this project be age restricted?

A: No, this project is age targeted meaning there are certain amenities targeted toward seniors such as first-floor master bedrooms, complete exterior maintenance, etc., but there are no planned restrictions on the age of the home purchasers.

Q: Will these homes be rentals?

A: No, the homes are planned for sale.

Q: Can restrictions against renting be added to the covenants?

A: There are no plans to do so at this time.

Q: The neighbors would prefer the proposed fence to be placed on the 25' buffer line and not the property boundary.

A: We will discuss this with the development team and town staff.

Q: What is the proposed fence material?

A: The fence is proposed to be a composite material.

Q: Mr. Steelman (PIN 1850867665) reiterated that a fence on the property line would interfere with existing Leyland Cypress along the property boundary and expressed a preference for the fence to be set back off of the property line.

A: We will discuss this with the development team and town staff.

Q: Mr. Steelman asked about the street stub to his property and expressed a desire for the stub to end before his property line.

A: The stub is required for future connectivity and required to be extended to the property line so that it can be extended from there in the future. However, a condition (#4) is included as part of the rezoning giving the Board of Commissioners the option to allow the stub to be stopped short of the property line.

Q: Is a rendering of the proposed home product available to share?

A: We will follow up with a rendering if one is available to share.

Q: What is the proposed square footage of the units?

A: The unit footprint is approximately 28' x 65', which equates to 1,820 SF, so at two stories, the units would be over 2,000 SF.

Q: Can the developers prepare a traffic study even if one is not required?

A: The adjacent PUD project had to perform a traffic study that includes improvements to the road network.

Q: Can you provide the TIE data plot and version of the ITE Trip Generation Manual used to calculate the required trips?

A: Yes, we will follow up with that information.

Q: When would the proposed Wait Avenue road widening occur?

A: The road widening would happen concurrently with the project construction.

Q: Is the plan compliant with the LDO?

A: The plan included with the rezoning is a sketch plan, and town staff has confirmed it meets the requirements necessary for the proposed rezoning. If the rezoning is approved, an LDO-compliant site plan will be submitted to the town for review.

Q: Neighbors would expect single-family homes on this site given the adjacent properties' uses.

A: The adjacent properties are within Wake County's jurisdiction and on well and septic. With a connection to public utilities and development within the town, higher density should be expected.

Q: What is the remaining process?

A: The case will be heard by the Planning Commission on May 23rd and then heard by the Board of Commissioners on July 6th. If the rezoning is approved, the next step would be submittal of site plans to the town.

Q: The plan does not appear to deviate from the previous plan.

A: The concept plan shows a significant compromise from the previous layout. The new concept proposes 30% fewer homes. The duplex arrangement now proposed is more similar in massing to surrounding homes in the County than the previous layout which had five or more townhomes grouped in each building. Finally, the switch to an age-targeted product type with bedrooms, bathrooms, kitchen, and laundry on the main floor is a major change in recognition of the need for housing for this growing demographic. The current plan differs significantly from the previously proposed project.

Q: The neighbors expressed concern with the dog park adjacent to the project perimeter.

A: Our intent was to provide open space adjacent to the perimeter as opposed to additional units.

Q: If single-family homes were proposed, the neighbors would support the project.

A: Thank you for letting us know.

Q: The neighbors expressed a concern with HVAC units behind the homes and the associated noise.

A: At this time, we do not know exactly where the HVAC units will be placed, but there is a strong possibility that the HVAC units will be located on the sides of the units. They will be screened per town requirements.

Q: How far apart are the units?

A: The units are proposed to be 30 feet apart.

Q: Who was notified of the meeting?

A: Neighbors within 200' of the property were notified.

Q: What does "CZ" mean with regard to the zoning?

A: CZ indicates Conditional District Zoning, which means we have provided a sketch plan and conditions with the rezoning request.

FLMENGINEERING

May 6, 2022

**Reference: 2005 and 2033 Wait Avenue (Barham Lands) Rezoning
Neighborhood Meeting Notification**

Dear Neighbor:

We are writing to notify you of a neighborhood meeting to discuss the proposed rezoning of 2005 and 2033 Wait Avenue (Wake County PINs 1850-96-2688 and 1850-96-5586) from the current Wake County Highway District (HD) to Town of Rolesville Residential High Density (RH) District. The proposed rezoning conditions and a sketch of the proposed development are attached.

Per town requirements, we are notifying neighbors within 200 feet of the property. The meeting will be held on Wednesday, May 18, 2022 at 5:30 PM at the Main Street Park, Shelter D, which is located on the back side of the park off of Scarboro Road in Rolesville.

We look forward to seeing you there.

Sincerely,



Jon D. Frazier, PE, LEED AP
Principal
919.610.1051
jfrazier@flmengineering.com

MA 21-08 Barham Land

Proposed Map Amendment Conditions

1. The development shall be limited to 52 units.
2. A minimum 6' opaque fence shall be placed around the perimeter of the property.
3. Site construction shall occur between the hours of 8AM and 6PM Monday through Saturday. The blasting, hammering, drilling or similar destruction of rock shall occur between the following hours: 9AM and 6PM Monday through Friday and 10AM and 6PM Saturday.
4. The street stub shown on the provided sketch plan to Parcel No. 1850-86-7665 shall be constructed so that the perimeter fence is continuous and not broken for the stub. At the discretion of the Town of Rolesville Board of Commissioners, the stub may also be stopped short of the property line with a fee in lieu required for any remaining roadway section to the property line.

**2005 and 2033 Wait Avenue (Barham Lands) Rezoning
Neighbors Within 200 Feet Notification List**

PIN_NUM	OWNER	ADDR1	ADDR2
1850866910	LARAIA, KRISTOPHER JAMES LARAIA, JENNIFER ANN	7417 ROCKY RIDGE RD	WAKE FOREST NC 27587-6879
1850867237	WAKE ELECTRIC MEMBERSHIP CORP	PO BOX 1229	WAKE FOREST NC 27588-1229
1850867665	STEELMAN, MAX H STEELMAN, JANE	2001 WAIT AVE	WAKE FOREST NC 27587-6998
1850950449	WFINV, LLC	4641 PARAGON PARK RD STE 104	RALEIGH NC 27616-3407
1850958998	DALEY, JAMES E DALEY, MICHELLE S	1401 CARRIE MAY LN	WAKE FOREST NC 27587-6832
1850962957	MATTHEWS, MICHAEL J MATTHEWS, SANDRA	7409 ROCKY RIDGE RD	WAKE FOREST NC 27587-6879
1850968185	COOPER, ALLAN R	1405 CARRIE MAY LN	WAKE FOREST NC 27587-6832
1850968390	TATE, CHRISTOPHER	1409 CARRIE MAY LN	WAKE FOREST NC 27587-6832
1850968585	KIRCHHOFF, STEVEN C KIRCHHOFF, MARIAN J	1413 CARRIE MAY LN	WAKE FOREST NC 27587-6832
1850975484	ILICH, ROBERT LINWOOD ILICH, PEGGY A	7401 ROCKY RIDGE RD	WAKE FOREST NC 27587-6879
1860045778	THALES ACADEMY	4641 PARAGON PARK RD	RALEIGH NC 27616-3406
1860061602	HAGERTY, BERNARD J JR	1417 CARRIE MAY LN	WAKE FOREST NC 27587-6832

SUMMARY INFORMATION

DEVELOPMENT NAME: WAIT AVE AGE-TARGETED SINGLE-FAMILY ATTACHED

SITE ADDRESS: 2005 AND 2033 WAIT AVE

PIN NUMBER(S): 1850-96-2688 AND 1850-96-5586

TOTAL ACREAGE: 12.43 AC

EXISTING USE: SINGLE-FAMILY RESIDENTIAL
PROPOSED USE: SINGLE-FAMILY ATTACHED

JURISDICTION: TOWN OF ROLESVILLE
CURRENT ZONING DISTRICT: HD (WAKE COUNTY)
PROPOSED ZONING DISTRICT: RH CZ

PROPOSED UNITS: 52
MAX. DENSITY: 9 UNITS/AC (SINGLE-FAMILY ATTACHED)
PROPOSED DENSITY: 4.2 UNITS/AC

RH MIN. LOT AREA: 2,000 SF (ATTACHED)
PROP. MIN. LOT AREA: 4,300 SF (ATTACHED)
RH MIN. LOT WIDTH: 20' (ATTACHED)
PROP. MIN. LOT WIDTH: 43' (ATTACHED)

PROPOSED BLDG. HEIGHT: APPROX. 35' (TWO STORIES)

SETBACKS:
FRONT: 15' (20' AT GARAGE FOR PARKING IN DRIVEWAY)
SIDE: 0' INTERNAL, 10' END (MIN. 30' BETWEEN STRUCTURES)
REAR: 15'
CORNER: 15'

REQUIRED OPEN SPACE: 1.86 AC (15%)
PROPOSED OPEN SPACE: 4.10 AC (33%)

PARKING REQUIREMENTS:
SINGLE-FAMILY ATTACHED PARKING:
TWO SPACES PER UNIT PLUS 0.25 GUEST SPACE PER UNIT
PARKING PROVIDED:
2 SPACES * 52 UNITS + 0.25 SPACES * 52 UNITS = 117 SPACES
PARKING PROVIDED:
2 SPACES PER DRIVEWAY + 21 GUEST = 125 SPACES
MAIL KIOSK PARKING PROVIDED:
2 SPACES FOR MAIL KIOSK (1 IS ADA ACCESSIBLE)
TOTAL PARKING PROVIDED:
125 SPACES + 2 MAIL KIOSK SPACES = 127 SPACES (1 IS ADA ACCESSIBLE)

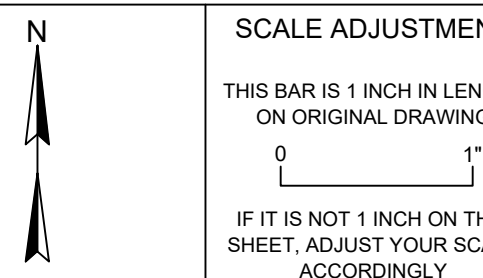
ENGINEER:
FLM ENGINEERING, INC.
PO BOX 91727
RALEIGH, NC 27675
919.610.1051

REVISION HISTORY			
REV #	DESCRIPTION	DATE	BY
1	TOWN OF ROLESVILLE COMMENTS	3/28/2022	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION

50 25 0 50
SCALE: 1 INCH = 50 FEET

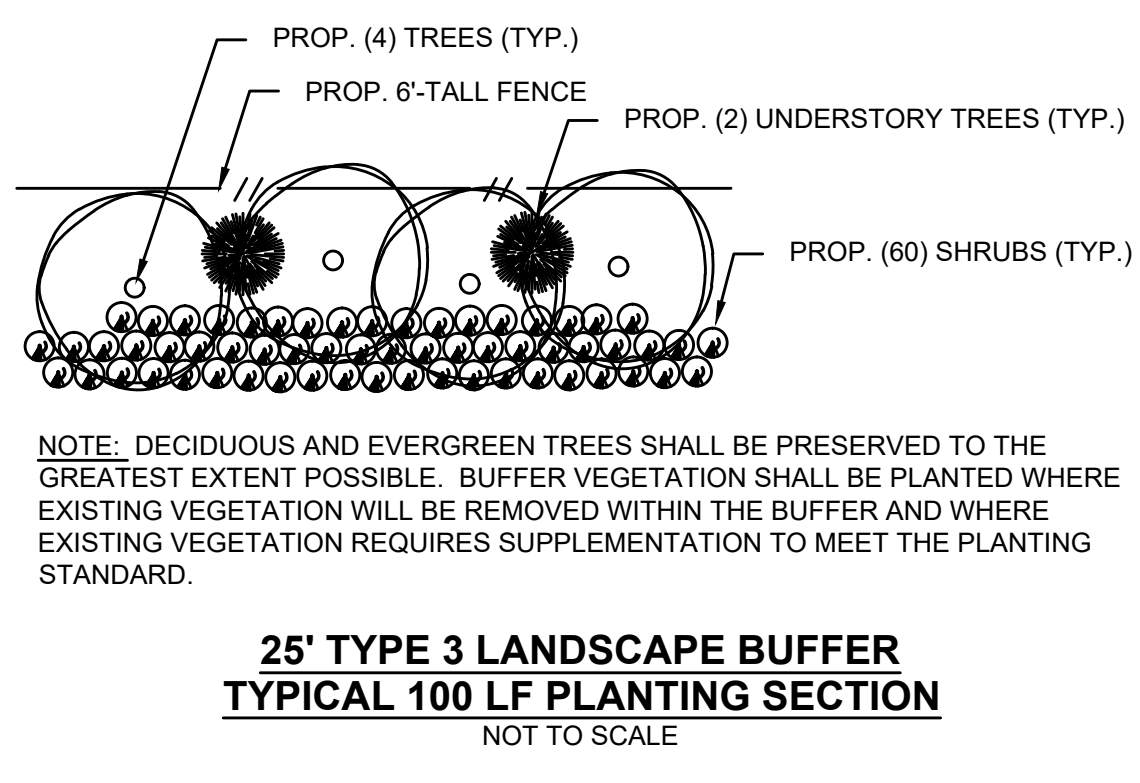
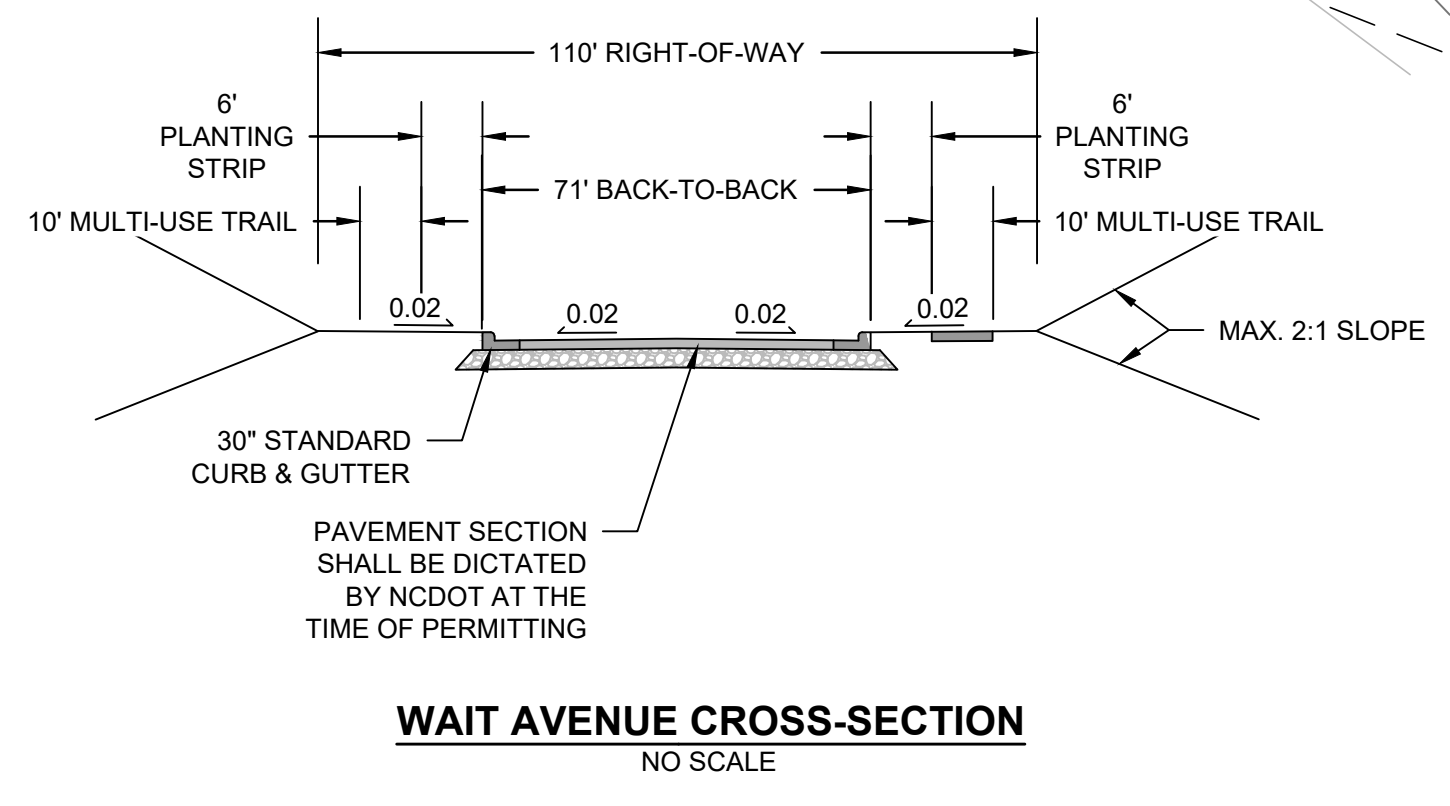
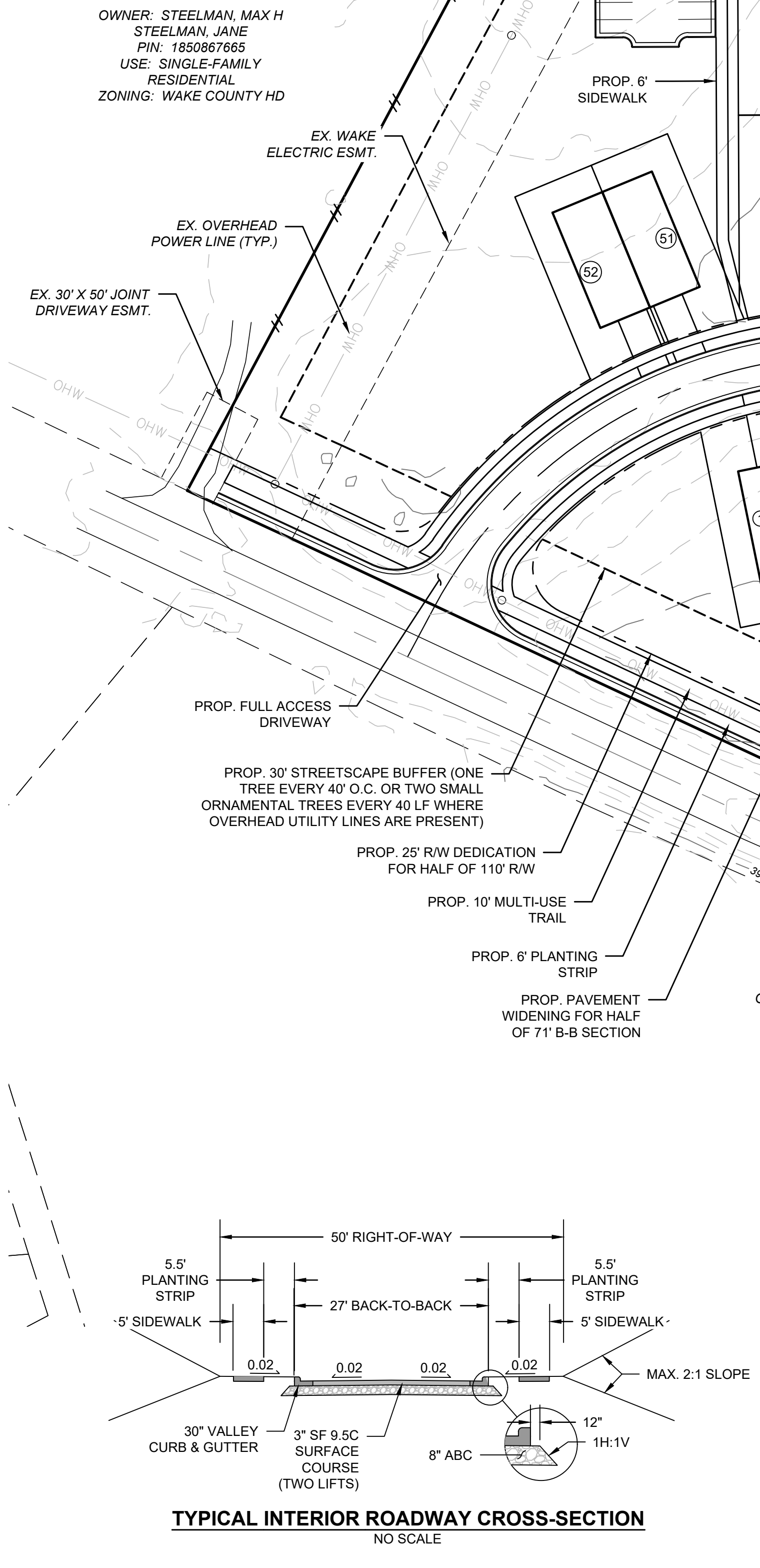
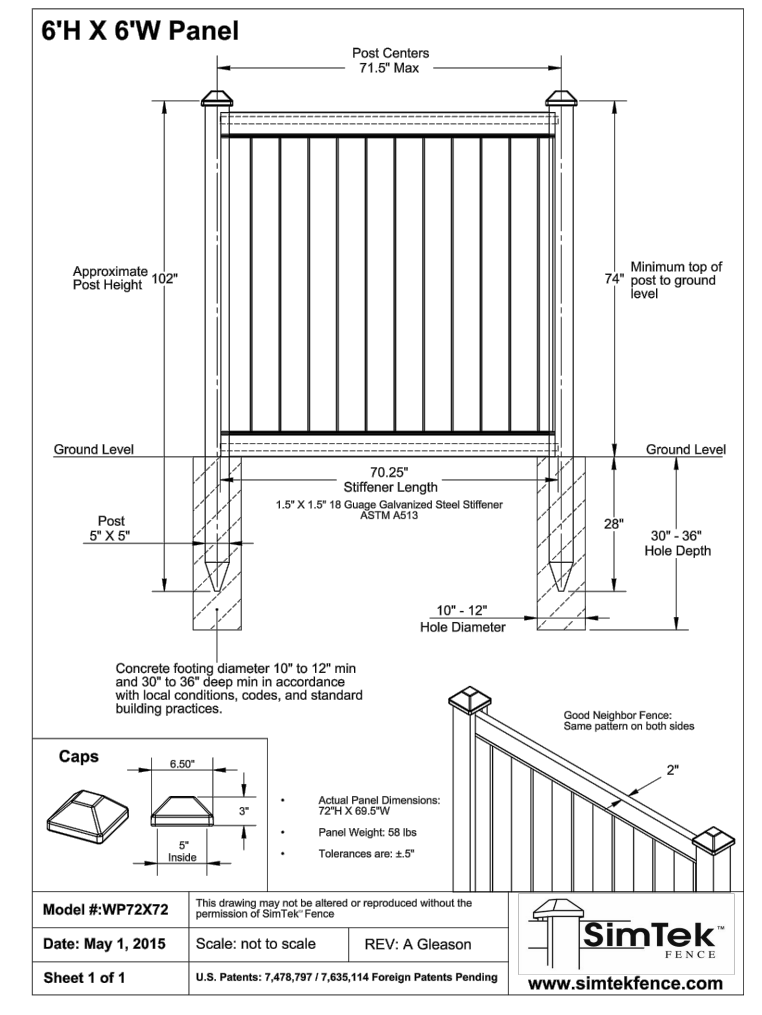
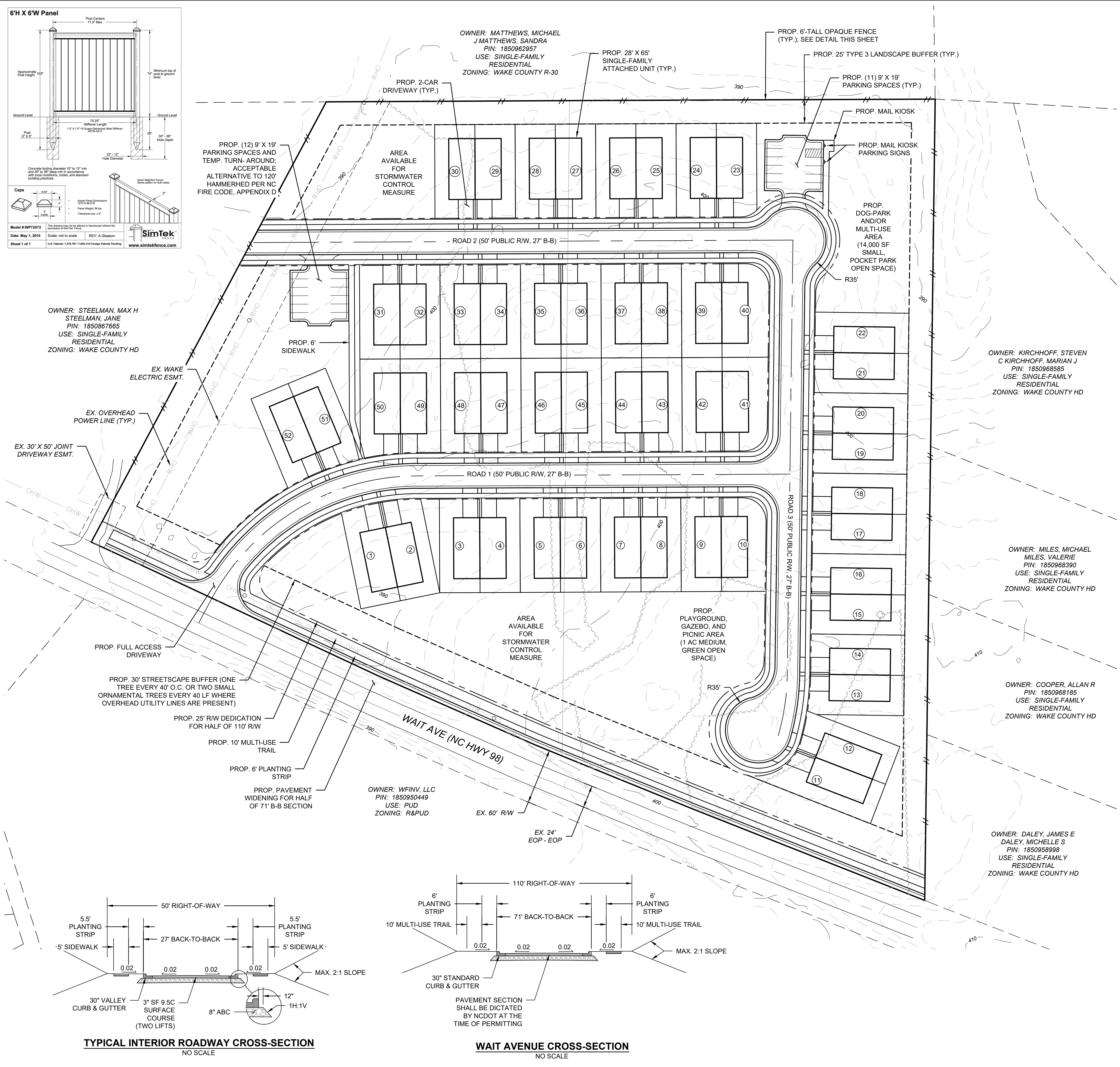


WAIT AVE AGE-TARGETED SINGLE-FAMILY ATTACHED
2005 AND 2033 WAIT AVE
ROLESVILLE, NC

DATE:	12-10-2021
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	
PROJECT NO.:	

SKETCH PLAN

C-1
SHEET 1 OF 1



MA 21-08 Barham Land

Proposed Map Amendment Conditions

1. The development shall be limited to 52 units.
2. A minimum 6' opaque fence shall be placed around the perimeter of the property.
3. Site construction shall occur between the hours of 8AM and 6PM Monday through Saturday. The blasting, hammering, drilling or similar destruction of rock shall occur between the following hours: 9AM and 6PM Monday through Friday and 10AM and 6PM Saturday.
4. The street stub shown on the provided sketch plan to Parcel No. 1850-86-7665 shall be constructed so that the perimeter fence is continuous and not broken for the stub. At the discretion of the Town of Rolesville Board of Commissioners, the stub may also be stopped short of the property line with a fee in lieu required for any remaining roadway section to the property line.

FLMENGINEERING

March 28, 2022

Michael Elabarger
Senior Planner
Town of Rolesville
P.O. Box 250
502 Southtown Circle
Rolesville, NC 27571

**Reference: MA 21-08 Barham Lands (2005 and 2033 Wait Ave)
Trip Generation Estimate**

Dear Mr. Elabarger:

Per the Town of Rolesville Land Development Ordinance (LDO) section 8.C, a Traffic Impact Analysis (TIA) is required prior to approval of any zoning map amendment (rezoning), special use permit, site plan and/or preliminary plat that exceeds the following thresholds in one (1) or more development applications submitted for a parcel or parcels under common ownership:

1. The proposed development, or phases of development, or contiguous tracts under the same ownership, would accommodate or could be expected to generate one-hundred (100) or more added vehicle trips to or from the site during the peak traffic hour (based on the proposed development or the adjacent roads and intersections); or
2. The proposed development, or phases of development, or contiguous tracts under the same ownership, would accommodate or could be expected to generate one-thousand (1,000) or more added vehicle trips to or from the site during a twenty-four (24) hour period (based on the proposed development or the adjacent roads and intersections).

The Barham Land parcels (Wake County PINs 1850-96-5586 and 1850-96-2688), totaling approximately 12.43 acres, are proposed to be rezoned to the Residential High Density (RH) district for development of single-family attached dwellings. Per the sketch plan provided with the map amendment application, 52 single-family attached units are proposed. Using the Trip Generation Handbook, published by the Institute of Transportation Engineers (ITE), the estimated trips produced by the Barham Land parcels based on ITE Code 230 for townhouses are as follows:

*AM peak hour = 30
PM peak hour = 54
Daily trips = 365*

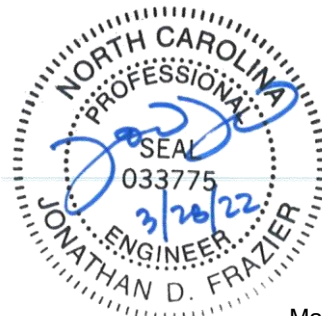
The expected vehicle trips are below the minimum requirements set forth by the Town of Rolesville LDO, and therefore, no traffic impact analysis is required.

Please let me know if you have any questions or need any additional information.

Sincerely,



Jon D. Frazier, PE, LEED AP
Principal
919.610.1051
jfrazier@flmengineering.com





TOWN OF ROLESVILLE PETITION FOR ANNEXATION

The items below are required in order to complete your application and shall be submitted when the application is filed.

1. A complete copy of the last deed of record
2. A complete copy of the written metes and bounds description
3. A plat/map showing the surveyed property boundaries. This map must be to scale.

SECTION 1 - LOCATION

Is the area contiguous with the existing corporate limits? Yes or No

Note: If the land is contiguous, this annexation will include all intervening right-of-ways for streets, easements, and other areas as stated in North Carolina General Statute §160-131(1)

SECTION 2 - VESTED RIGHTS

NC General Statutes require petitioners of both contiguous and non-contiguous annexations to file a signed statement declaring whether vested rights have been established in accordance with G.S. 160A-385.1 or 153A-344.1 for properties subject to the petition. Do you declare vested rights for the property subject to this petition? Yes or No

SECTION 3 - PROPERTY DETAILS

PIN Number	Real Estate ID Number	Deed Book Number	Page Number	Acreage To Be Annexed	Wake County Assessed Value
1850965586	0195486	DB 017900	PG 01328	7	\$ 266,875
1850962688	0203215	DB017892	PG 02585	5.43	\$ 394,191
		DB	PG		\$

SECTION 4 - SIGNATURES AND VERIFICATION

We, the undersigned owners of the real properties contained in the metes and bounds description and plat/map attached hereto, respectfully request that the area described above be annexed and made part of the Town of Rolesville, North Carolina. By signing below, we acknowledge that all information is correct.

- If property owned by INDIVIDUALS (NOTE: All legal owners must sign including both husband and wife)

Signature of Owner #1

Date Signed

Signature of Owner #2

Date Signed

- If property owned by a COMPANY OR CORPORATION (NOTE: The company or corporation must be legally registered with the State of North Carolina – Office of the Secretary of State)

JA2GA LLC

Name of Corporation

James M. Adams, Sr.

Printed Name of Registered Agent

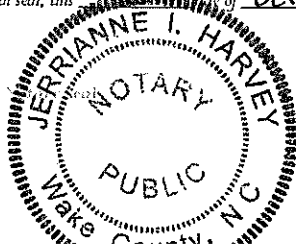
James M. Adams, Sr.
Signature of Registered Agent

818 White Street, Wake Forest, NC 27587

Address, State, Zip of Registered Office:

North Carolina, Wake County

I, Jerrianne I. Harvey, a Notary Public for said County and State, do hereby certify that the above signed individual(s) appeared before me this day and signed the foregoing instrument. Witness my hand and official seal, this 12th day of October, 2020.



Jerrianne I. Harvey
Notary Public
My commission expires: 12/16/2020

CAWTHORNE, MOSS & PANCIERA, PC
MICHAEL A. MOSS, PLS
333 S. WHITE STREET
WAKE FOREST, NC 27587
(919) 556-3148
MIKE@CMPPLS.COM

**“ANNEXATION MAP”
Legal Description For
Lot 1 & 2, Barham Land**

Beginning at an existing iron pipe, said iron pipe being the rear common corner of Lots 2 and 3, Barham Land (B.M. 1994, PG. 165) with NC Grid NAD 83/2011 coordinates N(Y): 806,796.48' E(x): 2,159,149.26'; Thence N 89°43'09" E a distance of 257.65' to a new iron pipe; Thence N 89°43'09" E a distance of 391.86' to a bent existing iron pipe; Thence S 00°47'55" W a distance of 369.84' to an existing iron pipe; Thence S 00°47'55" W a distance of 158.02' to an existing iron pipe; Thence S 00°47'55" W a distance of 149.52' to an existing iron pipe; Thence S 00°47'55" W a distance of 177.44' to a new iron pipe at the right-of-way of Wait Avenue (Hwy98); Thence S 00°47'55" W a distance of 31.71' to a point; Thence N 70°16'42" W a distance of 74.92' to a point; Thence with a curve turning to the right with an arc length of 97.41', with a radius of 1881.06', with a chord bearing of N 68°47'42" W, with a chord length of 97.40', to a point; Thence with a curve turning to the left with an arc length of 160.14', with a radius of 6157.39', with a chord bearing of N 68°03'23" W, with a chord length of 160.14', to a point; Thence with a curve turning to the right with an arc length of 86.34', with a radius of 3538.02', with a chord bearing of N 68°06'09" W, with a chord length of 86.34', to a point; Thence with a curve turning to the right with an arc length of 12.10', with a radius of 3538.02', with a chord bearing of N 67°18'19" W, with a chord length of 12.10', to a point; Thence with a curve turning to the right with an arc length of 117.71', with a radius of 3538.02', with a chord bearing of N 66°15'15" W, with a chord length of 117.71', to a point; Thence with a curve turning to the left with an arc length of 431.49', with a radius of 97847.83', with a chord bearing of N 65°25'39" W, with a chord length of 431.49', to a point; Thence N 27°53'04" E a distance of 30.05' to an existing iron bar at the right-of-way of Wait Avenue (Hwy98) being the common corner of Lots 2 and 3; Thence N 27°53'04" E a distance of 534.74' to an existing iron pipe; Which is the point of beginning, Containing an area of 570,714 Square Feet, 13.102 Acres.

I, L. JORDAN PARKER, JR. CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES, THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS GREATER THAN 1:10000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL.



THIS 9TH DAY OF OCTOBER A.D. 2020.

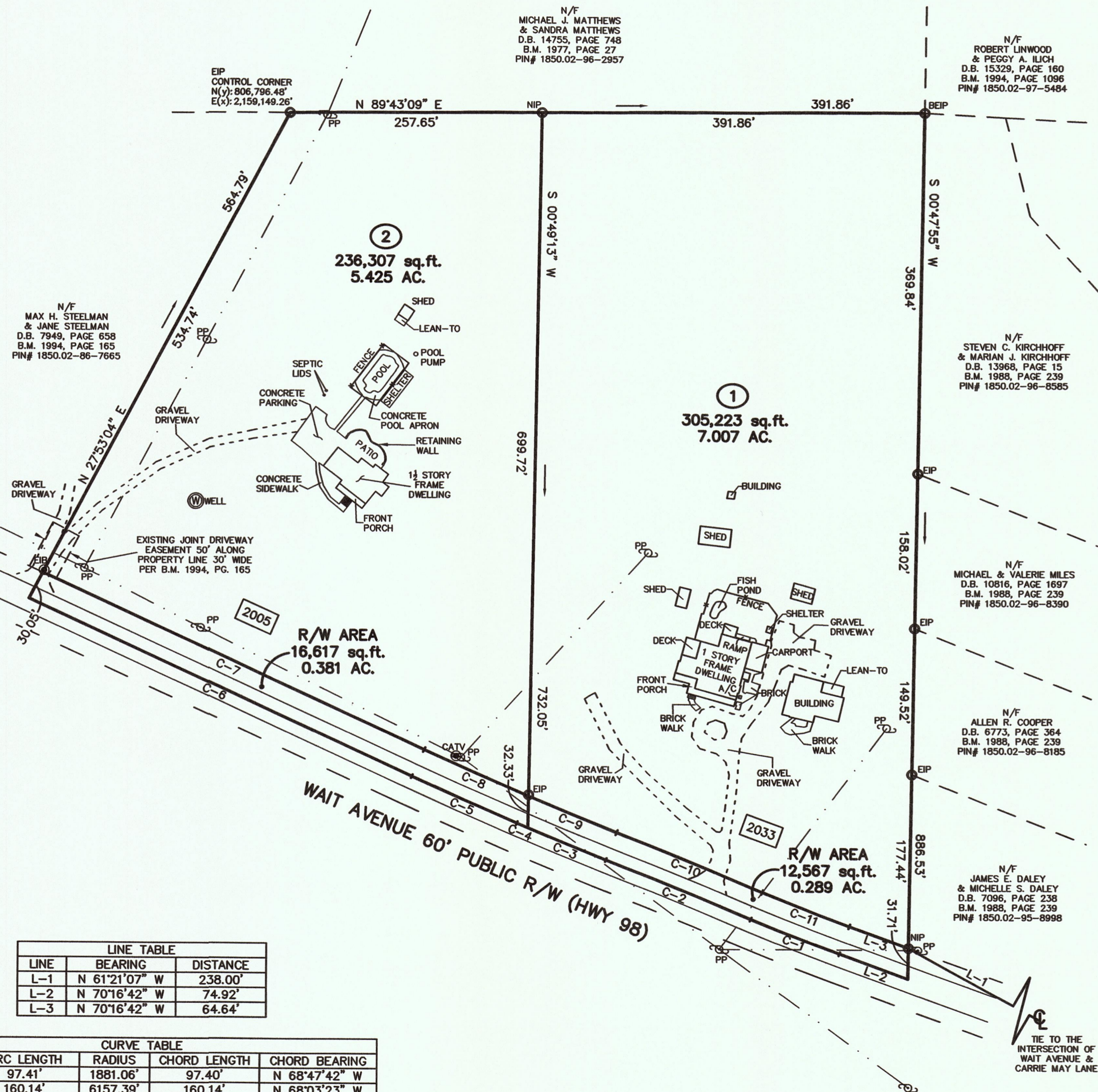
 L-4685
 PROFESSIONAL LAND SURVEYOR LICENSE NUMBER

THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. FOR THE PURPOSES OF THIS SUBSECTION, AN "EXISTING PARCEL" OR "EXISTING EASEMENT" IS AN AREA OF LAND DESCRIBED IN A SINGLE, LEGAL DESCRIPTION OR LEGALLY RECORDED SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION.

L-4685
 PROFESSIONAL LAND SURVEYOR LICENSE NUMBER

LAND SURVEYOR/CONTACT

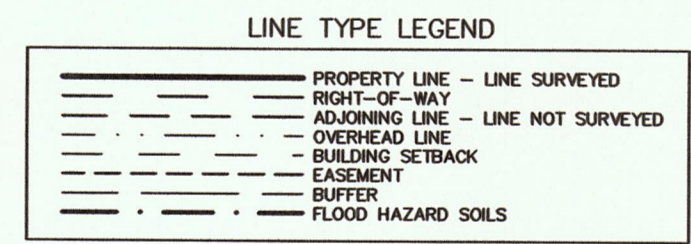
CAWTHORNE, MOSS & PANCIERA, PC
 L. JORDAN PARKER, PLS
 333 S. WHITE STREET
 WAKE FOREST, NC 27587
 (919) 556-3148
 JORDAN@CMPPLS.COM



LOT 1 - 305,223 S.F./7.007 AC.
 R/W AREA - 12,567 S.F./0.289 AC.
 LOT 2 - 236,307 S.F./5.425 AC.
 R/W AREA - 16,617 S.F./0.381 AC.
 TOTAL AREA TO BE ANNEXED
 570,714 S.F./13.102 AC.

- LEGEND:**
- EIP - EXISTING IRON PIPE
 - EIB - EXISTING IRON BAR
 - BEIP - BENT IRON PIPE
 - BEIB - BENT IRON BAR
 - CM - CONCRETE MONUMENT
 - EPK - EXISTING PK NAIL
 - SPK - SET PK NAIL
 - NIP - NEW IRON PIPE SET
 - R/W - RIGHT OF WAY
 - CATV - CABLE TV BOX
 - EB - ELECTRIC BOX
 - TEL - TELEPHONE PEDESTAL
 - PP - POWER POLE
 - OHL - OVERHEAD LINE
 - LP - LIGHT POLE
 - WM - WATER METER
 - WV - WATER VALVE
 - CO - SEWER CLEAN-OUT
 - XXXX - ADDRESS

- NOTES:**
- AREA COMPUTED BY COORDINATE METHOD.
 - THERE IS NO NCGS MONUMENT WITHIN 2000' OF THIS PROPERTY.
 - THIS PLAT SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
 - ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS
 - THIS PROPERTY DOES NOT LIE WITHIN A FEMA FLOOD ZONE PER PANEL # 3720-1850-00J DATED MAY 2, 2006

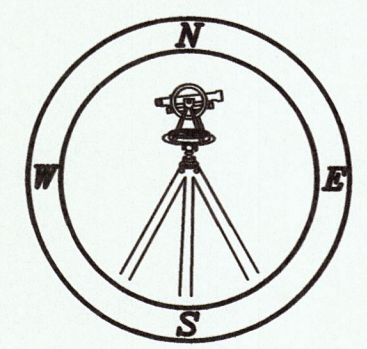


LINE TABLE

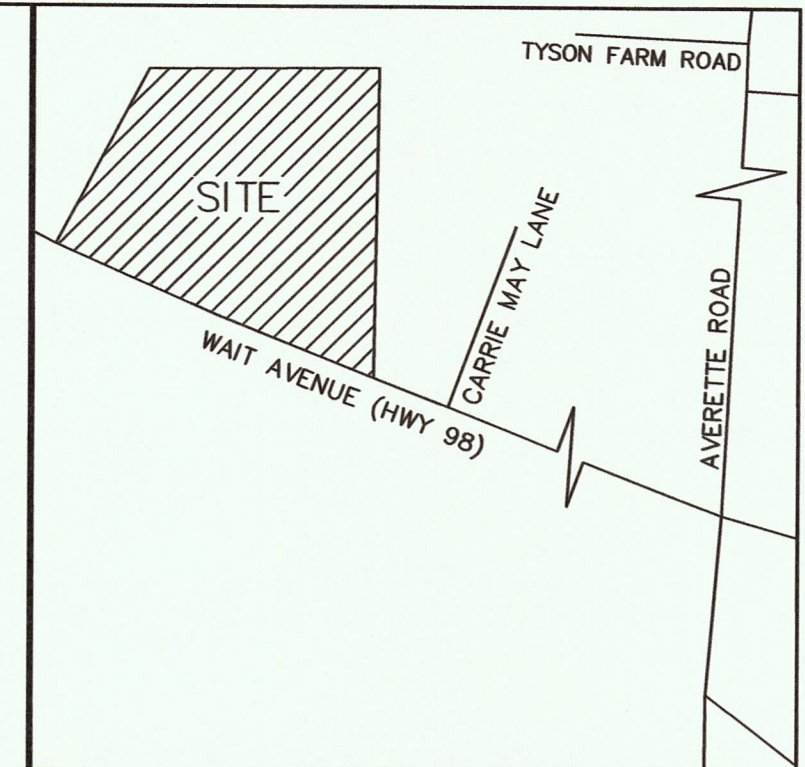
LINE	BEARING	DISTANCE
L-1	N 61°21'07" W	238.00'
L-2	N 70°16'42" W	74.92'
L-3	N 70°16'42" W	64.64'

CURVE TABLE

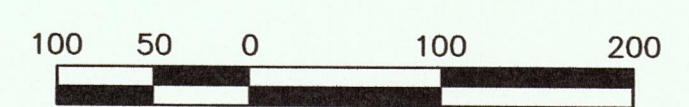
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-1	97.41'	1881.06'	97.40'	N 68°47'42" W
C-2	160.14'	6157.39'	160.14'	N 68°03'23" W
C-3	86.34'	3538.02'	86.34'	N 68°06'09" W
C-4	12.10'	3538.02'	12.10'	N 67°18'19" W
C-5	117.71'	3538.02'	117.71'	N 66°15'15" W
C-6	431.49'	97847.83'	431.49'	N 65°25'39" W
C-7	429.82'	97877.83'	429.82'	S 65°25'37" E
C-8	116.71'	3508.02'	116.71'	S 66°15'15" E
C-9	97.61'	3508.02'	97.60'	S 68°00'16" E
C-10	160.92'	6187.39'	160.92'	S 68°03'23" E
C-11	95.85'	1851.06'	95.84'	S 68°47'42" E



CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148



VICINITY MAP



SCALE 1"=100'

SEPTEMBER 18, 2020
 ZONED HD
 LOT 1 - PIN #1850.02-96-5586
 LOT 2 - PIN #1850.02-96-2688

WAITAVE2005.DWG - JC

CERTIFICATE OF SUFFICIENCY

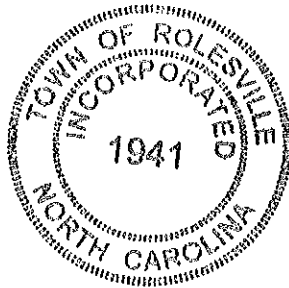
ANX 22-02: Barham Land Voluntary Annexation Petition

To the Board of Commissioners of the Town of Rolesville, North Carolina:

I, Robin E. Peyton, Town Clerk, do hereby certify that I have investigated the attached petition and hereby make the following findings:

- a. The petition contains an adequate property description of the area(s) proposed for annexation.
- b. The area described in the petition is contiguous to the Town of Rolesville primary corporate limits as required by G.S. 160A-31.
- c. The petition is signed by all owners of real property lying in the area described therein.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Rolesville, this 2nd day of June 2022.



Robin E. Peyton

Robin E. Peyton
Town Clerk

**RESOLUTION DIRECTING THE CLERK TO INVESTIGATE A PETITION
RECEIVED UNDER G.S. 160A-58.1
Resolution 2022-R-07**

Case: ANX 22-02

Contiguous voluntary annexation petition for 13.102 acres for property located on Wait Avenue/NC 98 with Wake County PINs 1850965586 and 1850962688

WHEREAS, a petition requesting annexation of an area described in said petition and more particularly described as follows received by the Town of Rolesville Board of Commissioners:

BEGINNING AT AN EXISTING IRON PIPE, SAID IRON PIPE BEING THE REAR COMMON CORNER OF LOTS 2 AND 3, BARHAM LAND (B.M. 1994, PG. 165) WITH NC GRID NAD 83/2011 COORDINATES N(Y): 806,796.48' E(X): 2,159,149.26'; THENCE N 89°43'09" E A DISTANCE OF 257.65' TO A NEW IRON PIPE; THENCE N 89°43'09" E A DISTANCE OF 391.86' TO A BENT EXISTING IRON PIPE; THENCE S 00°47'55" W A DISTANCE OF 369.84' TO AN EXISTING IRON PIPE; THENCE S 00°47'55" W A DISTANCE OF 158.02' TO AN EXISTING IRON PIPE; THENCE S 00°47'55" W A DISTANCE OF 149.52' TO AN EXISTING IRON PIPE; THENCE

S 00°47'55" W A DISTANCE OF 177.44' TO A NEW IRON PIPE AT THE RIGHT-OF-WAY OF WAIT AVENUE (HWY98);

THENCE S 00°47'55" W A DISTANCE OF 31.71' TO A POINT; THENCE N 70°16'42" W A DISTANCE OF 74.92' TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 97.41', WITH A RADIUS OF 1881.06', WITH A CHORD BEARING OF N 68°47'42" W, WITH A CHORD LENGTH OF 97.40', TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 160.14', WITH A RADIUS OF 6157.39', WITH A CHORD BEARING OF N 68°03'23" W, WITH A CHORD LENGTH OF 160.14', TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 86.34', WITH A RADIUS OF 3538.02', WITH A CHORD BEARING OF

N 68°06'09" W, WITH A CHORD LENGTH OF 86.34', TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 12.10', WITH A RADIUS OF 3538.02', WITH A CHORD BEARING OF N 67°18'19" W, WITH A CHORD LENGTH OF 12.10', TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 117.71', WITH A RADIUS OF 3538.02', WITH A CHORD BEARING OF N 66°15'15" W, WITH A CHORD LENGTH OF 117.71', TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 431.49', WITH A RADIUS OF 97847.83', WITH A CHORD BEARING OF N 65°25'39" W, WITH A CHORD LENGTH OF 431.49', TO A POINT; THENCE N 27°53'04" E A DISTANCE OF 30.05' TO AN EXISTING IRON BAR AT THE RIGHT-OF-WAY OF WAIT AVENUE (HWY98) BEING THE COMMON CORNER OF LOTS 2 AND 3; THENCE N 27°53'04" E A DISTANCE OF 534.74' TO AN EXISTING IRON PIPE; WHICH IS THE POINT OF BEGINNING, CONTAINING AN AREA OF 570,714 SQUARE FEET, 13.102 ACRES.

