



# Memo

**To:** Mayor and Town Board of Commissioners  
**From:** Meredith Gruber, Planning Director  
**Date:** March 31, 2022  
**Re:** Agenda Item C.2. PR 21-02 Rolesville Crossing Preliminary Subdivision Plat

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## **Application/Request**

PR 21-02 Rolesville Crossing is a preliminary subdivision plat for 177 single family lots and 120 townhome lots on 91.39 acres located at 1801 Rolesville Road and 6301 Mitchell Mill Road. The subject properties are zoned Residential 3 Conditional District (R3-CZ) and fall under review of the Unified Development Ordinance (UDO). Approval of a preliminary subdivision plat requires an evidentiary (quasi-judicial) hearing at a Town Board of Commissioners' meeting.

## **Background**

### Summary Information

Applicant: Hopper Communities  
Property Address: 1801 Rolesville Road and 6301 Mitchell Mill Road  
PINs: 1767483143 and 1767586083  
Zoning: Residential 3 Conditional District (R3-CZ)  
Acreage: 91.39 (90.65 acres after right-of-way dedication)  
Total Lots: 297  
Single Family Lots: 177  
Townhome Lots: 120  
Proposed Density: 3.28 units per acre

### Development History and Applications

MA 20-01 Map Amendment (Rezoning) approved November 17, 2020  
PR 21-02 Preliminary Subdivision Plat scheduled for an evidentiary hearing on April 5, 2022  
CD 21-08 Construction Drawings (Subdivision Infrastructure) – currently under review

## **Comprehensive Plan**

### Future Land Use

The Future Land Use Map identifies the subject parcels along with all adjoining parcels in the area as Medium Density Residential. Rolesville's Comprehensive Plan defines Medium Density

Residential as single-family residential uses with portions of duplex, townhouse, or multifamily residential. These are lots or tracts at a density range of three to five dwelling units per gross acre including preserved open space areas along with limited non-residential uses under planned unit development or form base code provisions.

At the time of rezoning approval, it was determined that the application was consistent with the future land use designation, Medium Density Residential.

### Community Transportation Plan

#### *Rolesville Road*

According to Rolesville's Community Transportation Plan Thoroughfare Recommendations, Rolesville Road, From Fowler Road to Mitchell Mill Road, is planned as a ninety-foot right-of-way two-lane road with a two way left turn lane, curb and gutter, sidewalks, and a sidepath. The preliminary subdivision plat includes twenty feet (20') of right-of-way dedication along Rolesville Road frontage to accommodate the ultimate right-of-way.

#### *Mitchell Mill Road*

Mitchell Mill Road is planned as a four-lane median-divided section with curb and gutter, bike lanes, and sidewalks. As per Rolesville's Community Transportation Plan, this roadway should be closely coordinated with agency partners like NCDOT and CAMPO as well as the City of Raleigh. The preliminary subdivision plat includes twenty-five (25') of right-of-way dedication along Mitchell Mill Road frontage to accommodate the ultimate right-of-way.

### **Traffic Impact Analysis**

Ramey Kemp & Associates prepared a Traffic Impact Analysis (TIA) during the rezoning process for the proposed development. The traffic study recommended the following:

- Monitor the Rolesville Road and Mitchell Mill Road intersection for traffic light signalization,
- Provide a full access intersection on Rolesville Road with a southbound left-turn with at least 100 feet of storage and appropriate taper,
- And provide a full access intersection on Mitchell Mill Road with an eastbound left-turn with at least 100 feet of storage and appropriate taper.

The approved Map Amendment (rezoning) case, MA 20-01, included a condition, "prior to the issuance of a building permit for the 150th dwelling unit, the property owner shall contribute fifty thousand dollars (\$50,000.00) to the Town of Rolesville to be used by the Town of Rolesville to install a traffic light at the intersection of Mitchell Mill Road and Rolesville Road."

Congestion Management from the State of North Carolina Department of Transportation (NCDOT) performed a preliminary review of the traffic impact analysis and reserves the right to further review and analysis as the site develops.

### **Technical Review Committee**

The Town of Rolesville's Technical Review Committee (TRC) has reviewed the preliminary subdivision plat for Rolesville Crossing, and as of March 21, 2022, there were no outstanding staff comments remaining.

From the Planning Department's comments, there is reference to three cul-de-sacs that exceed two hundred fifty feet (250') in length. Section 6.5 of the Unified Development Ordinance (UDO)



for the Residential 3 (R-3) District allows for consideration of such longer cul-de-sacs by the Town Board since staff may not approve them in excess of two hundred fifty feet 250'.

### **Findings of Fact**

The following findings, based on evidence and testimony received at an evidentiary hearing in accordance with procedures specified in the Unified Development Ordinance (UDO), must be made by the Town Board in order to approve a preliminary plat:

- A. That the proposed development and/or use will not materially endanger the public health or safety;
- B. That the proposed development and/or use will not substantially injure the value of adjoining property;
- C. That the proposed development and/or use will be in harmony with the scale, bulk, coverage, density, and character of the neighborhood in which it is located;
- D. That the proposed development and/or use will generally conform with the Comprehensive plan and other official plans adopted by the Town;
- E. That the proposed development and/or use is appropriately located with respect to transportation facilities, water and sewer supply, fire and police protection, and similar facilities;
- F. That the proposed development and/or use will not cause undue traffic congestion or create a traffic hazard;
- G. That the proposed development and use comply with all applicable requirements of this ordinance.

### **Potential Actions**

- Approve the Preliminary Subdivision Plat and determine that the plat will meet the requirements of the Town's Unified Development Ordinance.
- Approve the Preliminary Subdivision Plat with modifications in consideration of information presented at the evidentiary hearing.
- Deny the Preliminary Subdivision Plat based on information presented at the evidentiary hearing with the stated reason for denial.

### **Suggested Town Board Motion**

Motion to approve the preliminary subdivision plat for PR 21-02, Rolesville Crossing, based on the evidence and testimony received at the hearing to determine the Findings of Fact.

### **Attachments**

1. Application
2. Preliminary Subdivision Plat

# DEVELOPMENT PLAN REVIEW APPLICATION



Date of Submittal: 2/22/2021

Name of Project:  
Wheeler Tract

Owner of Property: PIN 1767483143: GINY WHEELER & JILL BRIGHT  
PIN 1767586083: DANA BRIGHT & RANDY BRIGHT

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_ Email: \_\_\_\_\_

Developer: HOPPER COMMUNITIES

Contact Person: BILL HARRELL

Address: 1616 CLEVELAND AVE City/State/Zip: CHARLOTTE NC 28203

Phone No: 919-618-9929 Fax No: \_\_\_\_\_ Email: bharrell@hoppercommunities.com

Design Engineering Company: TIMMONS GROUP

Contact Person: PATRICK BARBEAU, PE

Address: 5410 TRINITY RD. STE 102 City/State/Zip: RALEIGH NC 27607

Phone No: 919-866-4512 Fax No: 919-859-5663 Email: Patrick.Barbeau@timmons.com

Type of Development (check one)


- Sketch Plan - Site Plan
- Major Subdivision Preliminary Plat (Standard Subdivision)
- Major Subdivision Preliminary Plat (Conservation Subdivision)
- Construction Drawings

Total Acreage of Property To Be Developed: ~91 Total Number of Phases: 2

Total Number of Lots: 297 Average Square Footage of Lot: 7,592

Smallest Developable Lot Square Footage: 2,073 Largest Developable Lot Square Footage: 20,262

*I, as owner, developer, engineer, and/or agent, understand that I am responsible for all applicable review fees due upon submittal of these plans. I understand that no review will take place until all review fees have been paid. I have read all information within the Development Review Procedures Packet and understand the process and my requirements with the proposal.*

  
\_\_\_\_\_  
Signature Bill Harrell

2/17/21  
\_\_\_\_\_  
Date



# ROLESVILLE CROSSING

## PRELIMINARY PLAT - PHASE 1 & 2

ROLESVILLE PROJECT # PR-21-02  
1801 ROLESVILLE RD  
ROLESVILLE, NORTH CAROLINA 27587

### WAKE COUNTY CIVIL ENGINEER:

TIMMONS GROUP  
PATRICK BARBEAU, P.E.  
5410 TRINITY ROAD; SUITE 102  
RALEIGH, NC 27607  
PH: (919) 866-4512  
PATRICK.BARBEAU@TIMMONS.COM

### SURVEYOR:

TIMMONS GROUP  
TERRY WESTENDORF, PLS  
5410 TRINITY ROAD; SUITE 102  
RALEIGH, NC 27607  
PH: (984) 255-2353  
TERRY.WESTENDORF@TIMMONS.COM  
(BOUNDARY ONLY)

### BUFFER/WETLAND:

SOIL AND ENVIRONMENTAL CONSULTANTS, PA  
STEVEN BALL, RF, PWS  
8412 FALLS OF NEUSE ROAD, SUITE 104  
RALEIGH, NC 27615  
PH: (919) 846-5900  
SBALL@SANDEC.COM