WHEREAS, G.S. 160A-58.1 provides that the sufficiency of the petition shall be investigated by the Town Clerk before further annexation proceedings may take place; and,

WHEREAS, the Board of Commissioners of the Town of Rolesville deems it advisable to proceed in response to this request for annexation;

NOW, THEREFORE, BE IT RESOLVED, by the Board of Commissioners of the Town of Rolesville that:

The Town Clerk is hereby directed to investigate the sufficiency of the above-described petition and to certify as soon as possible to the Board of Commissioners of the Town of Rolesville the result of her investigation.

Ronnie I. Currin
Mayor, Town of Rolesville

Attest:

Robin E. Peyton
Town Clerk



Memo

To: Mayor and Town Board of Commissioners
From: Michael Elabarger, Senior Planner
Date: June 29, 2022
Re: Agenda Item C.3 – Town Board of Commissioners Meeting July 6, 2022
SP 20-01 / Elizabeth Springs Amenity Center

Background

The subject property is the planned amenity center lot for the Elizabeth Springs subdivision, originally approved in concept by the Town Board of Commissioners in 2018. This property was formerly partially located within the Little River Watershed Overlay protection area and zoned the R40W Residential Watershed district under the Unified Development Ordinance (UDO), which greatly restricts the level of development possible. As part of the Construction Drawings (CD 18-01) approved for the overall Elizabeth Springs development, the Applicant regraded the area to no longer drain into the watershed, but out of it. The State of North Carolina inspected and approved of this regrading, thereby ‘releasing’ the subject land from being within the Little River Watershed. With that accomplished, the Applicant then successfully rezoned (process a Map Amendment with the Town of Rolesville) the land from the R40W district to the zoning district established for the overall subdivision circa - the Residential & Planned Unit Development (R&PUD) District under the Town’s (now repealed) UDO. Application SP 20-01 underwent multiple Town Technical Review Committee (TRC) reviews in 2020 and was approved by the Town Staff at that time in principle, save for the steps of the Rezoning and then Town Board of Commissioners approval. MA 22-02 was approved by the Town Board on June 7, 2022, rezoning this subject property to R&PUD, and thus presentation of this Site Plan application under an Evidentiary Quasi-Judicial public hearing will complete the UDO approval processes. The Applicant will then pursue a Building Permit with the Town and Wake County before construction can commence.

Summary Information

Acreage: 2.14 acres (currently being ‘Amenity Center lot’ per BM2021/pg121)
Zoning: R&PUD (UDO)
Property Owner: Experience One Homes LLC
Developer: Experience One Homes LLC / Corey Schmidt
Project Contacts: Tim Grissinger – Bateman Surveying
PIN’s: 1860132857

Entitlement / Development History and Applications

SUP 17-02 Special Use Permit approved 05/01/2018, entitling project for 89 SFD and 98 TH.

S 18-01	Preliminary Subdivision Plat approved 06/05/2018) for 89 SFD and 98 TH lots.
CD 18-01	Construction Drawings for infrastructure, approved 04/25/2019.
SUP 18-04	Amendment to Special Use Permit SUP 17-02, approved 10/02/2018.
SP 19-01	Site Plan for Townhome component, approved 11/04/019.
SUP 19-03	Amendment to Special Use Permit SUP 17-02, approved 11/04/2019.
MA 22-02	Map Amendment (Rezoning) approved 06/07/2022
SUP 22-01	Amendment to Special Use Permit SUP 17-02, approved 06/07/2022
PR 22-03	Preliminary Subdivision Plat approved 06/07/2022 for 13 SFD lots.

Comprehensive Plan

Land Use

The Future Land Use designation for the subject property is Medium Density Residential, and the provision of an on-site private amenity is consistent with the overall vision of the Comprehensive plan.

Transportation and Traffic

The amenity center will not create any significant additional trips as it is a private amenity for the residents of Elizabeth Springs.

Development Review

Town Technical Review Committee (TRC) staff circa 2020 reviewed three (3) submittals of the application, and per records and the Applicant, all Comments were addressed/resolved; the pending removal from the Watershed Overlay area, then Map Amendment, precluded the final step of a Town Board Evidentiary Hearing to occur until now.

Staff Recommendation

Based on consistency with the Comprehensive Plan future land use category, the lack of traffic impact, and that this is fulfilling the previous Town approvals for the Elizabeth Springs project as a whole, Staff recommends the Town Board conduct evidentiary quasi-judicial hearing to affirm compliance with the Findings of Fact.

Findings of Fact

The following findings, based on evidence and testimony received at an evidentiary hearing in accordance with procedures specified in the Unified Development Ordinance (UDO), must be made by the Town Board in order to approve a Site Plan:

- A. That the proposed development and/or use will not materially endanger the public health or safety;
- B. That the proposed development and/or use will not substantially injure the value of adjoining property;
- C. That the proposed development and/or use will be in harmony with the scale, bulk, coverage, density, and character of the neighborhood in which it is located;
- D. That the proposed development and/or use will generally conform with the Comprehensive plan and other official plans adopted by the Town;
- E. That the proposed development and/or use is appropriately located with respect to transportation facilities, water and sewer supply, fire and police protection, and similar facilities;
- F. That the proposed development and/or use will not cause undue traffic congestion or create a traffic hazard;

G. That the proposed development and use comply with all applicable requirements of this ordinance.

Proposed Motion

- Motion to (approve or deny) Site Plan request SP 20-01, Elizabeth Springs Amenity Center, based on the evidence and testimony received at the hearing to determine the Findings of Fact.

Attachments

#	Type	Date
1	Vicinity Map	----
2	Application	02-13-2020
4	Site Plan	11-24-2020

Attachment 1



Case: SP 20-01 Elizabeth Springs Amenity Center
Address: 203 Kavanaugh Road
PIN 1860132857
Date: 06.21.2022

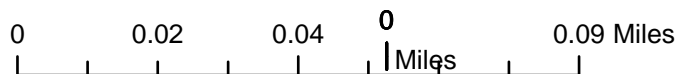
Vicinity Map

Date Saved: 6/21/2022 12:22 PM

Path: C:\Users\Sraby\Desktop\GIS\2022 Projects\SP 20-01 Elizabeth Springs Amenity Center\SP 20-01 Elizabeth Springs Amenity Center.aprx



NC.GIA, Maxar, Microsoft, Esri Community Maps Contributors, Town of Cary, Wake County, State of North Carolina DOT, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA





Development Plan Review Application

Project/Development Name Elizabeth Springs Amenity Center

- Application Type Sketch Plan Preliminary Plat
 Construction Drawings Final Plat

Contact Information

Property Owner ExperienceOne

Address 3121 Highway 64 City/State/Zip Apex, NC 27523

Phone 919-991-1428 Email cschmidth@e1homes.com

Developer ExperienceOne

Contact Name Corey Schmidth

Address 3121 Highway 64 City/State/Zip Apex, NC 27523

Phone 919-991-1428 Email cschmidth@e1homes.com

Design Engineering Company Bateman Civil Survey Company

Contact Name Tyler Probst

Address 3524 Reliance Avenue City/State/Zip Apex, NC 27539

Phone 919-577-1080 Email t.probst@batemancivilsurvey.com

Property Information

Wake County PIN(s) 1860038619 Address 1205 Averette Road

Total Property Acreage 81.525 Total Phases 2

Total Lots 205 Average Lot Size _____

Smallest Lot Size _____ Largest Lot Size _____

I, as owner, developer, engineer, and/or agent, understand that I am responsible for all review fees due at the time of plan submittal. I understand that the Planning Department will not review my plans until I remit payment. I have read the Development Review Procedures, and I understand the review processes and requirements.

Signature  Date 02.13.2020

Town of Rolesville Planning

PO Box 250 / Rolesville, North Carolina 27571 / RolesvilleNC.gov / 919.554.6517

ELIZABETH SPRINGS

AMENITY CENTER SITE PLAN

DRAWING LIST	
C000	COVER
C101	EXISTING CONDITIONS
C300	SITE PLAN
C310	GRADING PLAN
C401	UTILITY PLAN
C450	LANDSCAPE PLAN
C501	WATERSHED/STORM DETAILS
C502	SITING/ODOT DETAILS
C503	INDICOT DETAILS

PROJECT DATA	
BUILDING AREA	1,746 SQ FT
POOL AREA	2,100 SQ FT
POOL DECK AREA	5,071 SQ FT
IMPERVIOUS AREA	30,047 SQ FT

PARKING	REQUIRED	PROVIDED
REGULAR	25	28
ADA	1	2
TOTAL	26	30

* PARKING IS BASED ON ROLESVILLE LOD.1 SPOT FOR EVERY 100 SF GROSS FLOOR AREA OF THE POOL FOR THE CLUBHOUSE. 1 SPOT FOR EVERY 100 SF GROSS FLOOR AREA.

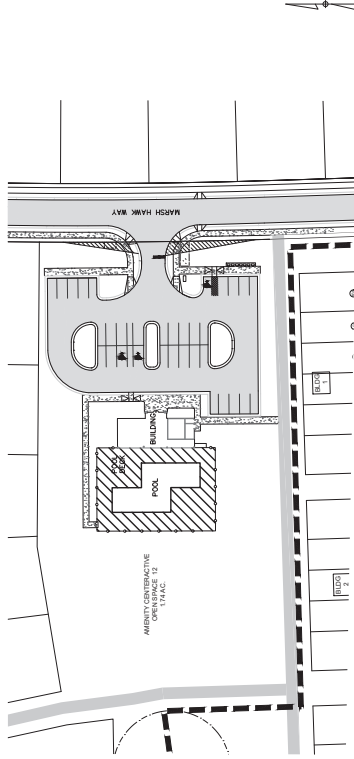
NUMBER OF UNITS: 100
 NUMBER OF UNITS PER CLUSTER: 10 UNITS
 CLUSTER: 10 CLUSTERS
 PROPOSED: 4 SPACES (75-104 DWELLING UNITS)
 8 SPACES AT AMENITY CENTER

EXISTING TRACT DATA:

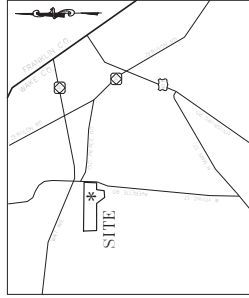
DEED REFERENCE: 100-017038, P-015142
 REAL ESTATE CO. 002813
 TOTAL AREA: 10.57 AC
 TOTAL ACRES: 10.57 AC
 ZONING: R-16 (RURAL RESIDENTIAL)
 EXISTING USE: VACANT LAND DEVELOPED WOODS
 SURVEY: 100-017038, P-015142

ATTACHMENT 3 - Site Plan

TOWN OF ROLESVILLE
 WAKE COUNTY, NC
 1ST SUBMITTAL: FEBRUARY 4, 2020
 2ND SUBMITTAL: AUGUST 27, 2020
 3RD SUBMITTAL: NOVEMBER 23, 2020



PROJECT PLAN
 GRAPHIC SCALE
 1 inch = 50 ft.



VICINITY MAP
 (NOT TO SCALE)

DEVELOPER:
 EXPERIENCE ONE
 3121 HIGHWAY 64
 APEX, NC 27523

OWNER:
 EXPERIENCE ONE
 3121 HIGHWAY 64
 APEX, NC 27523

ENGINEER:
 SHAYNE LEATHERS, PE
 BATEMAN CIVIL SURVEY COMPANY
 2524 RELIANCE AVE.
 APEX, NC 27539



Bateman Civil Survey Company
 Engineers • Surveyors • Planners

2524 Reliance Avenue, Apex, North Carolina 27539
 Phone: 919.577.1080 Fax: 919.577.1081
 NGBELS FIRM No. C-2378



PRELIMINARY
 NOT RELEASED
 FOR CONSTRUCTION
 01/29/2020

KNOW WHAT IS BELOW
 CALL BEFORE YOU DIG

PROJECT NUMBER: 170348

C000 - COVER

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT	
APPROVED	
EROSION CONTROL	<input checked="" type="checkbox"/> S-EC-01532-2019
STORMWATER MGMT.	<input checked="" type="checkbox"/> S-W-011530
FLOOD STUDY	<input type="checkbox"/> S-F-011530
DATE:	THIS DOCUMENT IS PERMITTED IN TRACT A
ENVIRONMENTAL CONSULTANT: ROLESVILLE	

NOTE: \$3,246 SF WAS INCLUDED IN ORIGINAL PERMIT FOR AMENITY CENTER IMPERVIOUS



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 2524 Reliance Avenue, Apex, North Carolina 27539
 Phone: 919.577.1080 Fax: 919.577.1081
 MOBILES: 919.577.1081



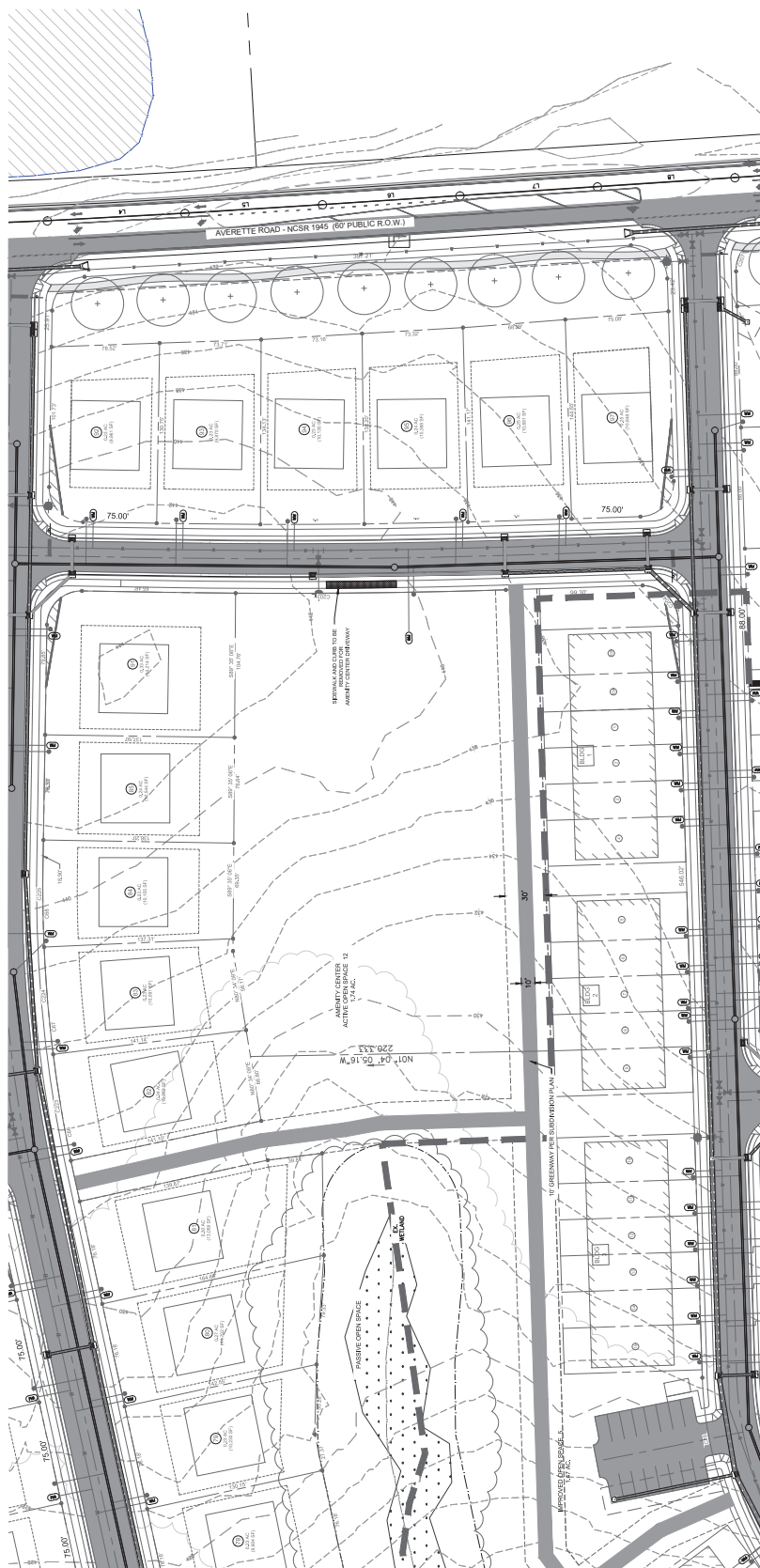
**ELIZABETH SPRINGS
 AMENITY CENTER**
 1205 AVERETTE ROAD
 WAKE FOREST, NC 27707
 WAKE COUNTY, NC

EXISTING CONDITIONS PLAN

Project Engineer:	SL
Designed By:	MMB
Drawn By:	MMB
Checked By:	SL
Scale:	1"=40'
Date:	11/22/2010
Project Number:	020906

**SHEET
 C101**

NORTH
 NORTH REFERENCED TO N.C. GRID (NAD 83)



NOTES

1. REFER TO MAPS 37201850LL & 372018600U FOR NORTH CAROLINA THESE ARE FLOOD HAZARD AREAS WITHIN THE DEVELOPMENT
2. EXISTING BOUNDARY TAKEN FROM A SURVEY BY BATEMAN CIVIL
3. EXISTING TOPOGRAPHY DOWNLOADED FROM WAKE COUNTY GIS
4. CONTRACTOR TO ESTABLISH AND RECORD PHASE 1 STREETS BEFORE AMENITY CENTER BEGINS.

LEGEND:

- EXISTING POND
- EXISTING WETLAND
- EXISTING WATERSHED (R-40W)
- EXISTING STREAM / TOP OF BANK
- EXISTING 50' NEUSE RIVER BASIN RIPARIAN BUFFER



KNOW WHAT IS BELOW
 CALL BEFORE YOU DIG



NO.	DATE	DESCRIPTION	REVISIONS



Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 2524 Reliance Avenue, Apex, North Carolina 27539
 Phone: 919.577.1080 Fax: 919.577.1081
 MODEL'S P&M No. C-2718

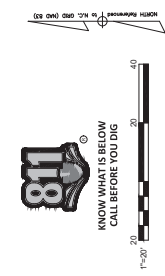
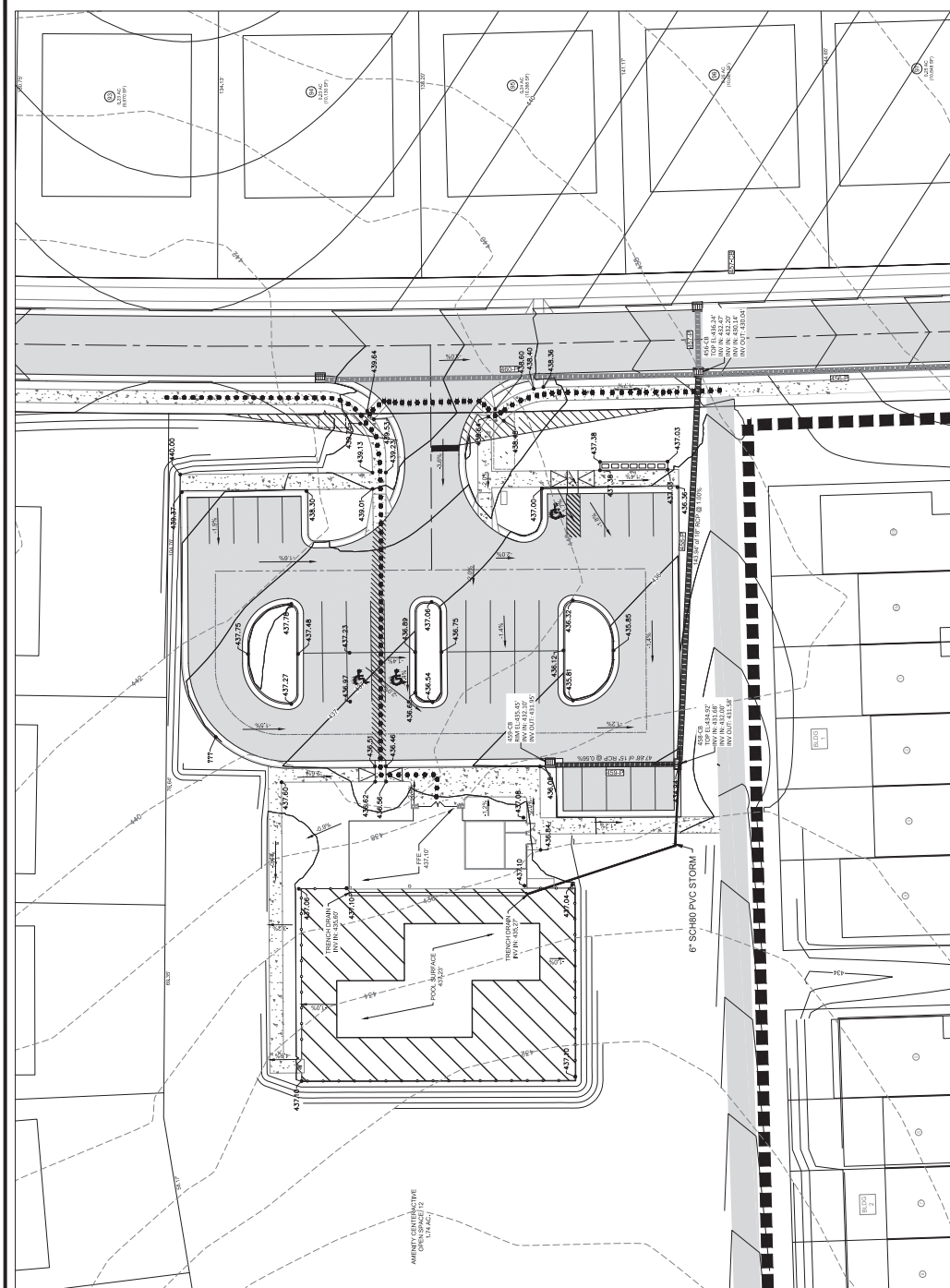


ELIZABETH SPRINGS AMENITY CENTER
 1205 AVERETTE ROAD
 WAKE FOREST, NC 27707
 WAKE COUNTY, NC

GRADING PLAN

Project Engineer:	SK
Designed By:	MMB
Drawn By:	MMB
Checked By:	SL
Scale:	1/2"=1'-0"
Date:	11/22/2020
Project Number:	03356

SHEET C310



- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- CONTOUR LABEL
- 436 ADA ACCESSIBLE PATH

- GRADING & STORM DRAINAGE NOTES:**
- REFER TO SHEET C310 FOR GENERAL NOTES.
 - CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS. HANDICAPPED ACCESSIBLE PARKWAY SHALL NOT EXCEED 4.5% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMP INDICATED ON PLANS SHALL BE A MINIMUM OF 48" WIDE AND SHALL BE CONFORMANT WITH ADA REQUIREMENTS. RAMP SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH 4" LANDINGS AT THE BOTTOM AND TOP OF RAMP.
 - ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
 - ALL AREAS WHERE UNPAVED AREAS SLOPE ONTO PAVED AREAS A 2" WIDE DIRT AREA WITH A SLOPE OF 2% TOWARDS THE PAVED AREA SHALL BE PROVIDED TO PREVENT DRAINAGE WASHOUT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM AND SEWER LINES ARE PROTECTED BY HAND-OPERATED TAMPER, PLATE BURSTERS, AND FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY TIGHTNESS. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY TIGHTNESS FOR AREAS TO BE USED FOR DRIVEWAYS, DRIVEWAYS, OR TALL WALKWAYS FOR THE FINAL TWO FEET.
 - SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL NOT BE LESS THAN 12" ABOVE FINISHED GRADE. ALL EXISTING FOUNDATION WALLS SHALL BE PROTECTED TO DRYWALL WATER AWAY FROM FOUNDATION WALLS SLOPED AT A MINIMUM OF 2% OR IMPROVED SURFACES SLOPED AWAY AT A MINIMUM OF 2% AWAY FROM BUILDING.
 - CONTRACTOR SHALL VERIFY THE ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
 - CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS.
 - ALL SPOTS IN PAVED CURB AREAS DENOTE ELEVATION OF BOTTOM OF CURB.
 - ROOF LEADERS TO TIE TO 459-09 @ MIN. COVER.

- WAKE COUNTY CONSTRUCTION SEQUENCE:**
- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE WATERED MANAGER SCOTT PER WMS 119-08-088. OBTAIN A PERMIT TO CONSTRUCT FROM THE WATERED MANAGER SCOTT PER WMS 119-08-088. OBTAIN A PERMIT TO CONSTRUCT FROM THE WATERED MANAGER SCOTT PER WMS 119-08-088.
 - INSTALL ALL CONSTRUCTION PADS, TEMPORARY DRIVEWAYS, SAFETY FENCING, SIGNAGE, EROSION CONTROL, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ON AS NECESSARY TO INSTALL THESE DEVICES. REID TEMPORARY DIVERSION.
 - CALL LOCOT REAMS VIA 919-888-4886 FOR A CONSULTATION TO OBTAIN A CONTRACTOR OF COMPLIANCE.
 - BEFORE CLEANING AND GRADING, MAINTAIN DEVICES AS NEEDED. EROSION CONTROL.
 - INSTALL STORM SEWER, SHOW, AND PROTECT IT WITH BLOCK AND BRANLINE CONTROL. SIGNAGE TEMPORARY DIVERSION.
 - OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGINS CONSTRUCTION, INCLUDING, ETC.
 - MAINTAIN ALL DEVICES AS SHOWN ON THE PLAN. MAINTAIN DEVICES AS SHOWN ON THE PLAN. MAINTAIN DEVICES AS SHOWN ON THE PLAN.
 - WHERE CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED OBTAIN A CALL LOCOT REAMS VIA 919-888-4886 FOR A CONSULTATION.
 - BEFORE REMOVAL OF DEVICES, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
 - BEFORE REMOVAL OF DEVICES, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.

NO.	DESCRIPTION	REVISIONS

NOTE: EXISTING TOPOGRAPHY WAS SURVEYED BY BATEMAN CIVIL SURVEY COMPANY.



DATE	REVISION	BY	DATE
2020.01.23	1ST SUBMITTAL	TMB	
2020.08.25	2ND SUBMITTAL	TMB	
2020.11.19	3RD SUBMITTAL	TMB	

SCALE: 1" = 20'-0"

GRAPHIC SCALE

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LANDSCAPE PLANTING NOTES

1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY. ALL GENERAL NOTES AND GENERAL CONDITIONS ARE TO BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS AND SPECIFICATIONS FOR LANDSCAPE ARCHITECTURE AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS (ASLA) STANDARD SPECIFICATIONS FOR PLANTING AND THE NATIONAL FLORICULTURAL SOCIETY (NFC) STANDARD SPECIFICATIONS FOR PLANTING.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE LANDSCAPE REQUIREMENTS.
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14. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE LANDSCAPE REQUIREMENTS.

LANDSCAPE SCHEDULE

NO.	SYMBOL	COMMON NAME	SIZE	REMARKS
15	JR	JAPANESE SPIDER GLENN	7' CAL. BATH	
16	OP	ORANGE PINK HYDRANGEA	7' CAL. BATH	
17	LD	LEMON LIME GLENN	7' CAL. BATH	
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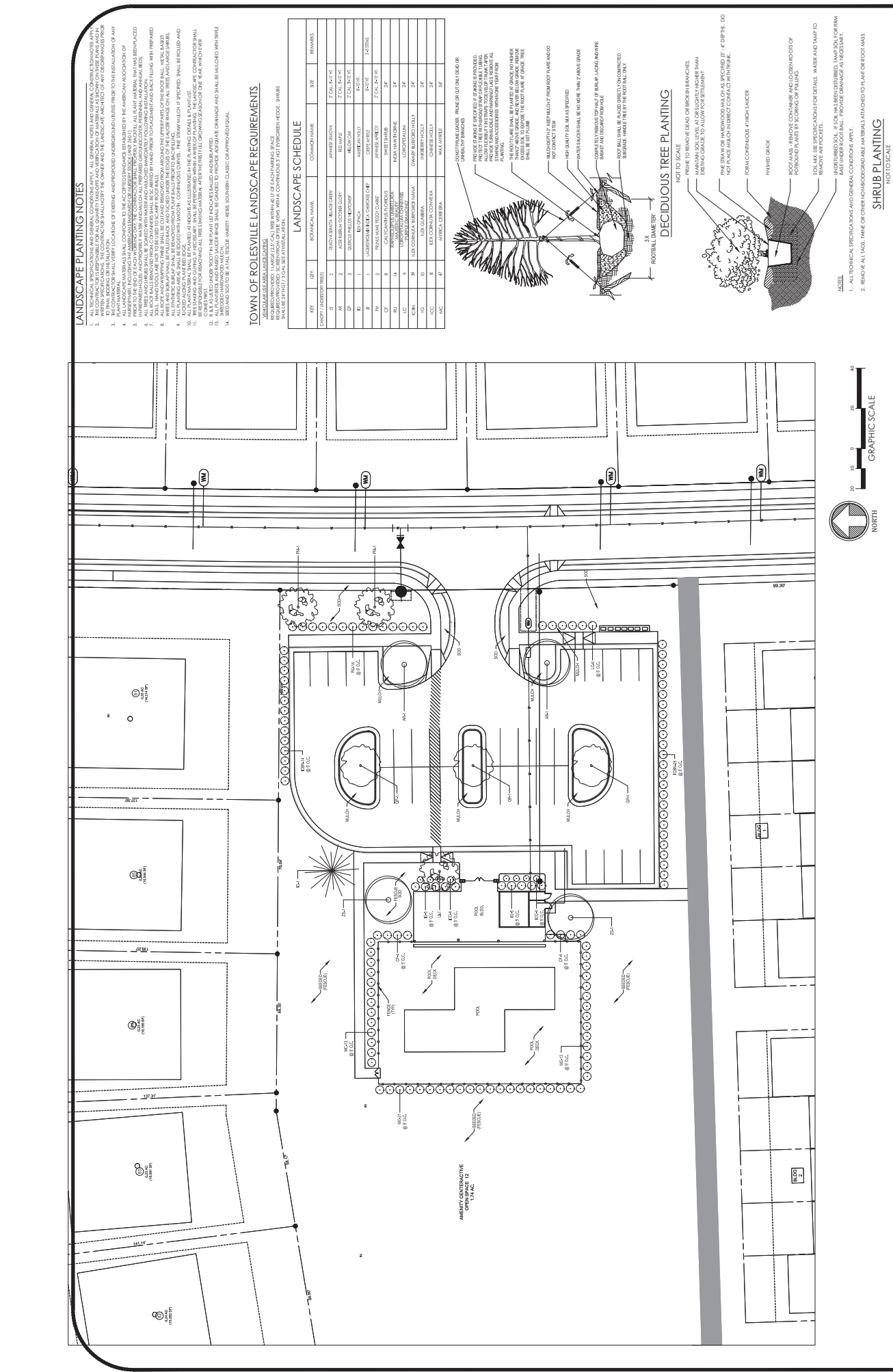
DECIDUOUS TREE PLANTING



SHRUB PLANTING



1. ALL TECHNICAL SPECIFICATIONS AND GENERAL CONDITIONS APPLY.
2. REMOVE ALL TAGS, TWIGS OR OTHER NON-HORRORGRASS MATERIALS ATTACHED TO PLANT ROOT MASS.





Bateman Civil Survey Company
 Engineers • Surveyors • Planners
 2525 Reliance Avenue, Apex, North Carolina 27539
 Phone: 919.577.1080 Fax: 919.577.1081
 MODEL'S P/SHA NO. C-2379



ELIZABETH SPRINGS
 CONSTRUCTION DRAWINGS

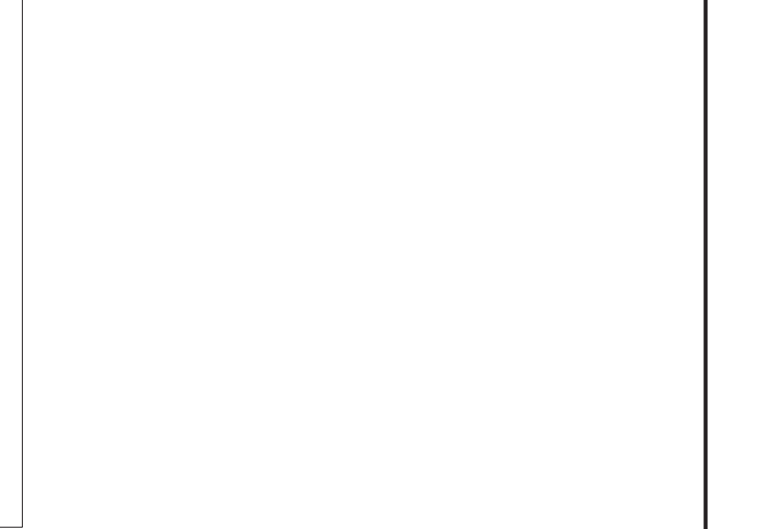
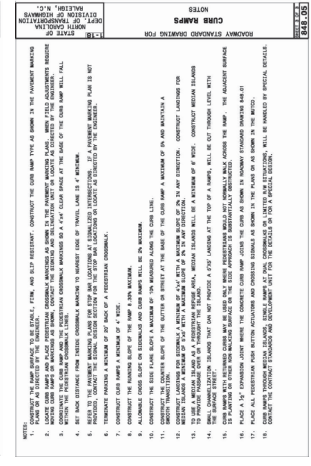
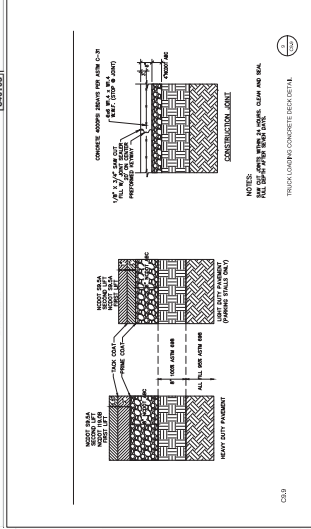
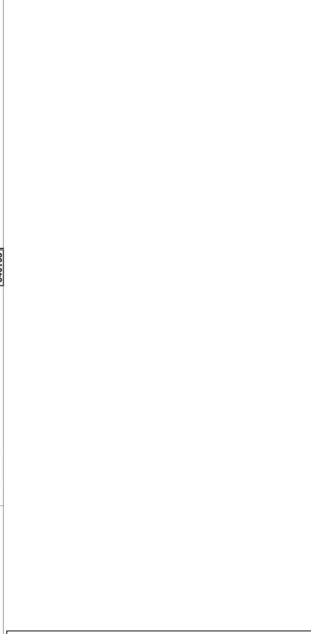
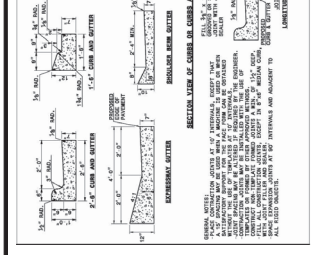
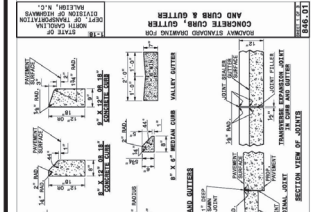
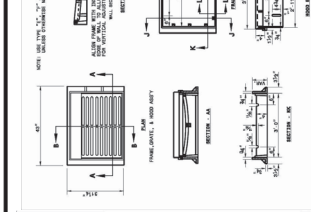
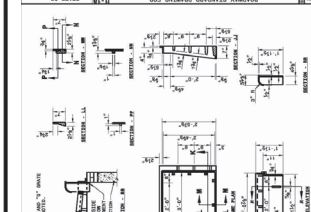
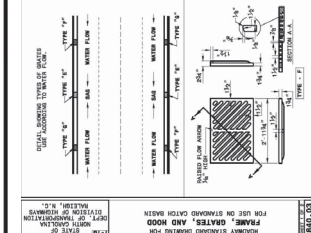
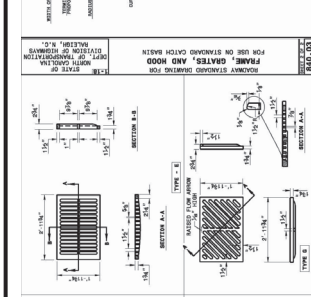
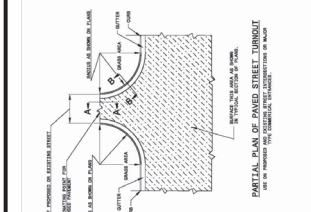
1205 AVRETT ROAD
 WAKE FOREST, NC 27707
 WAKE COUNTY, NC

ROAD DETAILS

Project Engineer: S.
 Designed By: WMB
 Drawn By: WMB
 Checked By: S.
 Scale: NTS
 Date: 11/22/2020
 Project Number: 23366

SHEET
C803

PRELIMINARY
 NOT RELEASED
 FOR CONSTRUCTION
 01/29/2020



NO.	DESCRIPTION	REVISIONS



Memo

To: Mayor and Town Board of Commissioners
From: Meredith Gruber, Planning Director and Michael Elabarger, Senior Planner
Date: June 29, 2022
Re: Agenda Item C.4 – Town Board of Commissioners Meeting July 6, 2022
PR 22-02 Granite Crest Phase IV (4) Preliminary Subdivision Plat

Application / Background

PR 22-02, Granite Crest Phase IV (4) is a preliminary subdivision plat proposing to subdivide 11.594 acres into 25 single family detached lots, 2 open space lots, a mail kiosk lot, and 1,554 linear feet (LF) of new public streets. Phase IV (4) proposes 2 sub-phases – (b) for 16 residential lots numbers 176-191, and (c) for 9 residential lots numbers 192-200. The subject property is zoned Residential 2 Special Use District (R2-SUD) under the Unified Development Ordinance (UDO); under the Land Development Ordinance the Zoning District is termed RM-CZ. Approval of a preliminary subdivision plat requires an evidentiary (quasi-judicial) hearing at a Town Board of Commissioners' meeting.

Phase IV (4) follows Phase III(C), which was approved by the Town Board in May 2021 via an Amendment under Application PR 21-03 and is currently under development subject to Construction Drawing application CD 21-01. Phase III(C) includes the commitment that Lot 132 shall not be developed until such time that access to a public right-of-way is provided to PIN 1759744853 (N/F Meyers, James & Meyers, Terri G) and the existing 50' COR (City of Raleigh) Pump Station access easement (BM2008/Pg1173) can be abandoned.

The Applicant is simultaneously processing Construction Drawing CD 22-01, for the development of Lots 176-191 and 212 (mail kiosk lot), and it is still undergoing Technical Review Committee (TRC) Staff review.

Background

Summary Information

Applicant	Real Estate Marketing & Consulting, Inc
Property Address	0 Pluton Place
PINs	1759753474, 1759753092, 1759751000, 1759741891, 1759757603
Zoning	Residential 2 Special Use District (R2-SUD) under the Unified Development Ordinance (UDO)
Acreage	11.594 acres
Total Lots (SFD)	25
Proposed Density	2.16 units per acre gross

Development History and Applications

The Granite Crest subdivision has an extensive history that dates to at least 2003 – see the Town’s project webpage for complete details - <https://www.rolesvillenc.gov/projects/granite-crest-fka-willow-crest> . Entitlements for Phase 1, 2, and 3 occurred in the mid-2000’s right up until the housing market collapse circa 2008-2010. Small portions of Phase 3A were recorded between 2008 and 2012 via multiple plats. In 2015, Map Amendments and Special Use Permits were achieved for a Phase IV (4), but Preliminary Subdivision platting was not completed. The Developer reinitiated Preliminary Subdivision and Construction Drawings for the remainder of the originally planned project in 2021 and Phase IV (4) would be the last portion of it.

Comprehensive Plan

Future Land Use

The Future Land Use Map identifies the subject parcels as being appropriate for Medium Density Residential forms of development/use. Rolesville’s Comprehensive Plan defines Medium Density Residential as single-family residential uses with portions of duplex, townhouse, or multifamily residential. These are lots or tracts at a density range of three to five dwelling units per gross acre including preserved open space areas along with limited non-residential uses under planned unit development or form base code provisions.

At the time of Map Amendment and Special Use Permit approvals, it was determined that the residential subdivision project was consistent with this future land use designation.

Community Transportation Plan

Phase IV (4) is an interior component of the larger Granite Crest (fka Willow Crest) overall subdivision. The subdivision takes primary access via (existing) Big Willow Way at W. Young Street, which is a primary east/west corridor through the Town. An additional point of main access is via (existing) Granite Peak Drive which connects to Granite Falls Blvd., which spans between W. Young Street and Rogers Road, another major east/west corridor through the Town.

Traffic Impact Analysis

Phase IV (4) did not submit any Traffic Impact Analysis (TIA) information. The Preliminary Plat references off-site Road improvements required for this overall subdivision, and they are observed to be installed on W. Young Street. Phase IV (4) does not trigger or require any additional road improvements unto itself. The Applicant will address traffic impacts as part of the Evidentiary hearing process.

Greenways

The approved Special Use Permit case, SUP 15-01, includes condition #10 which states “*prior to the release of the 23rd certificate of occupancy [for a single-family detached residence], the Developer shall construct a 10’ wide paved greenway trail as shown on the attached Exhibit A or pay a fee-in-lieu to the Town of Rolesville in an amount no less than 100% of the estimate cost of constructing the same.*”. At the time of this agreement, the six (6) residential lots that would eventually be recorded under BM2016/Pg681-682, referred to as ‘Heritage Pluton Place’ and being Lots 201-206, were planned as part of the Granite Crest subdivision. Thus, with their development, six lots toward the initiation of this Condition have received certificates of occupancy. As laid out by the Developer, Phase IV(4)(b) would add 16 lots to this count, for a running total of 22 lots. Thus, this Condition will not be initiated until the Developer pursues

development of Phase IV(4)(c) or residential Lots 192-200, and the first of those lots achieves a Certificate of Occupancy (after full construction of a residence occurs).

Technical Review Committee

The Town of Rolesville's Technical Review Committee (TRC) has reviewed four (4) submittals of the preliminary subdivision plat, and there are no outstanding staff comments remaining.

Findings of Fact

The following findings, based on evidence and testimony received at an evidentiary hearing in accordance with procedures specified in the Unified Development Ordinance (UDO), must be made by the Town Board in order to approve a preliminary subdivision plat:

- A. That the proposed development and/or use will not materially endanger the public health or safety;
- B. That the proposed development and/or use will not substantially injure the value of adjoining property;
- C. That the proposed development and/or use will be in harmony with the scale, bulk, coverage, density, and character of the neighborhood in which it is located;
- D. That the proposed development and/or use will generally conform with the Comprehensive plan and other official plans adopted by the Town;
- E. That the proposed development and/or use is appropriately located with respect to transportation facilities, water and sewer supply, fire and police protection, and similar facilities;
- F. That the proposed development and/or use will not cause undue traffic congestion or create a traffic hazard;
- G. That the proposed development and use comply with all applicable requirements of this ordinance.

Potential Actions

- Approve the Preliminary Subdivision Plat and determine that the plat will meet the requirements of the Town's Unified Development Ordinance.
- Approve the Preliminary Subdivision Plat with modifications in consideration of information presented at the evidentiary hearing.
- Deny the Preliminary Subdivision Plat based on information presented at the evidentiary hearing with the stated reason for denial.

Suggested Town Board Motion

Motion to approve the preliminary subdivision plat for PR 22-02, Granite Crest Phase IV (4), based on the evidence and testimony received at the hearing to determine the Findings of Fact.

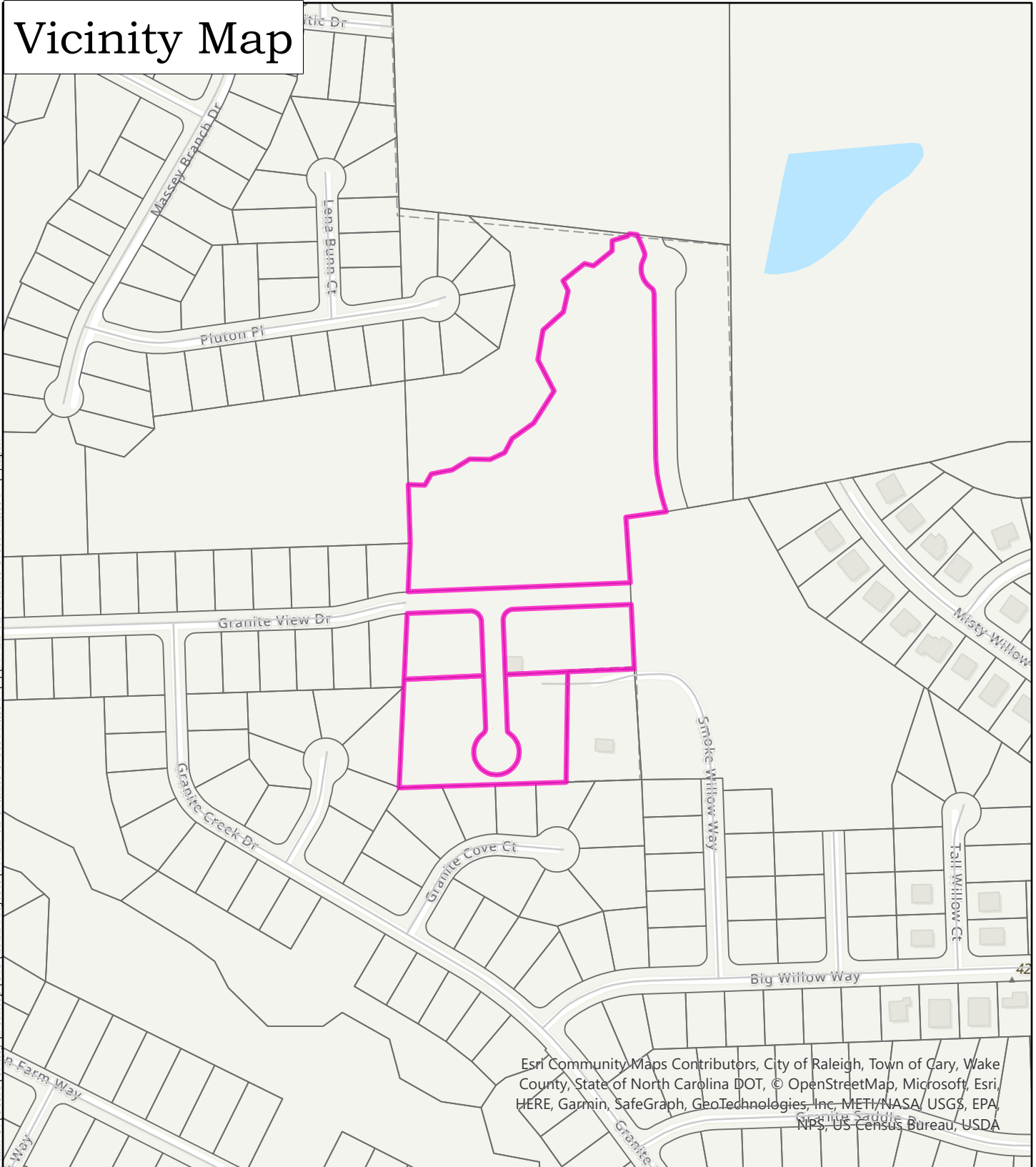
Attachments

1. Vicinity Map
2. Future Land Use Map
3. Zoning Map
4. Application
5. Preliminary Subdivision Plat revision date of 06-28-2022

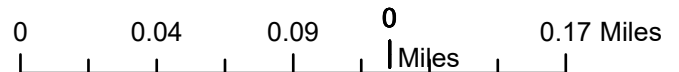
Vicinity Map

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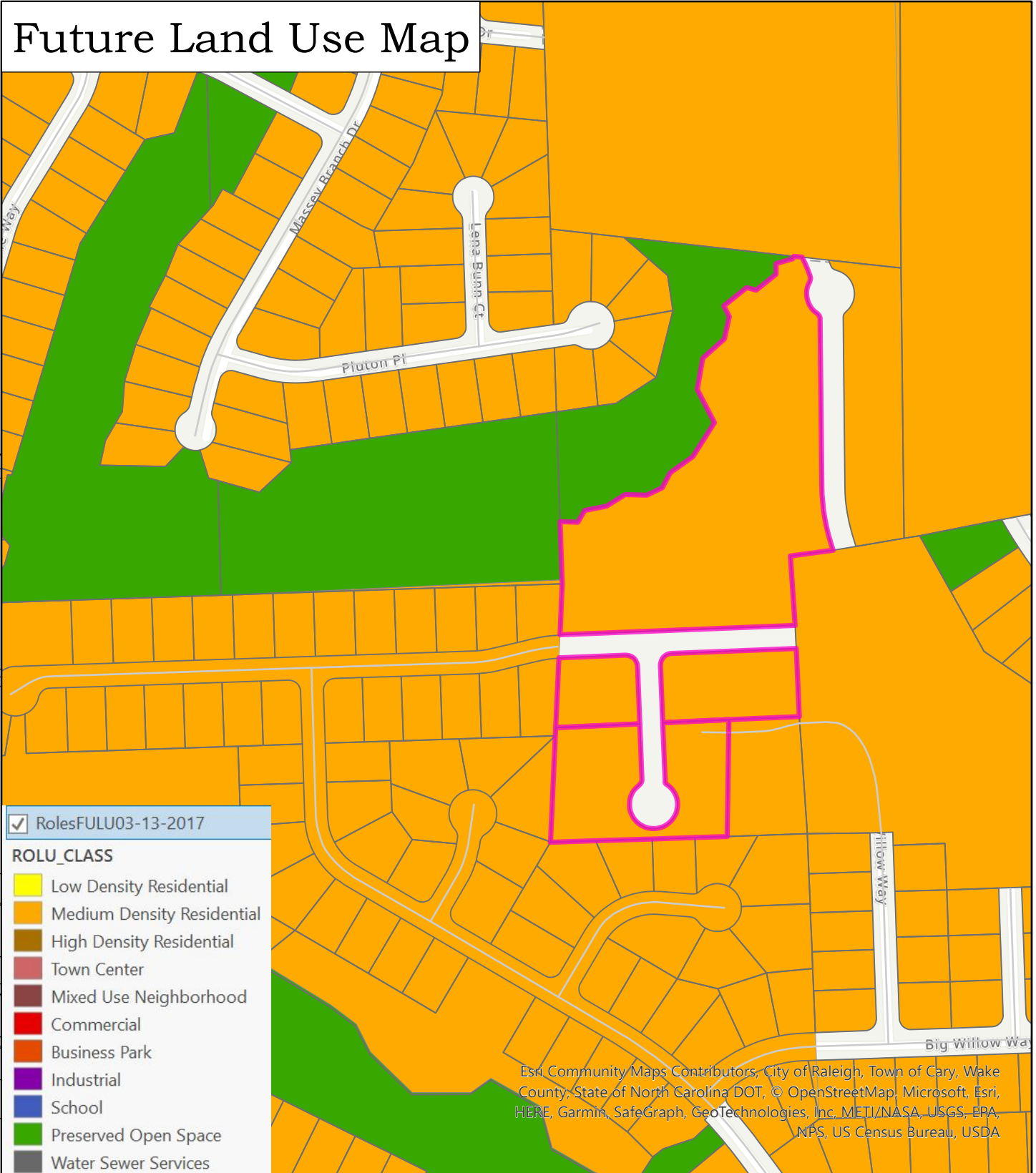
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Future Land Use Map

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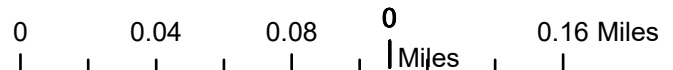


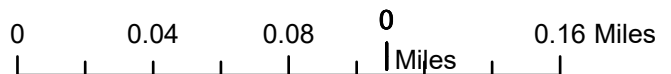
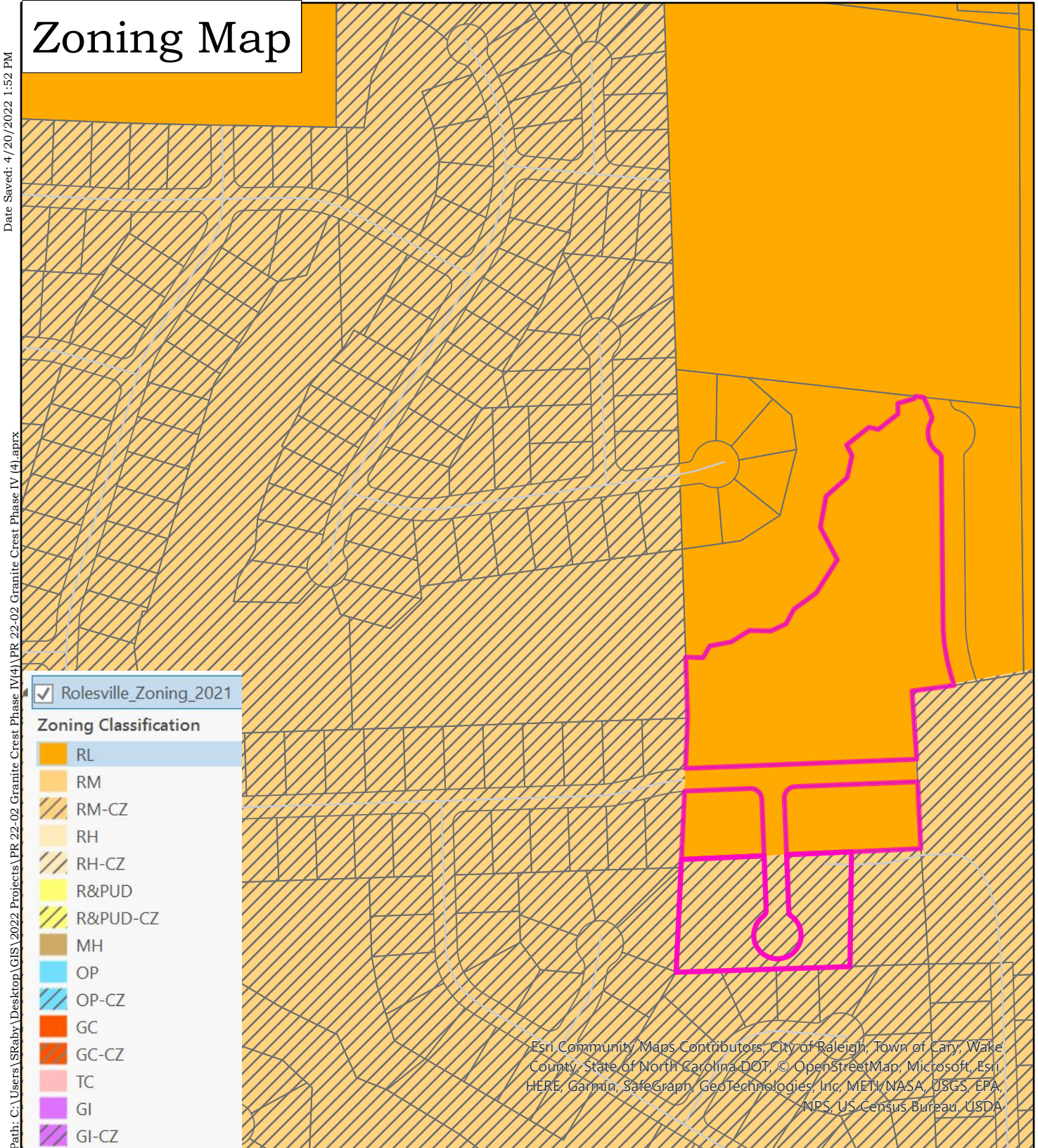
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ROLU_CLASS

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Town Center
- Mixed Use Neighborhood
- Commercial
- Business Park
- Industrial
- School
- Preserved Open Space
- Water Sewer Services

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Development Plan Review Application

Project/Development Name Granite Crest

Application Type Sketch Plan Preliminary Plat
 Construction Drawings Final Plat

Contact Information

Property Owner REAL ESTATE MARKETING & CONSULTING, INC

Address 6200 Falls of Neuse Road; Suite 102 City/State/Zip Raleigh, NC 27609

Phone (919) 865-9918 Email halperry@remc.us

Developer REAL ESTATE MARKETING & CONSULTING, INC

Contact Name Hal Perry

Address 6200 Falls of Neuse Roads; Suite 102 City/State/Zip Raleigh, NC 27609

Phone (919) 865-9918 Email halperry@remc.us

Design Engineering Company JAECO

Contact Name Travis Tyboroski

Address 333 Wade Avenue City/State/Zip Raleigh, NC 27605

Phone (919) 828-4428 Email info@jaeco.com

Property Information

Wake County PIN(s) 1759753474, 1759753092, 1759741891, 1759751000 Address 0 Pluton Place (amendment parcels only)
(amendment parcels only)

Total Property Acreage 106.557 Total Phases 4

Total Lots 206 Average Lot Size 0.29 ac (amendment parcels only)

Smallest Lot Size 0.22 ac (amendment parcels only) Largest Lot Size 0.43 ac (amendment parcels only)

I, as owner, developer, engineer, and/or agent, understand that I am responsible for all review fees due at the time of plan submittal. I understand that the Planning Department will not review my plans until I remit payment. I have read the Development Review Procedures, and I understand the review processes and requirements.

Signature  Date 02/22/2022

Town of Rolesville Planning

PO Box 250 / Rolesville, North Carolina 27571 / RolesvilleNC.gov / 919.554.6517

GRANITE CREST SUBDIVISION

PHASE IV (PR-22-02)

(LOTS 176-200, 209, 210, & 212)

PRELIMINARY PLAT

0 PLUTON PLACE ROLESVILLE, NC

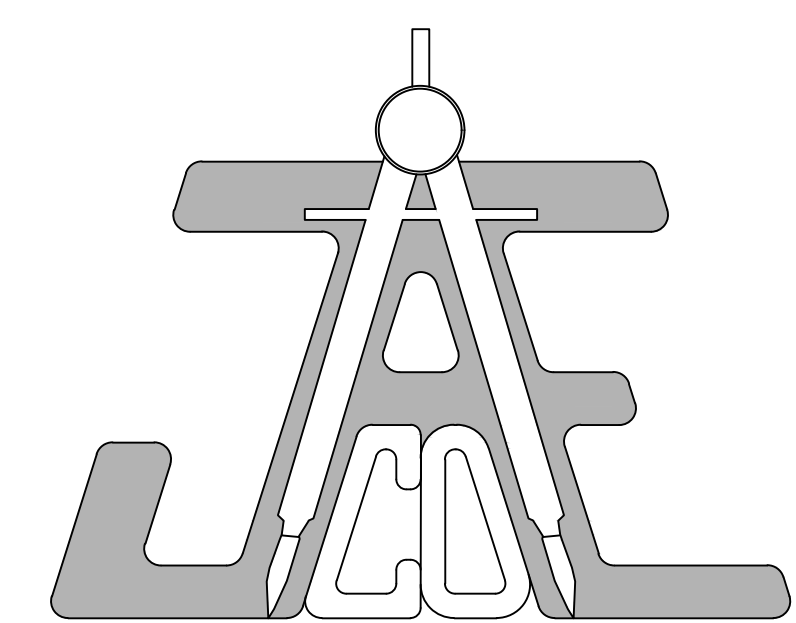
FEBRUARY 21, 2022
APRIL 14, 2022
MAY 26, 2022
JUNE 13, 2022
JUNE 15, 2022

LAST REVISED: JUNE 28, 2022

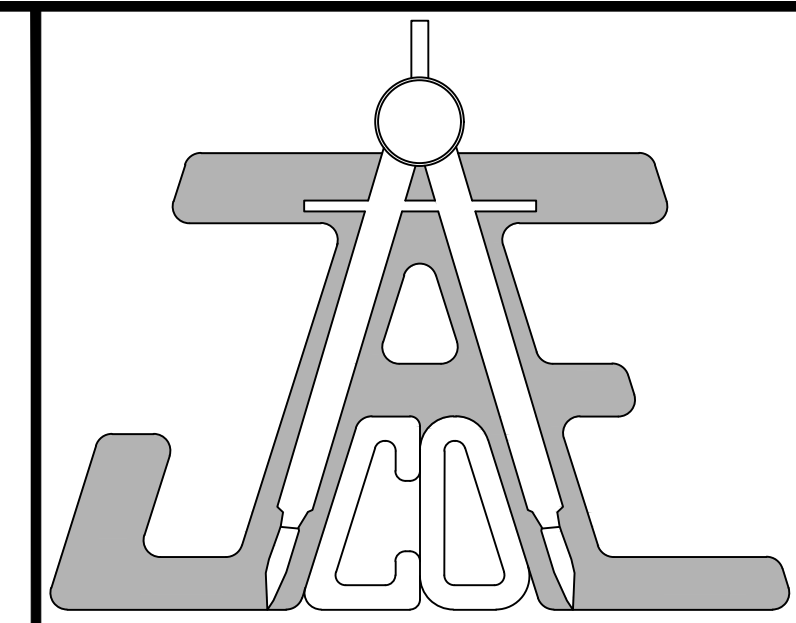
SHEET INDEX	
--	COVER
C-0	PRELIMINARY SUBDIVISION - OVERALL
C-1	EXISTING CONDITIONS & DEMOLITION PLAN
C-2	SUBDIVISION PLAN
C-3	SITE, SIGNAGE, & PAVEMENT MARKING PLAN
C-4	SITE DETAILS
C-5	EROSION & SEDIMENT CONTROL PLAN - PHASE I
C-6	EROSION & SEDIMENT CONTROL PLAN - PHASE II
C-7	EROSION & SEDIMENT CONTROL DETAILS
C-8	EROSION & SEDIMENT CONTROL DETAILS
C-13	STORMDRAIN & GRADING PLAN
C-17	STORMDRAIN DETAILS
C-18	UTILITY PLAN
C-20	UTILITY DETAILS
C-21	UTILITY DETAILS

OWNER/DEVELOPER:
REAL ESTATE MARKETING & CONSULTING, INC
6200 FALLS OF NEUSE ROAD
SUITE 102
RALEIGH, NC 27609
Phone: (919) 865-9918
E-mail: halpery@remc.us

CIVIL ENGINEER:
JAECO
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com



ABBREVIATIONS	
APPLICABLE TO ENTIRE PLAN SET	
AC	ACRE
APPROX	APPROXIMATE
B-B	BACK-TO-BACK
BM	BOOK OF MAPS
B/O	BLOW-OFF ASSEMBLY
CB	CATCH BASIN
CIP	CAST IRON PIPE
CL	CENTERLINE
CO	CLEANOUT
CONC	CONCRETE
COR	CITY OF RALEIGH
CP	COMPUTED POINT
DB	DEED BOOK
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DTL	DETAIL
ECM	EX CONC MONUMENT
EIP	EX IRON PIPE
EIR	EX IRON ROD
ELEC	ELECTRIC
ELEV	ELEVATION
EMAG	EX MAG NAIL
EOP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FH	FIRE HYDRANT
FM	FORCE MAIN
FP	FLOODPLAIN
GIS	GEOGRAPHIC INFORMATION SYSTEM
GM	GAS METER
GP	GALVANIZED PIPE
GW	GUY ANCHOR
HB	HOT BOX
HDPE	HIGH DENSITY POLYETHYLENE
IPS	IRON PIPE SET
LF	LINEAR FEET
LP	LIGHT POLE
LOC	LOCATION
MAGS	MAG NAIL SET
MH	MANHOLE
MW	MONITORING WELL
N/F	NOW OR FORMERLY
NCDDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
PG	PAGE
PP	POWER POLE
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONC PIPE
ROW	RIGHT-OF-WAY
R/W	RIGHT-OF-WAY
RSDM	RALEIGH STREET DESIGN MANUAL
SF	SQUARE FEET
SS	SANITARY SEWER
STD	STANDARD
SWM	STORMWATER MANAGEMENT
TBD	TO BE DETERMINED
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TCE	TEMPORARY CONSTRUCTION ESMT
TF	ELECTRIC TRANSFORMER
TP	TELEPHONE PEDESTAL
TYP	TYPICAL
UDO	UNIFIED DEVELOPMENT ORDINANCE
UNK	UNKNOWN
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WLE	WATER LINE ESMT
WM	WATER METER
YI	YARD INLET



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Granite Crest - Phase IV
0 Pluton Place
Rolesville, NC

Real Estate Marketing & Consulting, Inc.
6200 Falls of Neuse Rd.
Suite 102
Raleigh, NC 27609

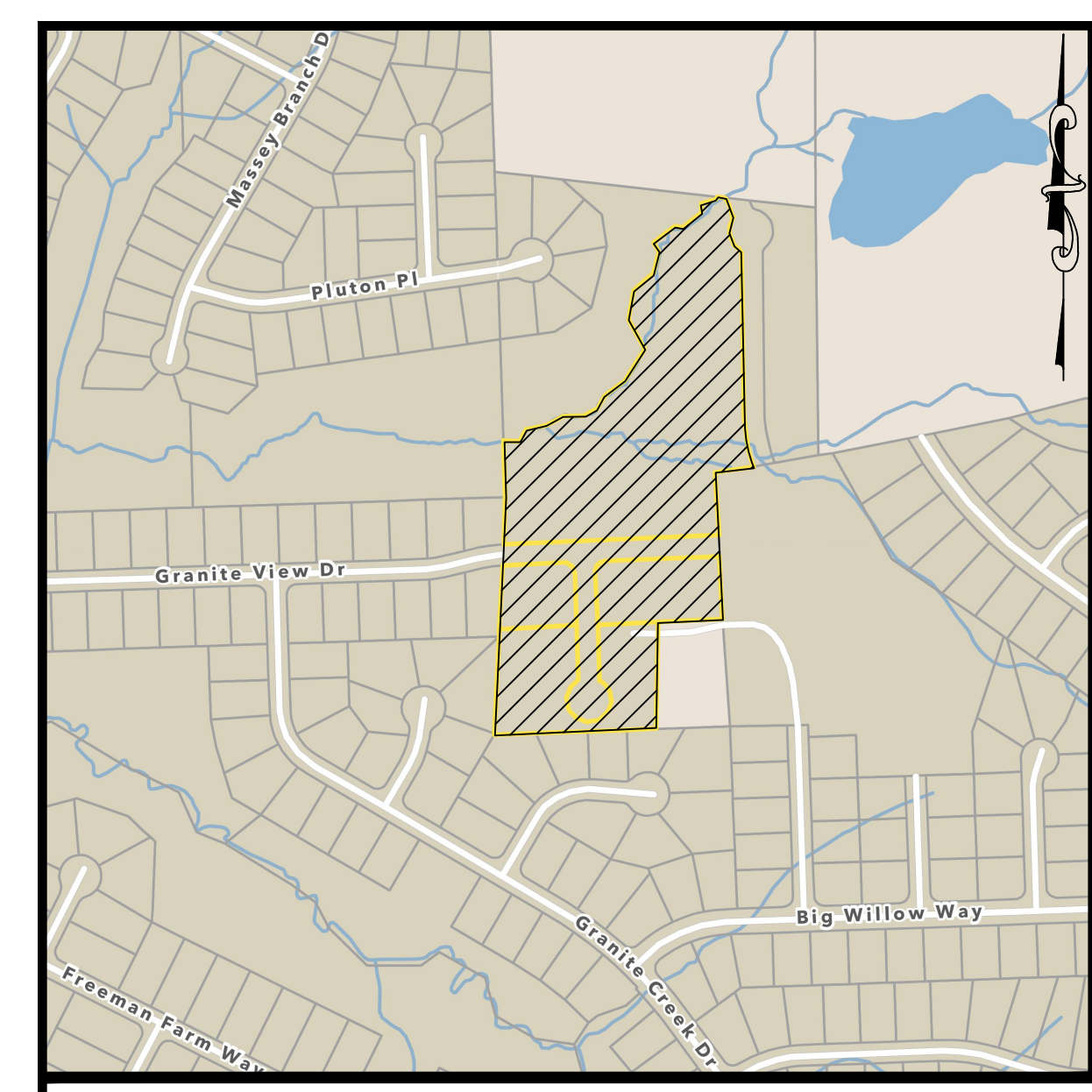
Call 811 before you dig.

LEGEND

COVER

Revisions		
Number	Description	Date
1	PER TRC COMMENTS	04/14/22
2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	FOR BOARD HEARING	06/28/22

JAECO #: 364-04
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: TT
DATE ISSUED: 02/21/2022



VICINITY MAP
NOT TO SCALE

SITE DATA TABLE		
ADDRESS	0 PLUTON PLACE	
WAKE COUNTY PINS	1759753474, 1759757603, 1759751000, 1759753092, 1759741891	
ZONING	R2-SUD	
LOT 209 (BM2016 PG679 & BM2016 PG681)	270,811 SF	
LOT 210 (BM2016 PG679)	79,544 SF	
LOT 211 (BM2016 PG679)	26,337 SF	
LOT 212 (BM2016 PG679)	45,206 SF	
LOT 213 (BM2016 PG679)	80,167 SF	
PHASE III (BM2003 PG1836)	2,966 SF	
TOTAL TRACT AREA	505,031 SF	
AREA IN LOTS	307,910 SF	25 LOTS
LOT 209 REMAINDER	166,929 SF	
LOT 210 REMAINDER	22,560 SF	
LOT 212 REMAINDER	7,632 SF	
TOTAL PHASE IV AREA (LOTS 176-200, 209, 210, & 212)	11,594 AC (505,031 SF)	25 LOTS
PREVIOUSLY APPROVED AREA (PHASES I-III)	88,513 AC	174 LOTS
TOTAL PROJECT AREA ("GRANITE CREST" aka "WILLOW CREST")	100.107 AC	199 LOTS
OPEN SPACE		
PHASE IV	4.35 AC	
PREVIOUSLY APPROVED	23.28 AC	
TOTAL	27.63 AC	
BASE DIMENSIONAL STANDARDS		
	REQUIRED	PROVIDED (PHASE IV ONLY)
MINIMUM LOT AREA	11,250 SF*	11,262 SF
MINIMUM LOT WIDTH	85'	85'
MINIMUM LOT WIDTH AT CUL-DE-SAC (AT FRONT YARD SETBACK)	35'	66.1'
FRONT YARD SETBACK	30'	30'
SIDE YARD SETBACK	12'	12'
CORNER YARD SETBACK	22'	22'
REAR YARD SETBACK	25'	25'
MAXIMUM BUILDING HEIGHT	35'	35' MAX
PROPOSED DENSITY	25 UNITS / 11,594 AC = 2.16 U/A	
PARKING CALCULATIONS (PHASE IV ONLY)		
SPACES		
MAIL KIOSK	3 SPACES (INCLUDING 1 ADA VAN)	3
TOTAL		3
IMPERVIOUS SUMMARY (PHASE IV ONLY)		
EXISTING	0.20 AC	
RIGHT-OF-WAY	1.40 AC ±	
25 LOTS (3,000 SF MIA PER LOT)	1.72 AC [ALLOCATED]	
LOT 212	0.10 AC ±	
GREENWAY & CONNECTION	0.20 AC ±	
TOTAL	3.42 AC ±	
UTILITIES (PHASE IV ONLY)		
WATER	33	
	PUBLIC LENGTH (SIZE)	1,600 LF± (8")
	PRIVATE LENGTH (SIZE)	50 LF± (6")
SEWER	28	
	PUBLIC LENGTH (SIZE)	1,800 LF± (8")
	PRIVATE LENGTH (SIZE)	0 LF
STREETS (PHASE IV ONLY)		
SMOKE WILLOW WAY	655 LF	
GRANITE VIEW DRIVE	545 LF	
CRESTOVER COURT	354 LF	
TOTAL	1,544 LF	

*PER SPECIAL USE PERMIT DATED SEPTEMBER 07, 2004

- All homes built on the six (6) lots accessible off of Pluton Place shall be a minimum of 2,500 heated square feet. All homes built on the other twenty-five (25) lots, accessible from Granite Crest Subdivision, shall be a minimum of 2,250 heated square feet.
- All homes shall have, at minimum, a two car garage.
- All front loaded, two car garages shall have two separate garage doors. Three car, front loaded garages may have one double door and one single door if so desired. Side loaded garages may be fitted with any combination of doors.
- No home shall be clad with aluminum or vinyl siding.
- All homes shall either be "crawl space" or "stem-wall" type foundations. Those houses with "stem-wall" type foundations shall have a brick veneer around the full perimeter and be made accessible in compliance with the American with Disabilities Act (ADA).
- All houses shall have sheathing that is nominally 1/2 inch or greater OSB, Densglass, or other similar materials. No "thermosly" or narrow wall panel structural sheathing will be permitted. All garages shall be completely dry walled for fire and energy rating purposes.
- The architectural requirements of the neighborhood for both homes and accessory structures shall include an anti-monotony policy whereby duplicate plans/colors shall not be allowed on adjacent lots.
- All homes accessible from Pluton Place shall, at a minimum, be similar in architectural features, size, and materials as those in the adjoining section of Heritage Subdivision. General architectural requirements of the entire neighborhood will be governed by recorded conditions, covenants, and restrictions. The developer shall submit a copy of the conditions, covenants, and restrictions to the Town of Rolesville to allow the Town Attorney to review them before recordation.
- All required open space and drainage easements shall be owned and maintained by the homeowners association in perpetuity.
- Prior to the recordation of any lots in the development, the developer shall dedicate all required greenway easements to the Town. Prior to the release of the twenty-third (23rd) certificate of occupancy, the developer shall construct a 10 feet wide paved greenway trail as shown on the attached Exhibit A or pay a fee-in-lieu to the Town of Rolesville in an amount no less than 100% of the estimated cost of constructing same.
- Prior to the recordation of any lots in the development, all required public rights of way, including but not limited to, that portion of Smoke Willow Way that would extend to the northern property line beyond the proposed cul-de-sac, shall be dedicated to the Town. The cul-de-sac shall be abandoned at such time as the road is extended to the north.
- Prior to the issuance of the first Certificate of Occupancy in each section (either those 6 lots accessible from Pluton Place or the 25 lots accessible from Granite Crest Subdivision), the developer shall construct either a centralized mail kiosk and associated parking area or individual mailboxes to the satisfaction of the Town, Wake County Inspections, and the United States Postal Service.
- If unmarked human burials or human skeletal remains are encountered as a result of construction or agricultural activities, disturbance of the remains shall cease immediately and shall not resume without authorization from either the county medical examiner or the State Archaeologist.
- All other required landscaping shall be maintained in perpetuity. Should any plantings become diseased, damaged, or die then the property owner shall be required to be replaced with others in the same quantities, of similar sizes, and of similar species so as to blend with the existing landscaping.
- The developer shall notify all adjacent property owners no less than seven days prior to any blasting activities on the site.
- At no time shall development activities exceed the noise standards set forth in Rolesville Town Code of Ordinances Chapter 130.
- The final layer of asphalt, on the streets fronting recorded lots, shall be put down according to Town standards before 1 year after the issuance of the first building permit or the release of the twenty-third (23rd) certificate of occupancy, whichever comes first.
- For so long as the 50' pump station access easement recorded in BM2008 PG 1173 remains in effect, no building permit shall be issued for Lots 179, 184 and 186. Provided all other applicable requirements have been met, building permits for Lots 179, 184 and 196 may be issued only after the 50' pump station access easement recorded in BM2008, PG 1173 is relocated to outside of all proposed buildable lots and approved by the City of Raleigh and Town of Rolesville and such relocated easement plat is recorded.
- In the event that the fifty-foot wide area shown on the approved plans for the Granite Crest Lots mail kiosk (and associated parking) and access drive to the Meyer's property is dedicated to the Town of Rolesville as a future public street, developer or its successor in interest shall obtain from the Town of Rolesville an encroachment agreement for such non-public street improvements to be so located in a public right-of-way; however, the Town of Rolesville shall have no obligation to maintain or accept for maintenance such dedicated right-of-way until such time as the improvement of such dedicated right-of-way meets or exceeds the then Town standards and requirements for a public street.

SUP 15-01 CONDITIONS OF APPROVAL
(DB1629 PG2794)



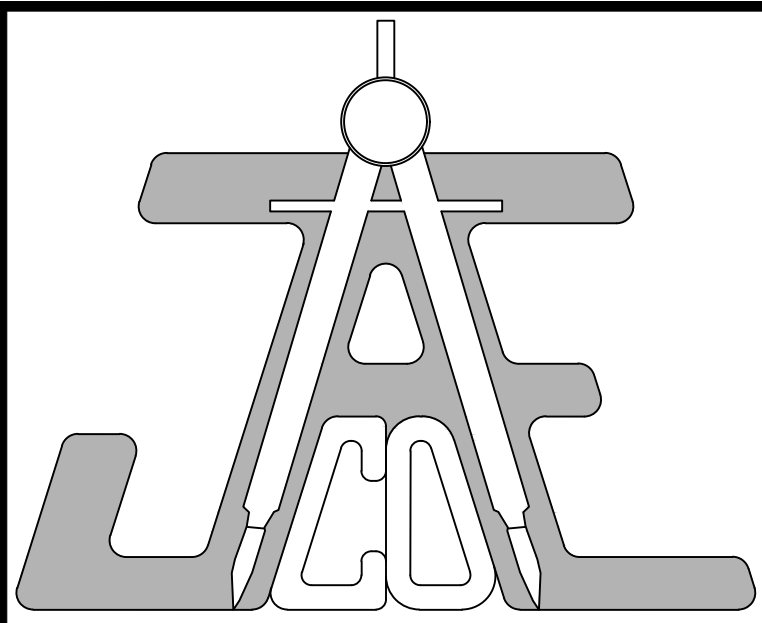
ADJACENT OWNER TABLE

PIN	OWNER	DB	PG	ZONE	
1	1759669030	N/F WHITMIRE, DAVID WAYNE WHITMIRE, MARY KATHERINE	16422	522	R2-SUD
2	1759659932	N/F WINSLETT, LEE WINSLETT, JULIA	16928	1313	R2-SUD
3	1759659833	N/F REEVES, MARTIN D REEVES, REBECCA E	17047	325	R2-SUD
4	1759659678	N/F THOMAS, BRIAN J THOMAS, KATHERINE P	16129	182	R2-SUD
5	1759659178	N/F SABA, ANDREA COLIANNI, SARA	18569	1044	R2-SUD
6	1759649979	N/F HARRIS, CASEY E HARRIS, SARAH BETH	17626	837	R2-SUD
7	1759648886	N/F EPPERSON, CHRISTOPHER A EPPERSON, CORNELIA L	17261	996	R2-SUD
8	1759649758	N/F JUNK, PHILIP JUNK, KATHERINE	17185	154	R2-SUD
9	1759649625	N/F SIMONTON, JEFFREY A SIMONTON, ROBIN A	17389	1770	R2-SUD
10	1759740671	N/F ROBINSON, NICHOLAS ROBINSON, MARIANNE	17426	2390	R2-SUD
11	1759741673	N/F SNYDER, ALLIE MARIE SNYDER, BENJAMIN D	17508	2370	R2-SUD
12	1759742673	N/F LIPPERT, REBECCA	17653	902	R2-SUD
13	1759743674	N/F HHOMES RALEIGH-DURHAM LLC	18544	1079	R2-SUD
14	1759744691	N/F PETREE, CHRISTOPHER RYAN PETREE, MEGHANN	17190	1529	R2-SUD
15	1759744497	N/F KLOSS, JONATHAN A KLOSS, SARAH R	17295	136	R2-SUD
16	1759745333	N/F WILSON, GREGORY WILSON, ELIZABETH	17126	1215	R2-SUD
17	1759745133	N/F HOOKS, DONTIQUE HOOKS, ERIKA	18215	1450	R2-SUD
18	1759746041	N/F ELKO, ROBERT JOHN ELKO, JENDI RAE	17224	2294	R2-SUD
19	1759747041	N/F FIEDLER, MICHAEL FIEDLER, ROBIN	17141	2182	R2-SUD
20	1759748031	N/F DUNCAN, CHRISTOPHER GENTRY DUNCAN, TANYA MARIE	17197	2049	R2-SUD
21	1759749012	N/F BRAY, CATHERINE WILSON BRAY, TRENT EDWARD	17173	536	R2-SUD
22	1759840002	N/F LONG, GENE E. LONG, ALINE M.	17078	909	R2-SUD

ADJACENT OWNER TABLE

PIN	OWNER	DB	PG	ZONE	
23	1759840082	N/F MATHER, JEFFREY MATHER, KATHRYN	17115	752	R2-SUD
24	1759841082	N/F PAPP, JON-MICHAEL PAPP, SHANA L	17107	785	R2-SUD
25	1759842071	N/F LINBOOM, DANIELLE N	16610	2041	R2-SUD
26	1759833959	N/F SCHMAHL, JOHN P SCHMAHL, AMY L	16639	65	R2-SUD
27	1759834928	N/F RUSSELL, SEAN C RUSSELL, AMY	15695	1725	R2-SUD
28	1759834988	N/F PAUL, RYAN J PAUL, CRESCENTA	16579	1363	R2-SUD
29	1759845070	N/F MALLETTE, ALONZO M IV LUEITAIN-MALLETTE, SACHEEN T	15824	165	R2-SUD
30	1759846052	N/F DURDEN, RICHARD	15675	413	R2-SUD
31	1759847033	N/F LUCAS, JOSEPH LUCAS, MAGGIE LOIS	15899	2320	R2-SUD
32	1759848025	N/F STAFFORD, KAREN D	16463	604	R2-SUD
33	1759849025	N/F CLARKE, JULIAN PATRICE	17261	2061	R2-SUD
34	1759940005	N/F GRAHAM, NICKEY CHARLES GRAHAM, LAURA MILLER	17271	2451	R2-SUD
35	1759940096	N/F MISTRETTA, TARA	17197	2361	R2-SUD
36	1759941086	N/F TODD, KEVIN M TODD, DORINDA	17206	254	R2-SUD
37	1759956689	N/F ACORD, GARY D ACORD, KIM C	16239	2442	R-1
38	1759750942	N/F ARSENAULT, DANIEL A ARSENAULT, MICHELLE L	16604	451	R2-SUD
39	1759751943	N/F MAXWELL, SHANE M MAXWELL, KENDRA L	16825	1118	R2-SUD
40	1759752807	N/F SOROKA, THOMAS JR TRUSTEE SOROKA, CYNTHIA K TRUSTEE	16735	1055	R2-SUD
41	1759752707	N/F THOMAS, ANDREW L THOMAS, LESLIE A	18754	403	R2-SUD
42	1759751659	N/F DODGINS, BRYAN EDWARD DODGINS, HEATHER OCTAVIA	18130	535	R2-SUD
43	1759750659	N/F BRENZY, KEVIN J BRENZY, LAUREN E	17125	870	R2-SUD
44	1759752637	N/F HERITAGE THREE HOMEOWNER'S ASSOCIATION INC	17493	2011	R2-SUD

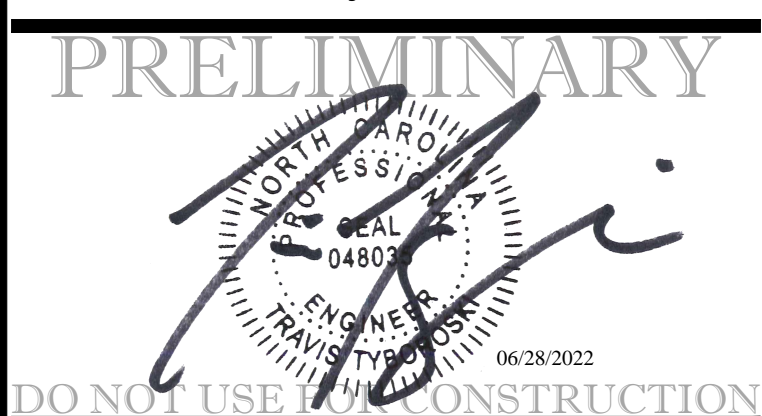
- ### NOTES
- TURN LANES TO BE CONSTRUCTED ALONG WEST YOUNG STREET NCSR 1945 PER NCDOT STANDARDS.
 - ALL PUBLIC STREETS PER NCDOT STANDARDS.
 - FEE-IN-LIEU OF LAND TO BE PAID FOR PARK.
 - PONDS AND WETLANDS TO BE MAINTAINED FOR STORM WATER MANAGEMENT.
 - MONTHLY MAINTENANCE OF PONDS AND WETLANDS BY THE HOMEOWNERS ASSOCIATION.
 - SIDEWALK TO BE CONSTRUCTED ALONG WEST YOUNG STREET FROM SUBDIVISION TO COTTON PAWS STREET, APPROXIMATELY 800 FEET.
 - STREET AND TRAFFIC SIGNS TO BE PAID FOR BY THE OWNER.
 - STREET LIGHTING UPGRADE OF FIXTURES TO BE PAID FOR BY THE OWNER.
 - RIPARIAN BUFFERS AND WETLANDS TO BE APPROVED BY DIVISION OF WATER QUALITY AND CORPS OF ENGINEERS.
 - CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, TOWN OF ROLESVILLE, AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - PER SUP15-01 PROVISION #10 "PRIOR TO THE RELEASE OF THE 23 CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL CONSTRUCT A 5 FEET WIDE PAVED GREENWAY TRAIL AS SHOWN ON THE APPROVED PLAN OR PAY A FEE-IN-LIEU TO THE TOWN OF ROLESVILLE IN AN AMOUNT NO LESS THAN 100% OF THE ESTIMATED COST OF CONSTRUCTING THE SAME."



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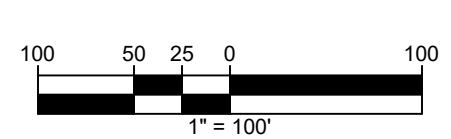
	ZONING BOUNDARY
	PHASE BOUNDARY
	PHASE Ibv (BM2016 PG679)
	PHASE Ivc (BM2016 PG682)

***NOTE**
 LOT 132 SHALL NOT BE DEVELOPED UNTIL SUCH TIME THAT ACCESS TO A PUBLIC RIGHT-OF-WAY IS PROVIDED TO PIN 1759744853 (N/F MEYERS, JAMES & MEYERS, TERRI G) AND THE EXISTING 50' COR PUMP STATION ACCESS EASEMENT (BM2008 PG1173) CAN BE ABANDONED.

PRELIMINARY SUBDIVISION - OVERALL

Number	Description	Date
1	PER TRC COMMENTS	04/14/22
2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	FOR BOARD HEARING	06/28/22

JAECO #: 364-04
 DRAWING SCALE: 1" = 100'
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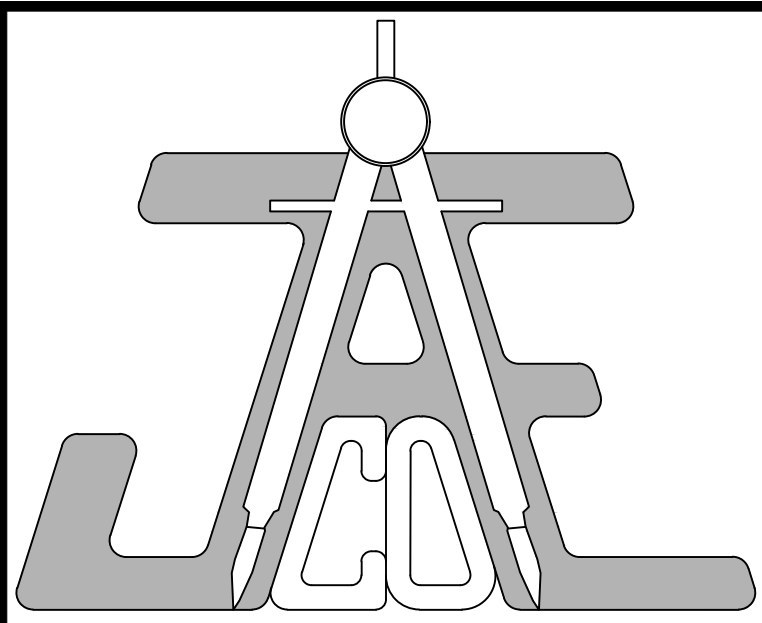
C-0

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, TOWN OF ROLESVILLE, AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 50' NEUSE RIVER BUFFER SHOWN HEREIN IS BASED ON THE "BUFFER DETERMINATION LETTER" (NBRRO #21-286) ISSUED SEPTEMBER 9, 2021 AND FLAGGING OF THE SAME BY S&EC.
- DEMOLITION INCLUDES CLEARING AND GRUBBING OF ALL VEGETATION WITHIN LIMIT OF DISTURBANCE. NO EXISTING VEGETATION IS REQUIRED TO BE PRESERVED.
- GIS TOPOGRAPHIC INFORMATION SHOWN HEREON OBTAINED FROM WAKE COUNTY OPEN DATA (ftp://wakeftp.co.wake.nc.us/GIS/Webdownloads/TOPOGRAPHY/WAKE_2013) TILE 1759 ON JANUARY 22, 2022.

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	090°00'00"	35.36'	S42° 41' 38"W
C2	13.61'	16.50'	047°14'51"	13.22'	S25° 55' 33"E
C3	258.70'	52.00'	285°02'58"	63.28'	S87° 01' 30"E
C4	16.65'	16.50'	057°48'07"	15.95'	N26° 35' 56"E
C5	39.27'	25.00'	090°00'00"	35.36'	N47° 18' 22"W
C6	123.79'	425.00'	016°41'19"	123.35'	S08° 54' 36"E
C7	15.78'	16.50'	054°47'07"	15.18'	N27° 57' 30"W
C8	76.36'	52.00'	084°08'27"	69.68'	S13° 16' 50"E
C9	14.02'	16.50'	048°40'59"	13.60'	N04° 26' 54"E
C10	44.11'	375.00'	006°44'22"	44.08'	N23° 15' 47"W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	38.36'	N87° 42' 41"W
L2	29.97'	S29° 53' 30"W
L3	48.55'	S79° 01' 22"W
L4	47.87'	S58° 07' 59"W
L5	47.01'	N88° 30' 29"W
L6	37.08'	S64° 43' 06"W
L7	36.74'	S28° 07' 01"W
L8	60.74'	S54° 12' 53"W
L9	87.60'	S32° 37' 58"W
L10	81.40'	S27° 31' 56"E
L11	69.29'	S10° 02' 35"W
L12	63.09'	S48° 14' 23"W
L13	49.73'	S12° 28' 02"W
L14	26.07'	S27° 11' 30"E
L15	63.52'	S51° 18' 29"W
L16	21.31'	N75° 48' 43"W
L17	55.39'	S51° 27' 49"W
L18	23.15'	S00° 08' 58"E
L19	37.47'	S73° 39' 37"W
L20	17.60'	N83° 37' 04"W
L21	6.25'	S31° 14' 27"W
L22	18.50'	S17° 15' 16"E



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333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaco.com

www.jaco.com



Granite Crest - Phase IV
0 Pluton Place
Rolesville, NC

Real Estate Marketing & Consulting, Inc.
6200 Falls of Neuse Rd.
Suite 102
Raleigh, NC 27609

Call 811 before you dig.

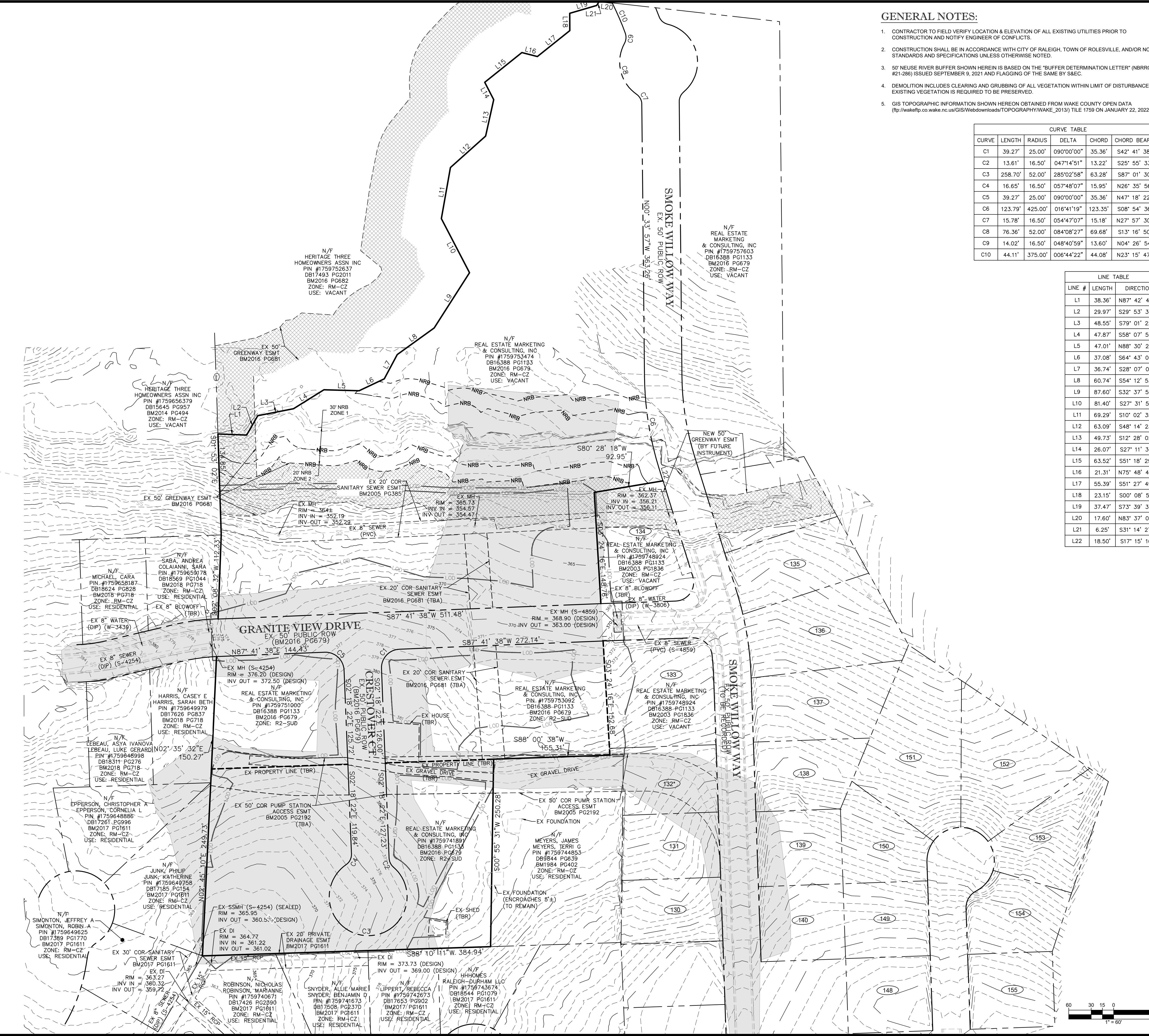
LEGEND	
---	LIMIT OF DISTURBANCE
---	PROPERTY LINE
---	PROPERTY LINE (TBR)
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	EX ESMT
---	EX ESMT TBA
---	STREAM TOP OF BANK (PER NBRRO #21-286)
---	37% NRB
---	38% NRB
---	NEUSE RIVER BUFFER
---	EX MINOR CONTOUR
---	EX MAJOR CONTOUR
---	EX WATER
---	EX SANITARY SEWER
---	EX STORM DRAIN
---	LIMITS OF FIELD TOPO (SUPPLEMENTED BY GIS)
---	EX 50' GREENWAY ESMT (BM2016 PG681)

EXISTING CONDITIONS & DEMOLITION PLAN

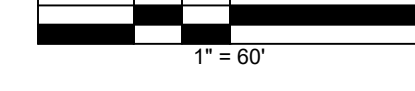
Revisions		
Number	Description	Date
1	PER TRC COMMENTS	04/14/22
2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	PER TRC COMMENTS	06/27/22

JACO # 364-04
DRAWING SCALE: 1" = 60'
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CHECKED BY: TT
DATE ISSUED: 01/30/2022

C-1



TAMAR (2017) NC GRID



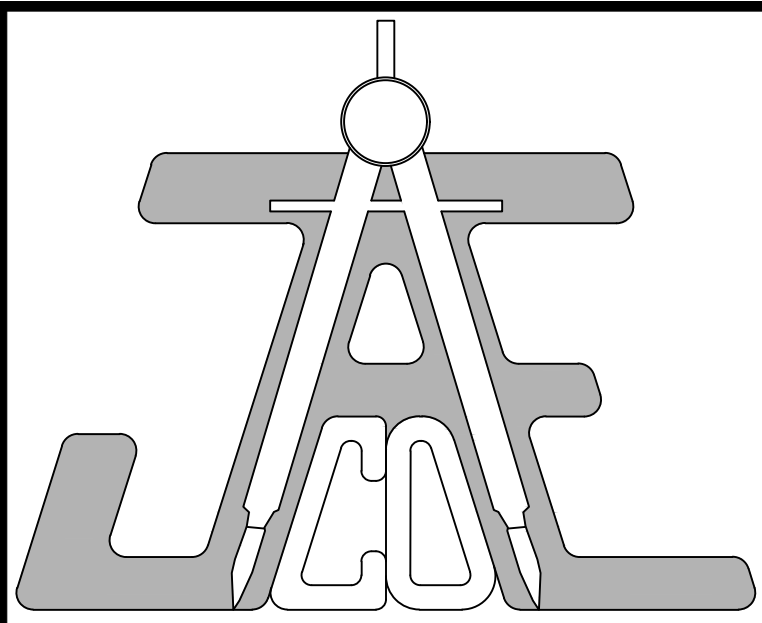
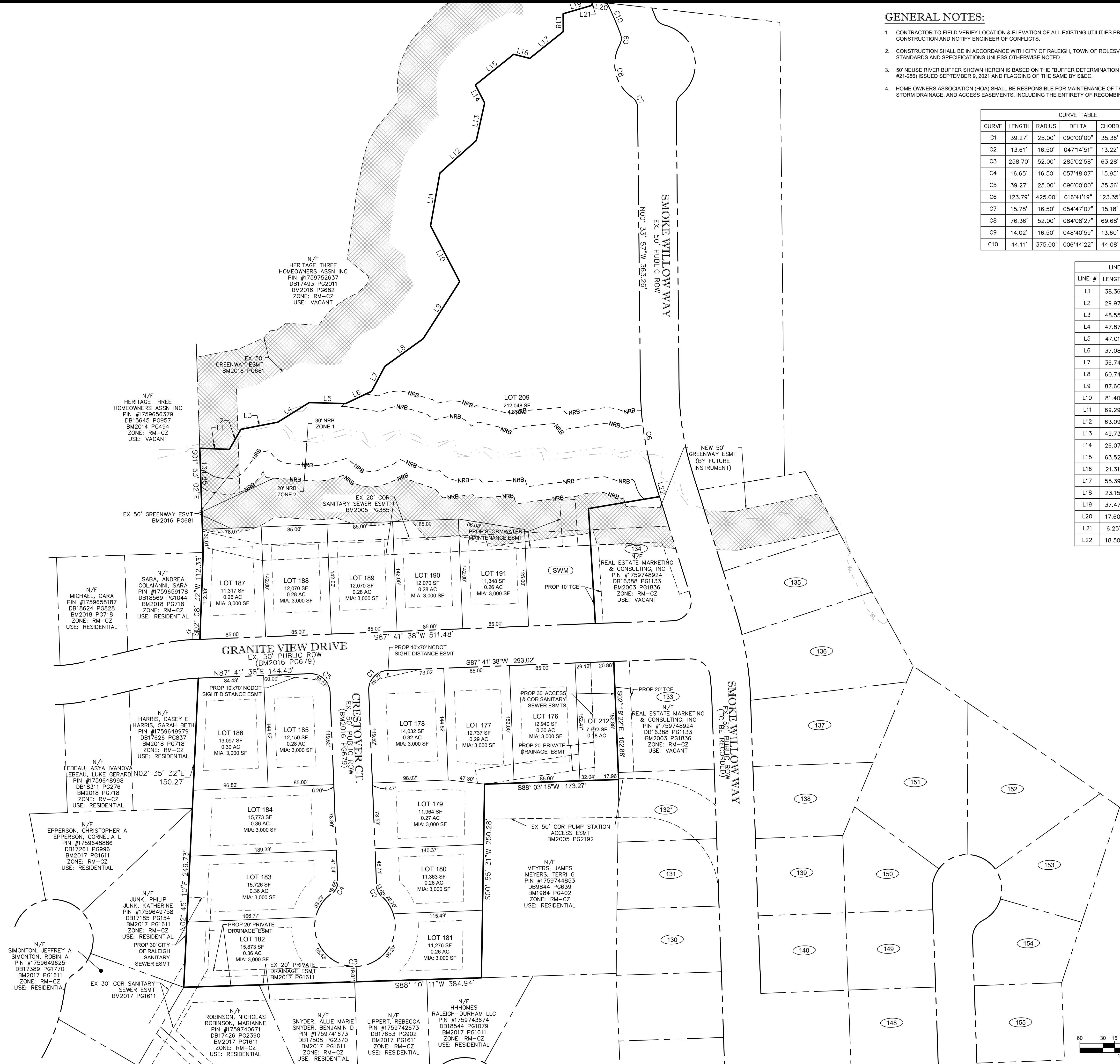
TAMARAC (2017) NC GRID

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, TOWN OF ROLESVILLE, AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 50' NEUSE RIVER BUFFER SHOWN HEREIN IS BASED ON THE "BUFFER DETERMINATION LETTER" (NBRRO #21-286) ISSUED SEPTEMBER 9, 2021 AND FLAGGING OF THE SAME BY S&EC.
- HOME OWNERS ASSOCIATION (HOA) SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STORM WATER, STORM DRAINAGE, AND ACCESS EASEMENTS, INCLUDING THE ENTIRETY OF RECOMBINED LOT 212.