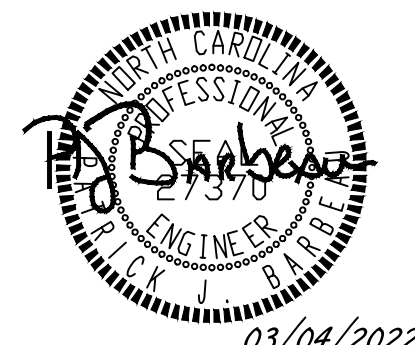
### OWNERS:

GINY WHEELER & JILL BRIGHT  
C/O HOPPER COMMUNITIES  
2403 MEDWAY DRIVE  
RALEIGH, NC 27608  
PH: (919) 618-9929

### DEVELOPER:

HOPPER COMMUNITIES, INC  
1616 CLEVELAND AVE  
CHARLOTTE NC 28203  
PH: (704) 805-4801

DANA BRIGHT & RANDY BRIGHT  
C/O HOPPER COMMUNITIES  
2403 MEDWAY DRIVE  
RALEIGH, NC 27608  
PH: (919) 618-9929



03/04/2022

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
REVISIONS PER TRC COMMENTS	07/08/21
CONSTRUCTION DOCUMENT SUBMITTAL	09/17/21
CONSTRUCTION DOCUMENT SUBMITTAL	12/22/21
PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

09/17/2021

DRAWN BY  
R. WINGATE

DESIGNED BY  
P. BARBEAU

CHECKED BY  
P. BARBEAU

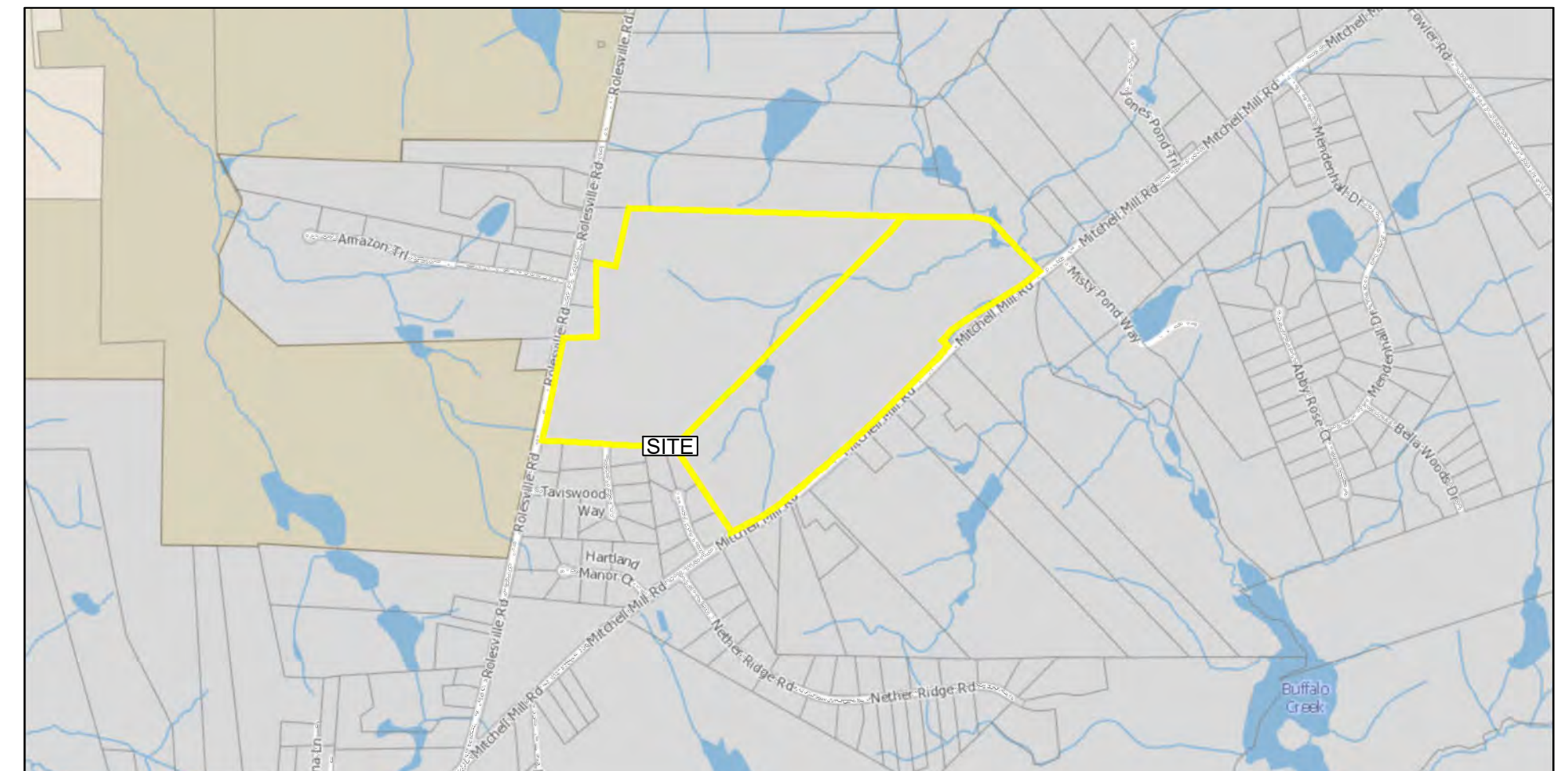
SCALE  
AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
ROLESVILLE CROSSING  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
COVER PAGE

JOB NO.  
43398

SHEET NO.  
CVR

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VICINITY MAP  
1" = 1000'

NAD 83

#### SITE DATA TABLE

PROJECT NAME:	WHEELER TRACT
APPLICANT/ PROPERTY OWNER:	HOPPER COMMUNITIES / GINY WHEELER
PIN(S):	1767-48-3143 (46.8 AC) 1767-58-6083 (44.59 AC)
DEED REFERENCE:	D.B. 005456 PG. 00627 D.B. 009828 PG. 00902
PLAT REFERENCE:	
PROPERTY ADDRESS:	1801 ROLESVILLE RD ROLESVILLE, NC 27587
EXISTING ZONING:	R-3-CZ
CURRENT USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
UNIT COUNT:	SINGLE FAMILY: 177 TOWNHOUSE: 120
TOTAL PROJECT AREA:	90.65 AC AFTER R/W DEDICATION ROLESVILLE ROAD: 1/2 OF 100' R/W
PROPOSED NEW PUBLIC R/W DEDICATION:	MITCHELL MILL ROAD: 1/2 OF 110' PER TOWN
INTERNAL ROADS:	50' AND 60' AND 63' R/W
WATERSHED:	BUFFALO CREEK
RIVER BASIN:	NEUSE
DISTURBED AREA:	TOTAL: 90.1 AC SINGLE FAMILY RESIDENTIAL: 71.2 AC TOWN HOME COMMERCIAL: 18.9 AC

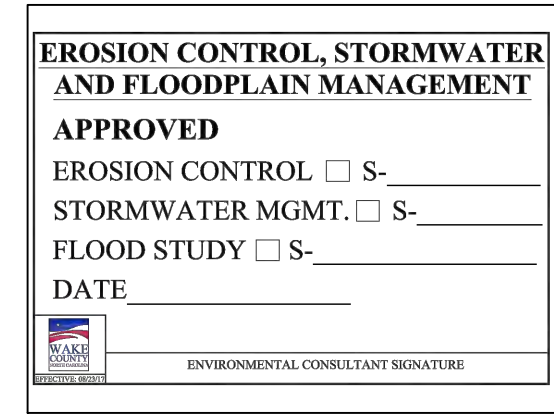
#### 15.4.5 - STREETS

15.4.5.1  
TYPE OF STREET REQUIRED  
ALL SUBDIVISION LOTS SHALL ABUT AT LEAST 20 FEET ON A PUBLIC STREET. ALL PUBLIC STREETS SHALL BE DEDICATED TO THE TOWN OF ROLESVILLE, THE STATE OF NORTH CAROLINA OR THE PUBLIC AS DETERMINED APPROPRIATE BY THE BOARD OF COMMISSIONERS OF THE TOWN OF ROLESVILLE. ALL PUBLIC STREETS SHALL BE BUILT TO THE STANDARDS OF THIS ORDINANCE AND ALL OTHER APPLICABLE STANDARDS OF THE TOWN OF ROLESVILLE AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION. PUBLIC STREETS NOT DEDICATED TO THE TOWN WHICH ARE ELIGIBLE FOR ACCEPTANCE INTO THE STATE HIGHWAY SYSTEM SHALL BE CONSTRUCTED TO THE STANDARDS NECESSARY TO BE PUT ON THE STATE HIGHWAY SYSTEM OR THE STANDARDS IN THIS ORDINANCE, WHICHEVER IS STRICTER, IN REGARD TO EACH PARTICULAR ITEM AND SHALL BE PUT ON SUCH SYSTEM. STREETS NOT DEDICATED TO THE TOWN WHICH ARE NOT ELIGIBLE TO BE PUT ON THE STATE HIGHWAY SYSTEM BECAUSE THERE ARE TOO FEW LOTS OR RESIDENCES SHALL, NEVERTHELESS, BE DEDICATED TO THE PUBLIC AND SHALL BE IN ACCORDANCE WITH THE STANDARDS IN THIS ORDINANCE OR THE STANDARDS NECESSARY TO BE PUT ON THE STATE HIGHWAY SYSTEM, WHICHEVER IS STRICTER IN REGARD TO EACH PARTICULAR ITEM, SO AS TO BE ELIGIBLE TO BE PUT ON THE SYSTEM AT A LATER DATE. A WRITTEN MAINTENANCE AGREEMENT WITH PROVISIONS FOR MAINTENANCE OF THE STREET UNTIL IT IS PUT ON THE STATE SYSTEM SHALL BE INCLUDED WITH THE FINAL PLAT.