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.27'	25.00'	090°00'00"	35.36'	S42° 41' 38"W
C2	13.61'	16.50'	047°14'51"	13.22'	S25° 55' 33"E
C3	258.70'	52.00'	285°02'58"	63.28'	S87° 01' 30"E
C4	16.65'	16.50'	057°48'07"	15.95'	N26° 35' 56"E
C5	39.27'	25.00'	090°00'00"	35.36'	N47° 18' 22"W
C6	123.79'	425.00'	016°41'19"	123.35'	S08° 54' 36"E
C7	15.78'	16.50'	054°47'07"	15.18'	N27° 57' 30"W
C8	76.36'	52.00'	084°08'27"	69.68'	S13° 16' 50"E
C9	14.02'	16.50'	048°40'59"	13.60'	N04° 26' 54"E
C10	44.11'	375.00'	006°44'22"	44.08'	N23° 15' 47"W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	38.36'	N87° 42' 41"W
L2	29.97'	S29° 53' 30"W
L3	48.55'	S79° 01' 22"W
L4	47.87'	S58° 07' 59"W
L5	47.01'	N88° 30' 29"W
L6	37.08'	S64° 43' 06"W
L7	36.74'	S28° 07' 01"W
L8	60.74'	S54° 12' 53"W
L9	87.60'	S32° 37' 58"W
L10	81.40'	S27° 31' 56"E
L11	69.29'	S10° 02' 35"W
L12	63.09'	S48° 14' 23"W
L13	49.73'	S12° 28' 02"W
L14	26.07'	S27° 11' 30"E
L15	63.52'	S51° 18' 29"W
L16	21.31'	N75° 48' 43"W
L17	55.39'	S51° 27' 49"W
L18	23.15'	S00° 08' 58"E
L19	37.47'	S73° 39' 37"W
L20	17.60'	N83° 37' 04"W
L21	6.25'	S31° 14' 27"W
L22	18.50'	S17° 15' 16"E



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PRELIMINARY
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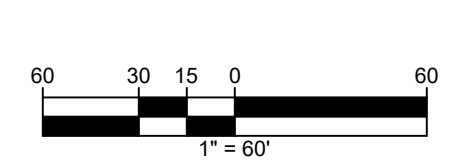
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LEGEND

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2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	PER TRC COMMENTS	06/27/22

SUBDIVISION PLAN
 Revisions
 JAECO #: 364-04
 DRAWING SCALE: 1" = 60'
 DRAWN BY: TT
 CHECKED BY: TT
 DATE ISSUED: 01/30/2022



C-2



N/F
HERITAGE THREE
HOMESOWNERS ASSN INC
PIN #1759636379
DB15645 PG957
BM2014 PG494
ZONE: RM-CZ
USE: VACANT

N/F
SABA, ANDREA
COLAJANNI, SARA
PIN #1759659178
DB18569 PG1044
BM2018 PG718
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
MICHAEL, CARA
PIN #1759658187
DB18624 PG828
BM2018 PG718
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
HARRIS, CASEY E
HARRIS, SARAH BETH
PIN #1759649979
DB17626 PG837
BM2018 PG713
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
LEBEAU, ASYA IVANOVA
LEBEAU, LUKE GERARD
PIN #1759648988
DB18311 PG276
BM2018 PG718
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
EPPERSON, CHRISTOPHER A
EPPERSON, CORNELIA L
PIN #1759648886
DB17261 PG996
BM2017 PG1611
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
JUNK, PHILIP
JUNK, KATHERINE
PIN #1759649758
DB17185 PG154
BM2017 PG1611
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
SIMONTON, JEFFREY A
SIMONTON, ROBIN A
PIN #1759649625
DB17389 PG1770
BM2017 PG1611
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
ROBINSON, NICHOLAS
ROBINSON, MARIANNE
PIN #1759740671
DB17426 PG2390
BM2017 PG1611
ZONE: RM-CZ
USE: RESIDENTIAL

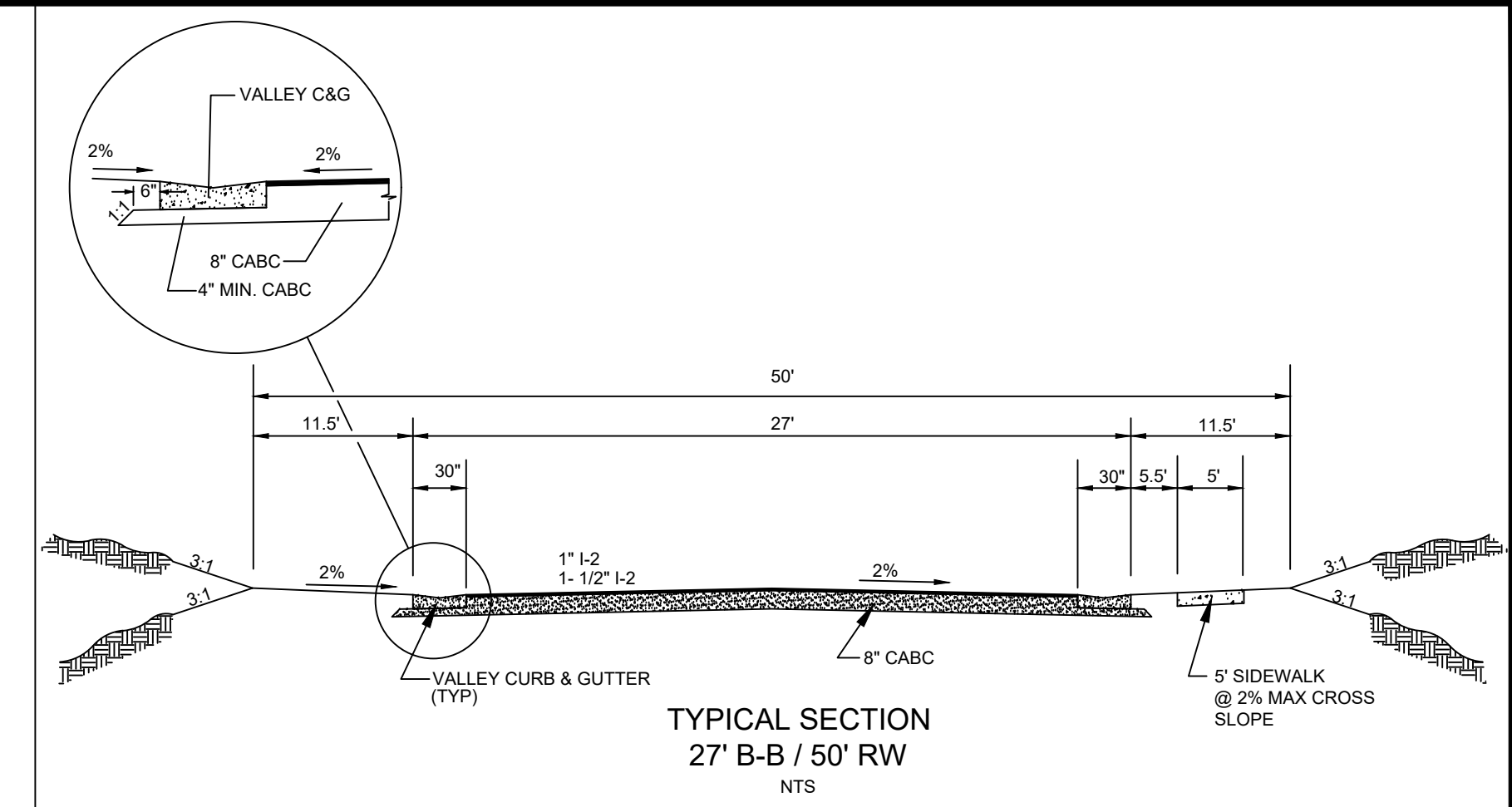
N/F
SNYDER, ALLIE MARIE
SNYDER, BENJAMIN D
PIN #1759741673
DB17508 PG2370
BM2017 PG1611
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
LIPPERT, REBECCA
PIN #1759742673
DB17653 PG902
BM2017 PG1611
ZONE: RM-CZ
USE: RESIDENTIAL

N/F
HUGHES
RALEIGH-DURHAM LLC
PIN #1759743674
DB18544 PG1079
BM2017 PG1611
ZONE: RM-CZ
USE: RESIDENTIAL

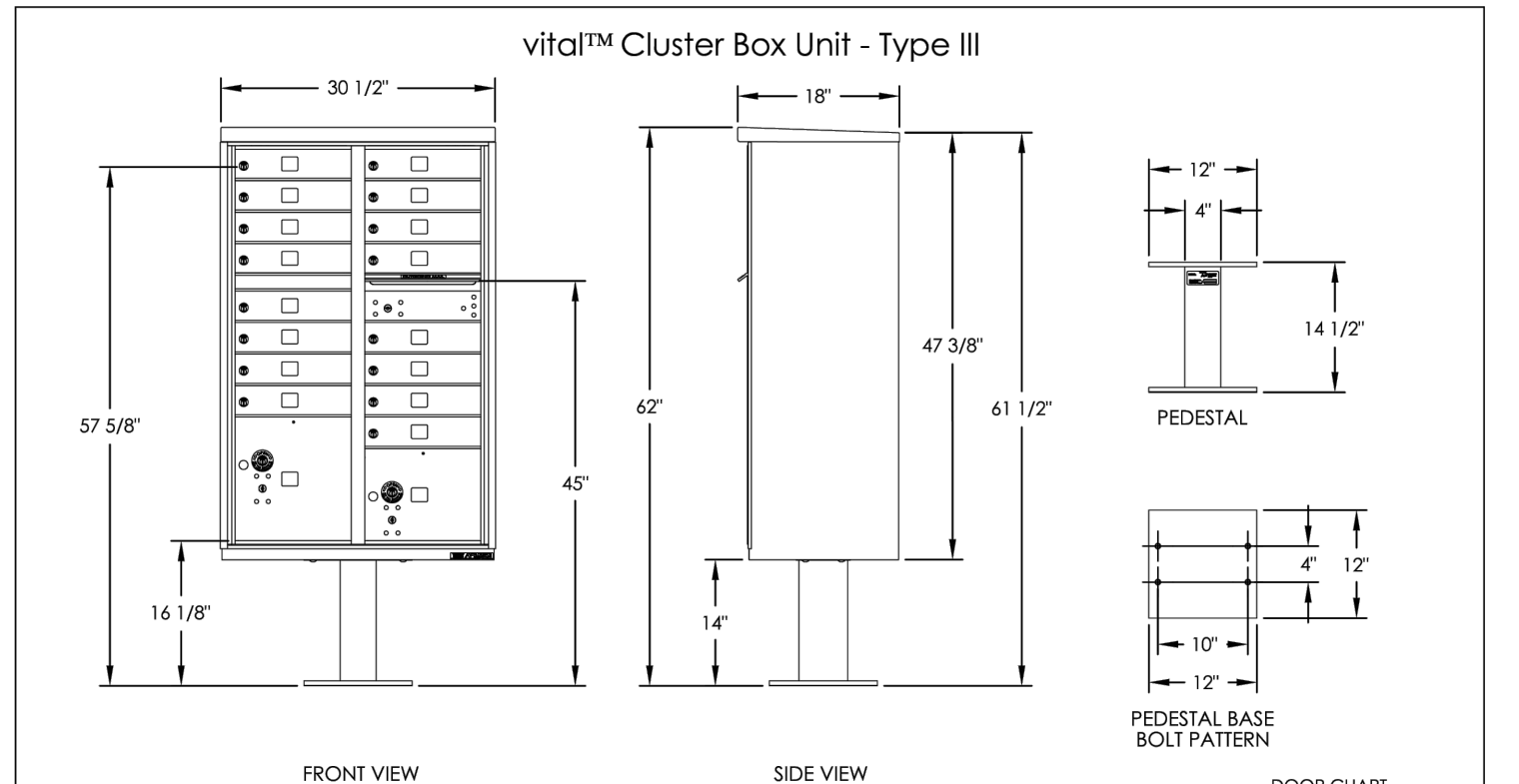
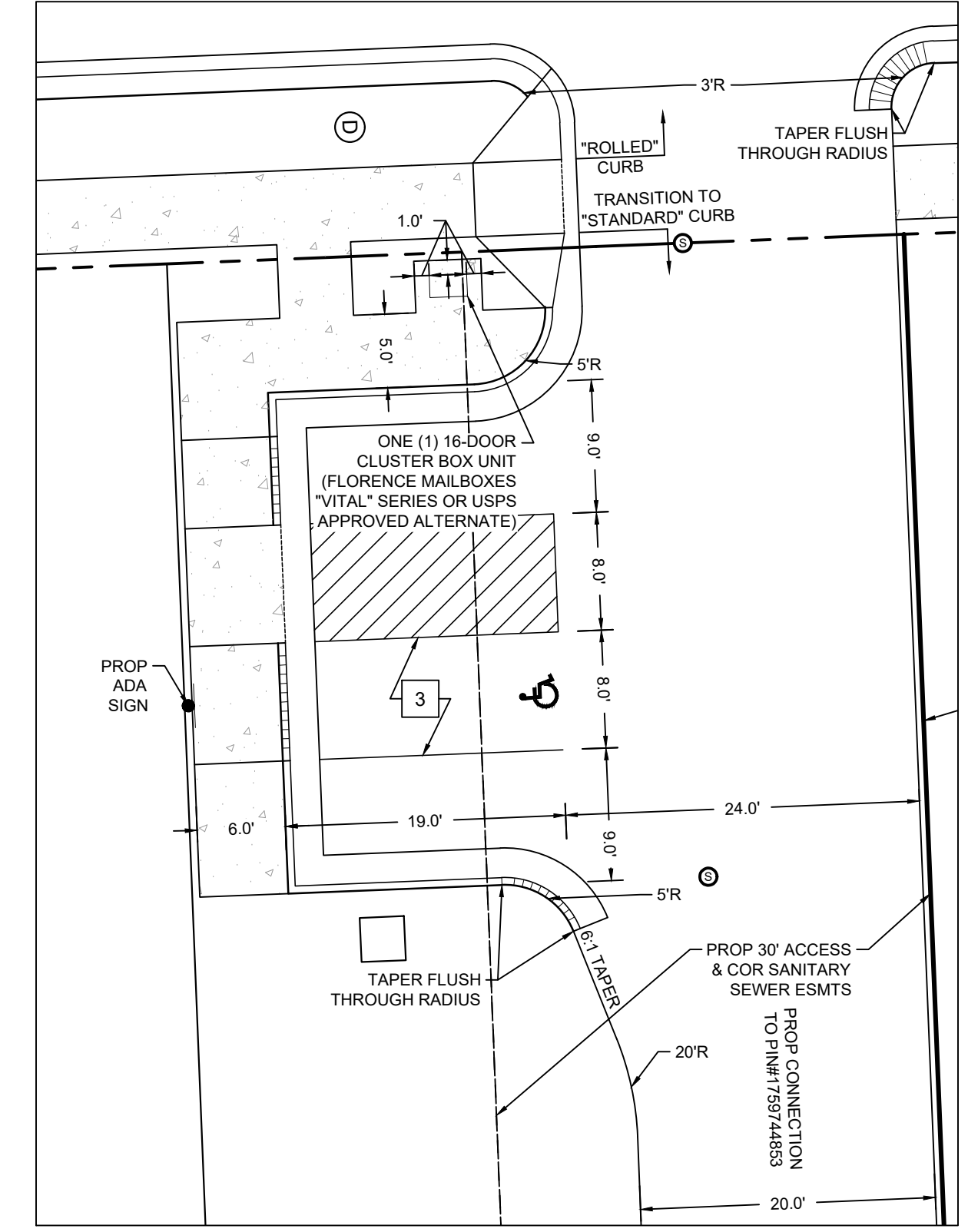
N/F
MEYERS, JAMES
MEYERS, TERRI G
PIN #1759744853
DB9844 PG639
BM1984 PG402
ZONE: RM-CZ
USE: RESIDENTIAL

EX FOUNDATION
(ENCROACHES 5'±)
(TO REMAIN)



GENERAL NOTES:

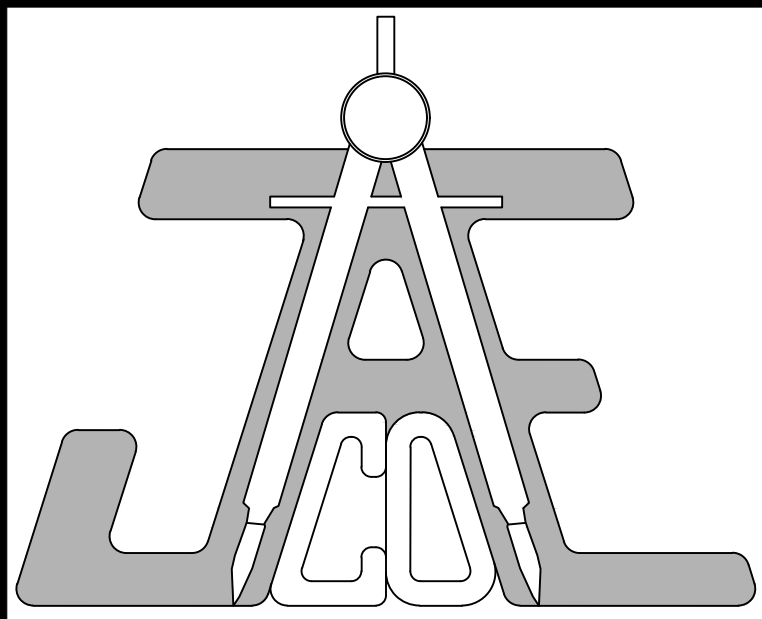
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- NOTES:
- This unit is approved for USPS and private applications.
 - Decorative mailbox accessories sold separately and are USPS Approved products.
 - Pedestal should be installed with included Rubber Pad; mounting hardware not included, refer to installation manual for recommendations.
 - Florence™ series CBU is Officially Licensed by USPS; License # CDSEQ-08-B-0012

FLORENCE
manufacturing company
5935 Corporate Drive • Manassas, VA 20108
www.florencemailboxes.com • (800) 275-1747
A GREINER INDUSTRIES COMPANY

MODEL: 1570-16 REV: A
SPEC: NONE
DATE: 05/26/2017
DRAWN BY: JMM
1570-1ACS AFD



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- PAVEMENT MARKING KEY NOTES:**
ALL REFERENCES PER CURRENT NCDOT
- 1 24" STOP BAR (1205.04)
 - 2 24" SOLID WHITE
 - 3 4" SOLID WHITE
- SIGNAGE KEY NOTES:**
ALL REFERENCES PER CURRENT FHWA MUTCD
- 1 PROP "STOP" SIGN (R63-9)
 - 2 PROP PEDESTRIAN SIGN (W11-2) W/ ARROW PLAQUE (W16-7P)
 - 3 PROP PEDESTRIAN SIGN (W11-2) W/ "AHEAD" PLAQUE (W16-9P)
- LEGEND**
- WET POND - EMBANKMENT

SITE, SIGNAGE, & PAVEMENT MARKING PLAN

Number	Description	Date
1	PER TRC COMMENTS	04/14/22
2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	PER TRC COMMENTS	06/27/22

JAECO #: 364-04
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: TT
DATE ISSUED: 01/30/2022

C-3

STOCKPILE NOTES

SOIL STOCKPILES SHALL BE LOCATED ON THE APPROVED PLAN AND SHALL ADHERE TO THE FOLLOWING REQUIREMENTS:

DESIGN CRITERIA:

- A. A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT)
- B. STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
- C. A NOTE SHALL BE PROVIDED ON THE APPROVED PLAN THAT STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
- D. STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
- E. APPROVED BMPs SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
- F. STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
- G. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
- H. OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY UDO AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFF-SITE DISPOSAL OF SOIL. PRIOR TO DISPOSAL, FILL OF FEMA FLOODWAY AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).

MAINTENANCE REQUIREMENTS:

- I. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEYPED IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- J. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- K. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- L. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

GENERAL NOTES:

- 1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.
- 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, TOWN OF ROLESVILLE, AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 3. 50' NEUSE RIVER BUFFER SHOWN HEREIN IS BASED ON THE "BUFFER DETERMINATION LETTER" (NBRRO #21-286) ISSUED SEPTEMBER 9, 2021 AND FLAGGING OF THE SAME BY S&C.

LOT DEVELOPMENT NOTE

THE INTENT OF THIS EROSION CONTROL PLAN IS TO PROVIDE ADEQUATE EROSION PROTECTION WHILE PRODUCING READY-TO-BUILD LOTS AND INSTALLING COMMON INFRASTRUCTURE SUCH AS ROADS AND UTILITIES. PRIOR TO CONSTRUCTION OF ACTUAL HOUSES, A SEPARATE LOT BY LOT PLANSET SHOULD BE PREPARED AND APPROVED BY OTHERS. THIS PLANSET IS NOT INTENDED TO PROVIDE LOT-BY-LOT EROSION CONTROL.

DOWNSTREAM BASIN STABILIZATION NOTE

IMMEDIATELY AFTER CONSTRUCTION OF SEDIMENT BASIN AND THROUGHOUT DURATION OF PROJECT, ENSURE AREA DOWNSTREAM OF BASIN IS STABILIZED.

PHASE I CONSTRUCTION SEQUENCE:

- 1. SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE WATERSHED MANAGER, KARYN PAGEAU - (919) 796-8769. OBTAIN A LAND-DISTURBING PERMIT.
- 2. DUE TO SEQUENCED NATURE OF DEVELOPMENT, INLET PROTECTION MAY STILL BE IN PLACE WITHIN THE NEW RIGHT-OF-WAY. ANY EXISTING INLET PROTECTION MAY BE USED IN LIEU OF THOSE SHOWN ON THIS PLAN IN THE EVENT THE DEVICE IS OPERATING AS INTENDED, INSPECTED, AND APPROVED FOR USE BY THE INSPECTOR.
- 3. INSTALL TREE PROTECTION FENCE, CONSTRUCTION ENTRANCE, SILT FENCE, SUPER SILT FENCE, DIVERSION DITCHES, CLEAN WATER DIVERSION DITCH, SILT FENCE OUTLETS, INLET PROTECTION, TEMPORARY SLOPE DRAINS, CONCRETE WASHOUT STRUCTURE, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED IMMEDIATELY AFTER CONSTRUCTION.
- 4. INSTALL SEDIMENT BASIN INCLUDING PERMANENT RISER AND OUTLET PIPE. SEED IMMEDIATELY. INSTALL SKIMMER AND TIE TO PERMANENT RISER. INSTALL RIPRAP #1 BELOW THE SKIMMER AND ATTACH TETHER TO THE SKIMMER ITSELF.
- 5. CALL KARYN PAGEAU AT (919) 796-8769 FOR AN ONSITE INSPECTION BY THE WATERSHED MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- 6. BEGIN CLEARING AND GRUBBING WITHIN THE LIMITS OF DISTURBANCE. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TO BASIN AND ALL DITCHES. COMPLETE PRELIMINARY ROUGH GRADING TO ALLOW FOR POSITIVE DRAINAGE TO EROSION CONTROL DEVICES.
- 7. MAINTAIN SEDIMENT AND EROSION CONTROL DEVICES AFTER EVERY RAIN EVENT AND ONCE PER WEEK. REMOVE ANY SILT BUILDUP ON ANY SILT FENCING AS NEEDED TO PREVENT BREACH. SEED OR MULCH OR STABILIZE WITH STONE PAVEMENT) ANY DENUDED AREAS WITHIN 14 CALENDAR DAYS OF TEMPORARY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.
- 8. AS SITE IS BROUGHT TO ROUGH GRADE, TRANSITION TO EROSION CONTROL PHASE II.

MATTING SCHEDULE

	SHEAR STRESSES (LB/FT ²)	NORMAL DEPTH*		
		PERMISSIBLE**	CALCULATED**	
CWD	ROLLMAX C350* (TEMPORARY)	12.0	1.84	0.59
DD#1	ROLLMAX C350* (PERMANENT)	12.0	0.64	1.02
DD#2	ROLLMAX DS75 (TEMPORARY)	1.6	0.65	1.04

*OR APPROVED ALTERNATE

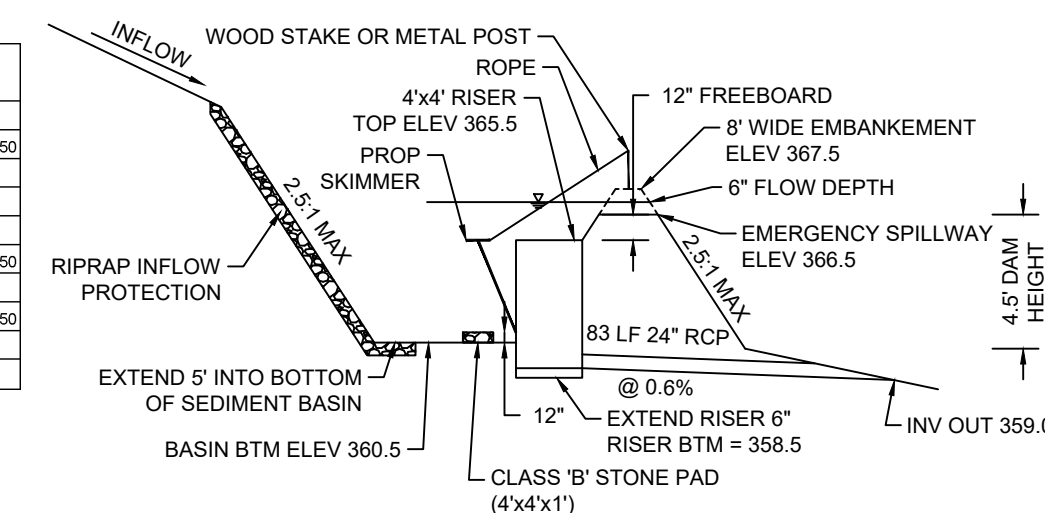
**PER NORTH AMERICAN GREEN ECMD5 7.0

RIPRAP SCHEDULE

#1	W _{min} [FT]	W _{max} [FT]	L _z [FT]	d ₅₀ [IN]	d _{max} [IN]	THICKNESS [IN]
#1	6.0	12.0	8.0	3	4.5	12

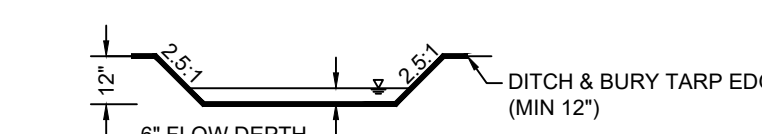
SKIMMER BASIN

SURFACE AREA REQUIRED	3,709 SF
SURFACE AREA PROVIDED	3,738 SF 365.50
VOLUME REQUIRED	5,400 CF
VOLUME PROVIDED	12,570 CF
STORAGE DEPTH	5.0 FT
TOP OF BERM	4,007 SF 387.50
BODY SPILLWAY LENGTH	40 FT
BOTTOM OF BASIN	1,290 SF 300.50
SKIMMER SIZE	2.5 IN
SKIMMER ORIFICE DIAMETER	1.25 IN



SEDIMENT BASIN SPILLWAY SECTION

NOT TO SCALE



SPILLWAY SECTION

NOT TO SCALE

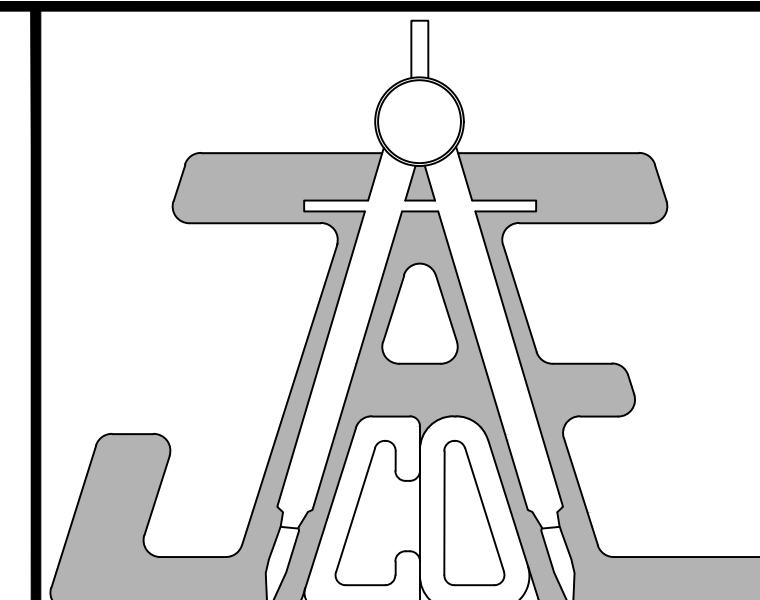
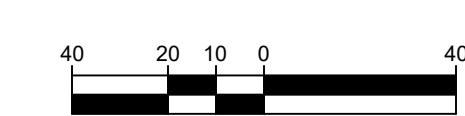
TARP NOTES

- 1. THE TARP SHALL BE 50 MIL. HEAVY DUTY SILVER TARPULINS OR APPROVED EQUIVALENT FOR U.V. RESISTANCE.
- 2. BURY AND SEAL THE BOTTOM AND SIDES OF THE TARP ON THE INSIDE OF THE EMBANKMENT SUCH THAT WATER FLOWS OVER THE TARP.
- 3. THE WIDTH OF THE TARP SHALL MUST COVER THE BOTTOM AND SIDES AND LAP ONTO THE TOP OF THE DAM IN ONE CONTINUOUS PIECE WITHOUT SPLICES.
- 4. THE LENGTH OF THE TARP SHALL BE ACCORDING TO AVAILABLE SUPPLY. THE LENGTH MUST EXTEND TO UNDISTURBED GROUND BELOW THE DAM.
- 5. IF MULTIPLE TARPS ARE TO BE USED, THEN TARPS SHALL BE OVERLAPPED AT LEAST 18". THE UPSTREAM TARP SHALL OVERLAP THE DOWNSTREAM TARP. ANCHOR THE DOWNSTREAM TARP FIRST THEN OVERLAY THE UPSTREAM TARP TO ENSURE THERE ARE NO HOLES IN THE EXPOSED TARP.

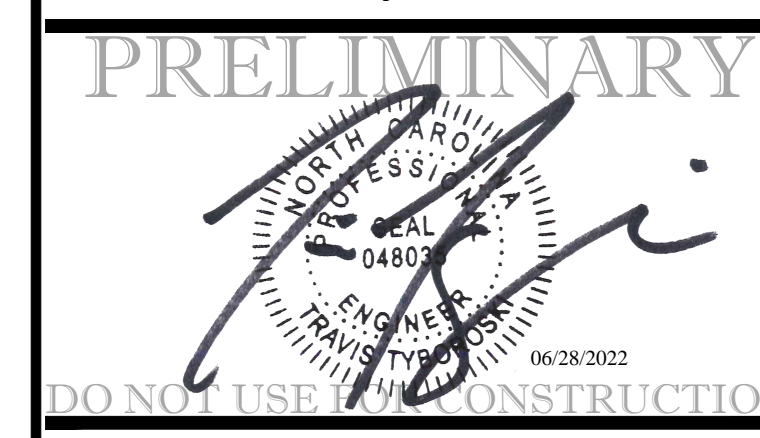
TOTAL DENUDE AREA = 4.00 AC.

PERPETUITY STATEMENT

MAXIMUM IMPERVIOUS AREA SQUARE FOOTAGE ON EACH INDIVIDUAL LOT WILL BE STRINGENTLY ENFORCED WITH NO EXCEPTIONS INTO PERPETUITY. PLANS APPROVED WITH A MAXIMUM IMPERVIOUS SURFACE AS SHOWN.



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LEGEND

- LOD --- LIMIT OF DISTURBANCE
- 379 --- EX MINOR CONTOUR
- 380 --- EX MAJOR CONTOUR
- 381 --- PROP MINOR CONTOUR
- 382 --- PROP MAJOR CONTOUR
- W --- EX WATER
- SS --- EX SANITARY SEWER
- ES --- EX STORM DRAIN
- SD --- PROP STORM DRAIN
- D --- DRAINAGE DIVIDE
- SF --- SILT FENCE
- SSF --- SUPER SILT FENCE
- >> --- DIVERSION DITCH
- --- TEMPORARY SLOPE DRAIN
- --- STAGING & STOCKPILE AREA
- --- CONSTRUCTION ENTRANCE
- --- SILT FENCE OUTLET
- --- CONCRETE WASHOUT
- --- PERMITS BOX
- CIP --- CURB INLET PROTECTION
- YIP --- YARD INLET PROTECTION

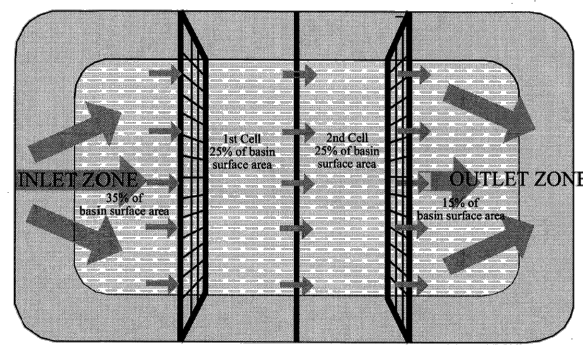
EROSION & SEDIMENT CONTROL PLAN - PHASE I

Revisions

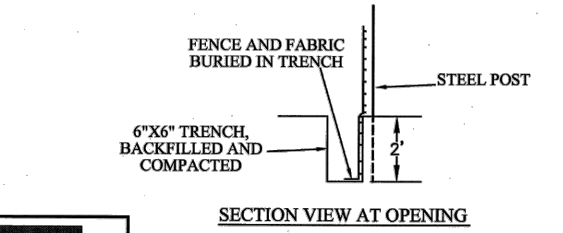
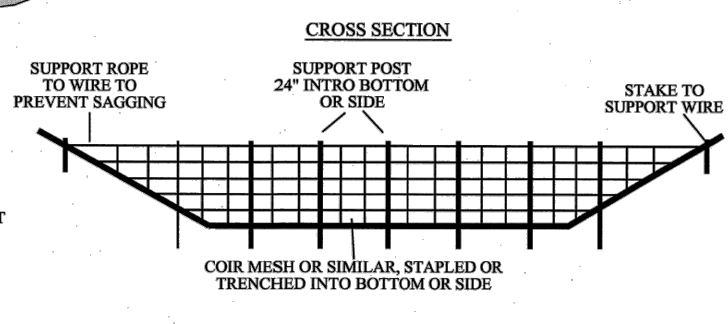
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 CHECKED BY: TT
 DATE ISSUED: 01/30/2022

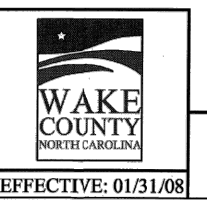
C-5



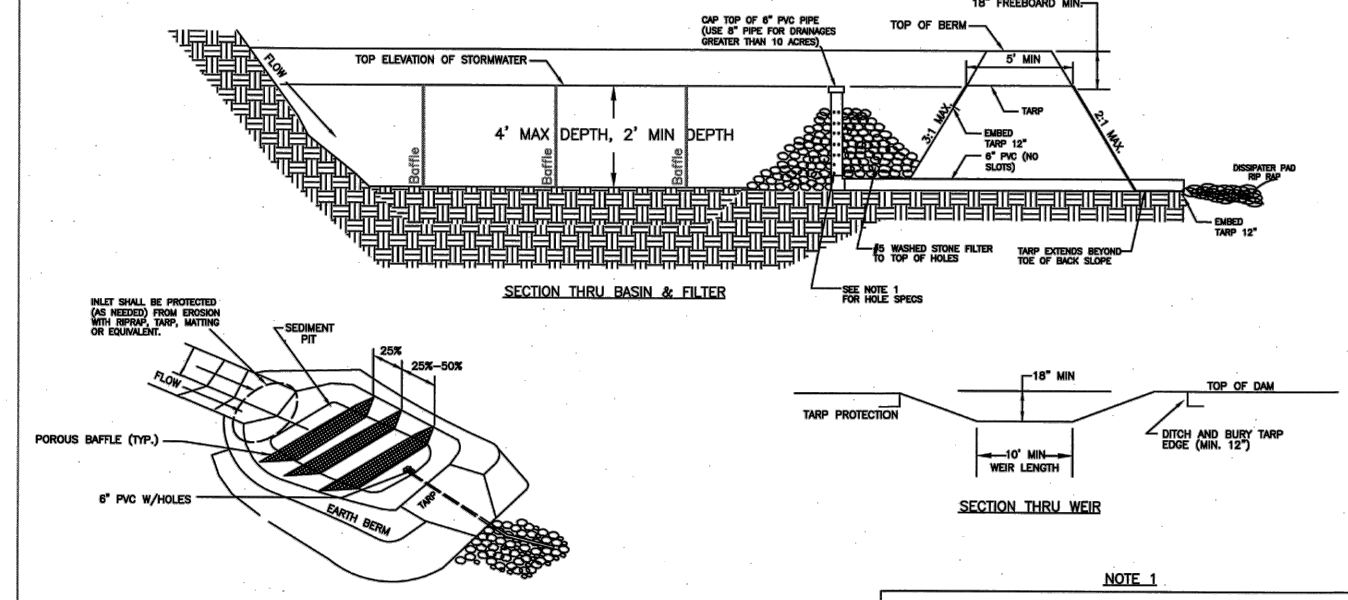
- NOTES:
1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRUNCATING AS FOR SILT FENCE.
 2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE 1ST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
 3. PROVIDE 3 BAFFLES (ONE TWO FEET LESS THAN 20 FEET IN LENGTH), PROVIDE 2 BAFFLES FOR DRAINAGE AREAS GREATER THAN 2 ACRES.
 4. BAFFLE SHALL BE 700 LBS COIR BROKEN BLANKET.
 5. TOP OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERM.
 6. INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.



STANDARD BAFFLES DETAIL

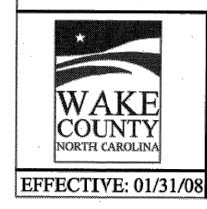


EFFECTIVE: 01/31/08

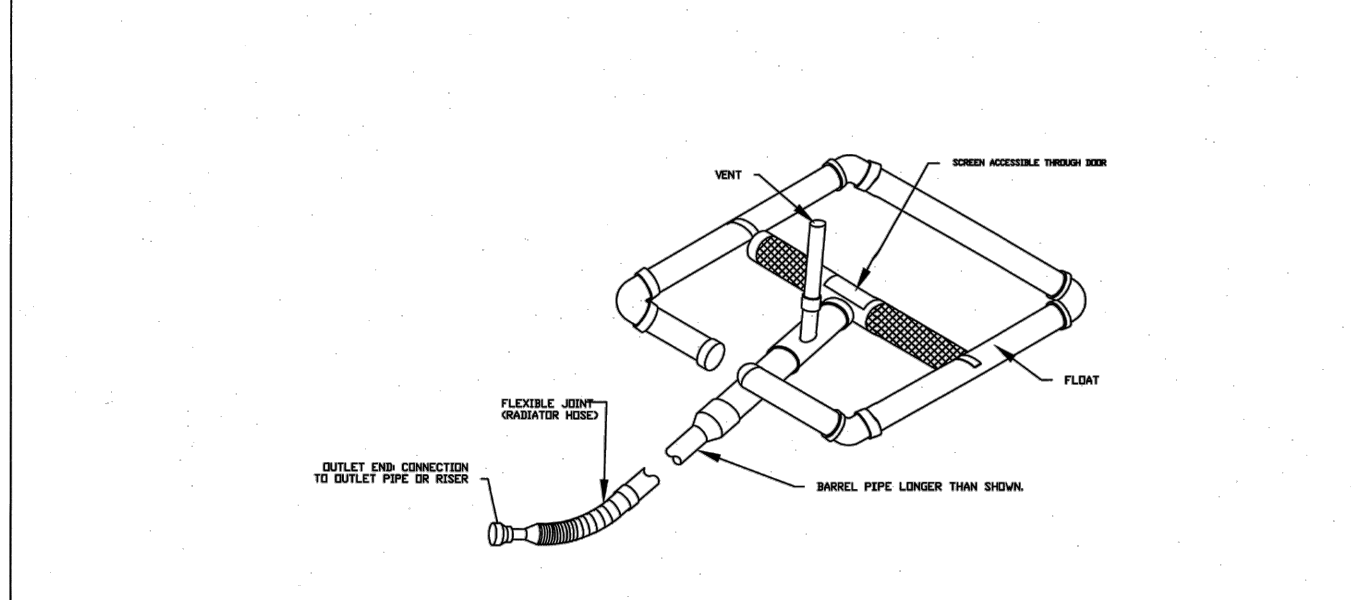


- GENERAL NOTES:
1. DOWN DOWN FROM A BERM SHALL BE SET 2" FROM THE BERM EDGE AND 1" FROM THE BERM EDGE.
 2. THE BERM SHALL BE 12" HIGH AND 12" WIDE.
 3. THE BERM SHALL BE 12" HIGH AND 12" WIDE.
 4. THE BERM SHALL BE 12" HIGH AND 12" WIDE.
 5. THE BERM SHALL BE 12" HIGH AND 12" WIDE.
 6. THE BERM SHALL BE 12" HIGH AND 12" WIDE.

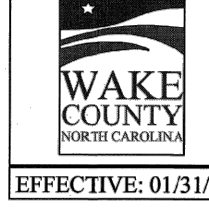
STANDARD CUSTOM BASIN



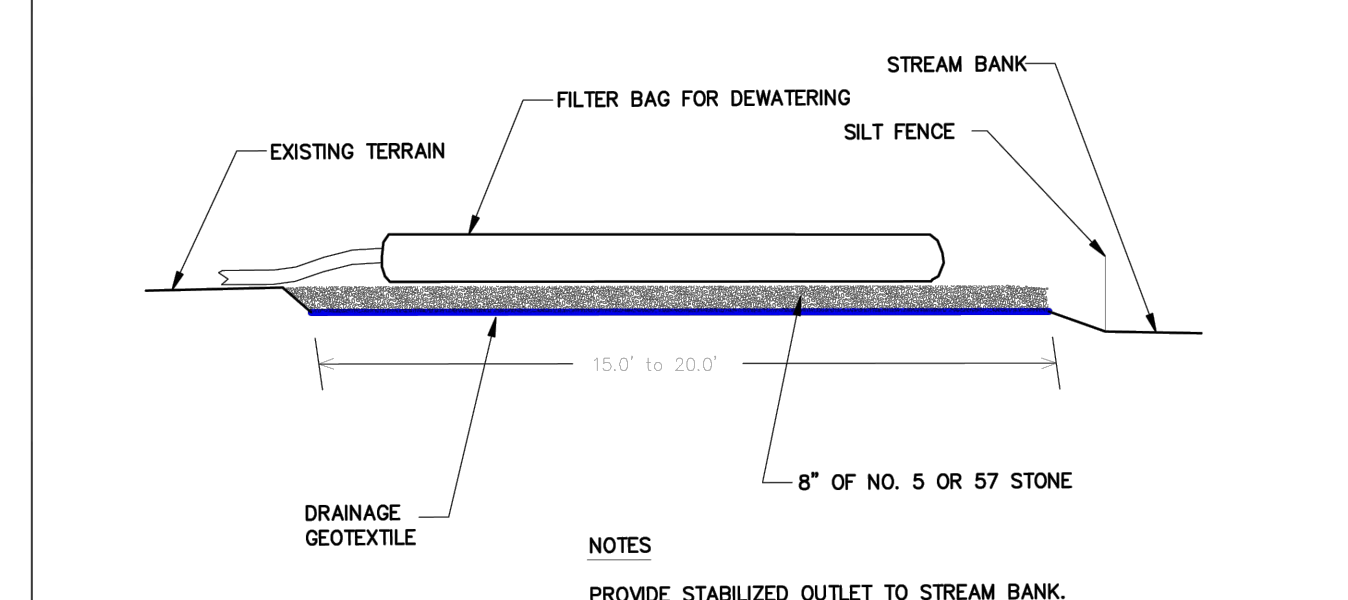
EFFECTIVE: 01/31/08



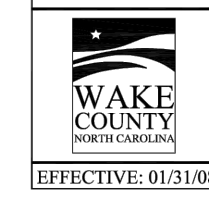
STANDARD SKIMMER DETAIL



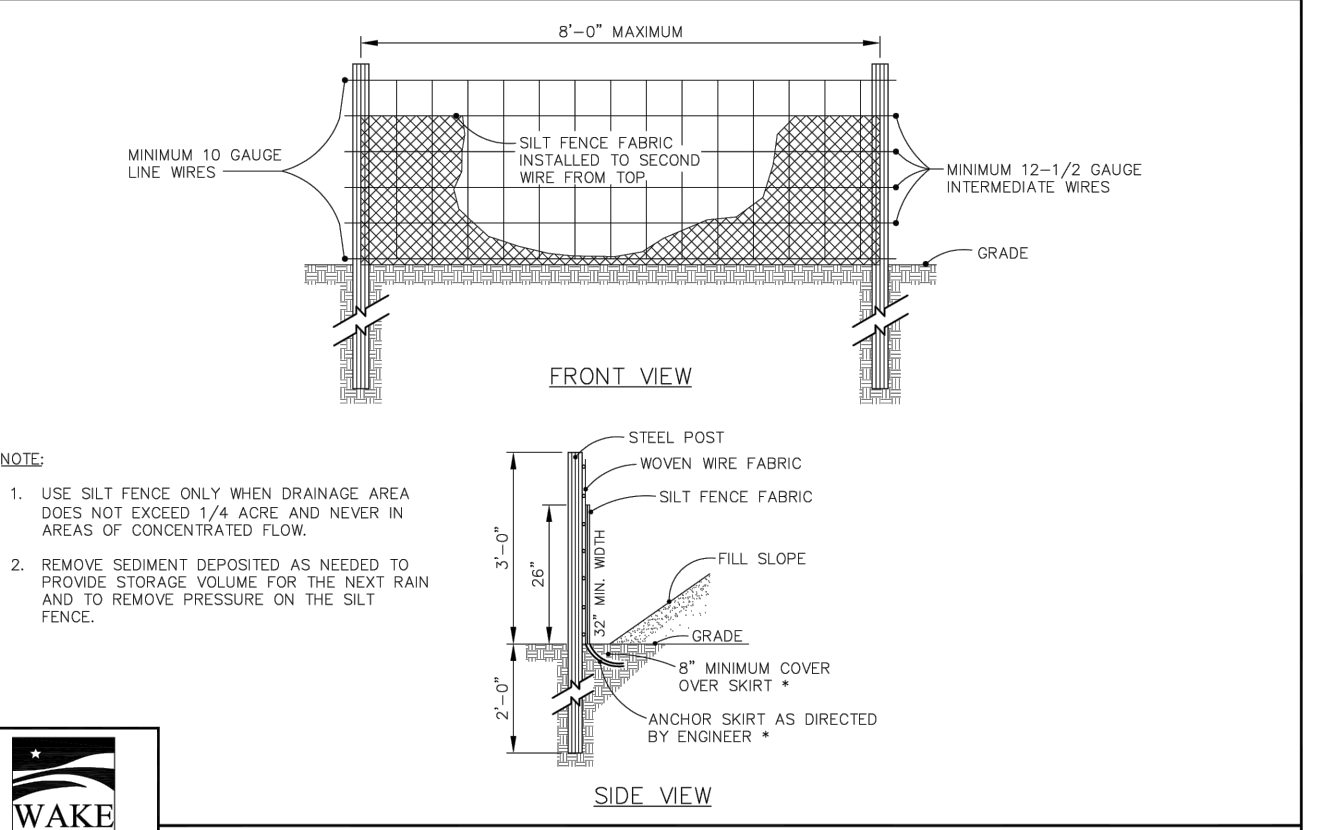
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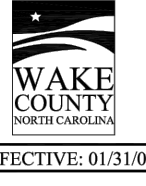
STANDARD FILTER BAG FOR DEWATERING ACTIVITIES



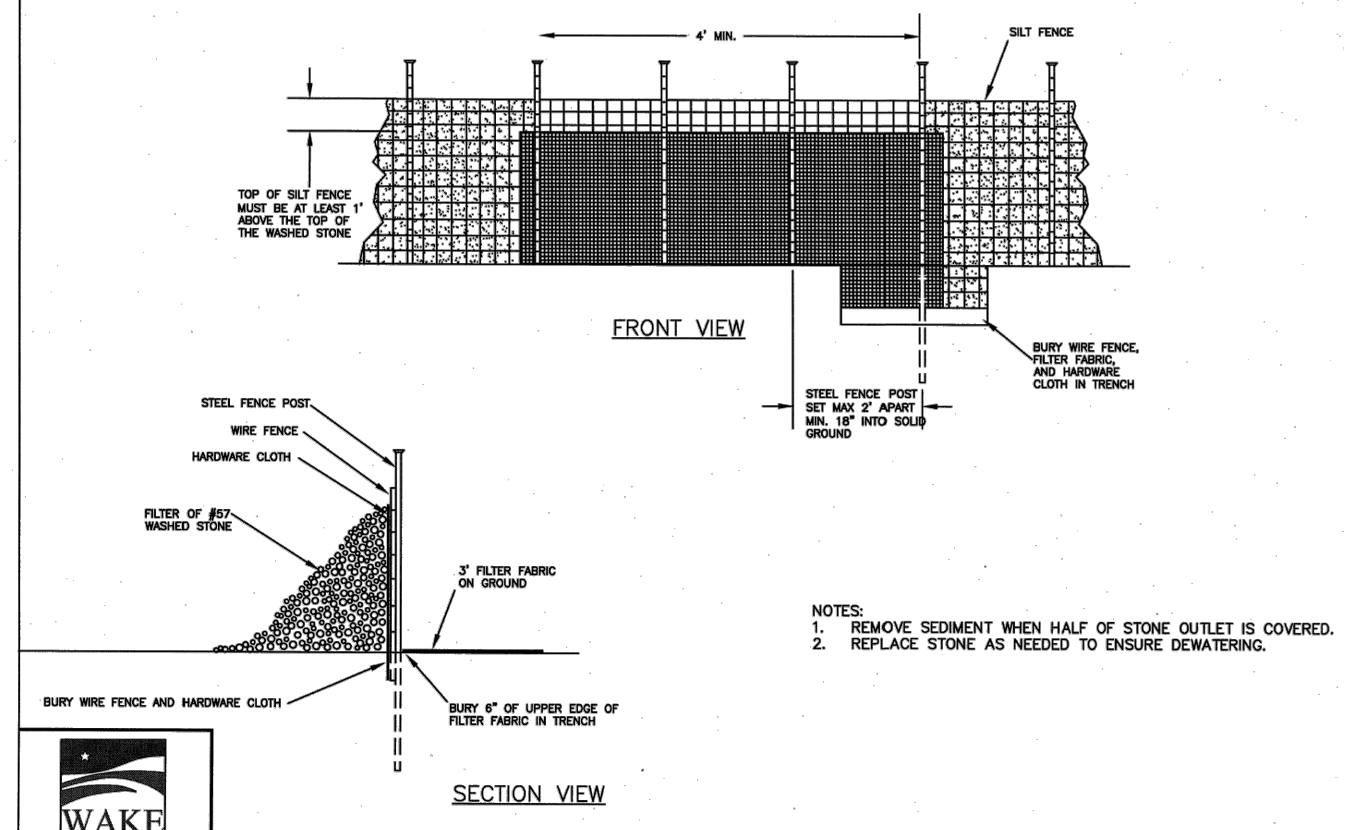
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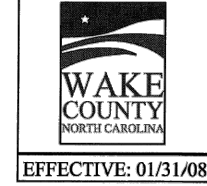
STANDARD TEMPORARY SILT FENCE



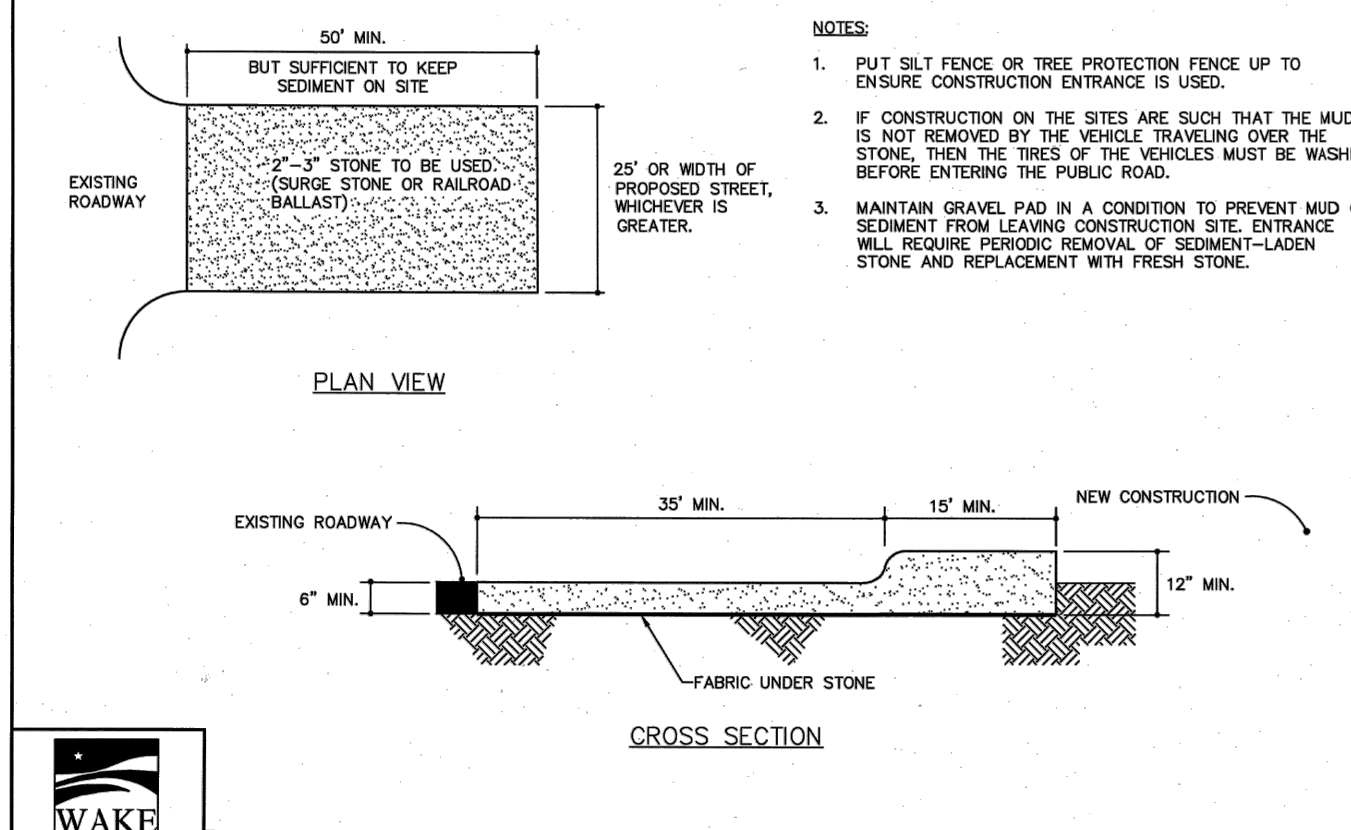
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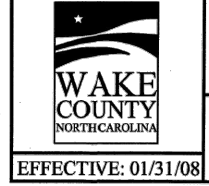
STANDARD SILT FENCE OUTLET



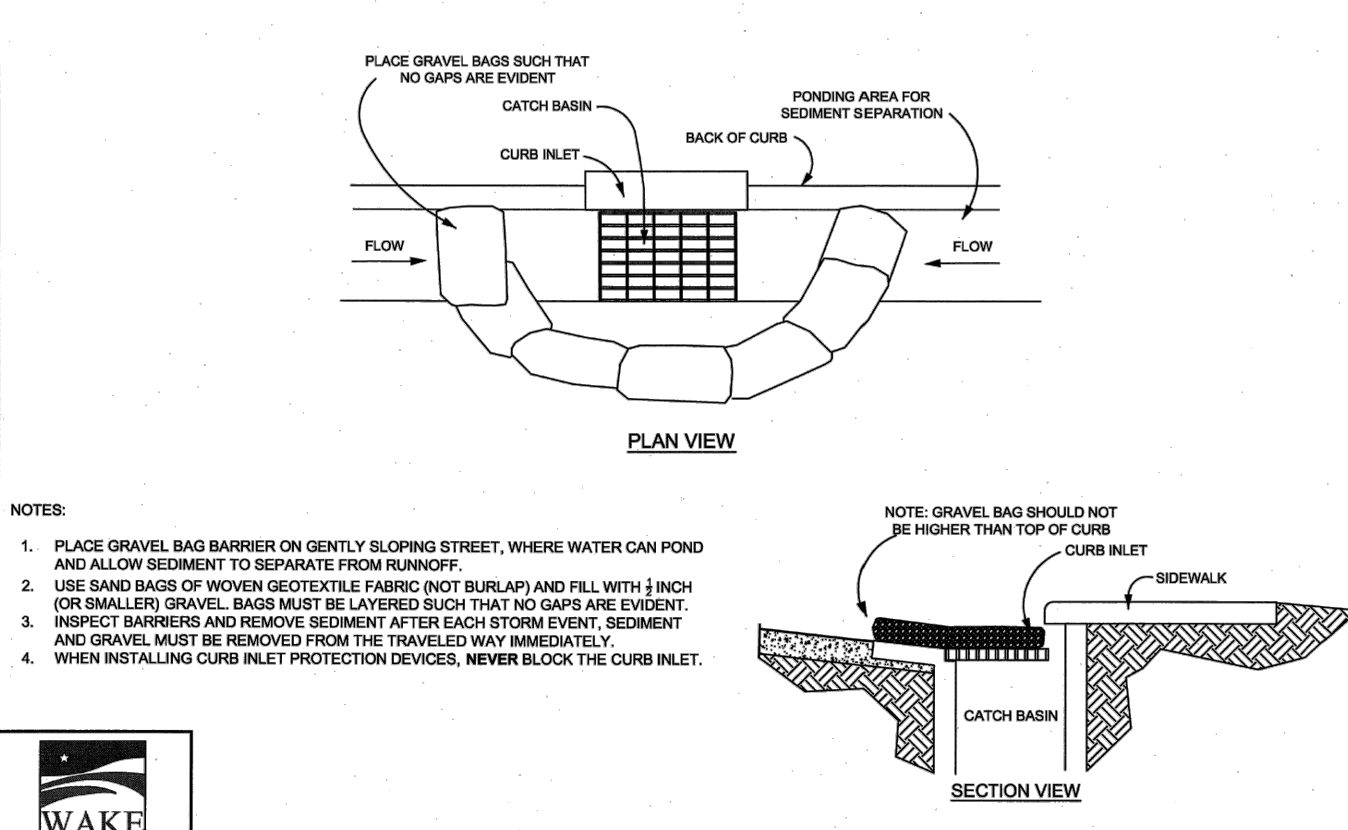
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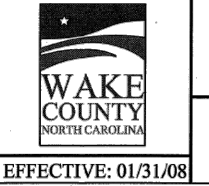
STANDARD CONSTRUCTION ENTRANCE



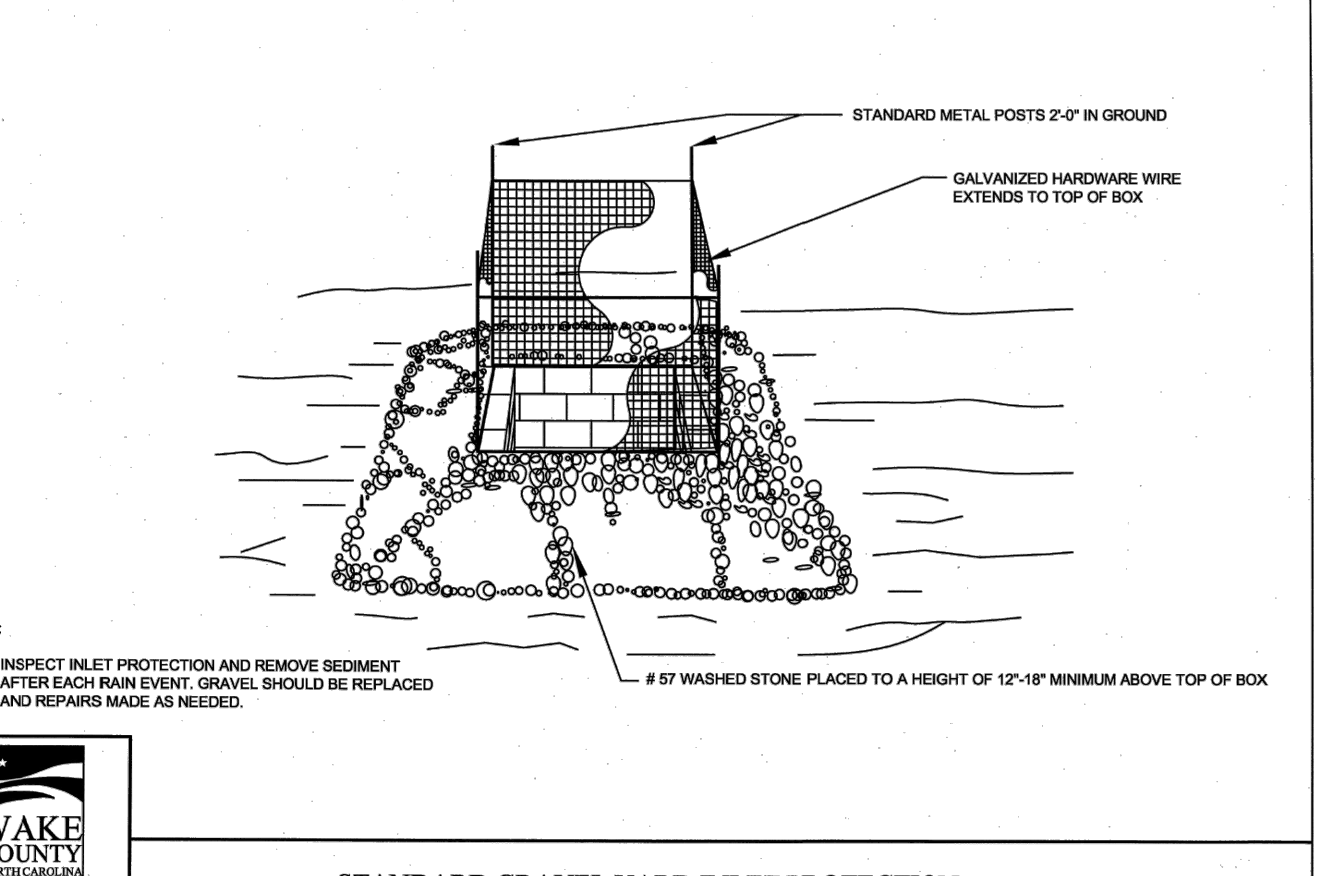
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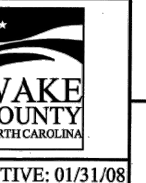
STANDARD GRAVEL BAG CURB INLET PROTECTION



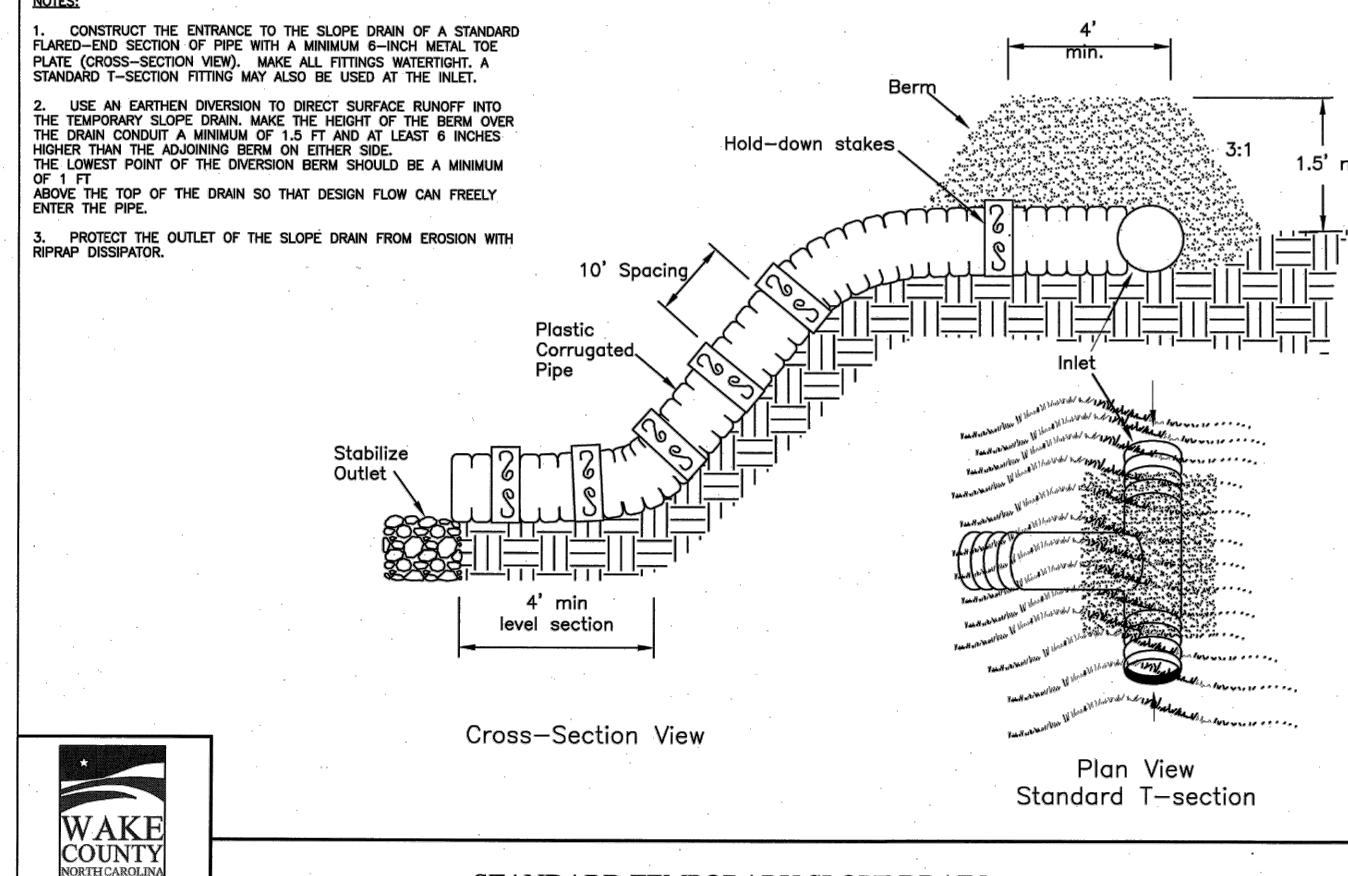
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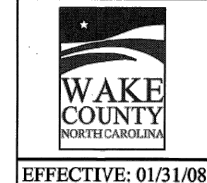
STANDARD GRAVEL YARD INLET PROTECTION



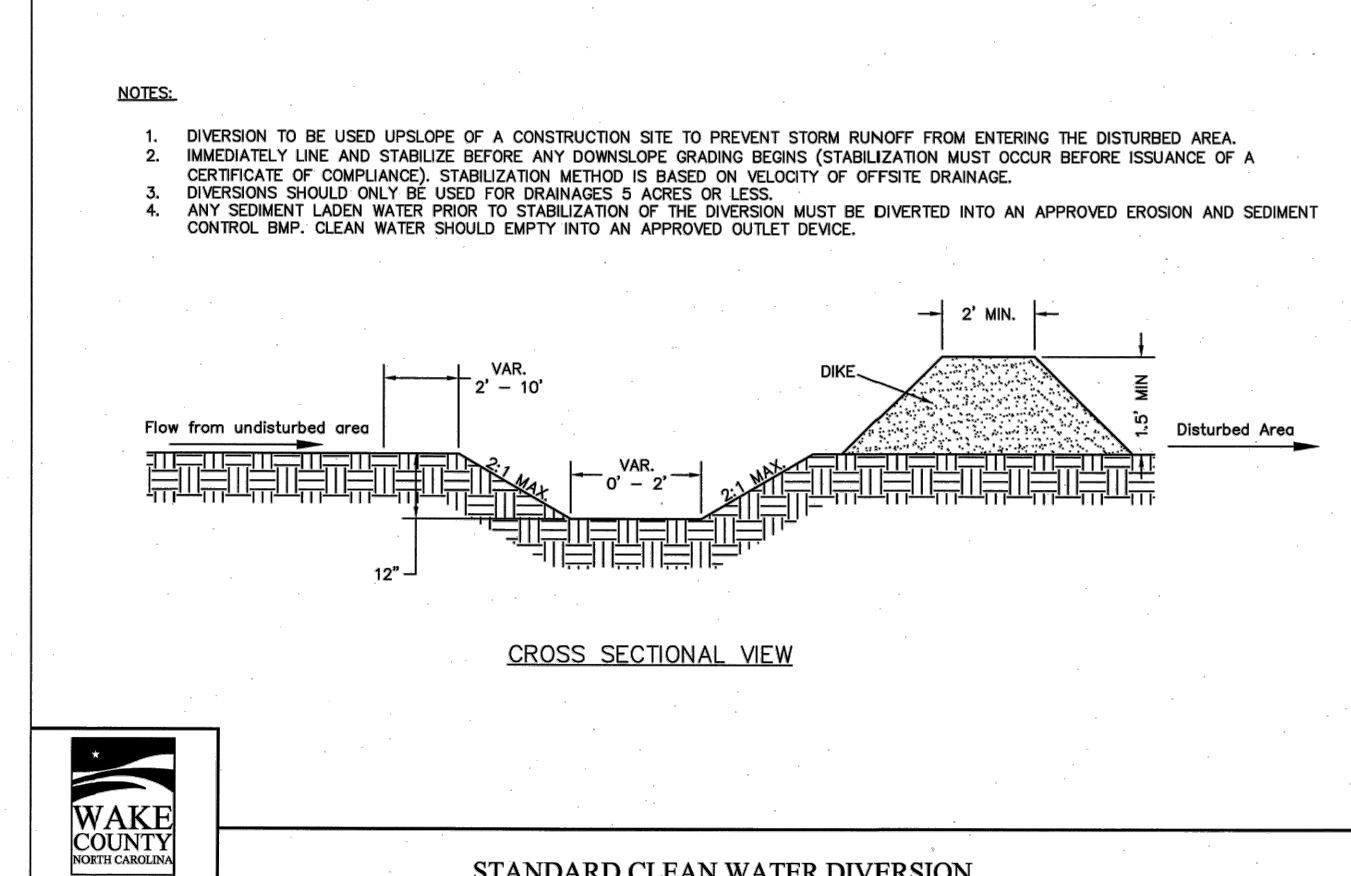
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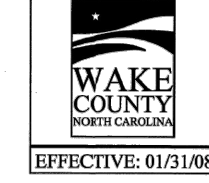
STANDARD TEMPORARY SLOPE DRAIN



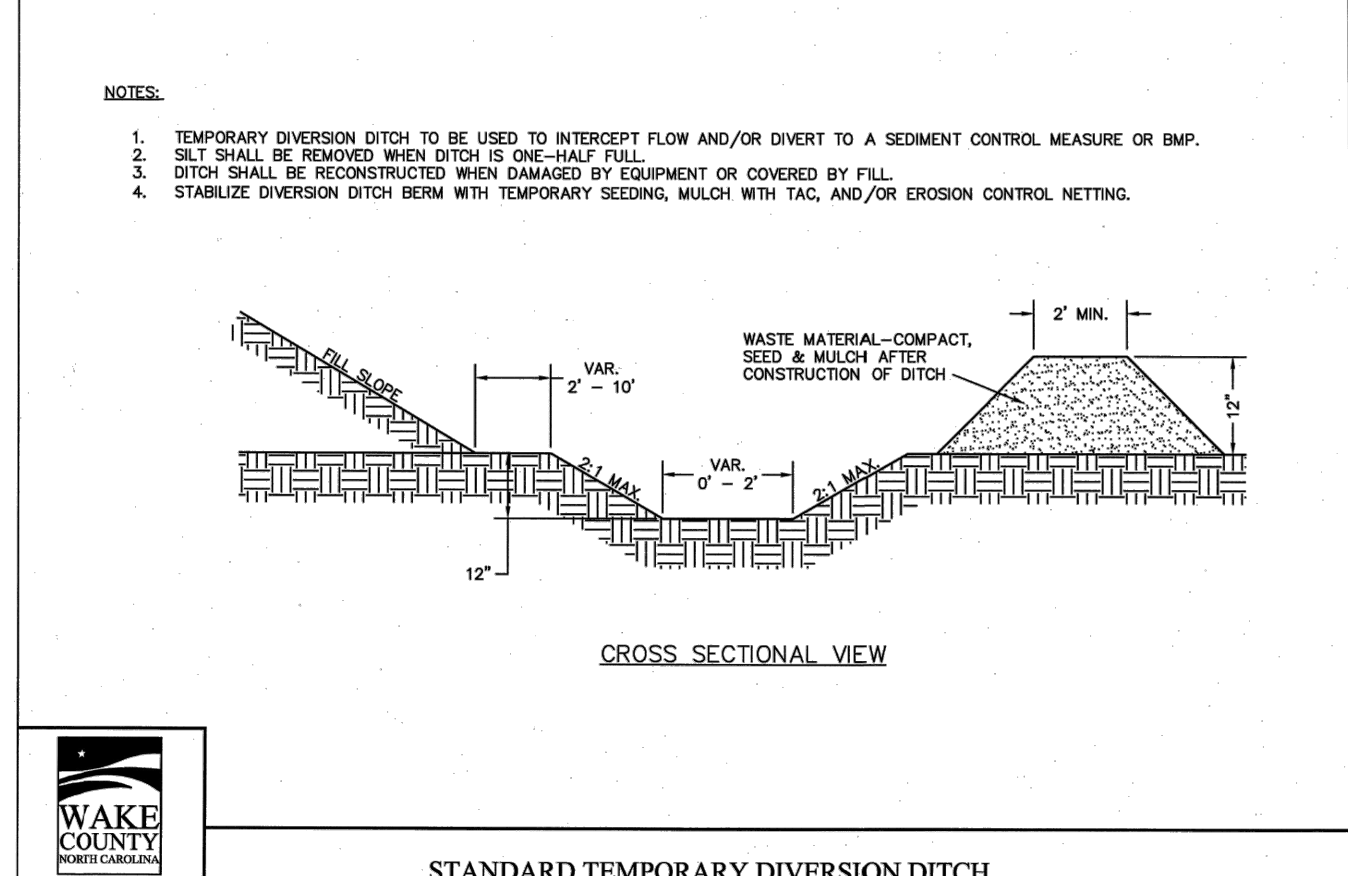
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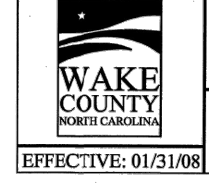
STANDARD CLEAN WATER DIVERSION



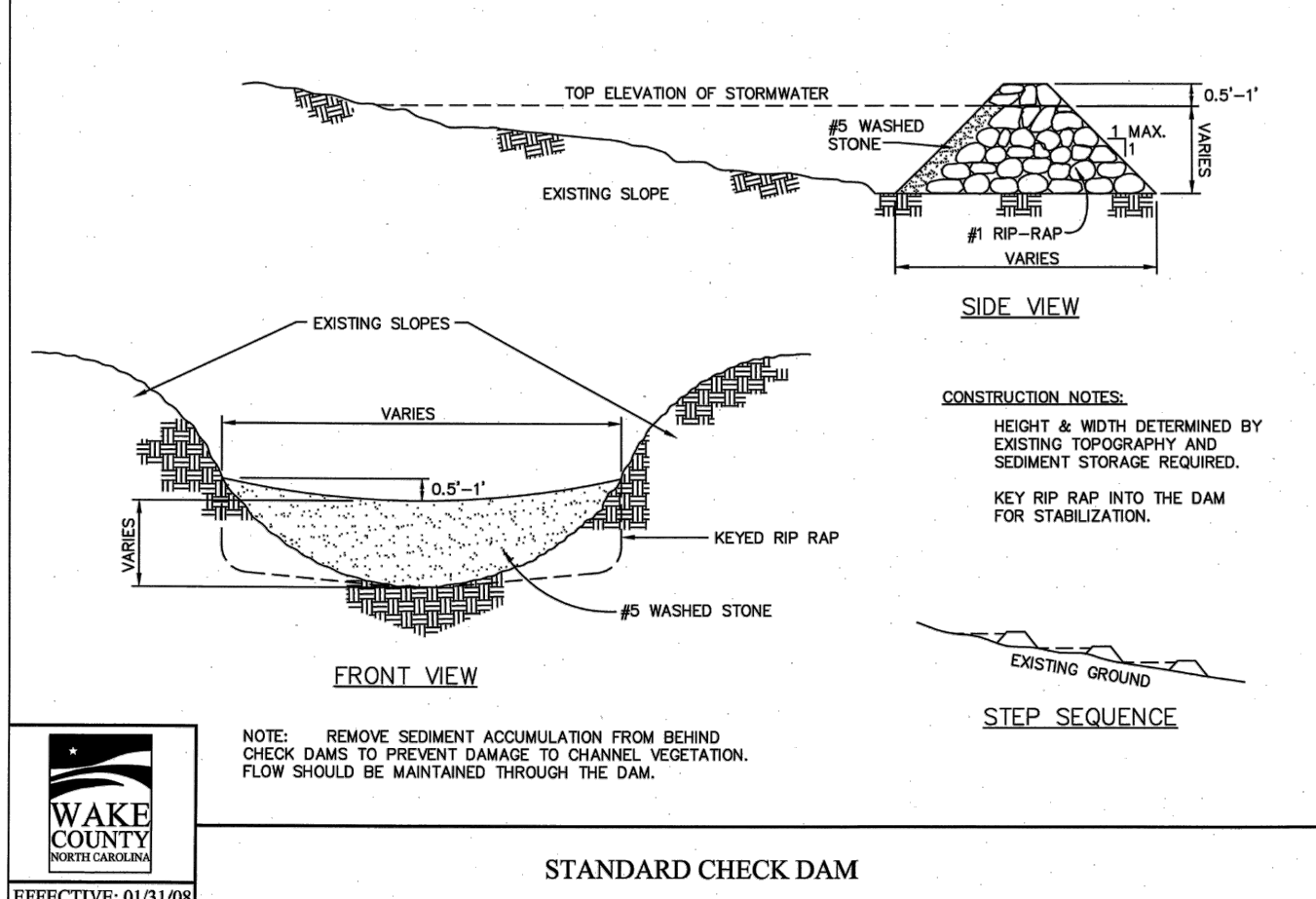
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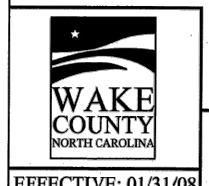
STANDARD TEMPORARY DIVERSION DITCH



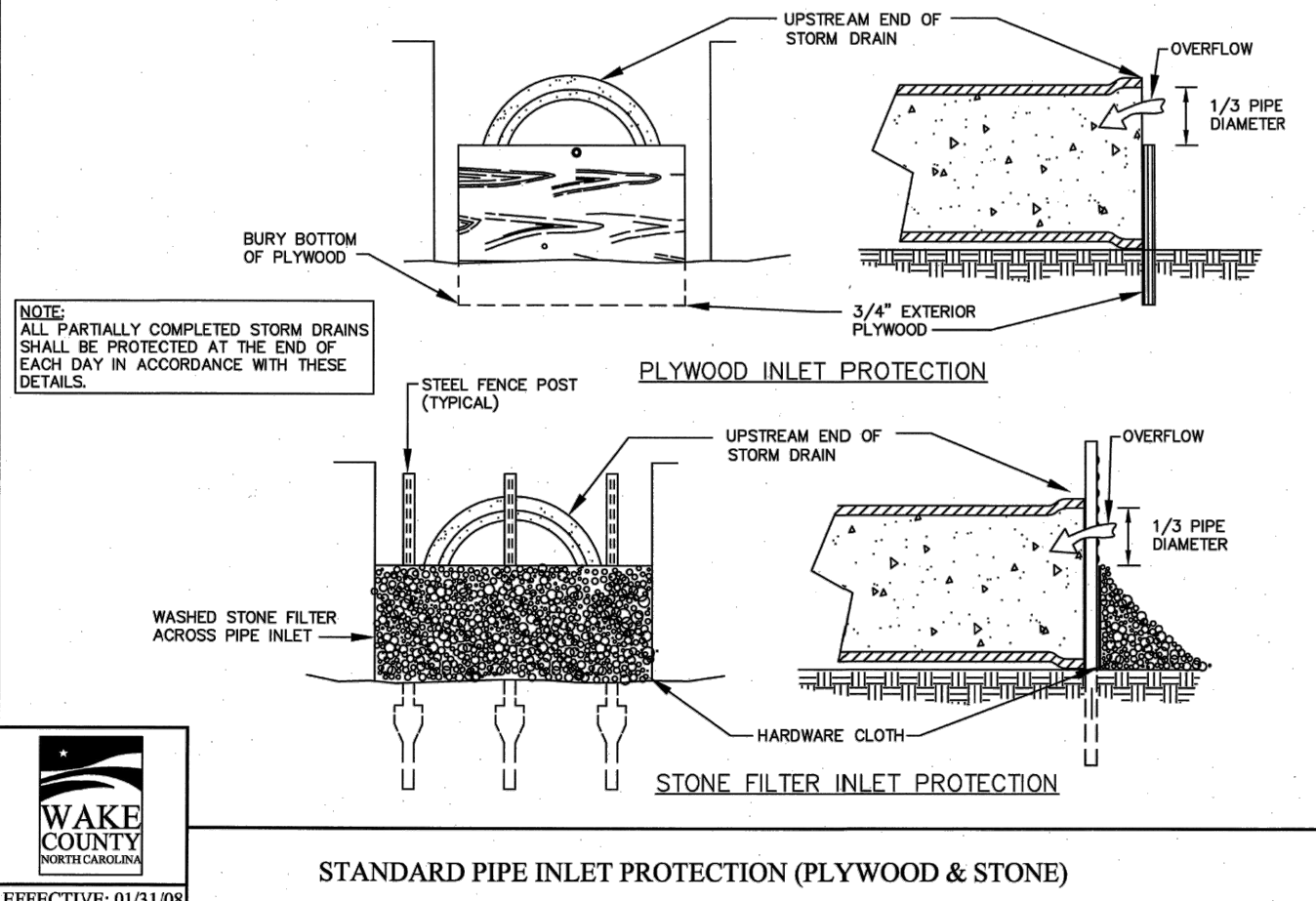
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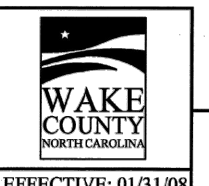
STANDARD CHECK DAM



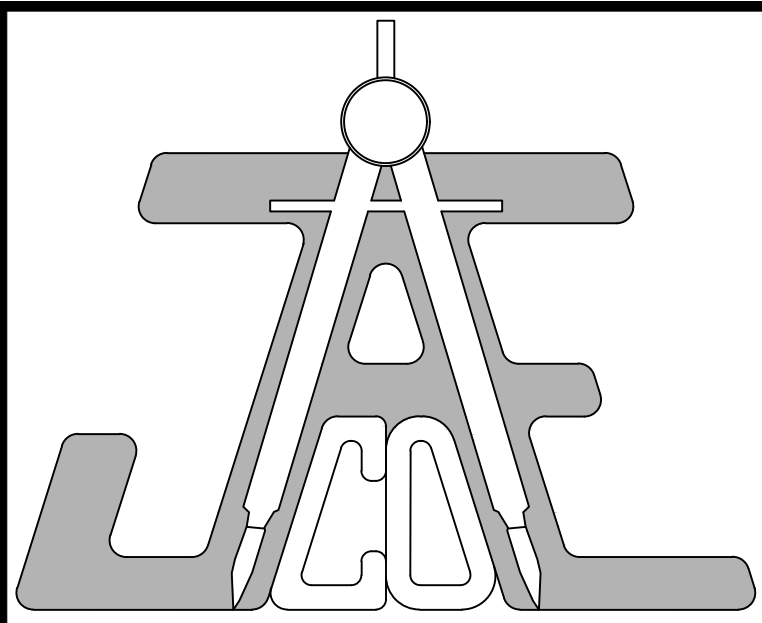
EFFECTIVE: 01/31/08



STANDARD PIPE INLET PROTECTION (PLYWOOD & STONE)



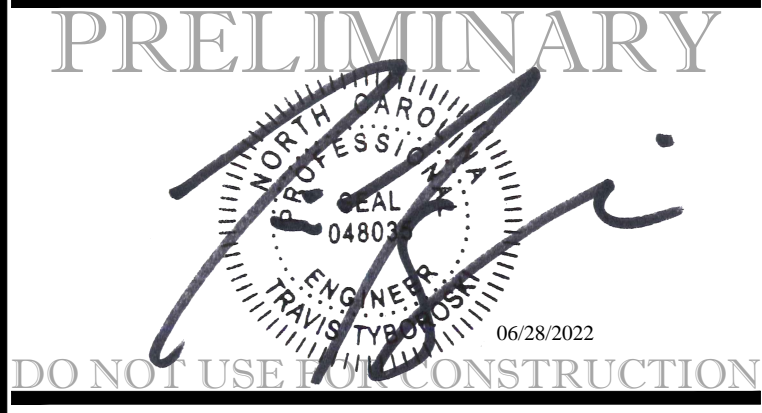
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Granite Crest - Phase IV
0 Pluton Place
Rolesville, NC

Real Estate Marketing & Consulting, Inc.
6200 Falls of Neuse Rd.
Suite 102
Raleigh, NC 27609

Call before you dig.

LEGEND

Number	Description	Date
1	PER TRC COMMENTS	04/14/22
2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	PER TRC COMMENTS	06/27/22

JAECO # 364-04
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: TT
DATE ISSUED: 01/30/2022

C-7

ROLLMAX™ ROLLED EROSION CONTROL

Specification Sheet - EroNet™ D575* Erosion Control Blanket

DESCRIPTION
The ultra short-term single net erosion control blanket shall be a machine produced mat of 100% agricultural straw with a functional longevity of up to 45 days. (NOTE: Functional longevity may vary depending upon climatic conditions, soil, geographical location, and elevation). The blanket shall be of consistent thickness with the straw evenly distributed over the entire area of the mat. The blanket shall be covered on the top side with a polypropylene netting having an approximate 0.50 x 0.50 (1/2" x 1/2") mesh with photodegradable accelerators to provide breakdown of the netting within approximately 45 days, depending upon geographical location and elevation. The blankets shall be sewn together on 150 inch (1.81 cm) centers with a degradable thread. The blanket shall be manufactured with a colored thread stitched along both outer edges (approximately 2-3 inches [5-7.5 cm] from the edge) as an overlap guide for adjacent mats.

The D575 shall meet Type 1 specification requirements established by the Erosion Control Technology Council (ECTC) and Federal Highway Administrator's (FHWA) FP-03 Section 713.97.

Index Property	Test Method	Typical
Thickness	ASTM D6622	0.45 in. (11.43 mm)
Resiliency	ECTC Guidelines	70.8%
Water Absorbency	ASTM D1917	370%
Max/Unit Area	ASTM G475	8.17 oz/yd (241 g/m ²)
Smell	ECTC Guidelines	9%
Smolder Resistance	ECTC Guidelines	Yes
Stiffness	ASTM D1988	6.19 oz/in
Light Penetration	ASTM D6567	106.6 lb/ft ²
Tensile Strength - MD	ASTM D6818	42.8 lb/ft
Elongation - MD	ASTM D6818	34%
Tensile Strength - TD	ASTM D6818	42.8 lb/ft
Elongation - TD	ASTM D6818	29.2%
Biomass Improvement	ASTM D7132	200%

Design Permissible Shear Stress	
Unvegetated Shear Stress	15.0 psf (0.74 kg)
Unvegetated Velocity	5.0 ft/s (1.52 m/s)

Slope Design Data: C Factors	Slope Gradients (S)		
Slope Length (L)	0.11	0.11 - 0.21	0.21
< 20 ft (6.1 m)	0.020	N/A	N/A
20-50 ft	0.11	N/A	N/A
> 50 ft (15.2 m)	0.19	N/A	N/A

Material Content	
Matrix	100% Straw Fiber
Netting	Top side only, lightweight photodegradable with photo accelerators
Thread	Degradable

Standard Roll Sizes			
Width	6.67 (2.03 m)	8.0 (2.44 m)	16.0 (4.87 m)
Length	100 ft (30.28 m)	112 ft (34.14 m)	160 ft (48.76 m)
Weight 100'	50 lbs (22.68 kg)	50 lbs (22.68 kg)	50 lbs (22.68 kg)
Area	667 sq yd (665.50 m ²)	100 sq yd (100.00 m ²)	100 sq yd (100.00 m ²)

Tensar International Corporation
2500 Northwoods Parkway
Suite 200
Alpharetta, GA 30009
800.770.6343
tensarcorp.com

ROLLMAX™ ROLLED EROSION CONTROL

Specification Sheet - VMax™ E350* Turf Reinforcement Mat

DESCRIPTION
The composite turf reinforcement mat (CTRM) shall be a machine produced mat of 100% coconut fiber matrix incorporated into permanent three dimensional turf reinforcement matting. The matrix shall be evenly distributed across the entire width of the matting and cross stitched between super heavy duty UV-stabilized nettings with 0.50 x 0.50 (1/2" x 1/2") openings. An ultra heavy duty UV-stabilized, dramatically convoluted (or matted) intermediate matting with 0.50 x 0.50 (1/2" x 1/2") openings, and covered by a super heavy duty UV-stabilized netting with 0.50 x 0.50 (1/2" x 1/2") openings. The middle convoluted matting shall form prominent closely spaced ridges across the entire width of the mat. The three nettings shall be stitched together on 150 in. (3.81 cm) centers with UV-stabilized polypropylene thread to form permanent three dimensional turf reinforcement matting. All mats shall be manufactured with colored thread stitched along both outer edges as an overlap guide for adjacent mats.

The E350 shall meet Type 1A, B, and C specification requirements established by the Erosion Control Technology Council (ECTC) and Federal Highway Administrator's (FHWA) FP-03 Section 713.97.

Index Property	Test Method	Typical
Thickness	ASTM D6625	0.70 in. (17.8 mm)
Resiliency	ASTM D6624	90%
Density	ASTM D792	0.97 g/cm ³
Max/Unit Area	ASTM D6666	18.46 oz/yd (546 g/m ²)
UV Stability	ASTM D4855/1000 HR	80%
Polarity	ECTC Guidelines	9%
Stiffness	ASTM D1988	0.36 in.-lb (0.7990 N-m)
Light Penetration	ASTM D6567	7.2%
Tensile Strength - MD	ASTM D6818	148.3 lb/ft
Elongation - MD	ASTM D6818	45.3%
Tensile Strength - TD	ASTM D6818	68.6 lb/ft (102.0 N/m)
Elongation - TD	ASTM D6818	75.5%
Biomass Improvement	ASTM D7132	360%

Design Permissible Shear Stress	Shurability	Long Duration	
Phase 1 Unvegetated	3.2 psf (153 Pa)	3.0 psf (144 Pa)	
Phase 2 Partially Veg.	10.0 psf (480 Pa)	10.0 psf (480 Pa)	
Phase 3 Fully Veg.	12.0 psf (576 Pa)	10.0 psf (480 Pa)	
Unvegetated Velocity	10.5 fps (3.2 m/s)	Vegetated Velocity	20 fps (6.0 m/s)

Material Content	
Matrix	100% Coconut Fiber
Netting	Top and Bottom UV-Stabilized Polypropylene Middle, Convoluted UV-Stabilized Polypropylene
Thread	Polypropylene, UV Stable

Standard Roll Sizes	
Width	6.5 ft (2.0 m)
Length	55 ft (16.8 m)
Weight 100'	37 lbs (16.8 kg)
Thread	40 ft (12.2 m)

Installation Made Easy

When under the pressure of severe conditions, even the best erosion control products can't function to their full potential without proper installation and anchoring. Tensar supplies a wide variety of fastener options for nearly every application and soil type.

For severe applications needing the ultimate, long lasting hold, try our 1/2 in. and 3/4 in. rebar staples, our 1/2 in. plastic ShowMax™ stakes, or complete line of percussion earth anchors. The Tensar earth anchors reach deep into the soil strata to offer enhanced anchoring in the worst conditions. Our variety of earth anchors are designed for durability and holding power under extreme hydraulic stresses and adverse soil conditions.

STAPLE PATTERNS
Proper staple patterns must be used to achieve optimal results in RECP installation. Tensar recommends the following general stapling patterns as guidance for use with our RECPs as seen in (Figure 1). Site specific staple pattern recommendations based on soil type and severity of application may be acquired through our Erosion Control Materials Design Software (ECADMS™), www.ecadms.com.

Our biodegradable BioStakes™ are available in 4 in. and 6 in. lengths and provide an environmentally friendly alternative to metal staples. For an even more durable, deeper reaching yet still natural anchoring option, our Wood EcoStakes™ are available in 6 in., 12 in., 18 in., and 24 in. lengths.

Slope Installation

The following slope guide outlines our general recommendations for installing Tensar's RollMax™ temporary and/or permanent RECPs on sloping applications. Consult the staple pattern guide (Figure 1) for fastener spacing recommendations based on the slope severity.

SLOPE INSTALLATION STEPS

- Prepare soil before installing RECPs, including any necessary application of lime, fertilizer and seed. See page 7 for special requirements when soil filling a woven TBM.
- Begin at the top of the slope by anchoring the RECPs in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench with approximately 12 in. (30 cm) of RECPs extended beyond the slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12 in. (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12 in. (30 cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12 in. (30 cm) apart across the width of the RECPs.
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
- The edges of parallel RECPs must be stapled with approximately 2 in. (5 cm) overlap depending on the RECP type.
- Consecutive RECPs split down the slope must be end-over-end (single style) with an approximate 12 in. (30 cm) overlap. Staple through overlapped area, approximately 12 in. (30 cm) apart across entire RECPs width.

NOTE: In adverse soil conditions longer staples/stakes or earth anchors may be necessary to properly secure the RECPs.

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PRELIMINARY

DO NOT USE FOR CONSTRUCTION

06/26/2022

TREE PROTECTION FENCE

N.T.S.

CRITICAL POINTS
A. Warning and Signs
B. Project Water Line
C. Channel Bottom/Tree Vessels

CHANNEL INSTALLATION STEPS

- Prepare soil before installing RECPs, including any necessary application of lime, fertilizer and seed. See page 7 for special requirements when soil filling a woven TBM.
- Begin at the top of the channel by anchoring the RECPs in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench with approximately 12 in. (30 cm) of RECPs extended beyond the slope portion of the trench. Use ShowMax™ mat at the channel/culvert outlet as supplemental cover protection as needed. Anchor the RECPs with a row of staples/stakes approximately 12 in. (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12 in. (30 cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12 in. (30 cm) apart across the width of the RECPs.
- Roll across RECPs in direction of water flow in bottom of channel. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.

NOTE: In adverse soil conditions longer staples/stakes or earth anchors may be necessary to properly secure the RECPs.

Channel Installation

The following channel guide outlines our general recommendations for installing Tensar's RollMax™ temporary and/or permanent RECPs in concentrated flow applications. Consult the staple pattern guide (Figure 1) for fastener spacing recommendations based on the channel severity.

SHORELINE/STREAMBANK INSTALLATION STEPS

- For severe installation, lower water level from Level A to Level B before installation.
- Prepare soil before installing RECPs, including any necessary application of lime, fertilizer and seed. See page 7 for special requirements when soil filling a woven TBM.
- Begin at the top of the shoreline by anchoring the RECPs in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench with approximately 12 in. (30 cm) of RECPs extended beyond the slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12 in. (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12 in. (30 cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12 in. (30 cm) apart across the width of the RECPs.
- Roll RECPs either (A) down the shoreline for long banks (top to bottom) or (B) horizontally across the shoreline.

NOTE: In adverse soil conditions longer staples/stakes or earth anchors may be necessary to properly secure the RECPs.

Shoreline Installation

The following guide outlines our general recommendations for installing Tensar's RollMax™ temporary and/or permanent RECPs along shoreline and stream bank applications. Consult the staple pattern guide (Figure 1) for fastener spacing recommendations based on the bank severity.

INSTALLING RECP WITH EARTH ANCHORS
Consult the following guide details when using earth anchors in conjunction with our RollMax™ RECPs.