15.4.5.2  
SUBDIVISION STREET DISCLOSURE STATEMENT  
ALL STREETS SHOWN ON THE FINAL PLAT SHALL BE DESIGNATED IN ACCORDANCE WITH G.S. § 136-102.6 AND DESIGNATION AS PUBLIC SHALL BE CONCLUSIVELY PRESUMED AN OFFER OF DEDICATION TO THE PUBLIC. WHERE STREETS ARE DEDICATED TO THE PUBLIC BUT NOT ACCEPTED INTO A MUNICIPAL OR THE STATE SYSTEM, BEFORE LOTS ARE SOLD, A STATEMENT EXPLAINING THE STATUS OF THE STREET SHALL BE INCLUDED WITH THE FINAL PLAT.

#### Sheet List Table

Sheet Number	Sheet Title
CVR	COVER PAGE
C0.0	PROJECT NOTES AND SITE DETAILS
C1.0	OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN
C1.1	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.2	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.3	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.4	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.5	ANNEXATION PLAT
C2.0	OVERALL SITE PLAN
C2.1	SITE PLAN
C2.2	SITE PLAN
C2.3	SITE PLAN
C2.4	SITE PLAN
C2.5	PHASING PLAN
C2.6	OPEN SPACE PLAN
C2.25	PAVEMENT MARKING & SIGNAGE PLAN
C2.26	PAVEMENT MARKING & SIGNAGE PLAN
C2.27	PAVEMENT MARKING & SIGNAGE PLAN
C2.28	PAVEMENT MARKING & SIGNAGE PLAN
C3.0	OVERALL GRADING AND DRAINAGE PLAN
C3.1	GRADING AND DRAINAGE PLAN
C3.2	GRADING AND DRAINAGE PLAN
C3.3	GRADING AND DRAINAGE PLAN
C3.4	GRADING AND DRAINAGE PLAN
C5.0	OVERALL UTILITY PLAN
C5.1	UTILITY PLAN
C5.2	UTILITY PLAN
C5.3	UTILITY PLAN
C5.4	UTILITY PLAN
C7.0	SITE DETAILS
C7.1	SITE DETAILS
L1.0	LANDSCAPE PLAN
L3.0	LANDSCAPE DETAILS



**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

**Public Water Distribution / Extension System**  
The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct See digital signature.

**Public Sewer Collection / Extension System**  
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
City of Raleigh  
Public Utilities Department Permit # \_\_\_\_\_  
Authorization to Construct See digital signature.

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



KNOW WHAT'S BELOW.  
CALL 811 BEFORE YOU DIG.





**Exhibit D**  
**Conditional Zoning District Zoning Conditions**

- The total number of dwelling units on the subject property shall not exceed 297 dwelling units and not more than 120 of these dwelling units are permitted to be townhomes. No apartments (multi-family units) shall be permitted.
- A twenty feet (20') wide Type A landscape buffer shall be installed along the subject property's frontage on Rolesville Road and along Mitchell Mill Road. The buffer shall be maintained by the Homeowners Association for the proposed subdivision.
- Sidewalk meeting town standards shall be installed along the subject property's frontage along Mitchell Mill Road at the same time road improvement are being installed on Mitchell Mill Road pursuant to Condition 5 below. The sidewalk shall be dedicated to and maintained by the Town of Rolesville.
- Recreational Amenities: The following recreational amenities shall be provided generally as shown on the attached Exhibit 1 as a part of the development of the subject property and dedicated to and maintained by the Homeowners Association for the proposed subdivision except for the public greenway which shall be dedicated as such to the Town of Rolesville:
  - A swimming pool and cabana, including changing rooms and restrooms shall be constructed prior to the issuance of the 150<sup>th</sup> building permit;
  - At least one fenced playground shall be constructed prior to the issuance of the 150<sup>th</sup> building permit;

- At least one fenced dog park shall be constructed prior to the issuance of the 150<sup>th</sup> building permit;
  - Public greenway on a greenway easement at least 25' wide with paved trails at least ten feet wide (10') shall be constructed generally as shown on the attached Exhibit 1 and dedicated to the Town of Rolesville; and
  - A private Multi-purpose Trail at least ten feet (10') shall be provided generally as shown on the attached Exhibit 1 and dedicated to and maintained by the Homeowners Association for the proposed subdivision.
5. Transportation Improvements: To address transportation impacts reasonably expected to be generated by the development, the following road improvements shall be installed as recommended by the Traffic Impact Analysis for the Winder Tract, prepared by Ramey Kemp & Associates and dated May 2019, a copy of which is on file with the Town of Rolesville, together with the comments made by the North Carolina Department of Transportation in their Traffic Impact Analysis Review Report dated July 26, 2019:

- Rolesville Road and Site Drive 1:**
  - Provide site access via full movement intersection with one ingress and one egress lane;
  - Provide stop control for westbound drive approach;
  - Construct a designated southbound left-turn lane with at least 100 feet of storage and appropriate deceleration and taper;
  - Provide a designated northbound right-turn lane with at least 100 feet of storage and appropriate deceleration and taper.

**Mitchell Mill and Site Drive 2:**

- Provide access via full movement intersection with one ingress lane and one egress lane;
- Provide stop control for southbound site drive approach; and
- Provide a designated eastbound left-turn lane with at least 100 feet of storage and appropriate deceleration and taper.

- Rolesville Road and Mitchell Mill Road:** prior to the issuance of a building permit for the 150<sup>th</sup> dwelling unit, the property owner shall contribute Fifty thousand Dollars (\$50,000.00) to the Town of Rolesville to be used by the Town of Rolesville to install a traffic light at the intersection of Mitchell Mill and Rolesville Road.

- No Extension of Taviston Court:** In addition, the Board of Commissioners has determined that the extension of Taviston Court, including the dedication or preservation of right-of-way for a future extension of Taviston Court, into the subject property is undesirable, does not serve the public interest and shall be prohibited.

**Conditions Applicable to single-family homes only:**

- All homes shall include either crawl space foundations or stem wall foundations. Any stem wall foundations shall have a brick or stone veneer on all sides facing a public street.
- The minimum square footage for two-story homes shall be 2,200 square feet. The minimum square footage for one-story homes shall be 1,600 square feet.
- A twenty-five foot (25') wide Type A landscape buffer shall be installed adjacent the properties to the north currently owned by Dwight and Carolyn Woodlief and more particularly described as Lot 6 on

Book Maps 2011, Page 84, Wake County Registry (Wake County PIN 1767 58 09384). This buffer shall be located within an easement that may be a part of a residential lot. The buffer shall be maintained by the Homeowners Association for the proposed subdivision.