For the leading edge of a slope or channel, secure the RECP in a 6 in. (15 cm) x 6 in. (15 cm) wide trench with approximately 12 in. (30 cm) of RECP extended beyond the upper portion of the trench. Anchor the RECP with a row of staples and anchors approximately 12 in. (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to backfilled soil and fold the remaining 12 in. (30 cm) of RECP over seeded soil. Secure the RECP with a row of staples and anchors approximately 12 in. (30 cm) across the width of the RECP (Figures 2 and 3).

Full length edge of RECPs in critical areas should be anchored with a row of staples and anchors approximately 12 in. (30 cm) apart in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench. Backfill and compact the trench after stapling (Figure 4).

SOIL FILLING
Consult the following installation instructions when soil filling a woven TBM.

- Installed TBM shall be seeded and soil-filled.
- After seeding, spread a layer of fill into the mat. Using the flat side of a row, beam or other tool, completely fill the voids. Smooth soil fill in order to just expose the top of the TBM matrix. Do not place excessive soil above the mat.
- In the case of equipment use, no tracked equipment or sharp turns shall be allowed on the mat. Avoid any traffic over the mat if loose or wet soil conditions exist.
- Additional seed, hydraulic mulching or the use of a temporary erosion control blanket can be applied over the soil-filled mat for additional protection.
- Consult with a manufacturer's technical representative for installation assistance if unique conditions apply.

Special Installation Instructions

INSTALLING RECP WITH EARTH ANCHORS
Consult the following guide details when using earth anchors in conjunction with our RollMax™ RECPs.

For the leading edge of a slope or channel, secure the RECP in a 6 in. (15 cm) x 6 in. (15 cm) wide trench with approximately 12 in. (30 cm) of RECP extended beyond the upper portion of the trench. Anchor the RECP with a row of staples and anchors approximately 12 in. (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to backfilled soil and fold the remaining 12 in. (30 cm) of RECP over seeded soil. Secure the RECP with a row of staples and anchors approximately 12 in. (30 cm) across the width of the RECP (Figures 2 and 3).

Full length edge of RECPs in critical areas should be anchored with a row of staples and anchors approximately 12 in. (30 cm) apart in a 6 in. (15 cm) deep x 6 in. (15 cm) wide trench. Backfill and compact the trench after stapling (Figure 4).

SOIL FILLING
Consult the following installation instructions when soil filling a woven TBM.

- Installed TBM shall be seeded and soil-filled.
- After seeding, spread a layer of fill into the mat. Using the flat side of a row, beam or other tool, completely fill the voids. Smooth soil fill in order to just expose the top of the TBM matrix. Do not place excessive soil above the mat.
- In the case of equipment use, no tracked equipment or sharp turns shall be allowed on the mat. Avoid any traffic over the mat if loose or wet soil conditions exist.
- Additional seed, hydraulic mulching or the use of a temporary erosion control blanket can be applied over the soil-filled mat for additional protection.
- Consult with a manufacturer's technical representative for installation assistance if unique conditions apply.

SUPER SILT FENCE

N.T.S.

NOTES:

- MAINTENANCE SHALL OCCUR WHEN NECESSARY. SILT FENCE SHALL BE REPLACED EVERY 6 MONTHS AND POSTS SHALL BE INSPECTED TO ENSURE STRUCTURAL INTEGRITY. SILT FENCE SHALL BE INSPECTED WEEKLY AND ALL MAINTENANCE ISSUES SHALL BE CORRECTED AT THAT TIME.
- SILT FENCE SHOULD BE A MINIMUM OF 6 FEET FROM THE TOE OF SLOPE.

ROLLMAX SPECIFICATIONS AND INSTALLATION INSTRUCTIONS

SEEDING SCHEDULE FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 TO 2:1)		
DATE	TYPE	PANTING RATE
MAR 1 - JUN 1	SERICEA LESPEDEZA (SCARIFIED) AND USE THE FOLLOWING COMBINATIONS:	50 LBS/ACRE (SERICEA LESPEDEZA)
MAR 1 - APR 15	ADD TALL FESCUE	10 LBS/ACRE
MAR 1 - JUN 30	OR ADD WEEPINE LOVE GRASS	10 LBS/ACRE
MAR 1 - JUN 30	OR ADD HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUN 1 - SEPT 1	TALL FESCUE AND BROWNTOP MULLET OR SORGHUM-SUDAN HYBRIDS ***	120 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MULLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)
SEPT 1 - MAR 1	SERICEA LESPEDEZA (UNHULLED-UNSCARIFIED) AND TALL FESCUE	70 LBS/ACRE (SERICEA LESPEDEZA); 120 LBS/ACRE (TALL FESCUE)
NOV 1 - MAR 1	AND ABRUZZI RYE	25 LBS/ACRE

CONSULT S&E/C ENVIRONMENTAL ENGINEERS FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDATED AREAS. THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE. ***TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWINGS. OTHERWISE, FESCUE MAY BE SHADED OUT.

SEEDING SCHEDULE FOR SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1)		
DATE	TYPE	PANTING RATE
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	300 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS***	125 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MULLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)

NEW STABILIZATION TIMEFRAMES (EFFECTIVE AUG 3, 2011)		
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
PERMETER DIKES, SWALES, DITCHES, SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	70 DAYS	IF SLOPES ARE LESS THAN 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE, EXCEPT FOR PERMETERS AND HQW ZONES

SEEDBED PREPARATION:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO SIX INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE MIXTURE BELOW).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOR TO SIX INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT S&E/C ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

SEEDING MIXTURE	
AGRICULTURAL LIMESTONE	2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER	1,000 LBS/ACRE - 10-10-10
SUPERPHOSPHATE	500 LBS/ACRE - 20% ANALYSIS
MULCH	2 TONS/ACRE - SMALL GRAIN STRAW
ANCHOR	ASPHALT EMULSION AT 300 GALS/ACRE

Granite Crest - Phase IV

0 Pluton Place
Rolesville, NC

Real Estate Marketing & Consulting, Inc.

6200 Falls of Neuse Rd.
Suite 102
Raleigh, NC 27609

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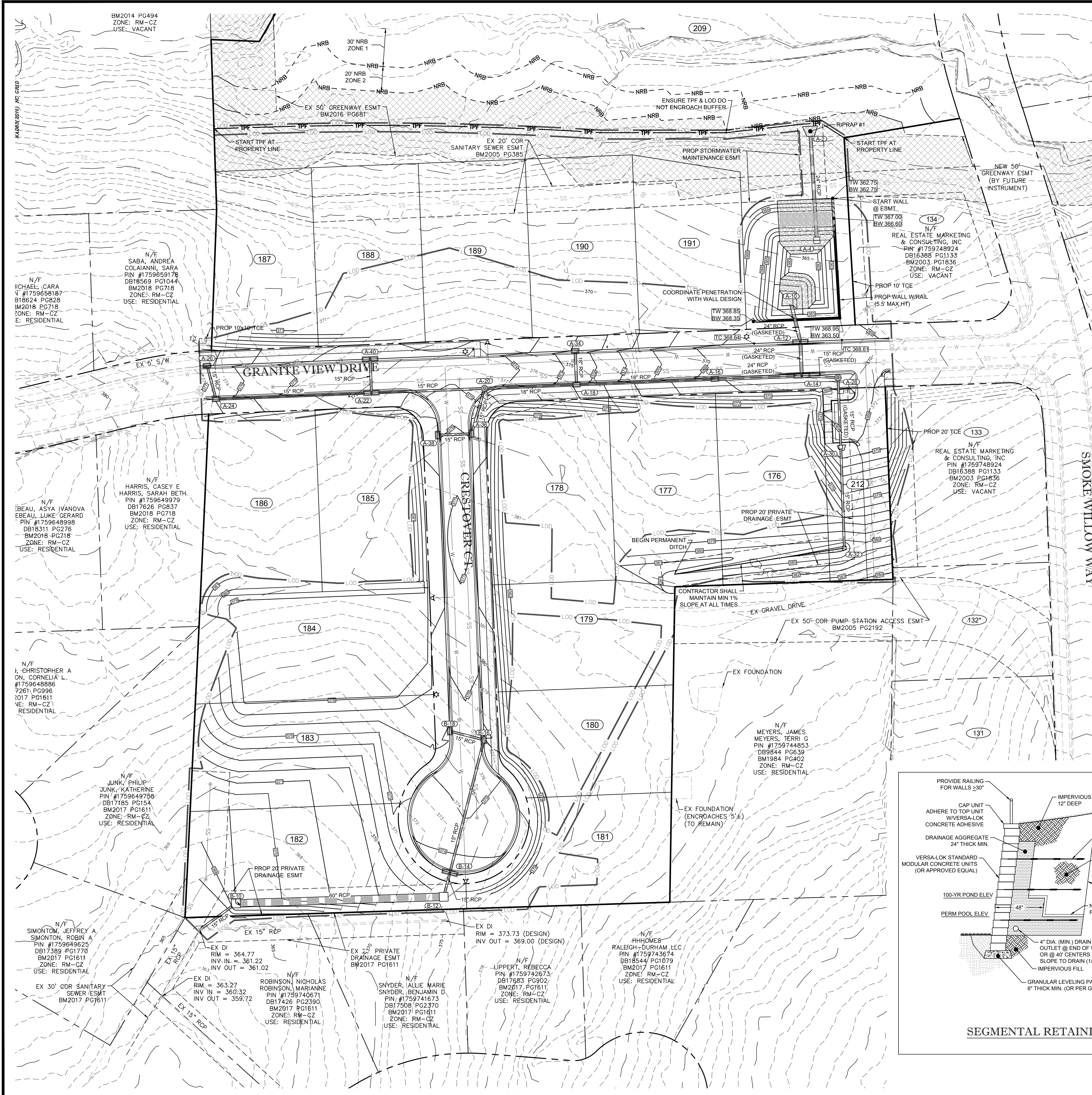
LEGEND

EROSION & SEDIMENT CONTROL DETAILS

Revisions	Number	Description	Date
	1	PER TRC COMMENTS	04/14/22
	2	PER TRC COMMENTS	05/26/22
	3	PER TRC COMMENTS	06/13/22
	4	PER TRC COMMENTS	06/15/22
	5	PER TRC COMMENTS	08/27/22

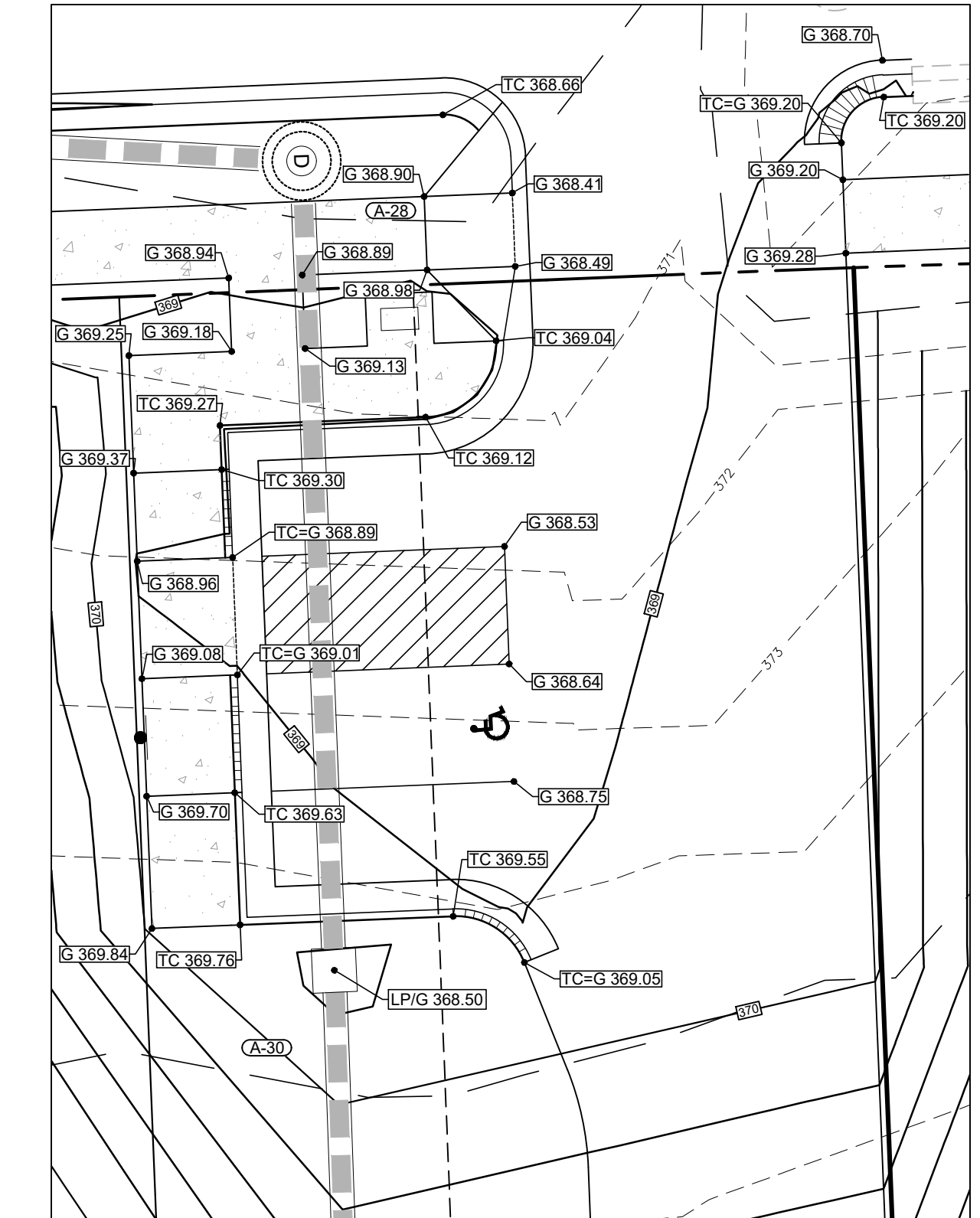
JAECO #: 364-04
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: TT
DATE ISSUED: 01/30/2022

C-8

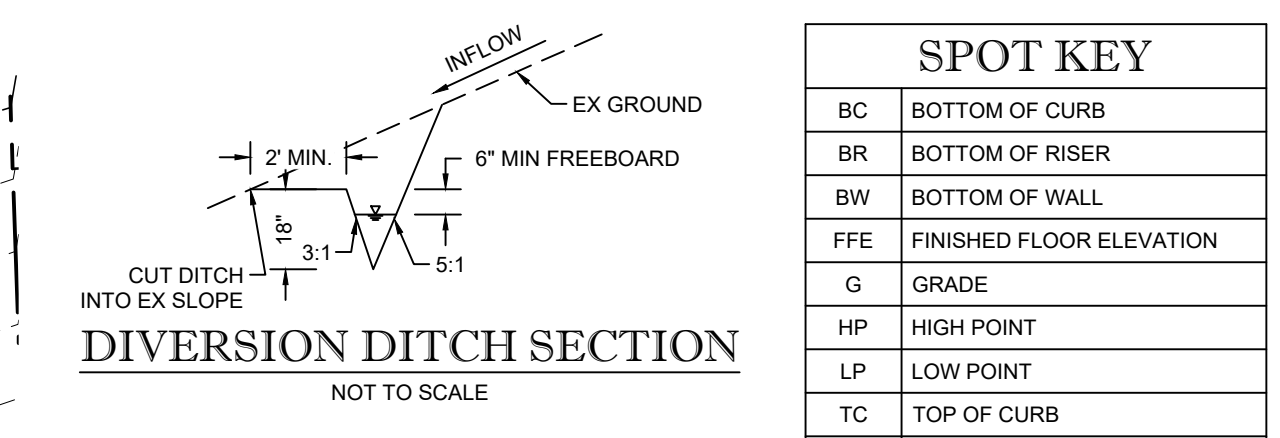


GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, TOWN OF ROLESVILLE, AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 50' NEUSE RIVER BUFFER SHOWN HEREIN IS BASED ON THE "BUFFER DETERMINATION LETTER" (NBRRO #21-286) ISSUED SEPTEMBER 9, 2021 AND FLAGGING OF THE SAME BY S&EC.

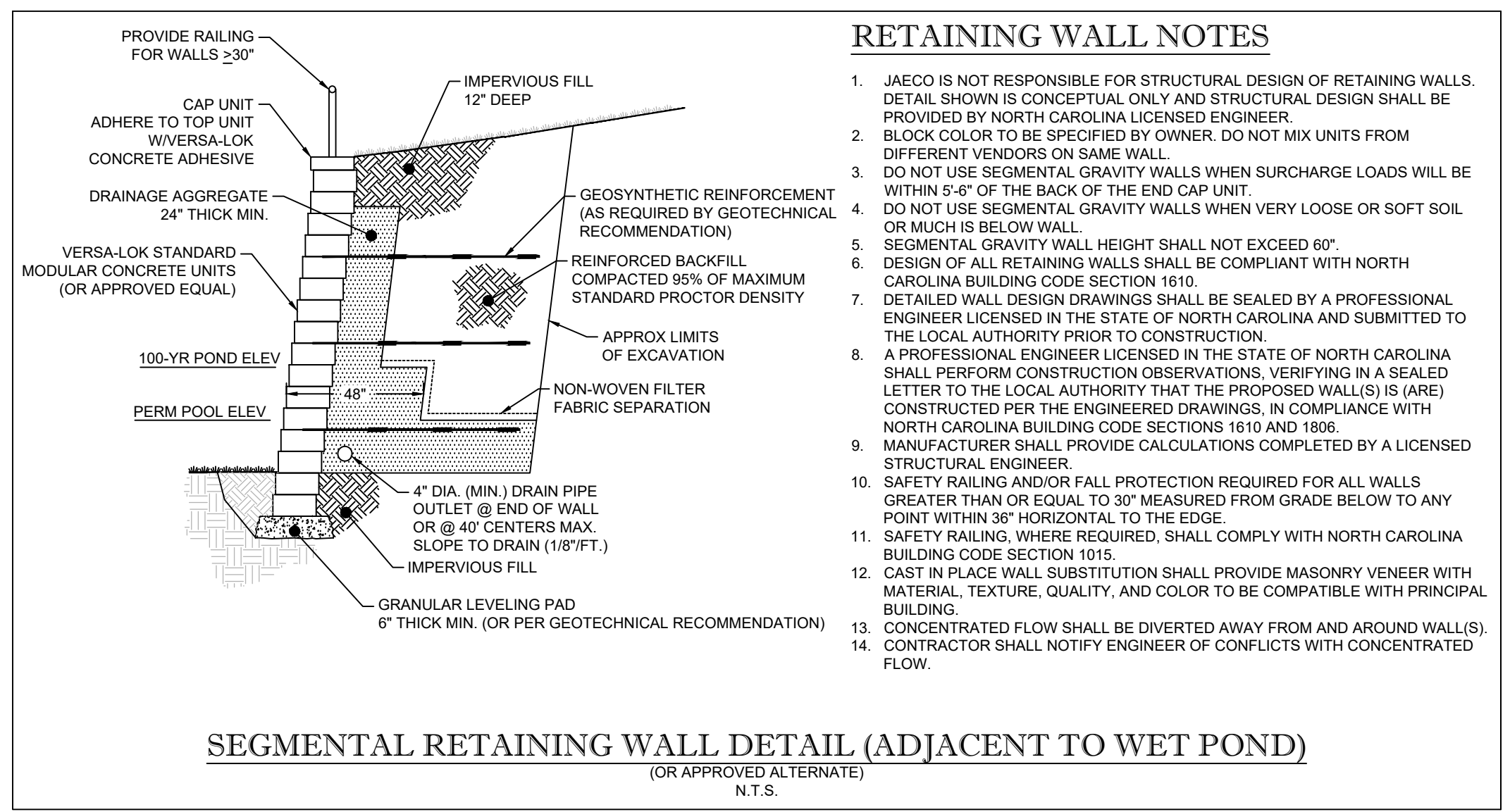


MAIL KIOSK INSET
SCALE: 1" = 10'



DIVERSION DITCH SECTION
NOT TO SCALE

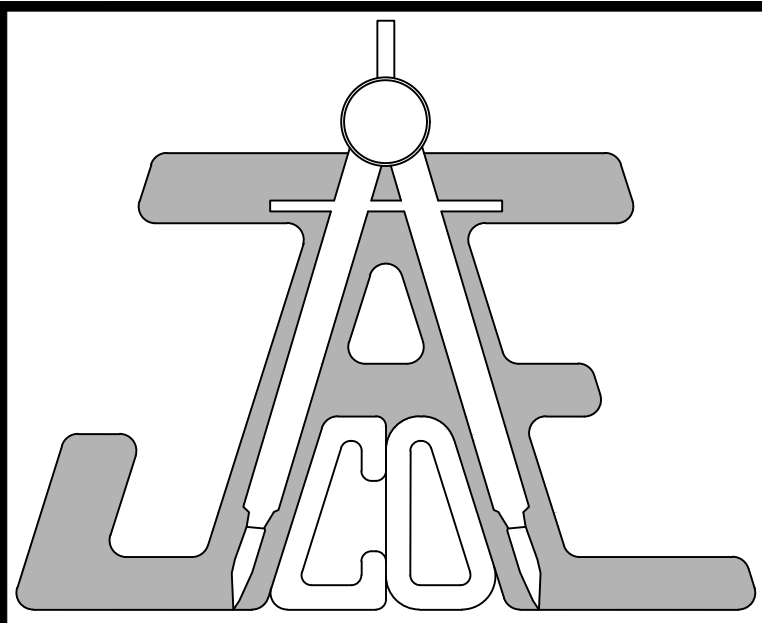
SPOT KEY	
BC	BOTTOM OF CURB
BR	BOTTOM OF RISER
BW	BOTTOM OF WALL
FFE	FINISHED FLOOR ELEVATION
G	GRADE
HP	HIGH POINT
LP	LOW POINT
TC	TOP OF CURB
TR	TOP OF RISER
TW	TOP OF WALL



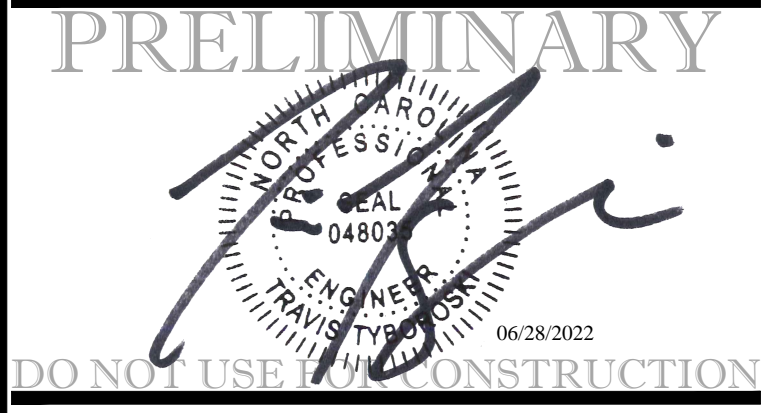
SEGMENTAL RETAINING WALL DETAIL (ADJACENT TO WET POND)
(OR APPROVED ALTERNATE)
N.T.S.

RETAINING WALL NOTES

- JAECO IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN OF RETAINING WALLS. DETAIL SHOWN IS CONCEPTUAL. ONLY A STRUCTURAL DESIGN SHALL BE PROVIDED BY NORTH CAROLINA LICENSED ENGINEER.
- BLOCK COLOR TO BE SPECIFIED BY OWNER. DO NOT MIX UNITS FROM DIFFERENT VENDORS ON SAME WALL.
- DO NOT USE SEGMENTAL GRAVITY WALLS WHEN SURCHARGE LOADS WILL BE WITHIN 5'-0" OF THE BACK OF THE END CAP UNIT.
- DO NOT USE SEGMENTAL GRAVITY WALLS WHEN VERY LOOSE OR SOFT SOIL OR MUCH IS BELOW WALL.
- SEGMENTAL GRAVITY WALL HEIGHT SHALL NOT EXCEED 60'.
- DESIGN OF ALL RETAINING WALLS SHALL BE COMPLIANT WITH NORTH CAROLINA BUILDING CODE SECTION 1610.
- DETAILED WALL DESIGN DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA AND SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
- A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA SHALL PERFORM CONSTRUCTION OBSERVATIONS, VERIFYING IN A SEALED LETTER TO THE LOCAL AUTHORITY THAT THE PROPOSED WALL(S) IS (ARE) CONSTRUCTED PER THE ENGINEERED DRAWINGS, IN COMPLIANCE WITH NORTH CAROLINA BUILDING CODE SECTIONS 1610 AND 1806.
- MANUFACTURER SHALL PROVIDE CALCULATIONS COMPLETED BY A LICENSED STRUCTURAL ENGINEER.
- SAFETY RAILING AND/OR FALL PROTECTION REQUIRED FOR ALL WALLS GREATER THAN OR EQUAL TO 30" MEASURED FROM GRADE BELOW TO ANY POINT WITHIN 36" HORIZONTAL TO THE EDGE.
- SAFETY RAILING, WHERE REQUIRED, SHALL COMPLY WITH NORTH CAROLINA BUILDING CODE SECTION 1015.
- GAST IN PLACE WALL SUBSTITUTION SHALL PROVIDE MASONRY VENEER WITH MATERIAL, TEXTURE, QUALITY, AND COLOR TO BE COMPATIBLE WITH PRINCIPAL BUILDING.
- CONCENTRATED FLOW SHALL BE DIVERTED AWAY FROM AND AROUND WALL(S).
- CONTRACTOR SHALL NOTIFY ENGINEER OF CONFLICTS WITH CONCENTRATED FLOW.



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Fax: (919) 828-4711
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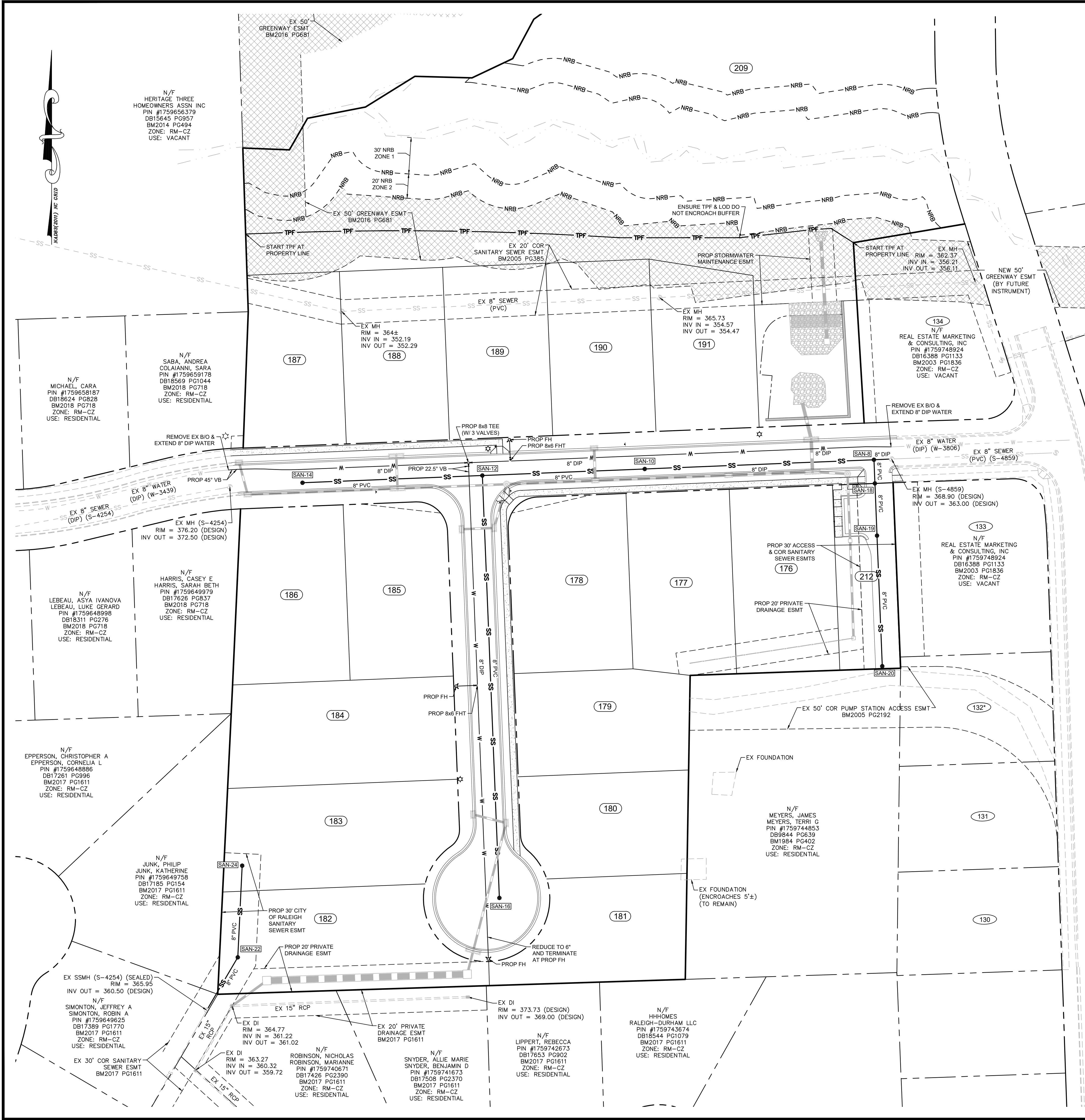
Call 811 before you dig.

LEGEND

STORMDRAIN & GRADING PLAN

Revisions		
Number	Description	Date
1	PER TRC COMMENTS	04/14/22
2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	PER TRC COMMENTS	06/27/22

JAECO #: 364-04
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: TT
DATE ISSUED: 01/30/2022



GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, TOWN OF ROLESVILLE, AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 50' NEUSE RIVER BUFFER SHOWN HEREIN IS BASED ON THE "BUFFER DETERMINATION LETTER" (NBRRO #21-286) ISSUED SEPTEMBER 9, 2021 AND FLAGGING OF THE SAME BY S&C.
- 8" GRAVITY SEWER MAIN SHALL BE MANUFACTURED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF ASTM D-3034-98 SDR 35 TYPE PSM POLYVINYL CHLORIDE SEWER PIPE AND FITTING, UNLESS OTHERWISE NOTED.
- ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150. THE MINIMUM THICKNESS SHALL BE PRESSURE CLASS 350 FOR 6" AND 8" MAINS.
- ALL PROPOSED SEWER SERVICES TO BE 4" PVC, UNLESS OTHERWISE NOTED, AND BE INSTALLED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAILS S-30, S-31, AND S-32.
- ALL PROPOSED WATER SERVICE TO BE 3/4" COPPER WITH 5/8" METER, UNLESS OTHERWISE NOTED, AND BE INSTALLED AS SHOWN ON PLAN IN ACCORDANCE WITH CITY OF RALEIGH DETAIL W-23.

STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 15 days advance notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper water service with 5/8" meter located within private ROW. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install 4" PVC sewer service @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backflow valves are required on all sanitary sewer services having building drains lower than 1'0" above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or Stephen.calverley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

SANITARY STRUCTURE TABLE

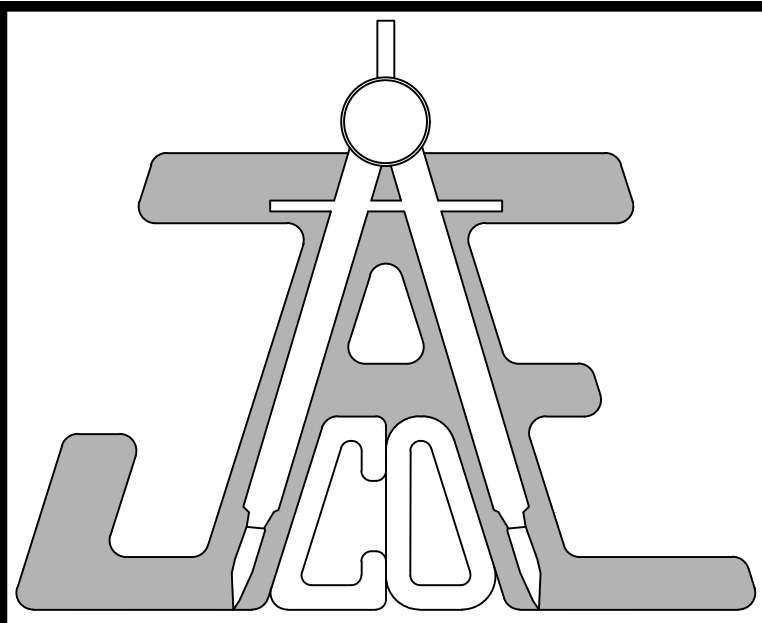
STRUCTURE ID	TYPE	STD. DETAIL	RIM	INVERT IN (D/S STR.)	INVERT OUT (D/S STR.)	PIPE OUT
SAN-8	48" MH	COR S-20	368.54	364.20 (SAN-10) 364.20 (SAN-18)	363.75 (EX MH-11)	14.51LF 8" DIP @ 1.72%
SAN-10	48" MH	COR S-20	370.86	365.53 (SAN-12)	365.33 (SAN-8)	188.80LF 8" DIP @ 0.60%
SAN-12	48" MH	COR S-20	374.85	366.53 (SAN-14) 366.53 (SAN-16)	366.33 (SAN-10)	133.72LF 8" PVC @ 0.60%
SAN-14	48" MH	COR S-20	375.29		367.42 (SAN-12)	148.13LF 8" PVC @ 0.60%
SAN-16	48" MH	COR S-20	374.93		368.65 (SAN-12)	348.03LF 8" PVC @ 0.61%
SAN-18	48" MH	COR S-20	368.78	364.60 (SAN-19)	364.60 (SAN-8)	19.50LF 8" PVC @ 2.05%
SAN-19	48" MH	COR S-20	369.31	366.14 (SAN-20)	365.94 (SAN-18)	43.00LF 8" PVC @ 2.65%
SAN-20	48" MH	COR S-20	384.12		376.60 (SAN-19)	107.61LF 8" PVC @ 9.72%
SAN-22	48" MH	COR S-20	367.48	363.25 (SAN-24)	363.05 (EX MH (SEALED))	50.46LF 8" PVC @ 1.49%
SAN-24	48" MH	COR S-20	370.30		366.00 (SAN-22)	75.56LF 8" PVC @ 3.64%

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Utilities Department** at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

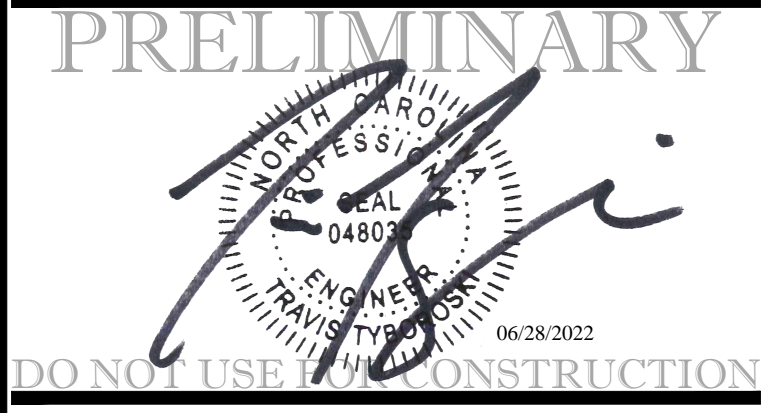
Failure to call for **Inspection, Install a Downstream Plug, have Permits** filed on the **Job**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



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LEGEND

--- WET POND - EMBANKMENT
-W- EX WATER LINE
-SS- EX SANITARY SEWER
-W- PROP WATER LINE
-SS- PROP SANITARY SEWER

PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # S-5018

The City of Raleigh consents to the connection to the private sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # W-3912

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

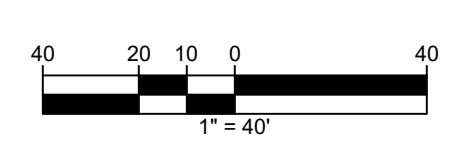
City of Raleigh Development Approval _____ Raleigh Water Review Officer _____

UTILITY PLAN

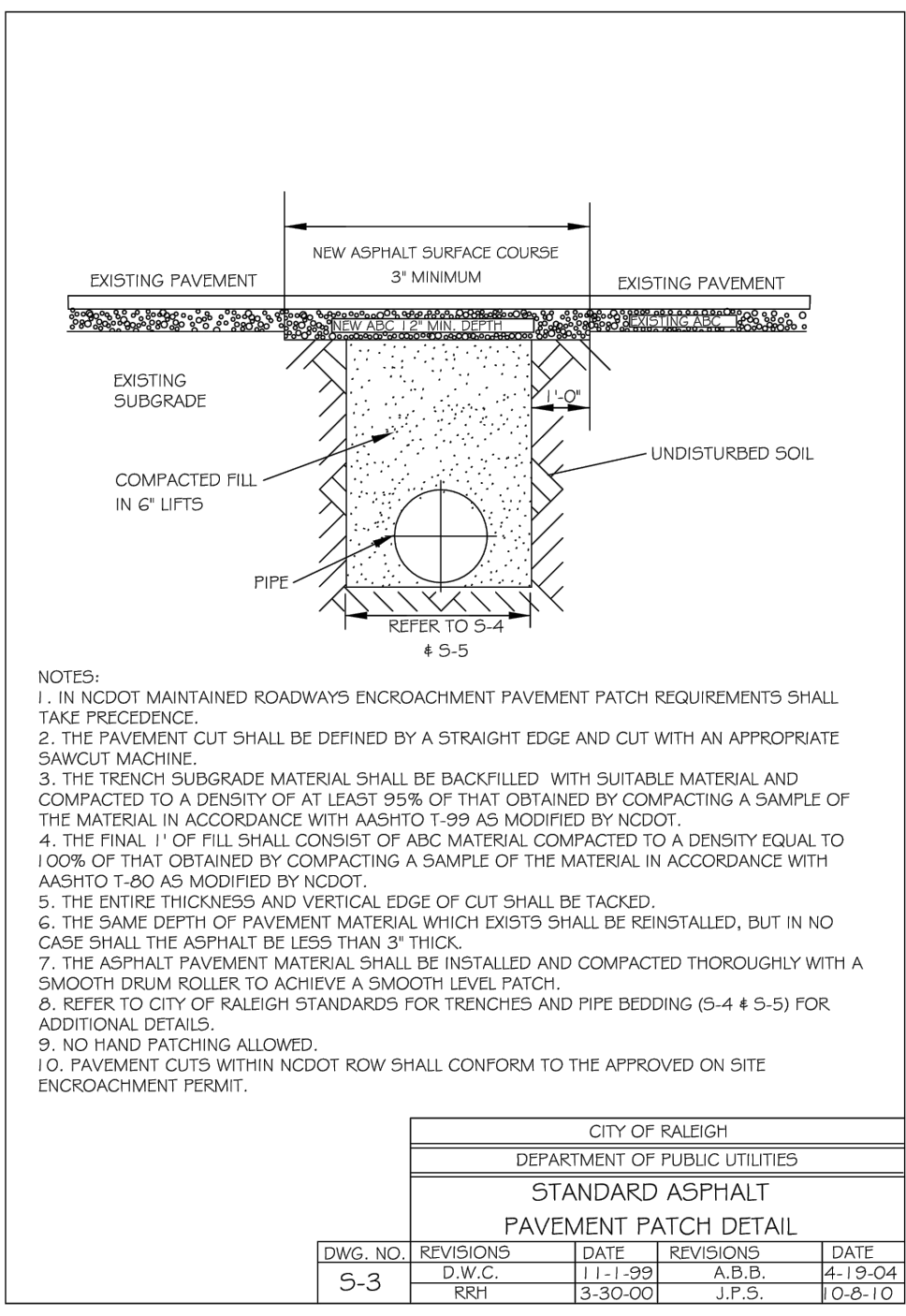
Revisions

Number	Description	Date
1	PER TRC COMMENTS	04/14/22
2	PER TRC COMMENTS	05/26/22
3	PER TRC COMMENTS	06/13/22
4	PER TRC COMMENTS	06/15/22
5	PER TRC COMMENTS	06/27/22

JAECO #: 364-04
DRAWING SCALE: 1" = 40'
DRAWN BY: TT
CHECKED BY: TT
DATE ISSUED: 01/30/2022

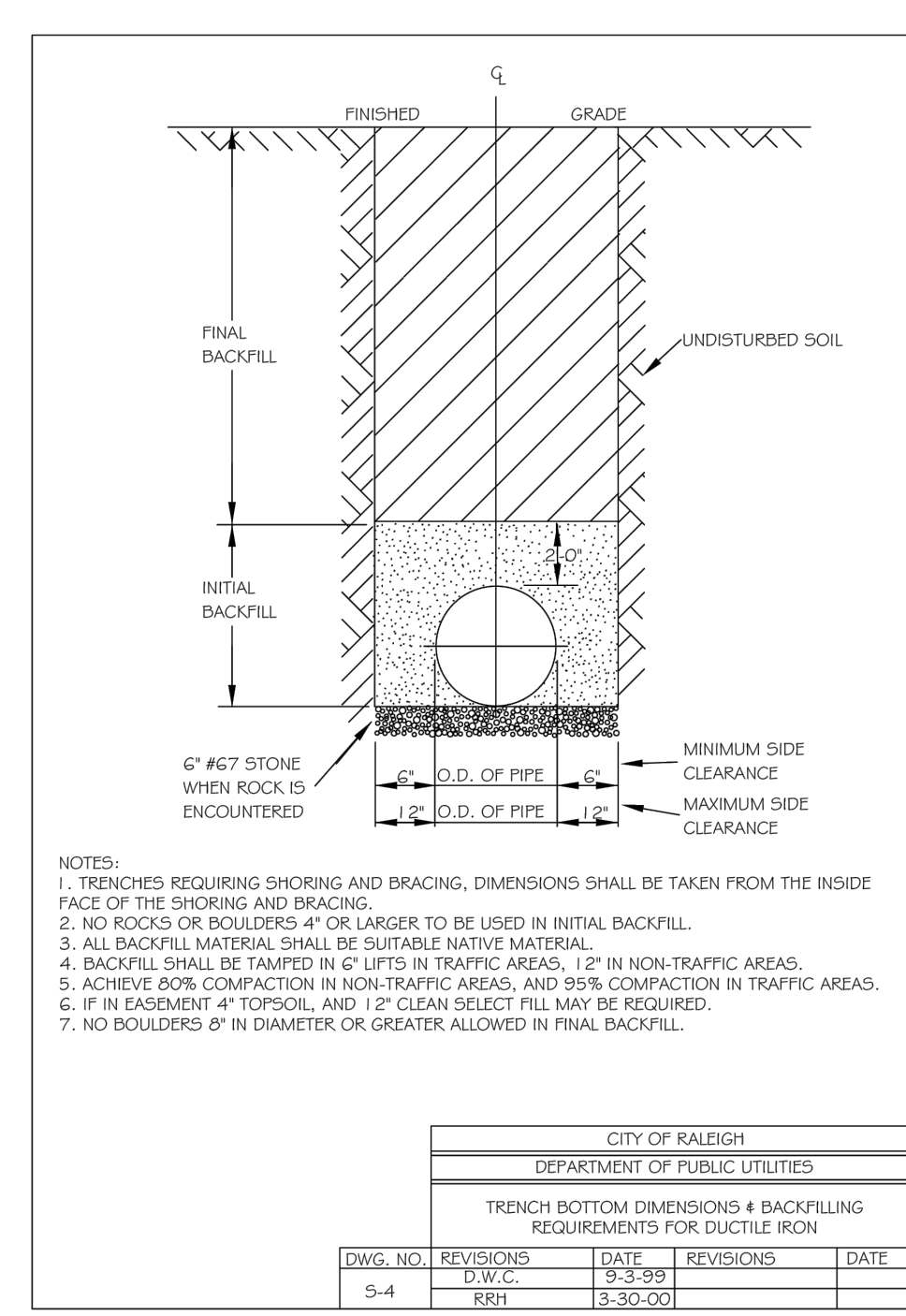


C-18



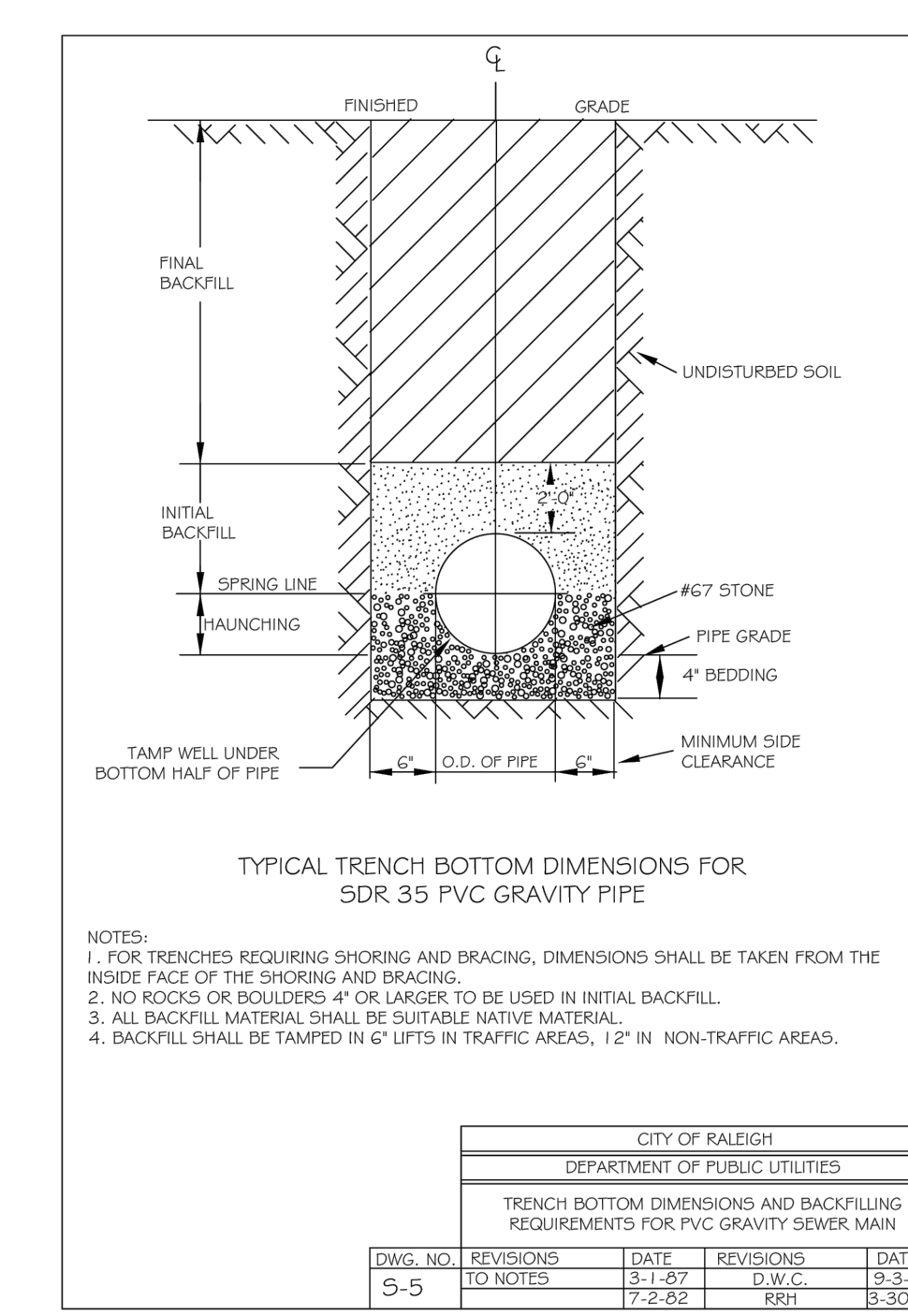
NOTES:
 1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
 2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
 3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 4. THE FINAL 1\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-3	D.W.C.	11-1-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S.	10-6-10