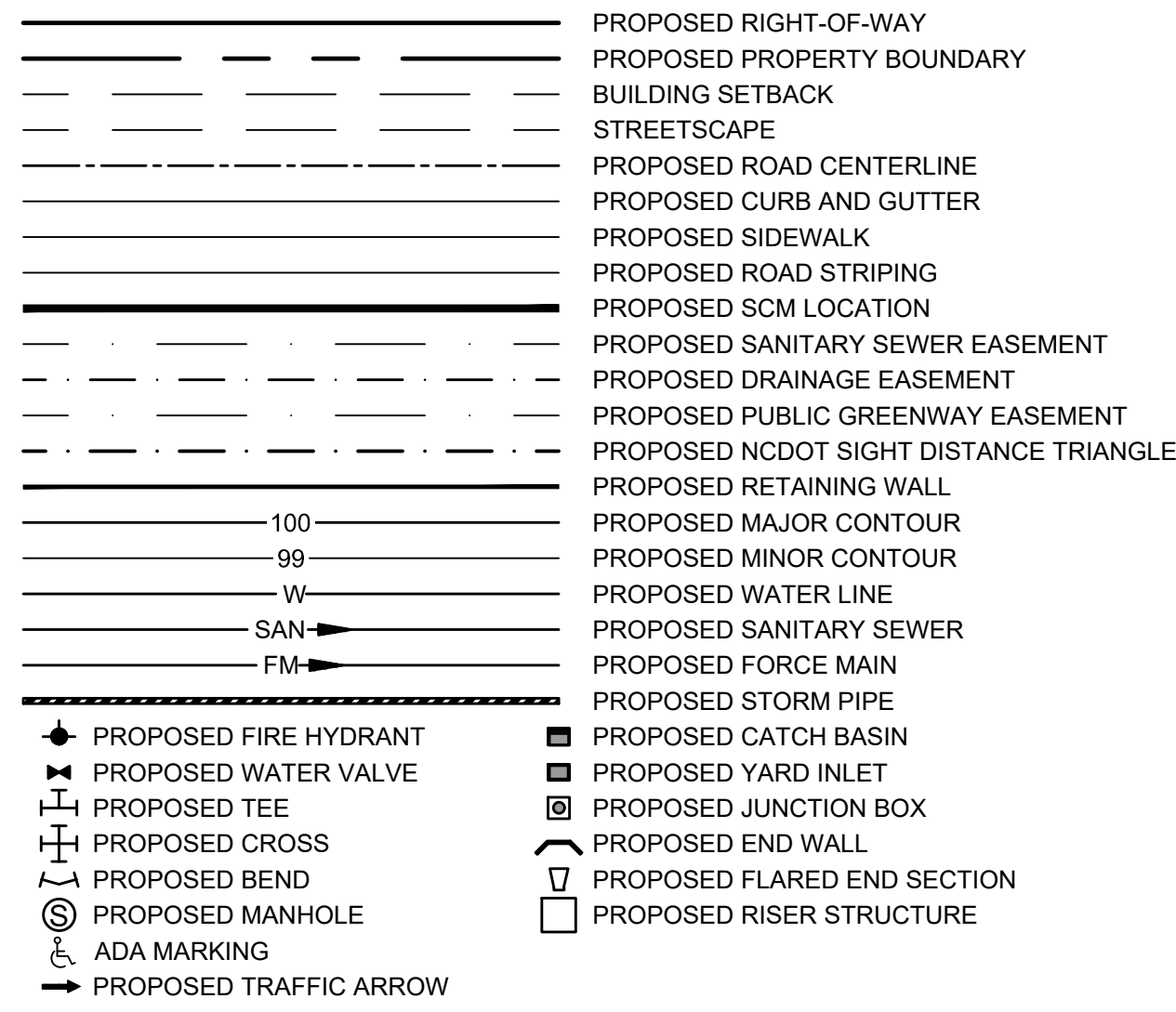
9. A twenty foot (20') wide Type A landscape buffer shall be installed along the common boundary line with the following properties. This buffer shall be located within an easement that may be a part of a residential lot. The buffer shall be maintained by the Homeowners Association for the proposed subdivision.

- 1809 Rolesville Road, Wake Forest, Wake County PIN # 1767375272, Book 12777, Page 1559;
- 3813 Taviston Court, Wake Forest, Wake County PIN # 1767377282, Book 12779, Page 2611;
- 3820 Taviston Court, Wake Forest, Wake County PIN # 1767420283, Book 12687, Page 072;
- 3813 Arbor Rose Lane, Wake Forest, Wake County PIN # 1767472196, Book 9496, Page 2630;
- 3816 Arbor Rose Lane, Wake Forest, Wake County PIN # 1767474134, Book 16324, Page 1810;
- 3812 Arbor Rose Lane, Wake Forest, Wake County PIN # 1767465953, Book 11390, Page 1138;
- 3804 Arbor Rose Lane, Wake Forest, Wake County PIN # 1767466746, Book 11327, Page 1152;
- 1725 Rolesville Road, Wake Forest, Wake County, PIN # 1767 38 7170, Book 17107, Page 582;
- 1727 Rolesville Road, Wake Forest, Wake County, PIN # 1767 38 8313; Book 3750, Page 591; and
- 1709 Rolesville Road, Wake Forest, Wake County, PIN # 1767 38 9615; Book 4572, Page 246.

**Conditions Applicable to townhomes only:**

- No townhome building shall exceed six (6) units.
- The minimum square footage for townhomes shall be 1,200 square feet.

**LEGEND**



**PARKING SUMMARY**

REQUIRED PARKING		
SINGLE FAMILY UNITS	2 SPACES PER DWELLING UNIT	
TOWNHOMES	2 SPACES PER DWELLING UNIT PLUS 1/2 PER BEDROOM OVER TWO BEDROOMS PLUS 1 VISITOR SPACE FOR EACH 4 FOUR DWELLING UNITS	
	PHASE 1	PHASE 2
SINGLE FAMILY UNITS	72	105
TOWNHOMES (3-BEDROOM)	49 (INCL. 18 END UNITS)	71 (INCL. 28 END UNITS)
VISITOR PARKING	13	18
MAIL KIOSK PARKING	7	5
TOTAL SPACES REQUIRED	287	411
PROVIDED PARKING		
	PHASE 1	PHASE 2
GARAGE PARKING	121	176
SINGLE FAMILY	72 UNITS X 1 SPACE = 72	105 UNITS X 1 SPACE = 105
TOWNHOMES	49 UNITS X 1 SPACE = 49	71 UNITS X 1 SPACE = 71
DRIVEWAY PARKING*	139	204
SINGLE FAMILY	72 UNITS X 1 SPACE = 72	105 UNITS X 1 SPACE = 105
TOWNHOMES	(18 END UNITS X 2 SPACES) + (31 UNITS X 1 SPACE) = 67	(28 END UNITS X 2 SPACES) + (43 UNITS X 1 SPACE) = 99
PARKING LOT SPACES (PROVIDED TO SERVE MAIL KIOSKS AND VISITOR SPOTS)	40	61
TOAL PROVIDED PARKING	300	441

\*NOTE: TOWNHOME END UNITS PROVIDE 2 DRIVEWAY SPACES

**OPEN SPACE CALCULATIONS**

PHASE	AREA (AC)	REQUIRED 10% GROSS AREA	PROVIDED
		TOTAL (ACTIVE) (AC)	TOTAL (ACTIVE) (AC)
PHASE 1	41.06	4.11 (2.06)	5.76 (2.06)
PHASE 2	50.61	5.06 (2.53)	8.97 (2.68)
TOTAL	91.67		14.73 (4.74)

**PUBLIC IMPROVEMENT QUANTITY TABLE**

PHASE	1	2
NUMBER OF LOT(S)	297	
LOT NUMBER(S) BY PHASE	1-60, 126-129, 170-185, 194-216, 280-297	61-125, 130-169, 186-193, 217-279
NUMBER OF SINGLE FAMILY UNITS	72	105
NUMBER OF TOWNHOME UNITS	49	71
LIVABLE BUILDINGS	121	176
OPEN SPACE?	YES	YES
NUMBER OF OPEN SPACE LOTS (AC)	5 (5.76)	14 (8.97)
PUBLIC WATER (LF)	5,860	6,610
PUBLIC SEWER (LF)	5,420	6,760
PUBLIC FORCEMAIN (LF)	4,600	0
PUBLIC STREET (LF) - FULL	5,670	6,930
PUBLIC STREET (LF) - PARTIAL	2,830	0
PUBLIC SIDEWALK (LF)	10,550	13,365
NUMBER OF STREET SIGNS	21	12
WATER SERVICE STUBS	123	176
SEWER SERVICE STUBS	122	176

**MAIL KIOSK CALCULATIONS**

NUMBER OF MAIL BOXES (UNITS)	REQUIRED PARKING SPACES
52 OR LESS	2
53-78	3
79-104	4
105 OR MORE	4 PLUS 1 PER EACH ADDITIONAL 26 MAIL BOXES

MAIL KIOSK AREA 1 (LOTS 1-177)

MINIMUM REQUIRED PARKING SPACES:	4 + 1 x (177-105) / 26 = 6.77 SPACES TOTAL REQUIRED: 7 SPACES (1 ADA SPACE)
----------------------------------	--------------------------------------------------------------------------------

MAIL KIOSK AREA 2 (LOTS 178-297)

MINIMUM REQUIRED PARKING SPACES:	4 + 1 x (120-105) / 26 = 4.58 SPACES TOTAL REQUIRED: 5 SPACES (1 ADA SPACE)
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**STORMWATER SITE DATA**

IMPERVIOUS BREAKDOWN FOR LOTS				
	# OF LOTS	MAX. IMPERVIOUS ALLOWANCE (SF)	TOTAL IMPERVIOUS (SF)	TOTAL IMPERVIOUS (AC)
22' TOWNHOME	120	1,500	180,000	4.13
SHALLOW LOT	86	3,500	301,000	6.91
DEEP LOT	91	3,500	318,500	7.31
TOTAL UNITS	297	-	799,500	18.35

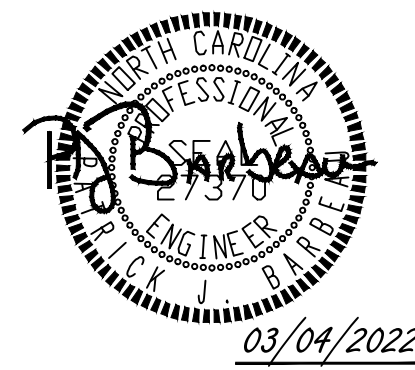
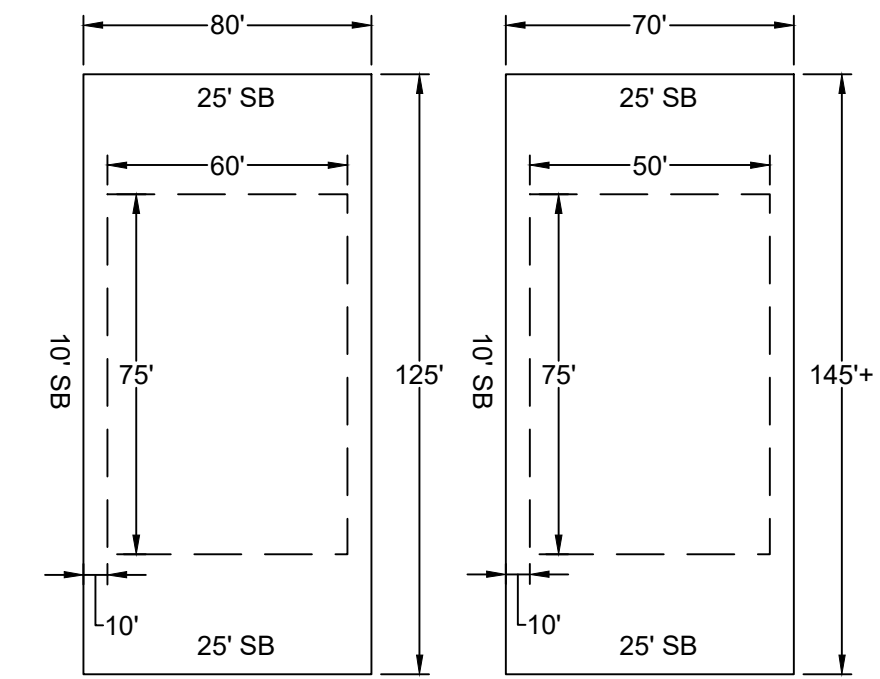
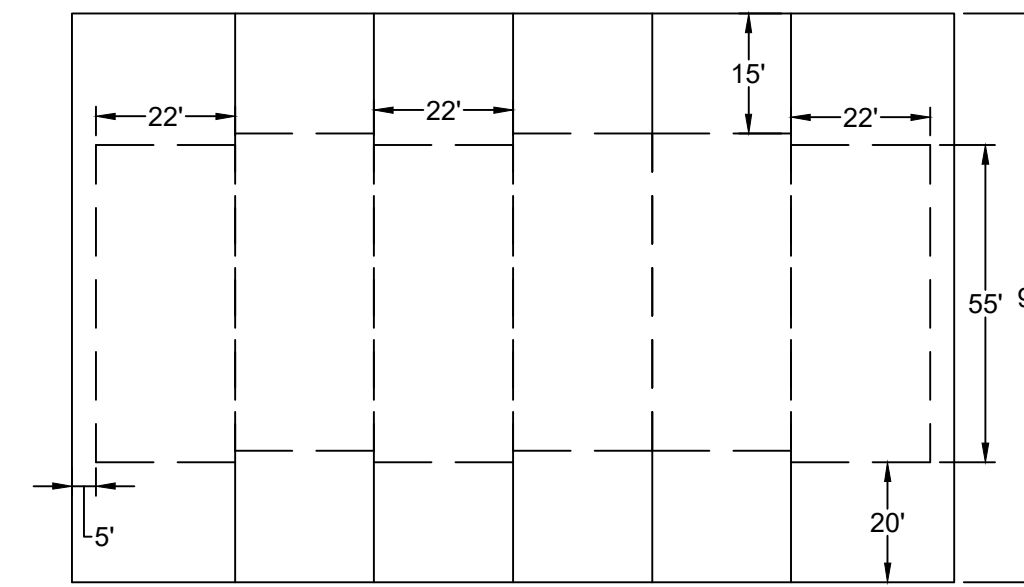
IMPERVIOUS BREAKDOWN FOR TOTAL SITE		
	AREA (SF)	AREA (AC)
ONSITE SIDEWALK	160,674	3.69
ONSITE ROAD	407,189	9.35
LOT - ROOF	535,666	12.30
LOT - DRIVEWAY	131,917	3.03
LOT - SIDEWALK	131,917	3.03
TOTAL IMPERVIOUS	1,367,363	31.40

**SITE DATA TABLE**

PROJECT NAME:	ROLESVILLE CROSSING
APPLICANT:	HOPPER COMMUNITIES
PIN(S):	1767-48-3143 1767-58-6083
DEED REFERENCE:	D.B. 005456 PG. 00627 D.B. 009828 PG. 00902
PLAT REFERENCE:	BM1998-01776
PROPERTY ADDRESS:	1801 ROLESVILLE RD ROLESVILLE, NC 27587
EXISTING ZONING:	R-30 (WAKE COUNTY)
PROPOSED ZONING:	R-3-CZ
CURRENT USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
UNIT COUNT:	SINGLE FAMILY: 177 TOWNHOUSE: 120
TOTAL PROJECT AREA:	91.39 AC
TOTAL DISTURBED AREA:	90.1 AC
TOWNHOUSE AREA (DENSITY):	15.00 ACRES (8.0 DU/AC)
SINGLE FAMILY AREA (DENSITY):	76.39 ACRES (2.32 DU/AC)
PROPOSED NEW PUBLIC R/W DEDICATION	ROLESVILLE ROAD: 20' R/W (50' FROM CENTER LINE) MITCHELL MILL ROAD: 25' DEDICATION (55' FROM CENTER LINE) INTERNAL ROADS: 50' AND 60' R/W
PROJECT AREA AFTER R/W DEDICATION	90.65 AC
RIVER BASIN:	NEUSE
SURFACE WATER CLASSIFICATION:	C, NSW
WATERSHED:	BUFFALO CREEK
BUILDING SETBACKS (SINGLE FAMILY, DETACHED RESIDENTIAL):	
FRONT:	25'
CORNER:	15'
SIDE:	10'
REAR:	25'
LOT WIDTH:	65'
MINIMUM LOT AREA:	6,000 SF
BUILDING SETBACKS (TOWNHOUSES):	
FRONT:	15' (20' FOR SINGLE CAR GARAGE)
CORNER:	10'
SIDE:	0' WITH 30' MINIMUM BETWEEN STRUCTURES
REAR:	15'
LOT WIDTH:	20'

**TYPICAL LOT DIMENSIONS**

N.T.S.



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REVISIONS PER TRC COMMENTS  
CONSTRUCTION DOCUMENT SUBMITTAL  
CONSTRUCTION DOCUMENT SUBMITTAL  
PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL