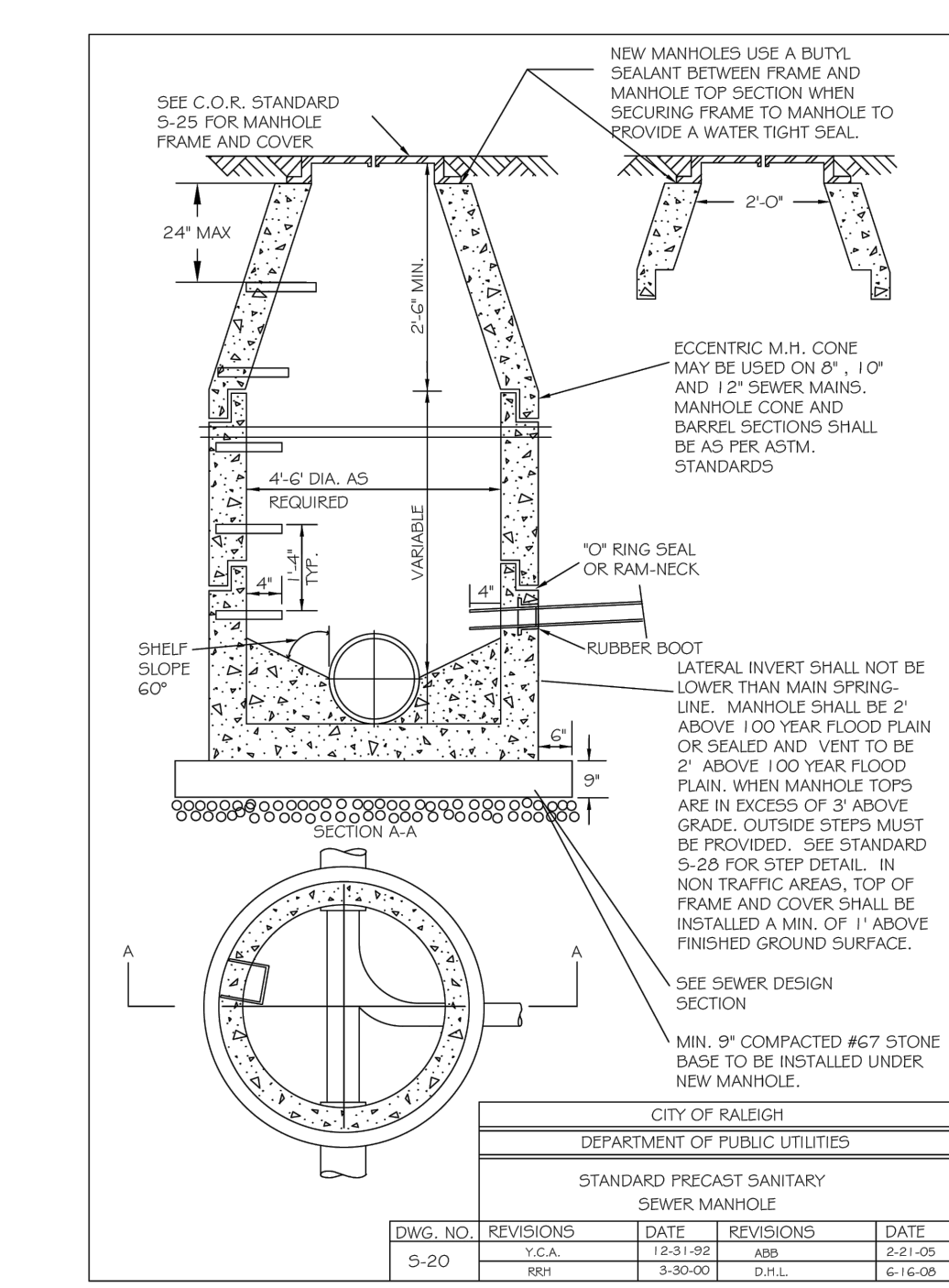
NOTES:
 1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-4	D.W.C.	3-3-99	A.B.B.	3-3-99
	RRH	3-30-00		



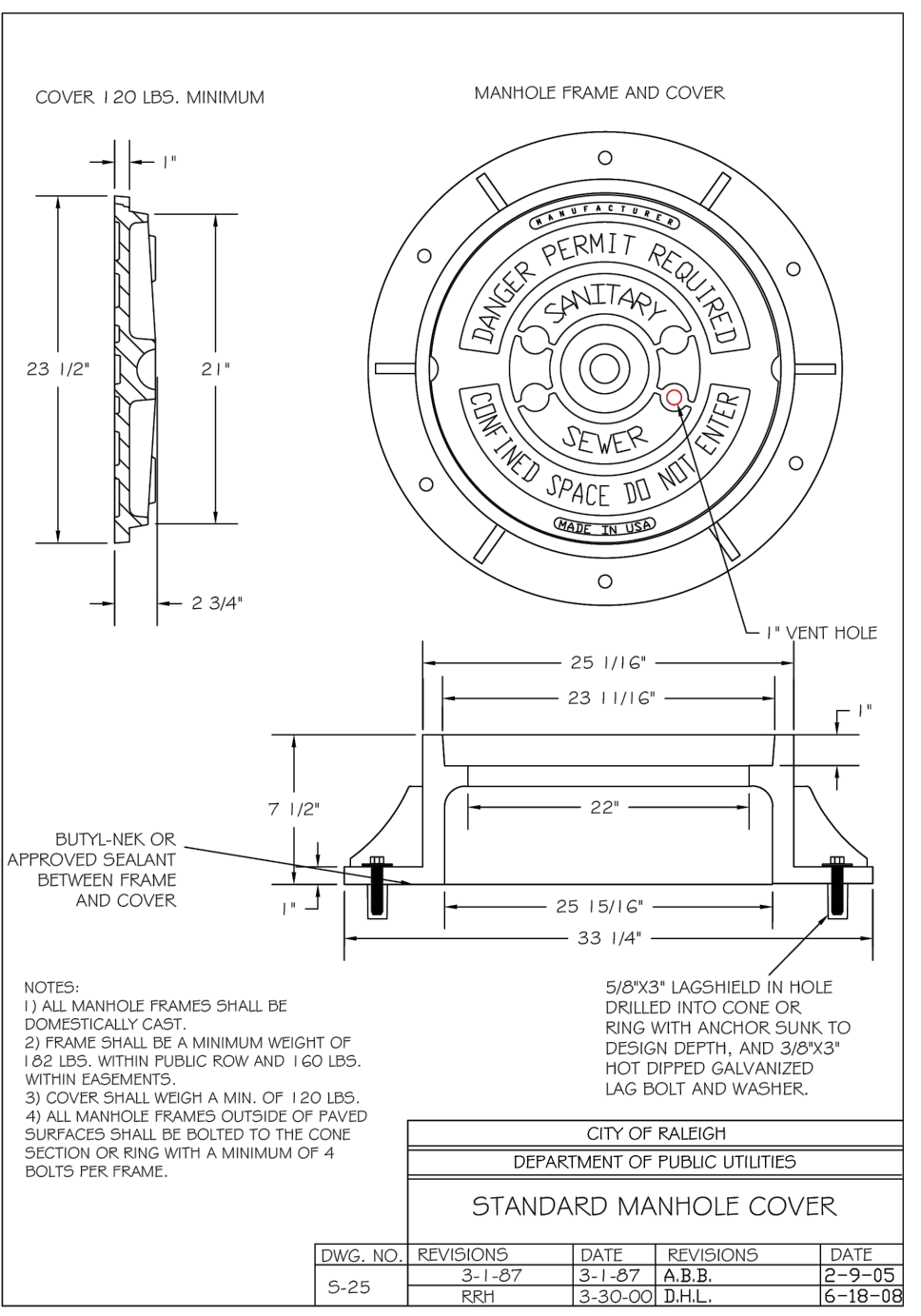
NOTES:
 1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-5	D.W.C.	7-2-82	D.W.C.	3-3-99
	RRH	3-30-00	D.H.L.	6-16-08



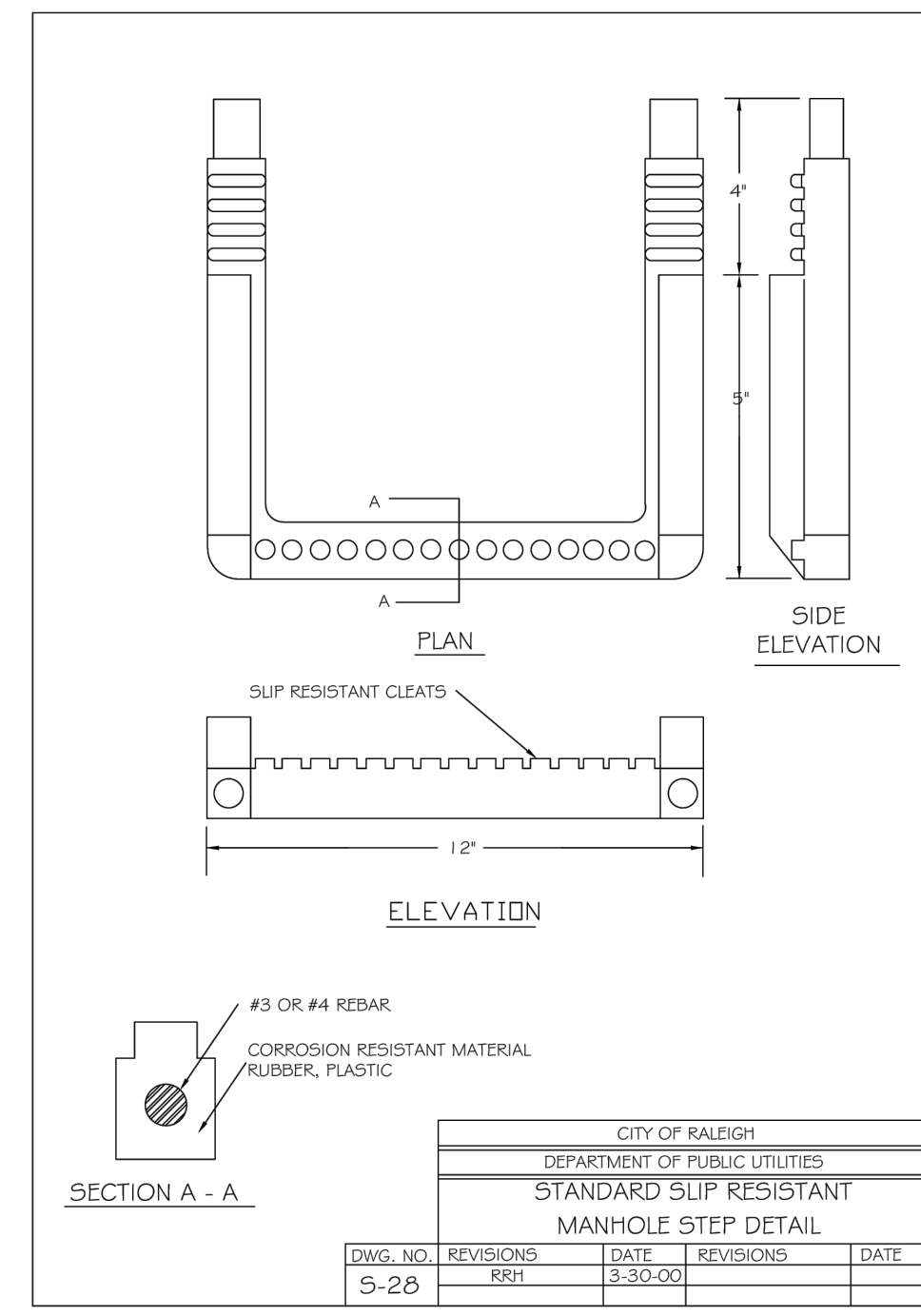
NOTES:
 1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
 2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 3. THE FINAL 1\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-20	D.W.C.	3-30-00	D.H.L.	6-16-08

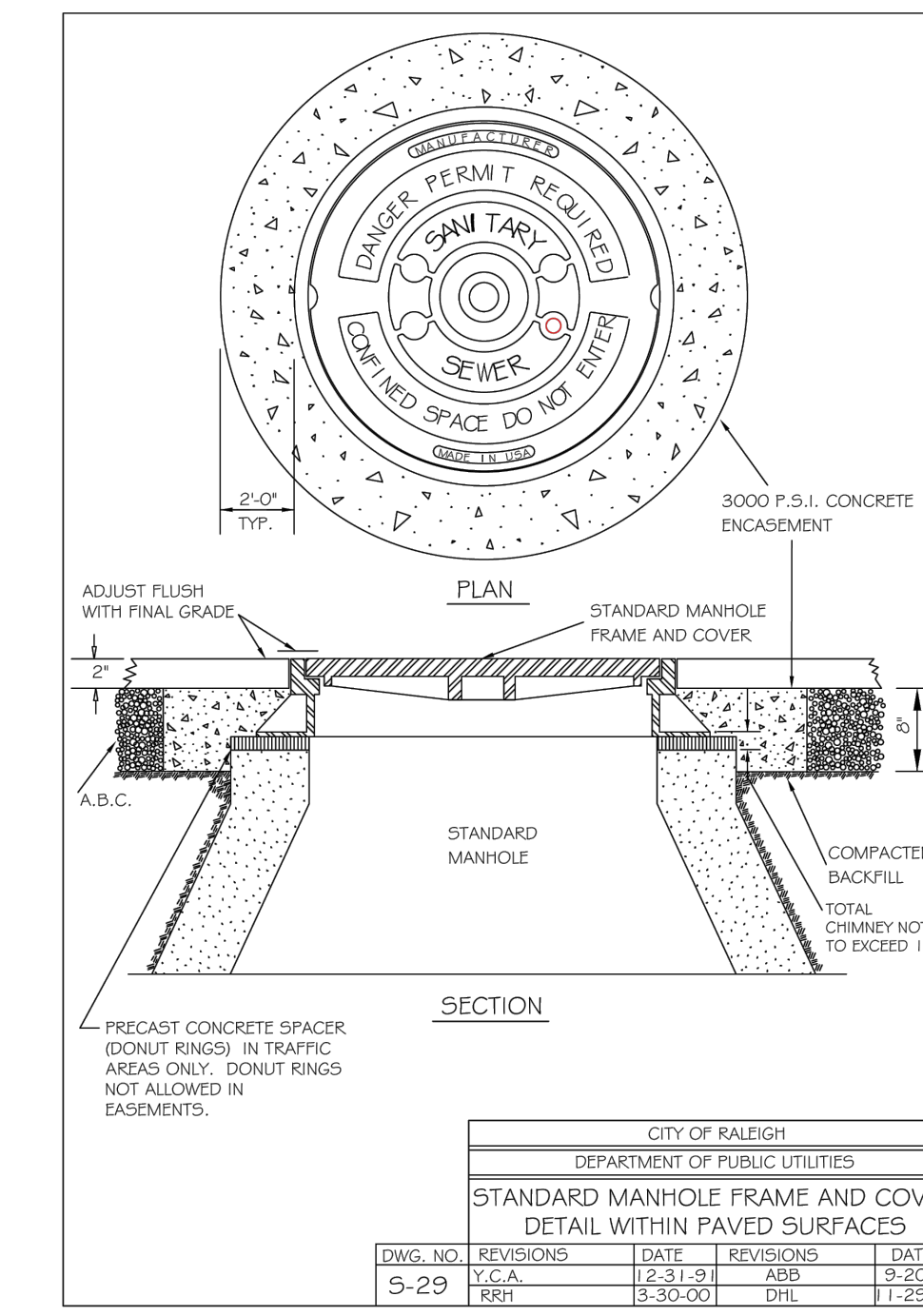


NOTES:
 1) ALL MANHOLE FRAMES SHALL BE DOMESTICALLY CAST.
 2) FRAME SHALL BE A MINIMUM WEIGHT OF 150 LBS. WITHIN PUBLIC ROW AND 160 LBS. WITHIN EASEMENTS.
 3) COVER SHALL WEIGH A MIN. OF 120 LBS.
 4) ALL MANHOLE FRAMES OUTSIDE OF PAVED SURFACES SHALL BE BOLTED TO THE CONE SECTION OR RING WITH A MINIMUM OF 4 BOLTS PER FRAME.

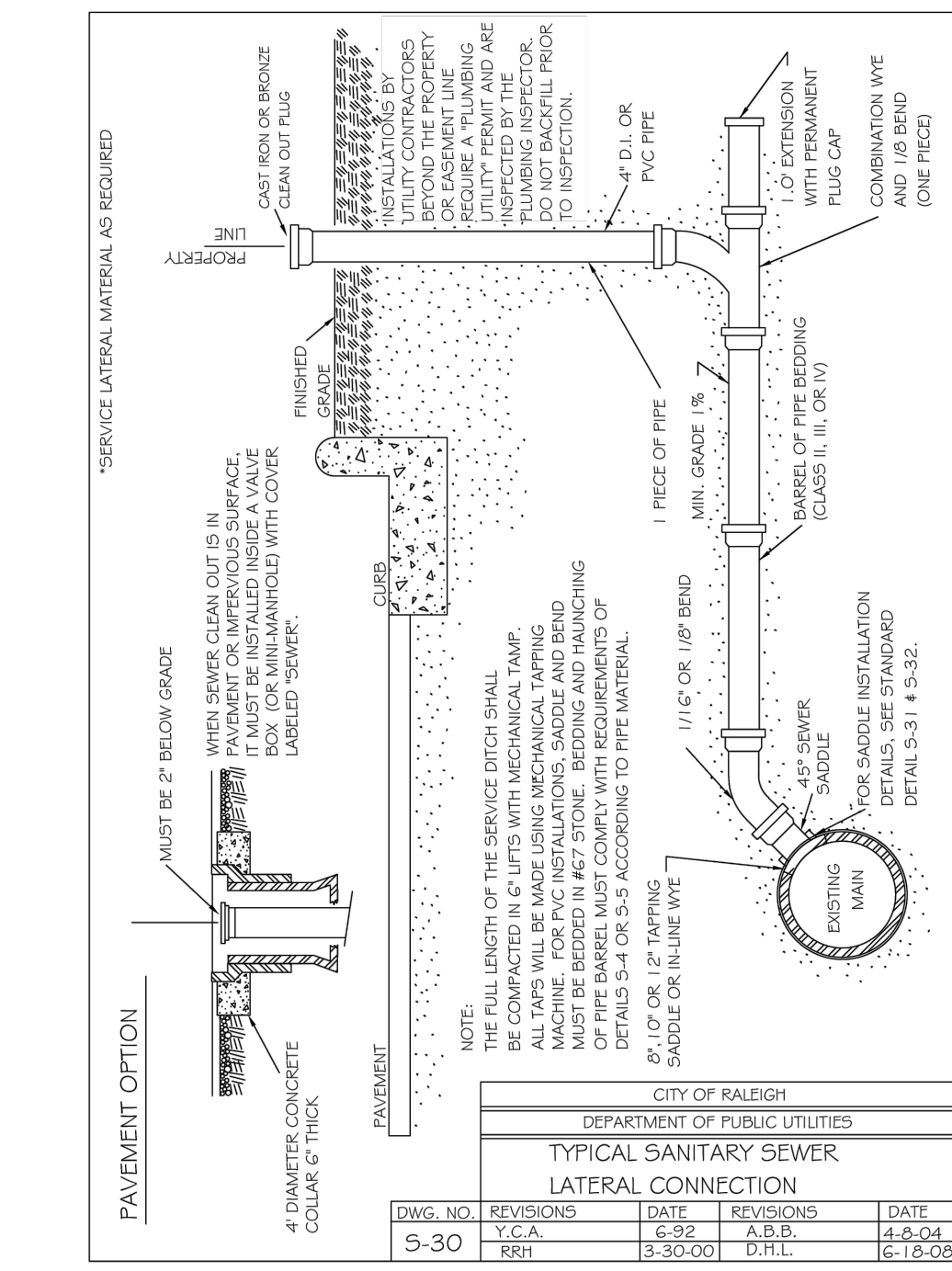
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-23	D.W.C.	3-1-87	A.B.B.	2-9-05
	RRH	3-30-00	D.H.L.	6-18-08



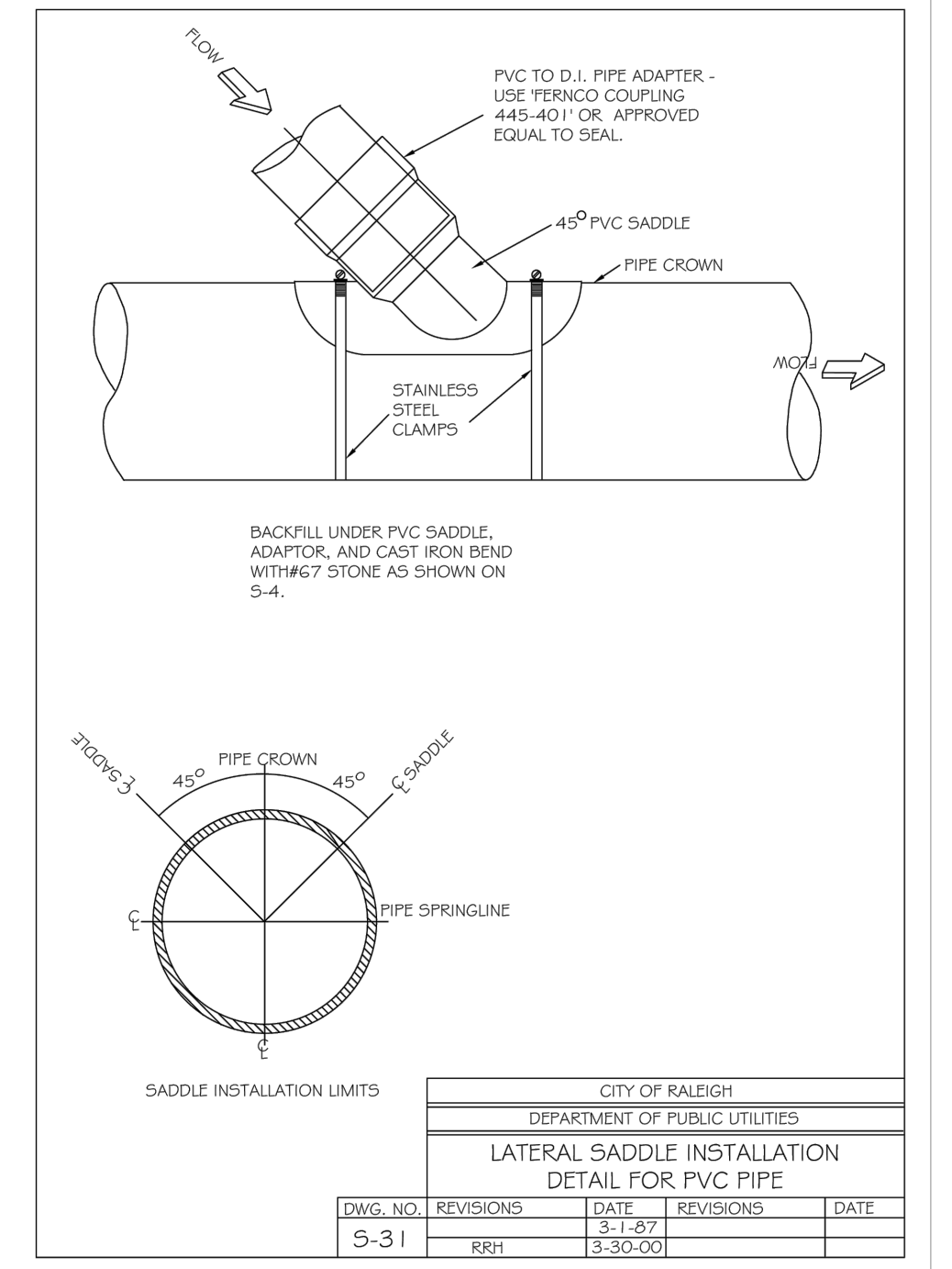
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD SUP RESISTANT MANHOLE STEP DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-29	RRH	3-30-00		



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL UNPAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-29	T.C.A.	2-31-91	ARR	3-20-04
	RRH	3-30-00	D.H.L.	7-29-07

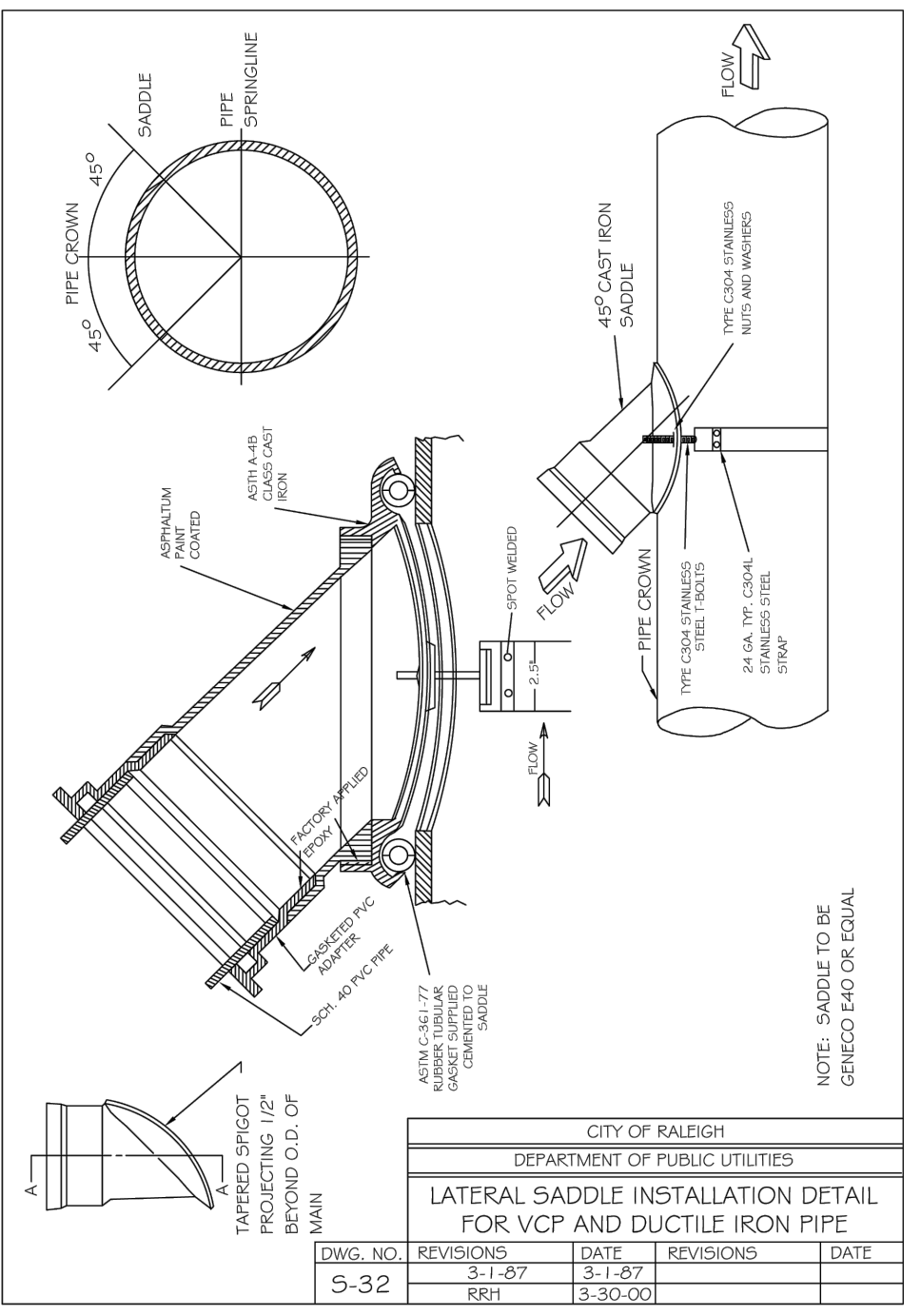


CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-30	T.C.A.	6-32	A.B.B.	4-24-04
	RRH	3-30-00	D.H.L.	6-16-08

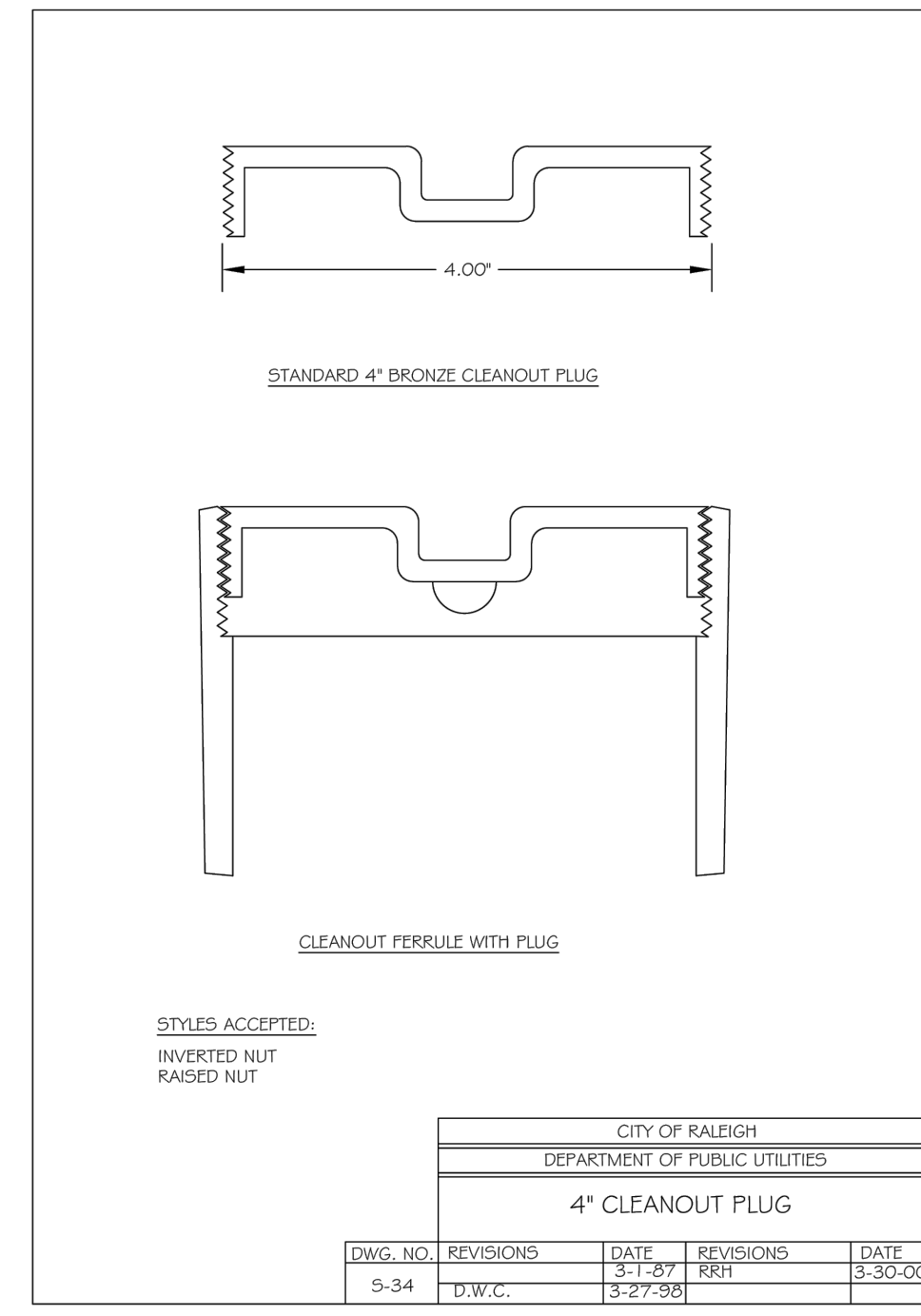


BACKFILL UNDER PVC SADDLE, ADAPTER, AND CAST IRON BOND WITH #67 STONE AS SHOWN ON S-4.

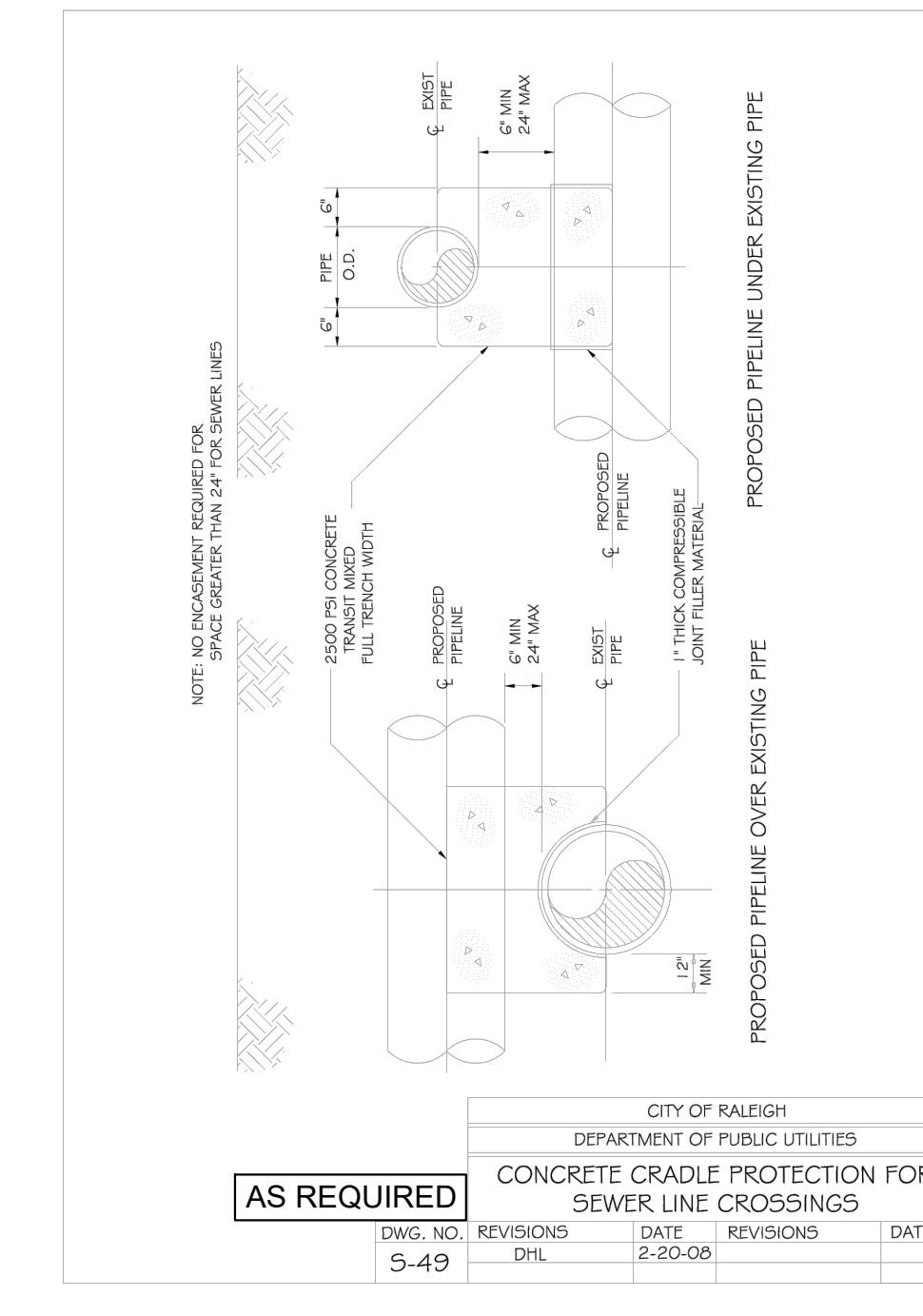
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-31	RRH	3-1-87		
	RRH	3-30-00		



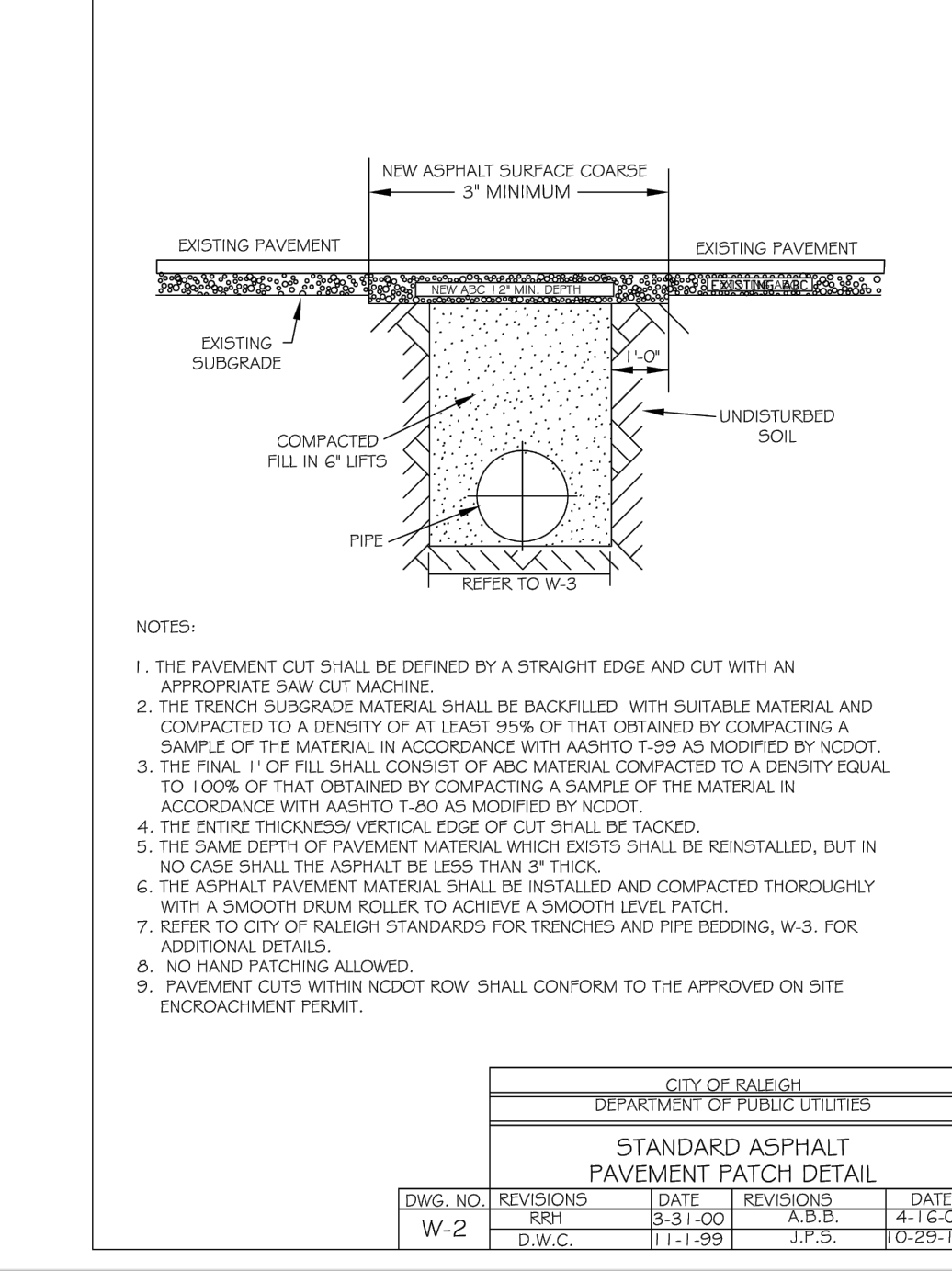
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
LATERAL SADDLE INSTALLATION DETAIL FOR VCP AND DUCTILE IRON PIPE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-32	RRH	3-1-87		
	RRH	3-30-00		



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-34	D.W.C.	3-1-87	RRH	3-30-00

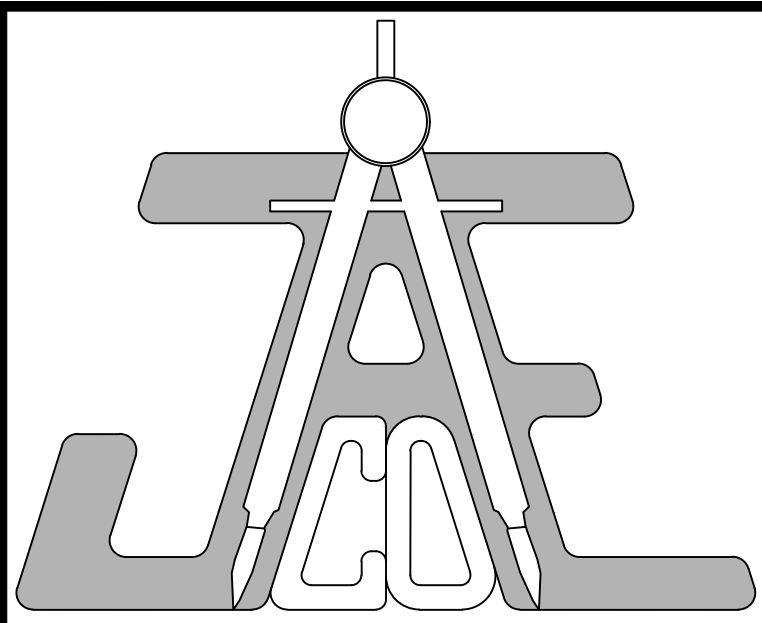


CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
CONCRETE CRADLE PROTECTION FOR SEWER LINE CROSSINGS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-49	D.H.L.	2-20-08		

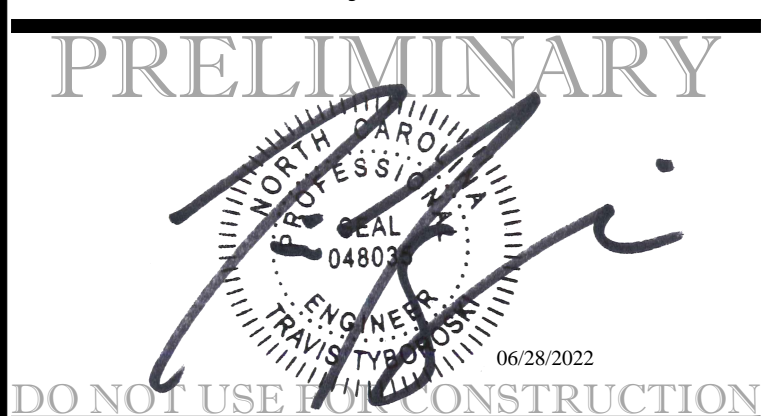


NOTES:
 1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
 2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 3. THE FINAL 1\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-2	RRH	3-31-00	A.B.B.	4-16-04
	D.W.C.	11-11-99	J.P.S.	10-29-10



JAECO
 Consulting Engineers and Land Surveyors
 NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com



Granite Crest - Phase IV
 0 Pluton Place
 Rolesville, NC

Real Estate Marketing & Consulting, Inc.
 6200 Falls of Neuse Rd.
 Suite 102
 Raleigh, NC 27609

Call 800 before you dig.