DATE: 09/17/2021

DRAWN BY: R. WINGATE

DESIGNED BY: P. BARBEAU

CHECKED BY: P. BARBEAU

SCALE: AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

**ROLESVILLE CROSSING**  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

**PROJECT NOTES AND SITE DETAILS**

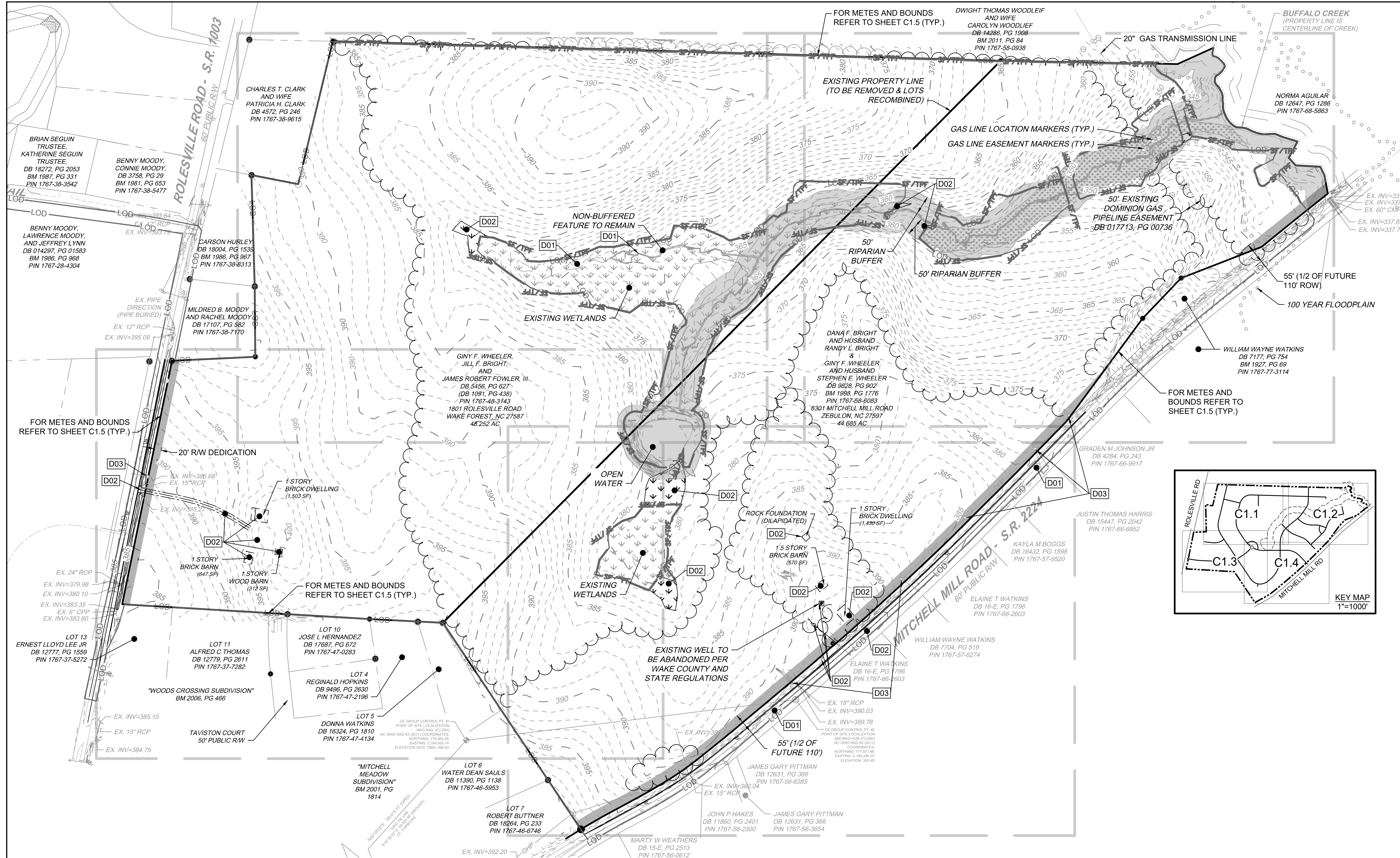
JOB NO.  
**43398**

SHEET NO.  
**C.O.0**

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**SURVEY NOTES**

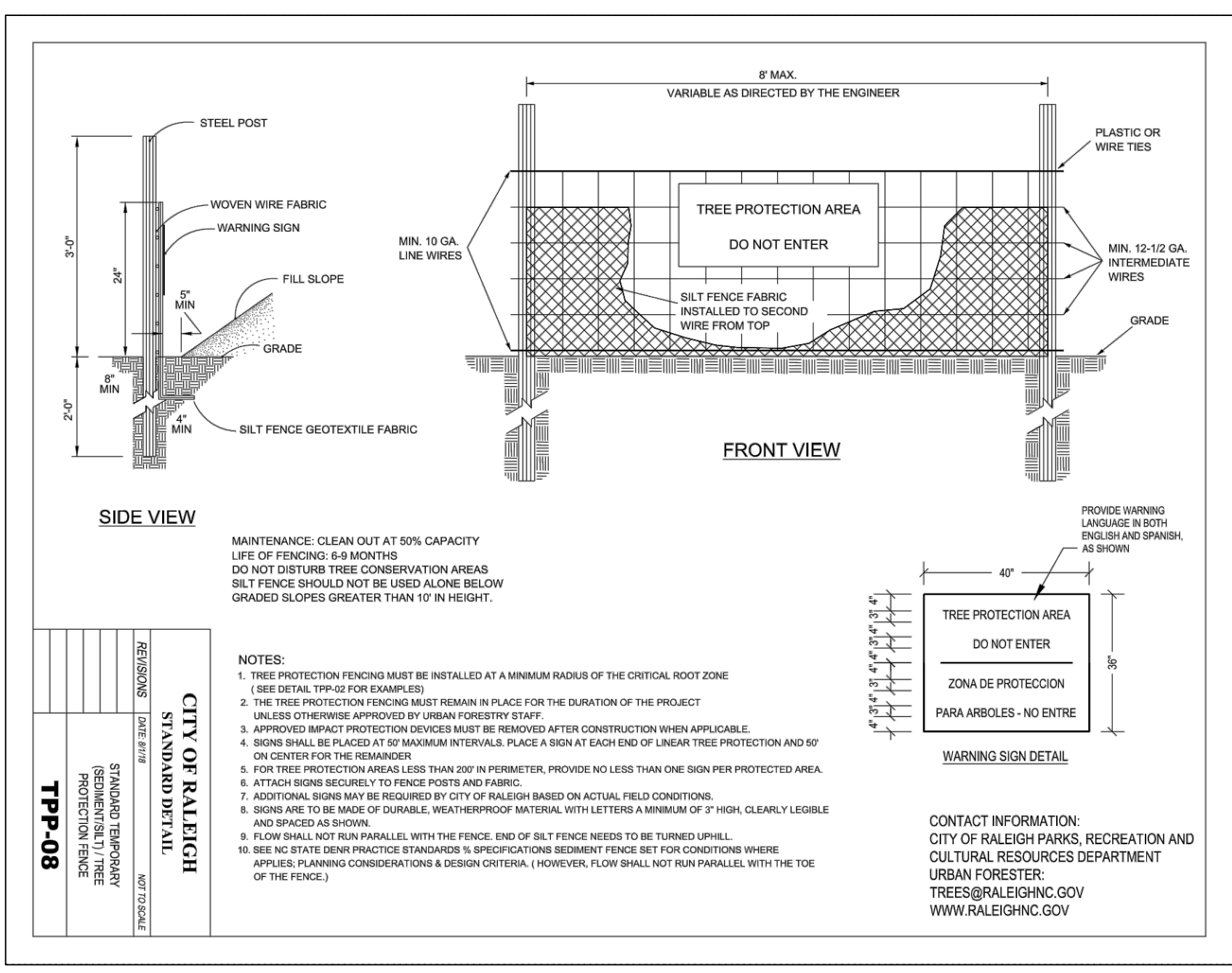
- ON SITE BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP DATED 08/19/2019. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP. ONSITE TOPOGRAPHY RECEIVED FROM THE CE GROUP ON 01/04/2021
- ONSITE WETLAND LOCATION AND STREAM DELINEATION BY S&EC, PA
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM. BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
- VERTICAL DATUM SHOWN HEREON IS NAVD88.
- OTHER SOURCES OF INFORMATION INCLUDE CITY OF RALEIGH GIS AND AERIAL IMAGERY.
- NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3720176600J (EFFECTIVE 05/02/2006).
- RECORDED PROPERTY DATA:
  - DB 005456, PG 00627
  - DB 009828, PG 00902
- EXISTING IMPERVIOUS AREA = 0.0 ACRES
- THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 1-800-632-4949.
- OFFSITE TOPOGRAPHY FROM WAKE COUNTY GIS.

DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN.
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D03	RELOCATE AND MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.

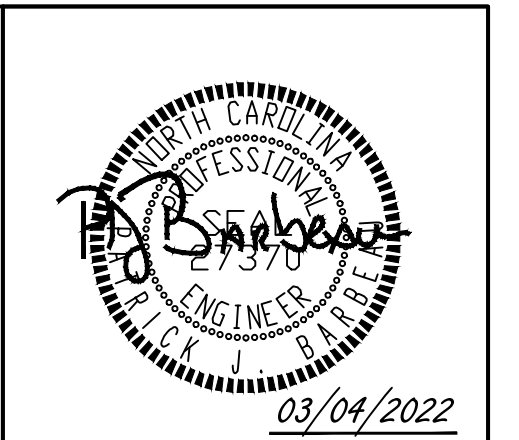
LEGEND	
	DESCRIPTION
	100 YEAR FLOODPLAIN
	TREE LINE
	50' RIPARIAN BUFFER
	WETLANDS
	LIMITS OF DISTURBANCE

**DEMOLITION NOTES**

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE. CONTRACTOR TO OBTAIN, REFERENCE, AND UTILIZE ALL AVAILABLE ENVIRONMENTAL REPORTS (PHASE 1 ESA, ASBESTOS, ETC.) FROM DEVELOPER.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE/DEMOLISH/ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AN APPROVAL OF THE INSPECTOR. REFER TO EROSION CONTROL PLAN.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
- THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
- CONTRACTOR TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- WATER AND SEWER ABANDONMENT SHALL BE DONE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS INCLUDING DISCONNECT FROM THE MAIN AND REMOVAL OF SERVICES FROM THE RIGHT-OF-WAY.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE DEVELOPER.
- CONTRACTOR SHALL NOTIFY APPROPRIATE DEPARTMENTS PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.



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1	REVISION PER TRC COMMENTS	07/08/21
2	CONSTRUCTION DOCUMENT SUBMITTAL	09/17/21
3	CONSTRUCTION DOCUMENT SUBMITTAL	12/22/21
4	PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

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	DESIGNED BY P. BARBEAU
	CHECKED BY P. BARBEAU
	SCALE AS SHOWN

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 NORTH CAROLINA LICENSE NO. C-1652

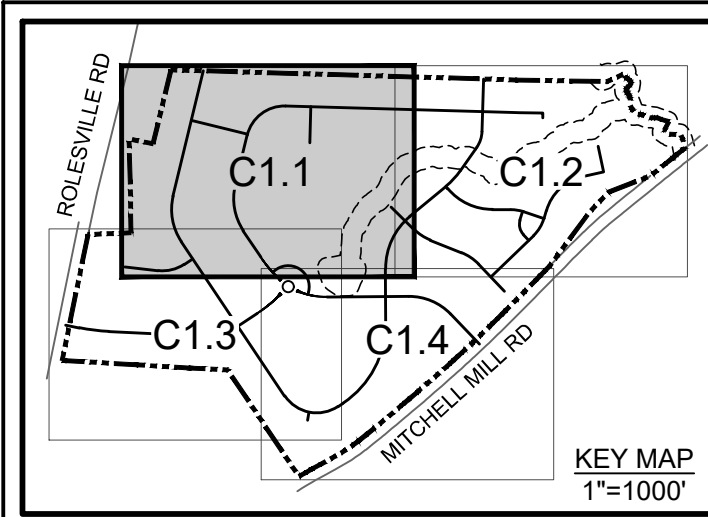
**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

**OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN**

JOB NO.	43398
SHEET NO.	C1.0

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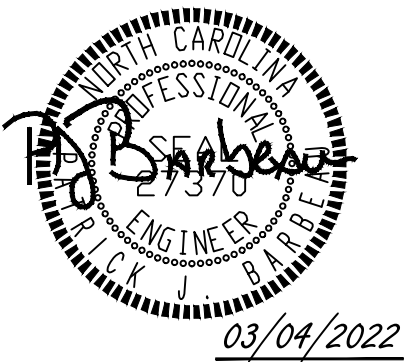
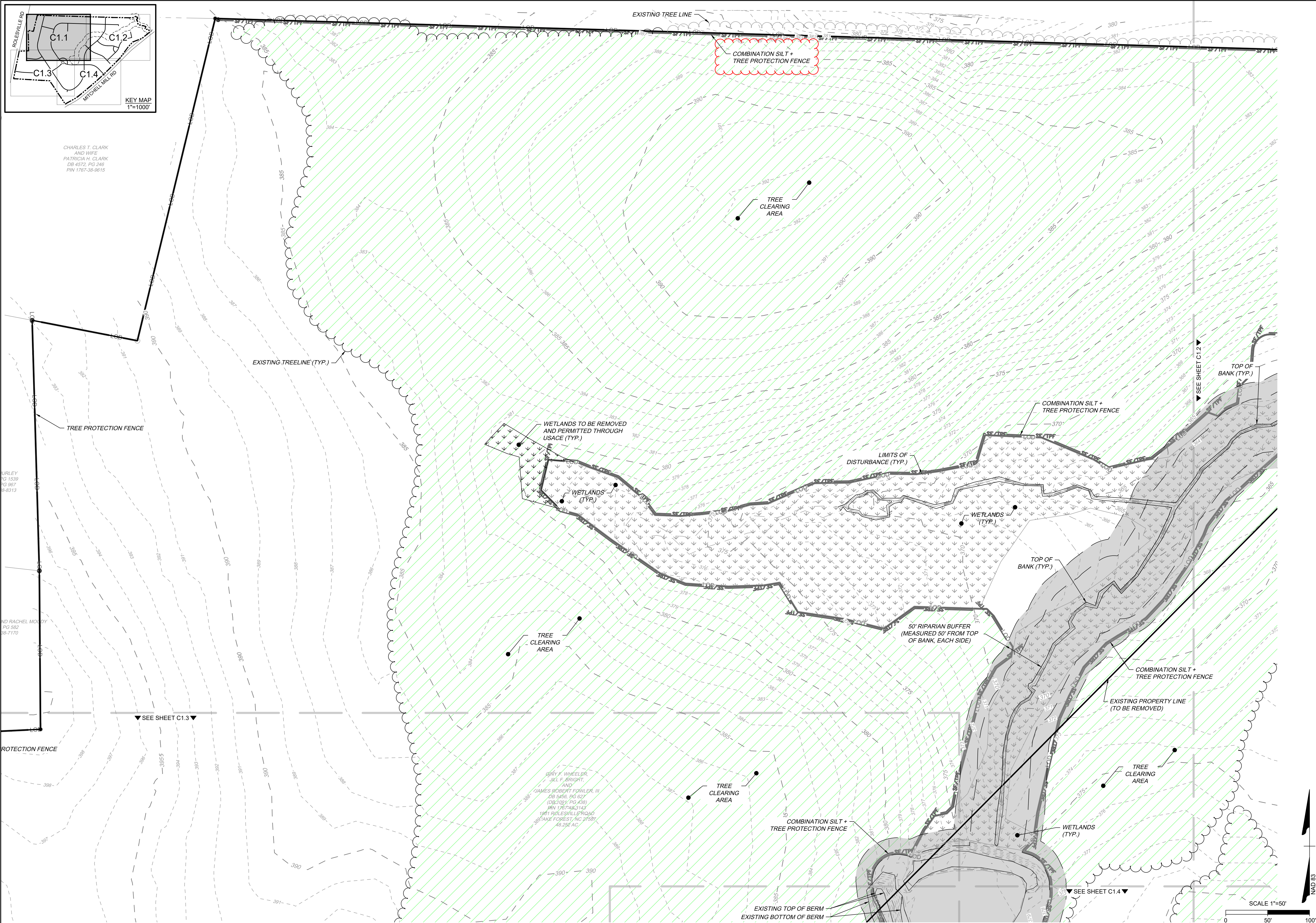


CHARLES T. CLARK  
AND WIFE  
PATRICIA H. CLARK  
DB-4572, PG 246  
PIN 1767-38-9615

WURLEY  
PG 1539  
PG 967  
S-6313

AND RACHEL MONROE  
PG 582  
38-7170

S:\3224\3398-Wheeler - TimberDWG\Sheet\CD\43398-C1.1-EXIS ENLARGEMENTS.dwg | Plotted on 3/4/2022, 12:28 PM | by Robert Wingate



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03/04/2022	PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