LEGEND

PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

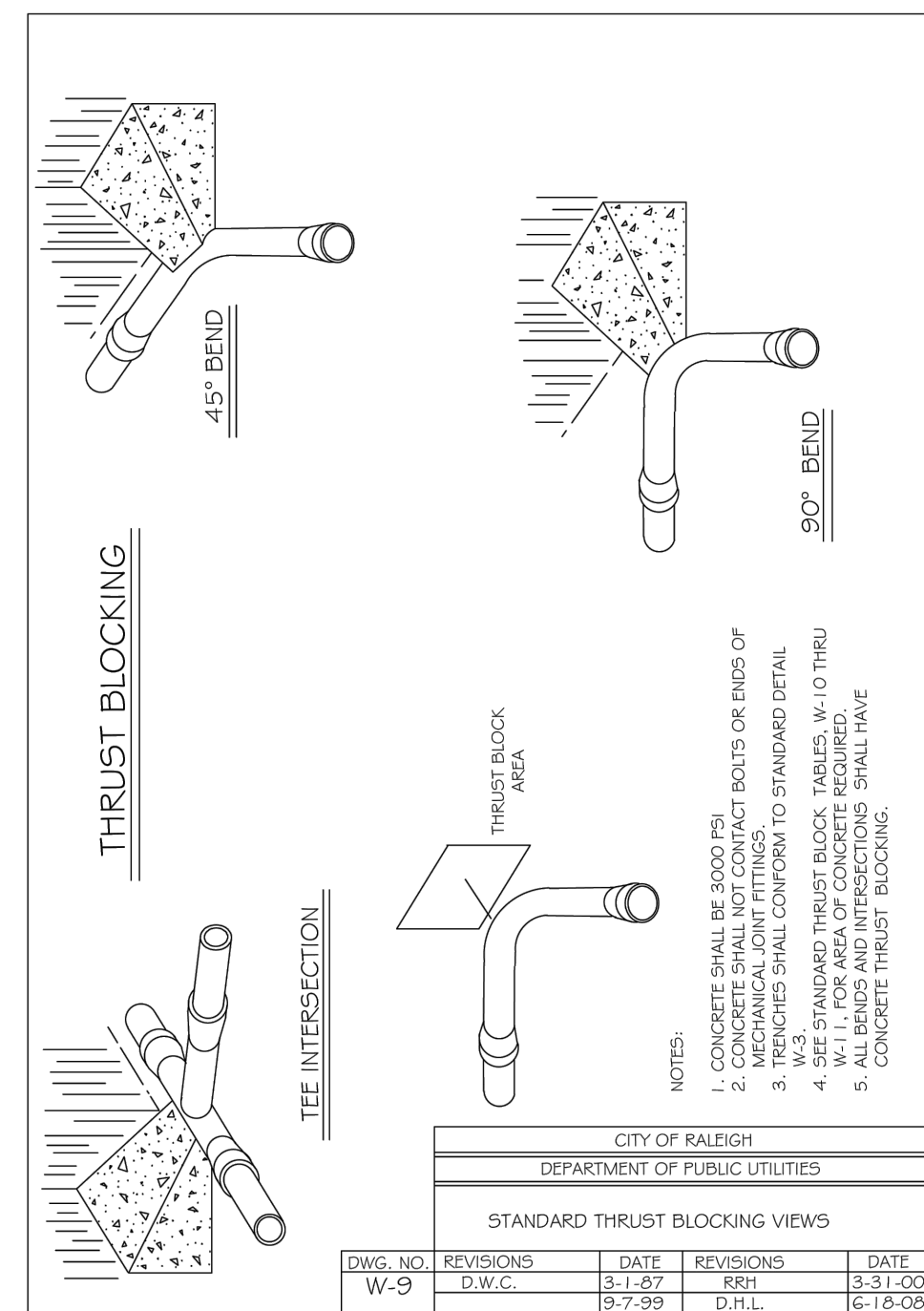
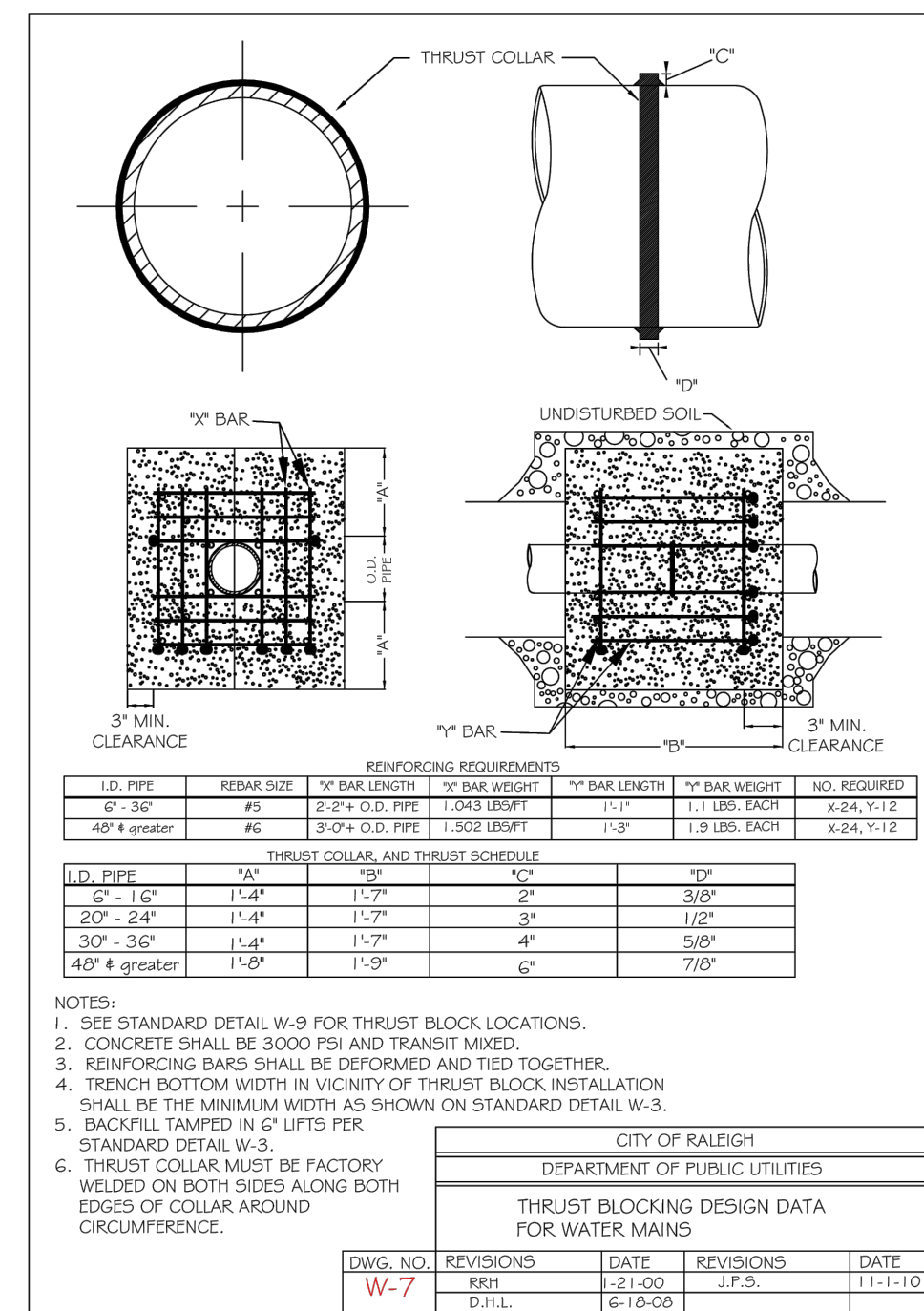
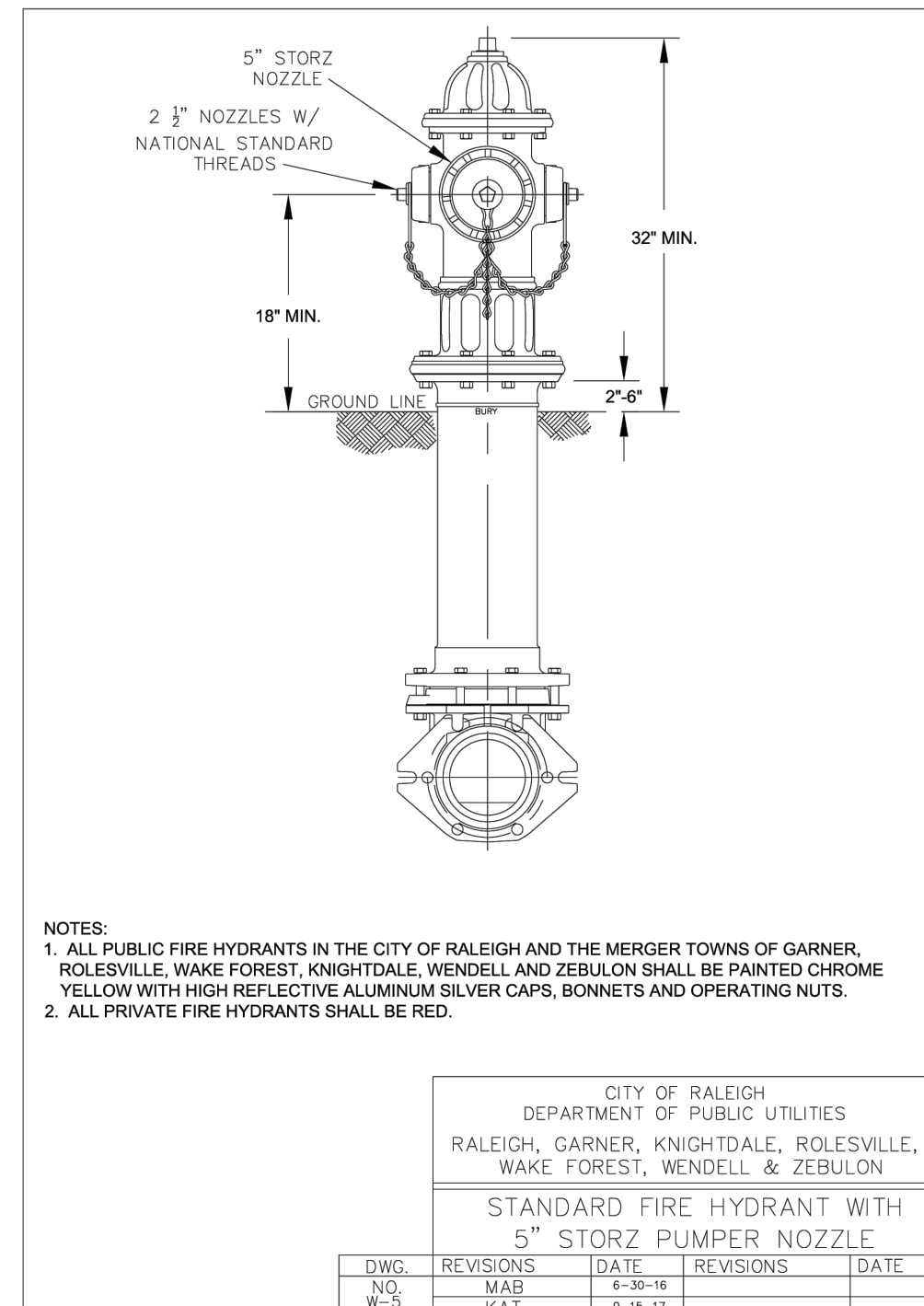
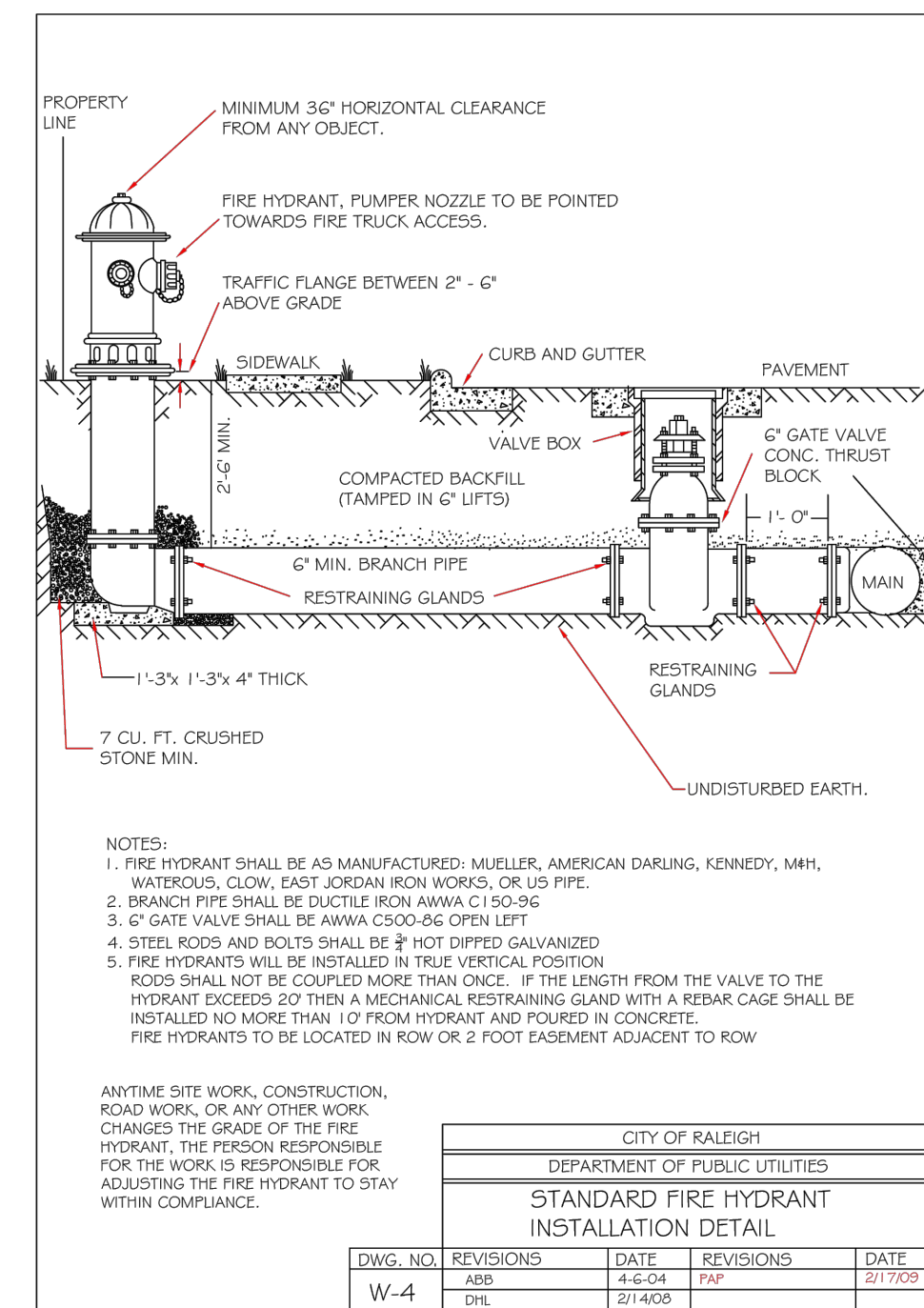
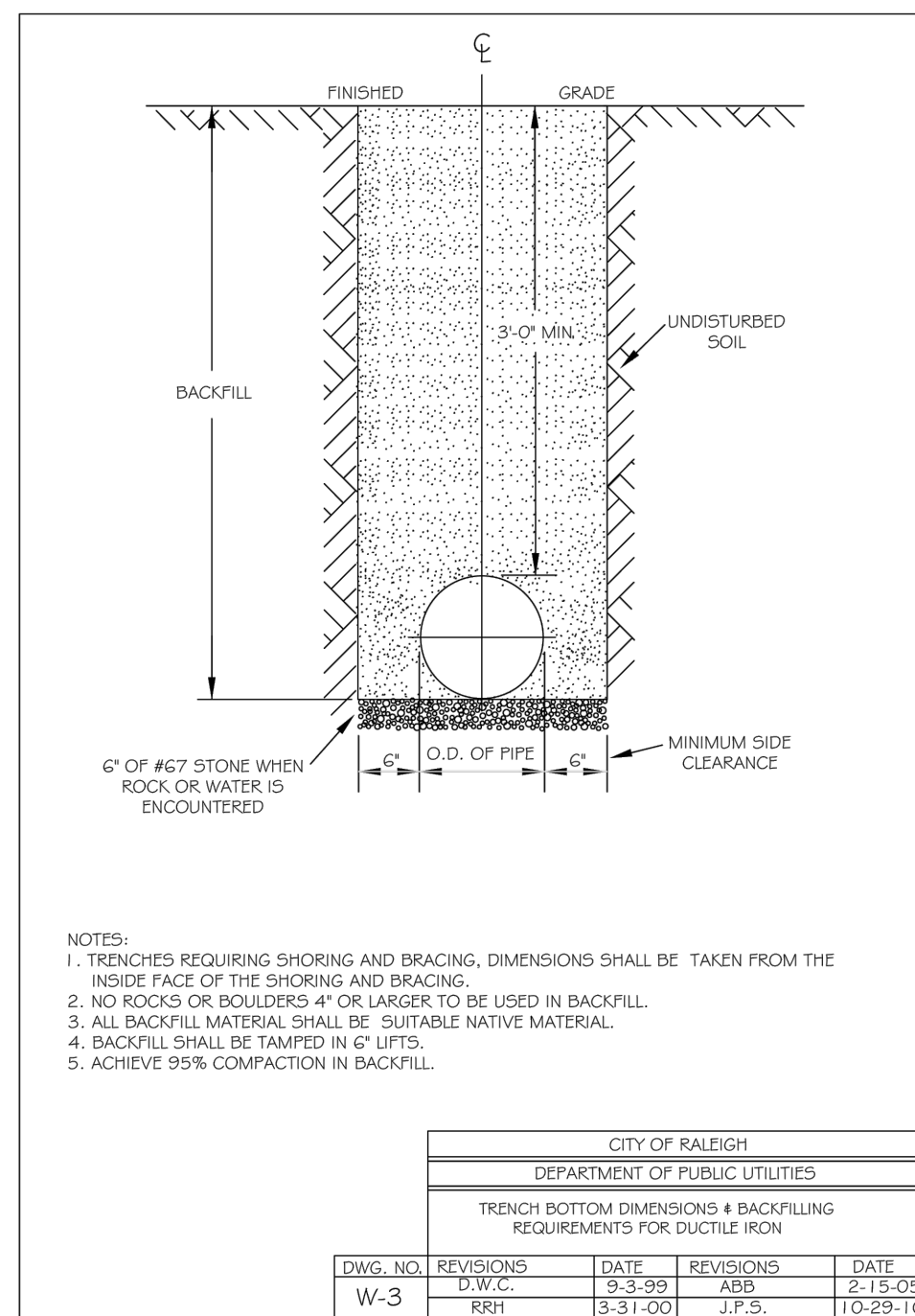
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

City of Raleigh Development Approval _____ City of Raleigh Review Officer _____

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-2	RRH	3-31-00	A.B.B.	4-16-04
	D.W.C.	11-11-99	J.P.S.	10-29-10

Revisions				
Number	Description	DATE		
1	PER TRC COMMENTS	04/14/22		
2	PER TRC COMMENTS	05/26/22		
3	PER TRC COMMENTS	06/13/22		
4	PER TRC COMMENTS	06/15/22		
5	PER TRC COMMENTS	06/27/22		

JAECO #: 364-04
 DRAWING SCALE: AS SHOWN
 DRAWN BY: TT
 CHECKED BY: TT
 DATE ISSUED: 01/30/2022



REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS
BASED ON TEST PRESSURE OF 200 P.S.I.

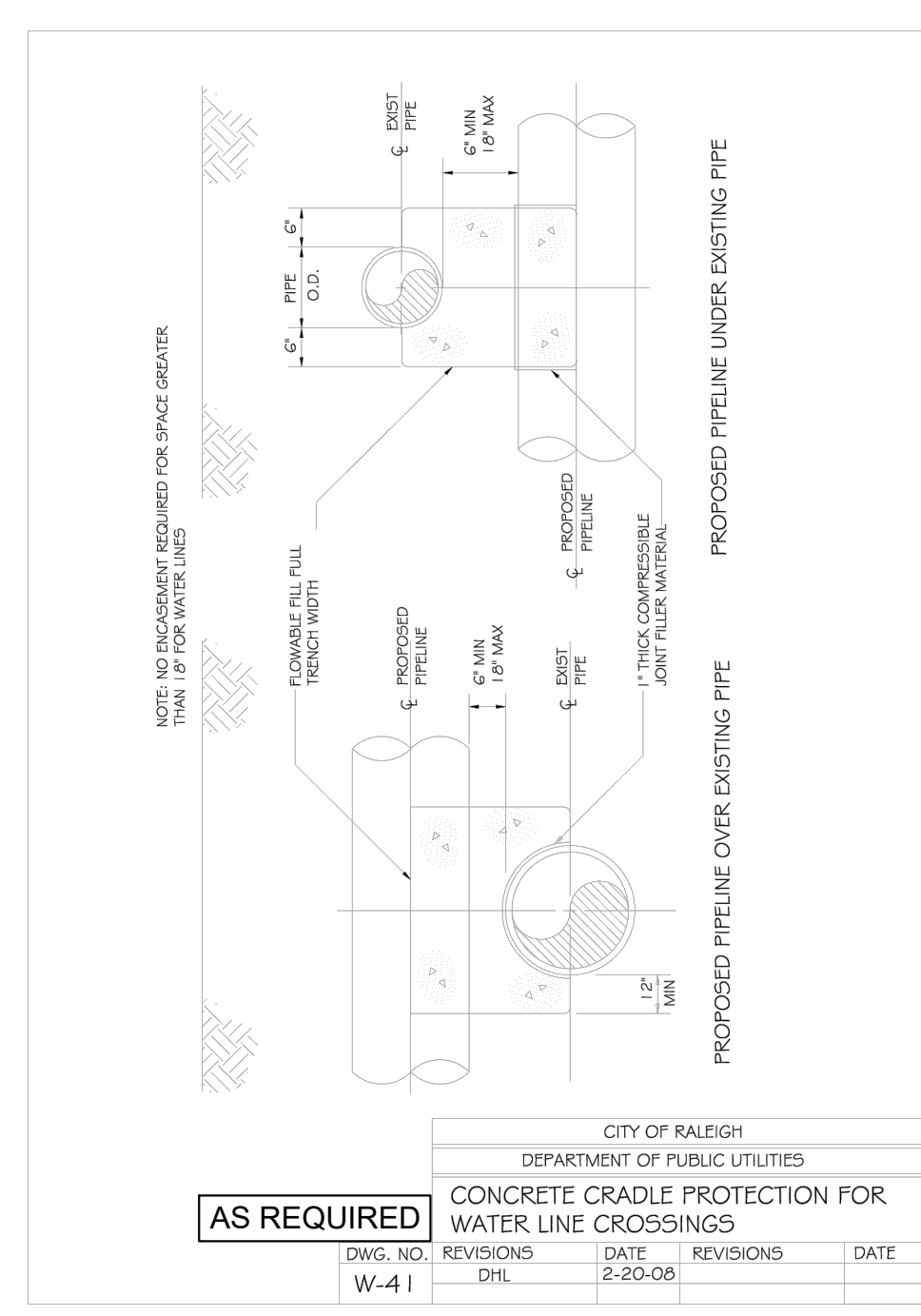
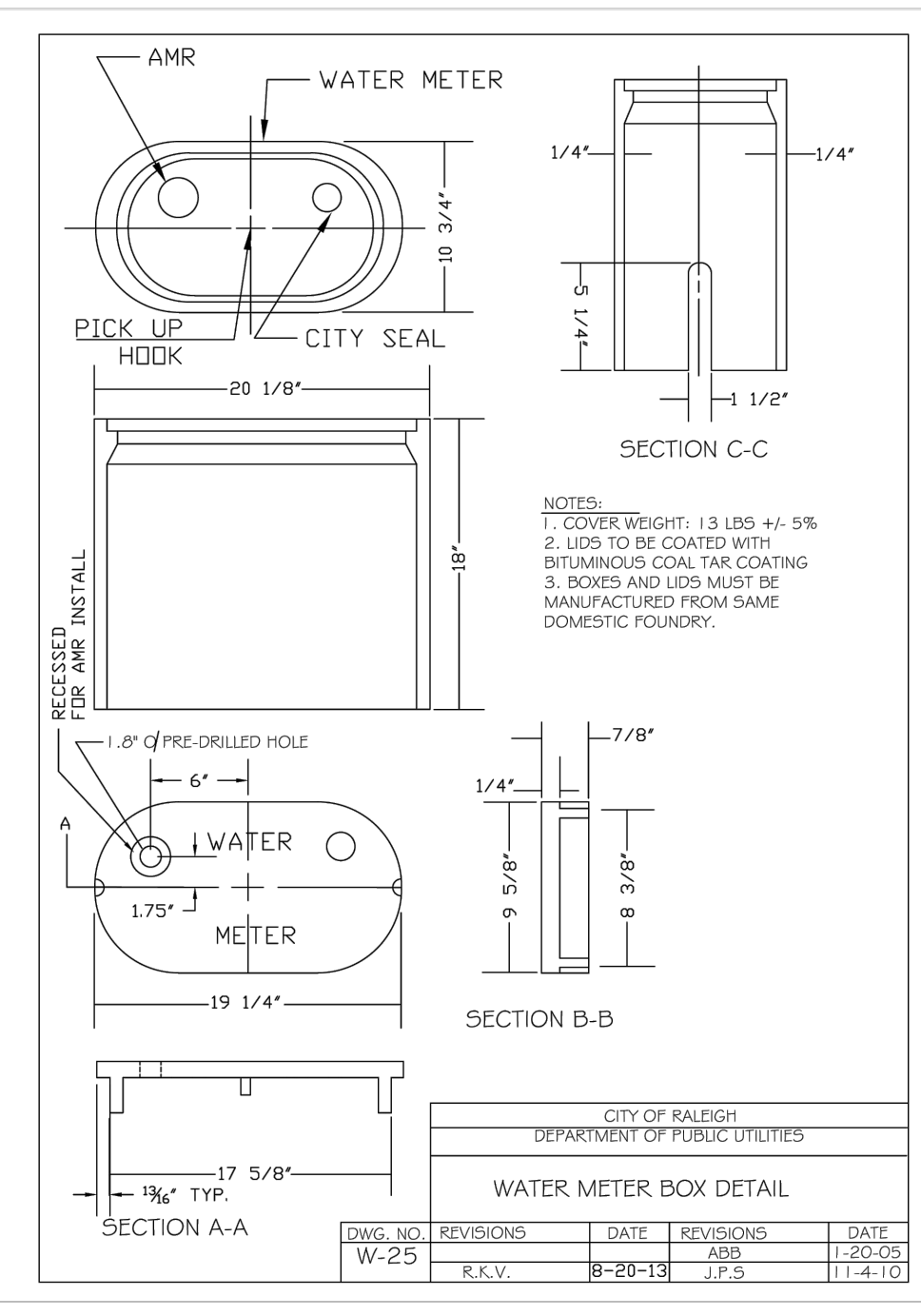
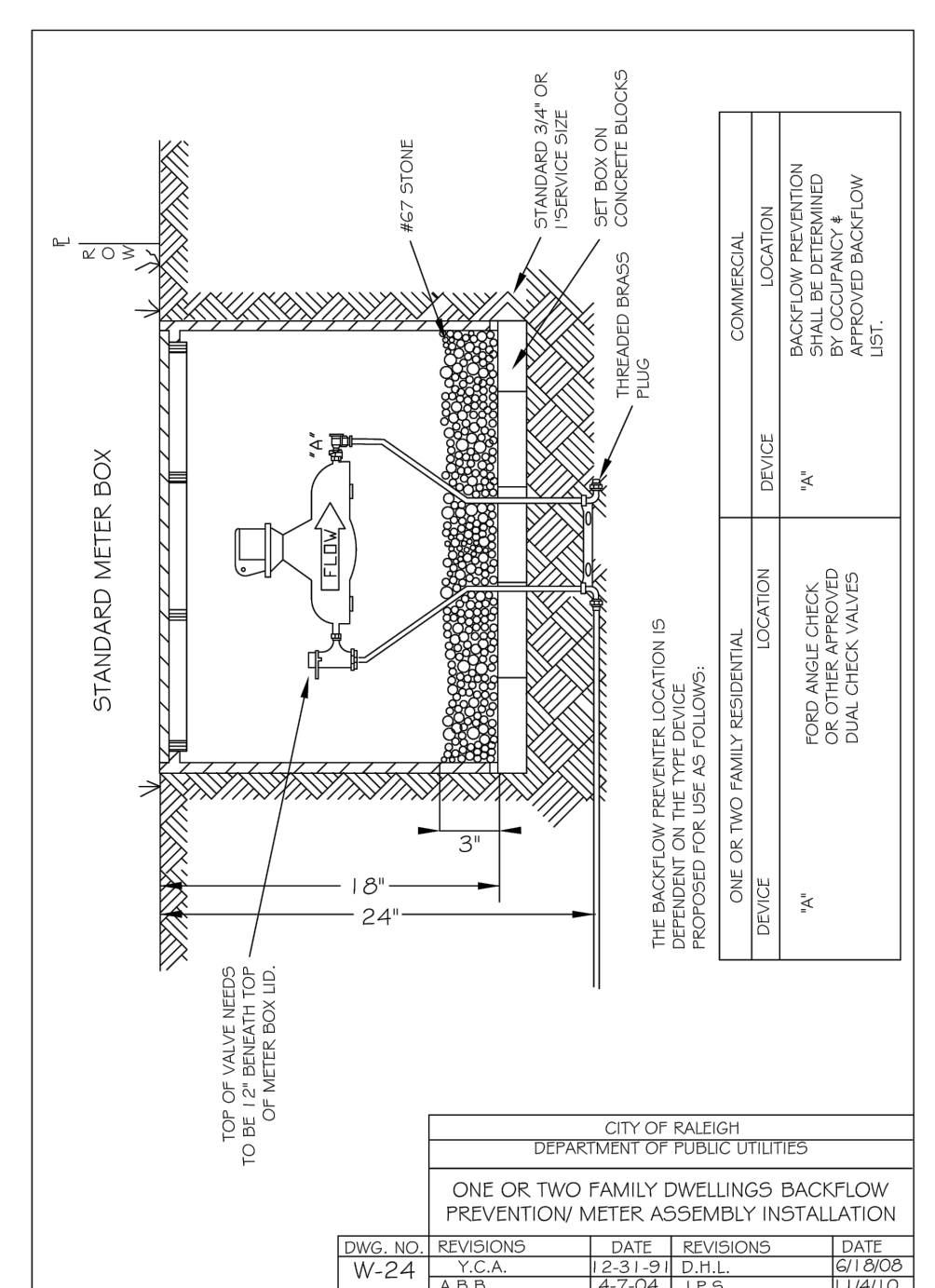
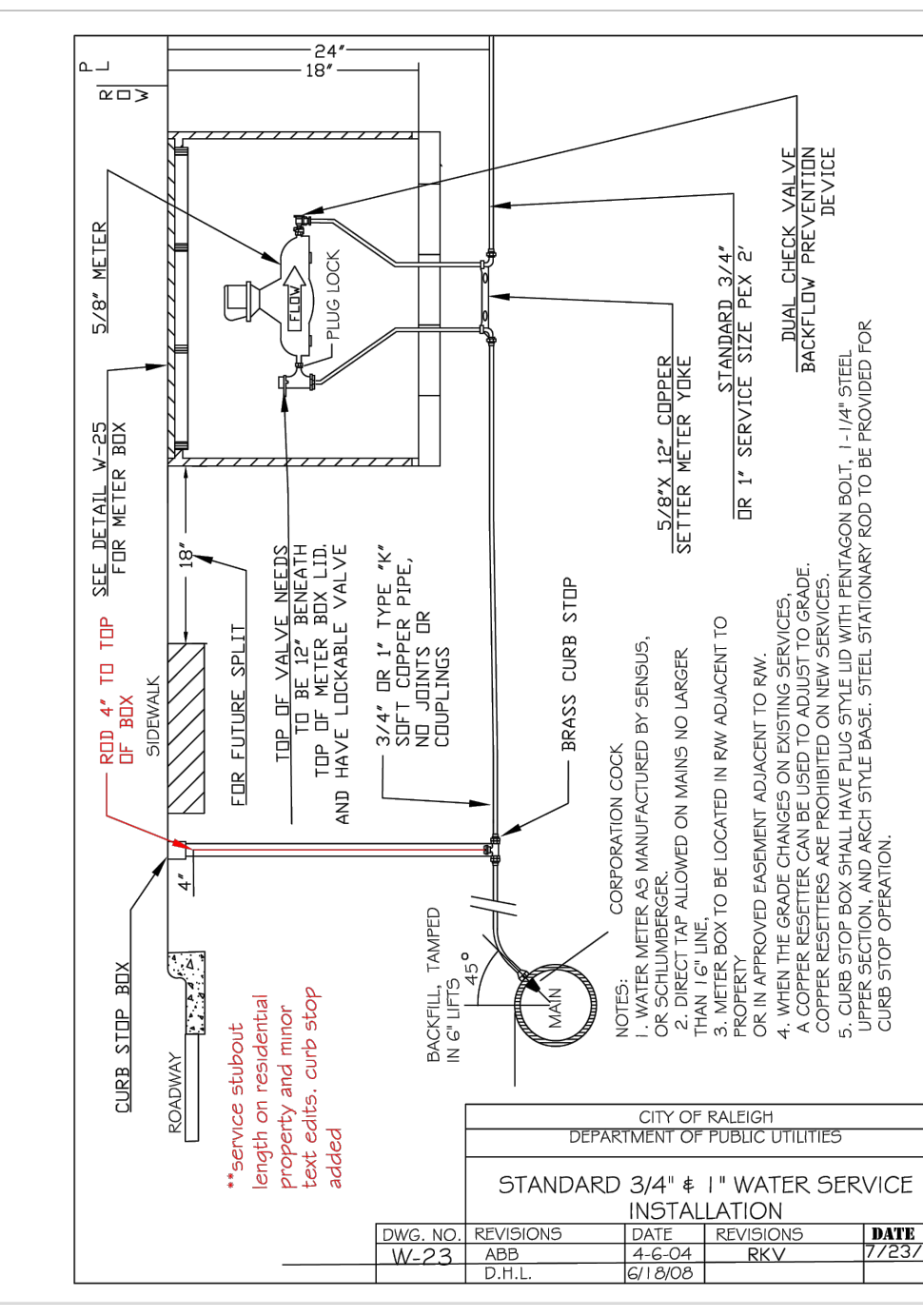
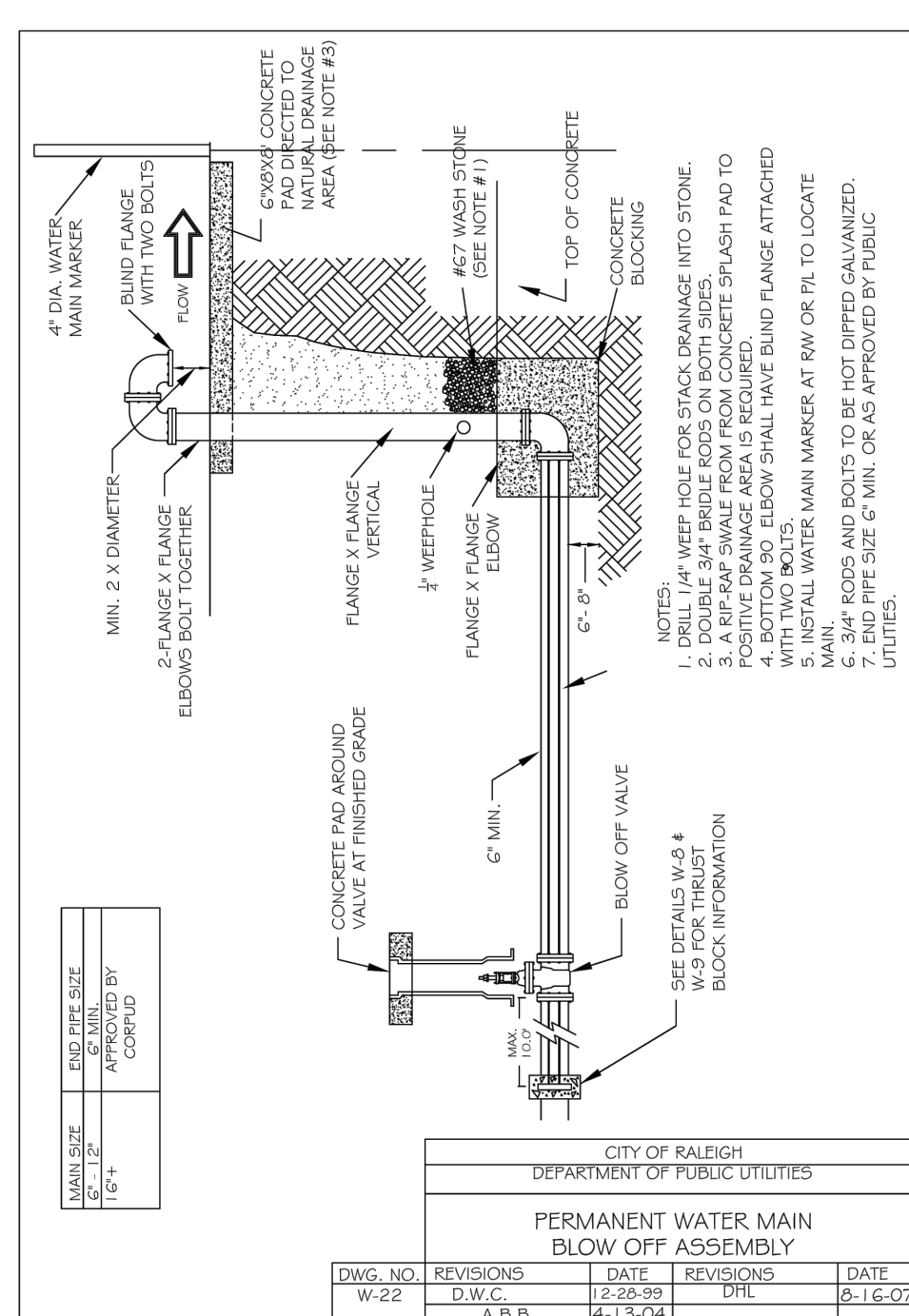
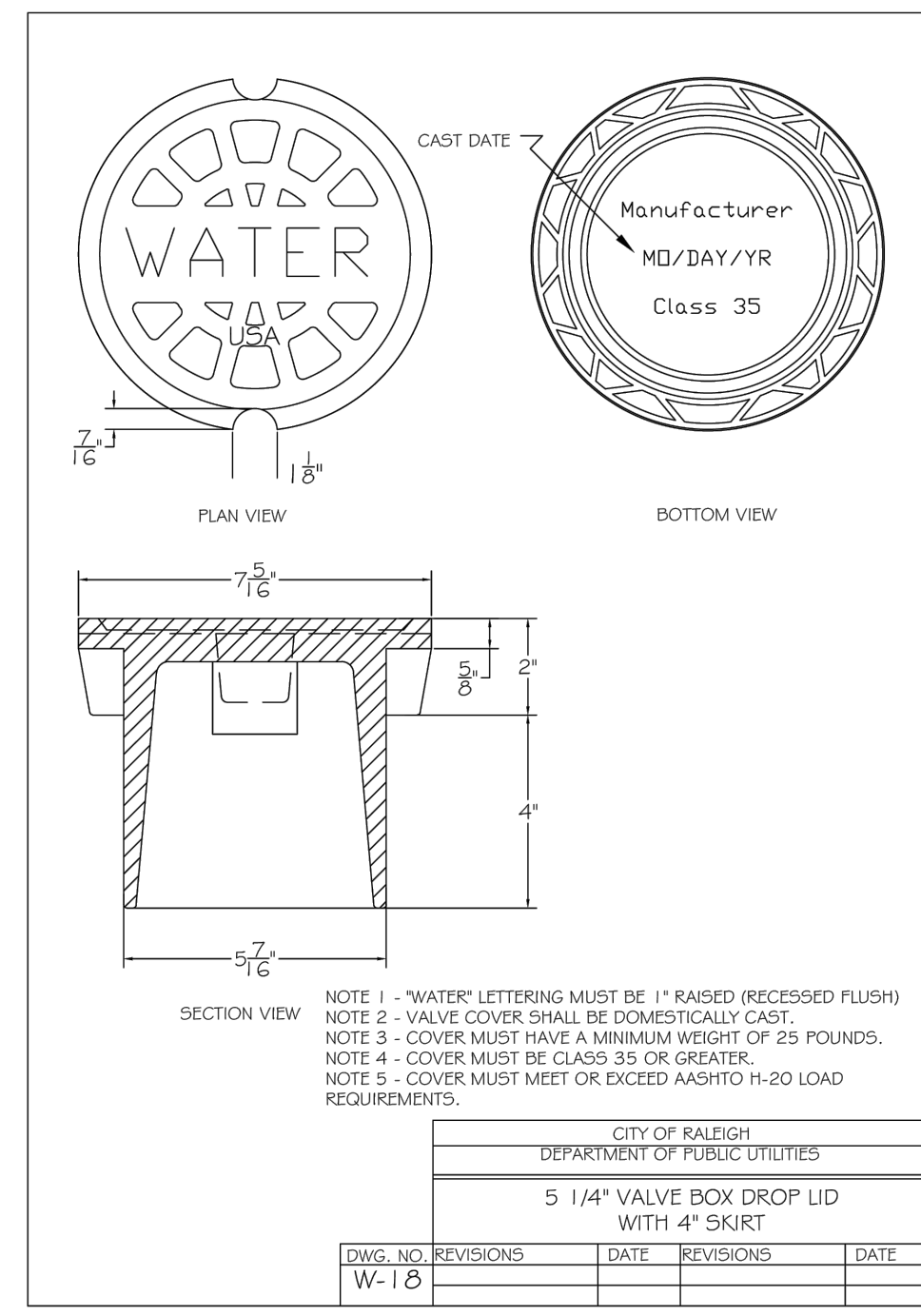
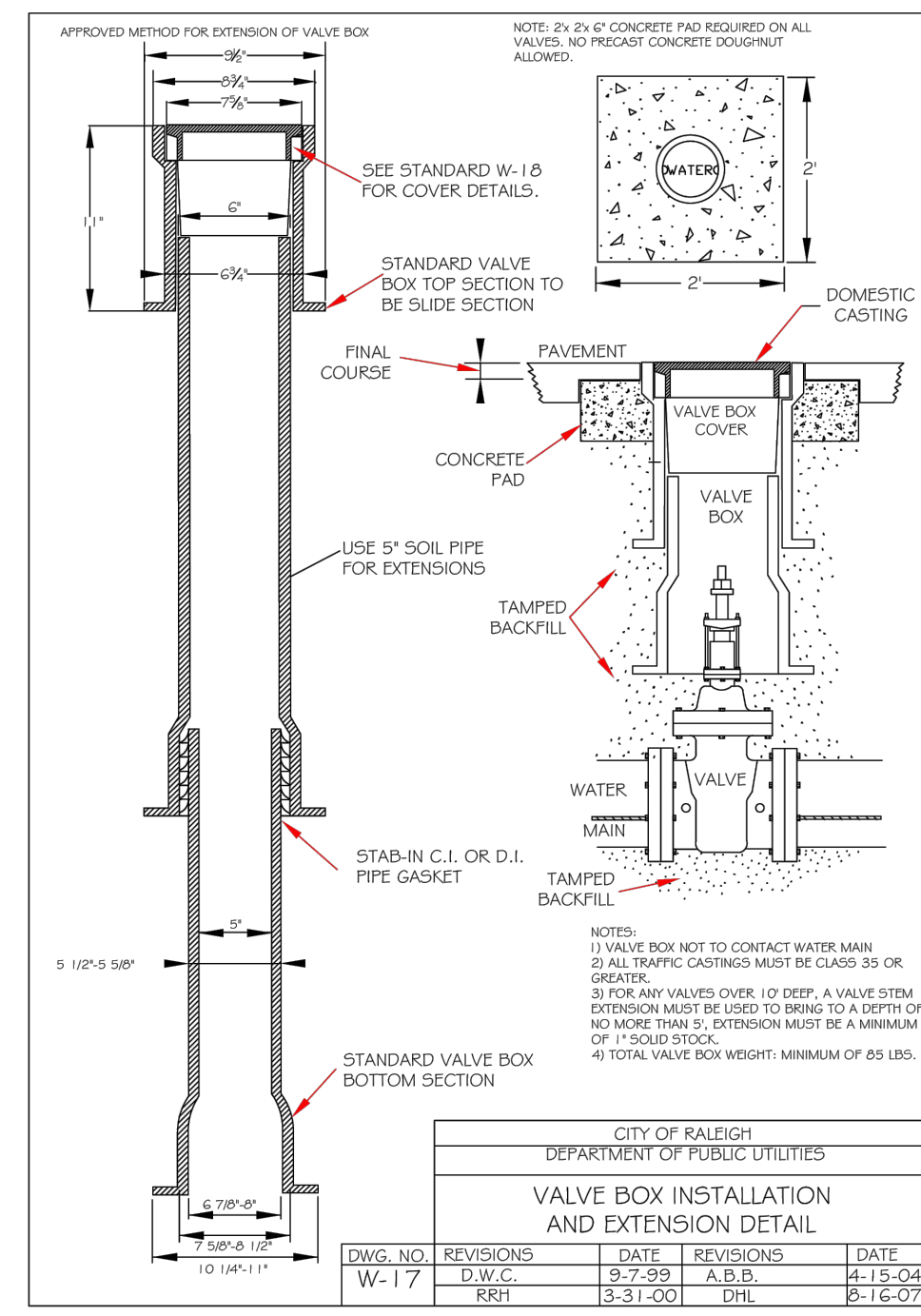
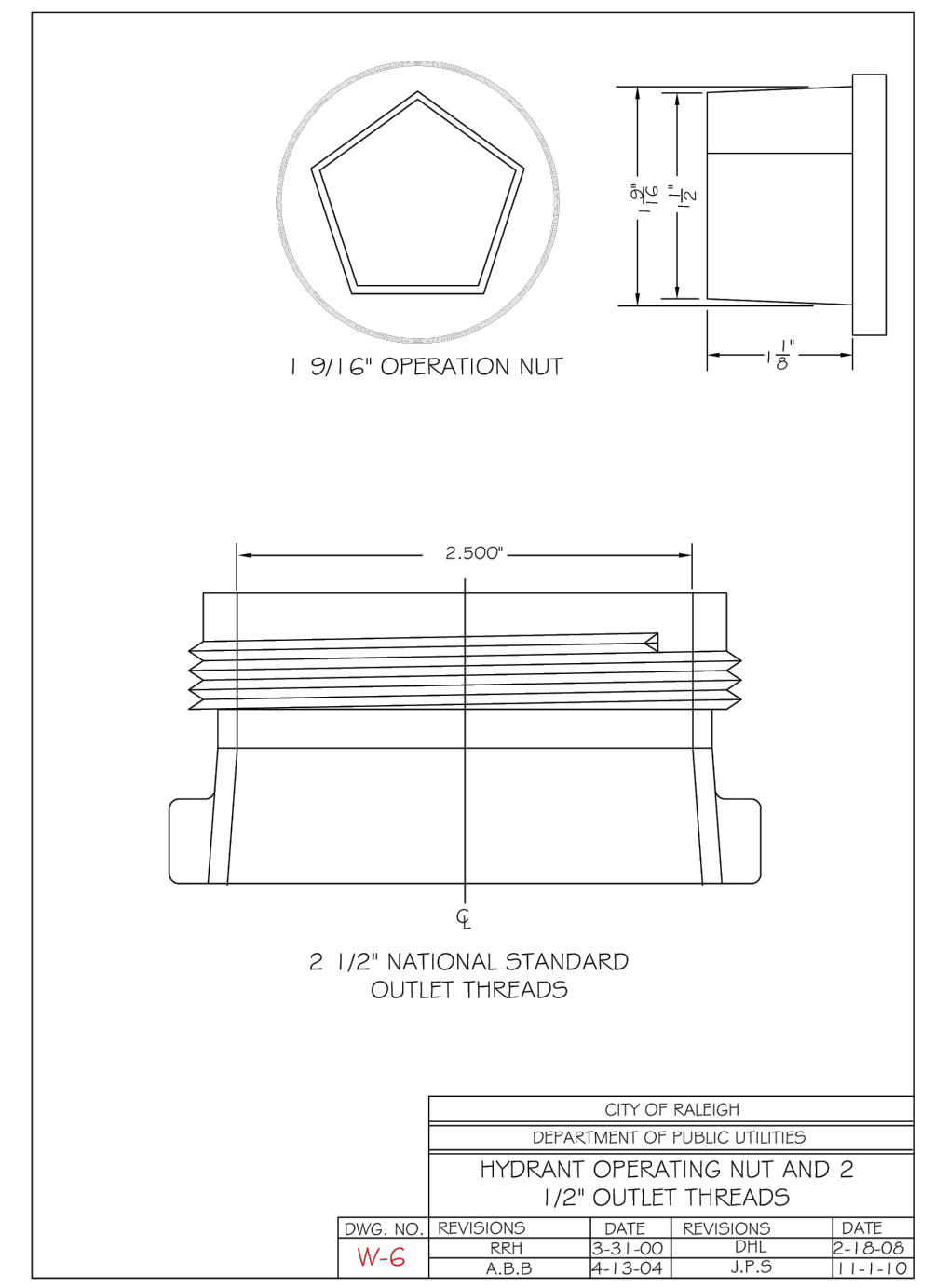
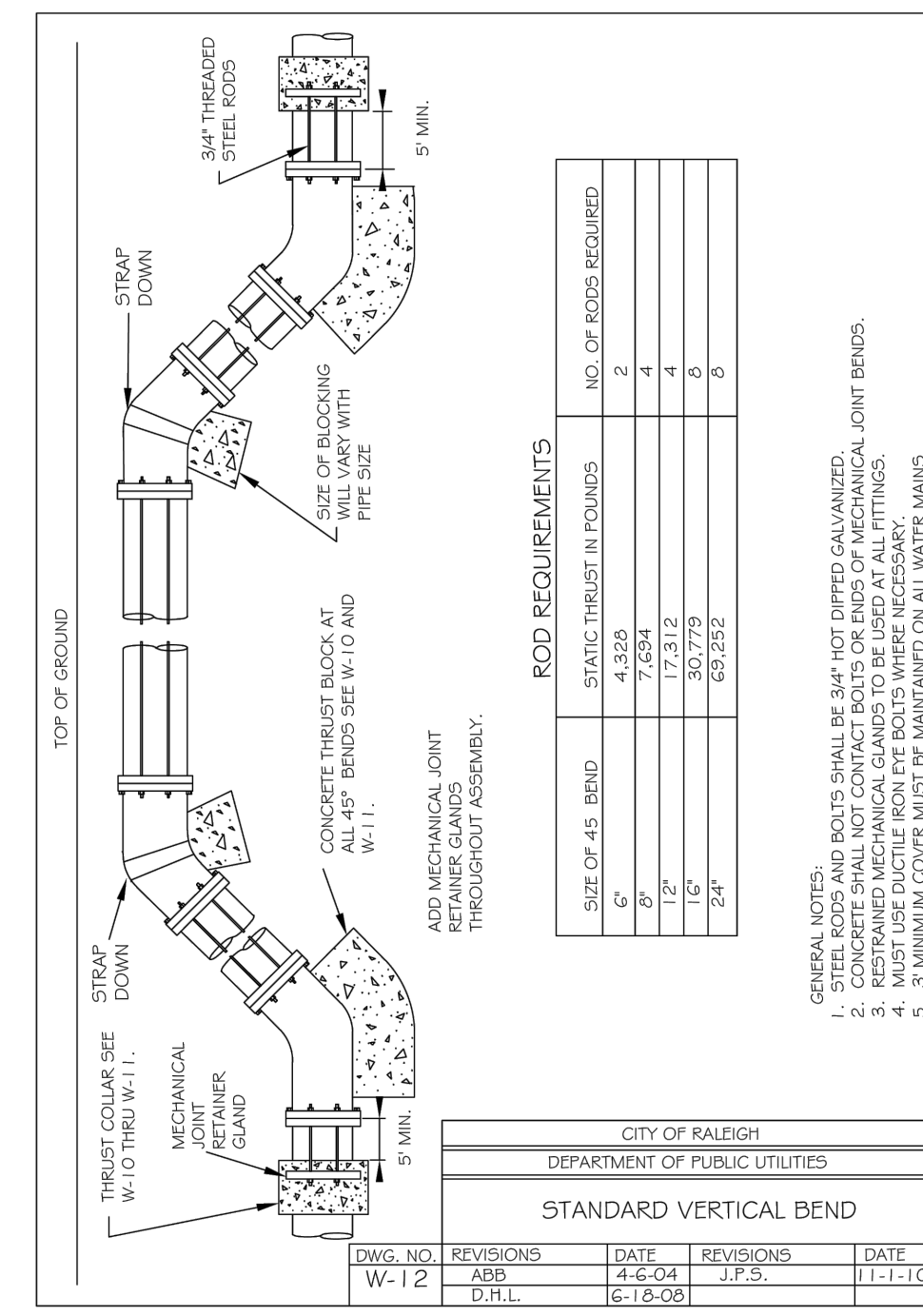
ALL AREAS GIVEN IN SQUARE FEET

PIPE AND TYPES OF BEND	FLANGE IN TRENCH	FLANGE IN TRENCH	FLANGE IN TRENCH	FLANGE IN TRENCH	FLANGE IN TRENCH	FLANGE IN TRENCH	FLANGE IN TRENCH	FLANGE IN TRENCH	FLANGE IN TRENCH
6"									
1 1/4"	1,108	1	1	1	1	1	1	2	1
2 1/2"	2,207	1	2	2	1	1	1	3	1
4"	4,328	2	3	3	1	1	2	5	1
6"	7,996	2	4	5	1	1	2	8	1
8"	9,695	2	3	4	1	1	2	6	1
1 1/4"	1,970	1	1	2	1	1	1	2	1
2 1/2"	3,922	1	2	3	1	1	1	4	1
4"	7,694	2	4	5	1	1	2	8	1
6"	14,215	4	8	9	2	2	4	15	2
8"	10,293	3	5	6	2	2	3	10	1
1 1/4"	4,433	2	3	3	1	1	2	5	1
2 1/2"	8,856	3	5	5	2	2	3	9	1
4"	17,212	5	9	9	3	3	5	18	2
6"	31,985	8	16	19	4	4	6	32	4
8"	22,619	6	12	14	3	3	6	23	3
1 1/4"	7,861	2	4	5	1	1	2	6	1
2 1/2"	15,691	4	8	10	2	2	4	16	2
4"	30,779	8	16	19	4	4	6	31	4
6"	56,261	15	29	35	8	8	15	57	6
8"	40,213	10	21	25	5	5	10	41	5

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.

USE 6" - 90° BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-10	D.W.C.	6-23-99		



JAECO
Consulting Engineers and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

PRELIMINARY

06/26/2022

Granite Crest - Phase IV
0 Pluton Place
Rolesville, NC

Real Estate Marketing & Consulting, Inc.
6200 Falls of Neuse Rd.
Suite 102
Raleigh, NC 27609

Call **811** before you dig.

LEGEND

PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid.

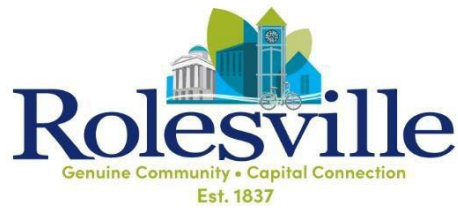
City of Raleigh Development Approval City of Raleigh Review Officer

UTILITY DETAILS

Revisions	Number	Description	Date
1	PER TRC COMMENTS	04/14/22	
2	PER TRC COMMENTS	05/26/22	
3	PER TRC COMMENTS	06/13/22	
4	PER TRC COMMENTS	06/15/22	
5	PER TRC COMMENTS	06/27/22	

JAECO #: 364-04
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: TT
DATE ISSUED: 01/30/2022

C-21



FUTURE TOWN BOARD MEETINGS
(Please note this schedule is subject to change)

- July 19, 2022 Town Board Work Session – 5:30 pm (meal)/6:00pm Meeting
- -
 -
- August 2, 2022 Town Board Regular Meeting – 7:00 pm (Staff reporting: P&R)
- Evidentiary Hearing: SP22-03 Wallbrook Buildings 1, 2, 3, and 4.
 - LAPP Grant Bid.
 - Rolesville Community Center at Cobblestone.
- August 16, 2022 Town Board Work Session – 5:30 pm (meal)/6:00 pm Meeting
- Discussion with Wake County Housing Affordability and Community Revitalization Director and staff.
 - Wake County ILA to Enforce Non-Discrimination Ordinance Discussion.
 - Uniform Guidance Policies.
 - Wake County Library MOU.
- September 6, 2022 Town Board Regular Meeting – 7:00 pm (Staff reporting: PW)
- Evidentiary Hearing: PR22-01 Preserve at Moody Farm.
 - Evidentiary Hearing: SP22-04 Point Amenity Center.
 -
- September 20, 2022 Town Board Work Session – 5:30 pm (meal)/6:00 pm Meeting
- -
 -

Work Session topics to be Scheduled:

- Golf Carts.
- LAPP Grant Approval.

Planning Items to be Scheduled by Planning Director:

Annexations

- ANX 22-01 Scarboro Property.
- ANX 22-03 5109 Mitchell Mill Road.

Rezoning

- MA 21-03 Scarboro Property.
- MA 21-10 Tom’s Creek.

- MA 22-01 Hills at Harris Creek.
- MA 22-03 Parker Ridge.
- MA 22-05 1216 Rolesville Road.
- MA 22-06 5109 Mitchell Mill Road.

Preliminary Plats

- PR20-06 Point North Phases 11-13.

Site Plans

- SP 21-04 Preserve Jones Dairy North Townhomes.
- SP 21-05 Preserve Jones Dairy Central Townhomes.