DATE  
09/17/2021

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R. WINGATE

DESIGNED BY  
P. BARBEAU

CHECKED BY  
P. BARBEAU

SCALE  
AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### EXISTING CONDITIONS AND DEMOLITION PLAN

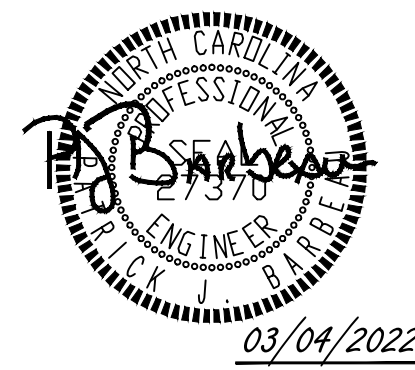
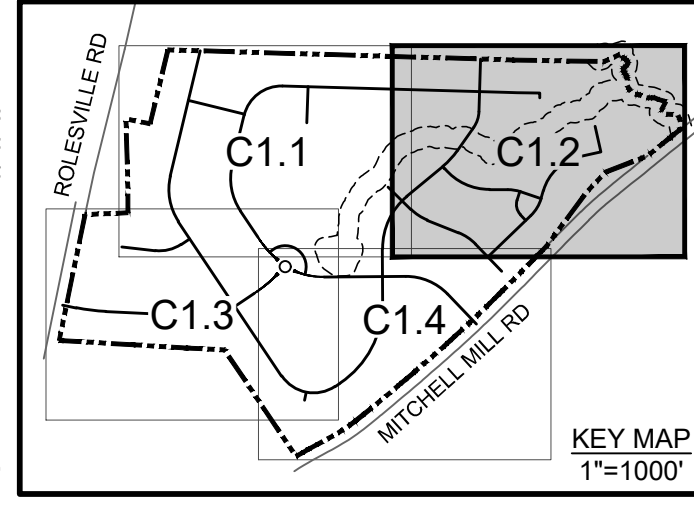
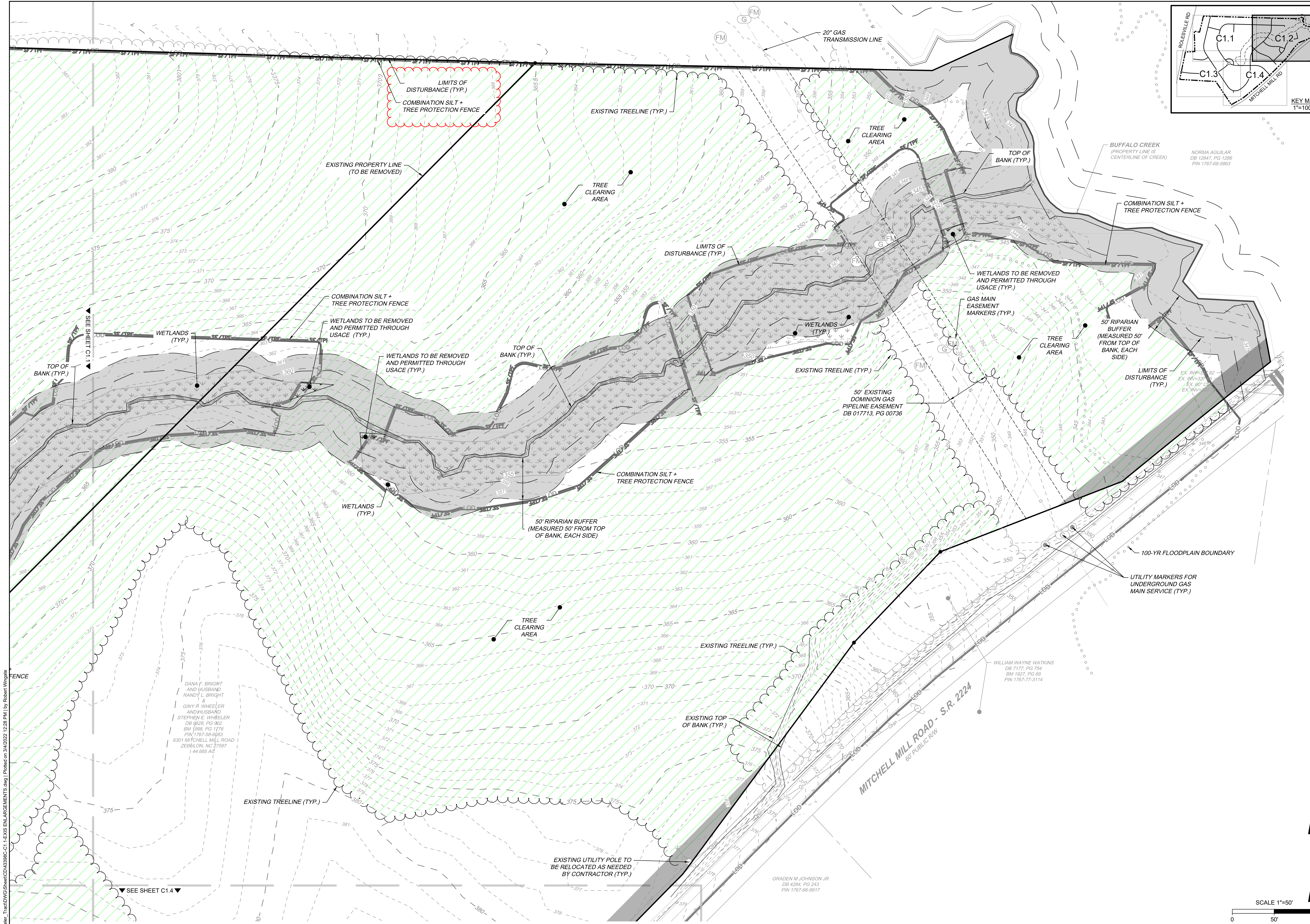
JOB NO.  
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SHEET NO.  
C1.1

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12/22/21	CONSTRUCTION DOCUMENT SUBMITTAL
03/04/2022	PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

DATE: 09/17/2021  
 DRAWN BY: R. WINGATE  
 DESIGNED BY: P. BARBEAU  
 CHECKED BY: P. BARBEAU  
 SCALE: AS SHOWN

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NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### EXISTING CONDITIONS AND DEMOLITION PLAN

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 SHEET NO. C1.2

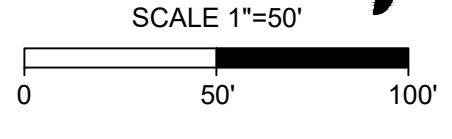
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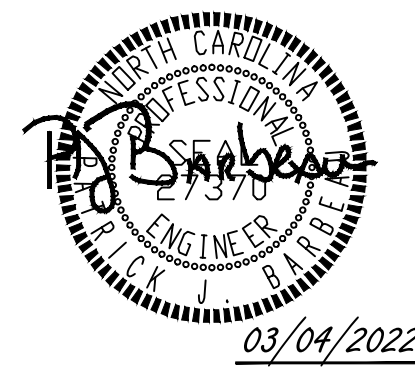
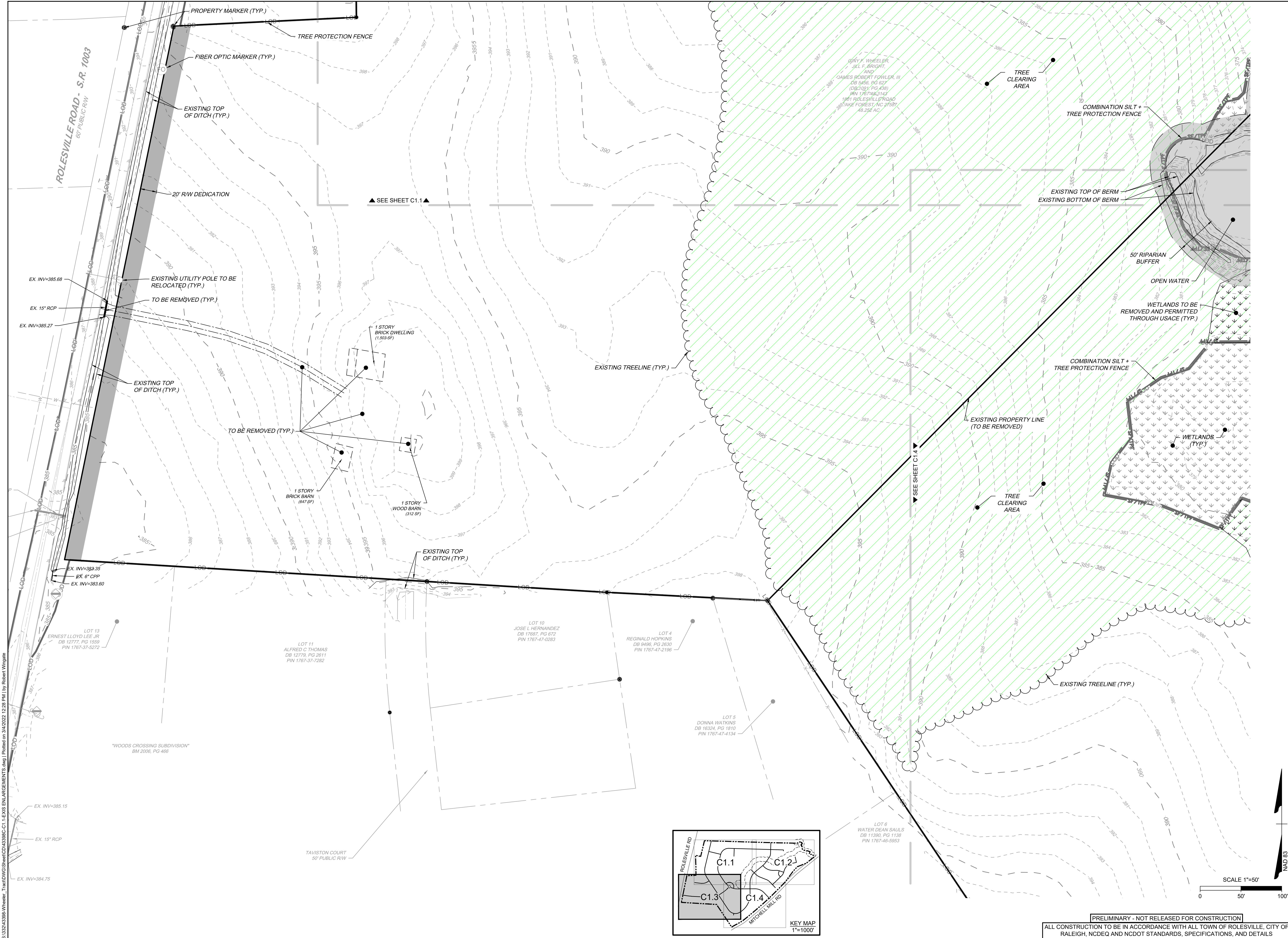
DANA F. BRIGHT  
 AND HUSBAND  
 RANDY L. BRIGHT  
 &  
 GINNY R. WHEELER  
 AND HUSBAND  
 STEPHEN E. WHEELER  
 DB 9828, PG 902  
 BM 1988, PG 1776  
 PIN 1787-59-6483  
 6301 MITCHELL MILL ROAD  
 ZEBULON, NC 27597  
 144.685 AC

WILLIAM WAYNE WATKINS  
 DB 7177, PG 754  
 BM 1927, PG 69  
 PIN 1787-77-3114

GRADEN M. JOHNSON JR.  
 DB 4284, PG 243  
 PIN 1787-66-8917







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09/17/2021

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R. WINGATE

DESIGNED BY  
P. BARBEAU

CHECKED BY  
P. BARBEAU

SCALE  
AS SHOWN

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NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

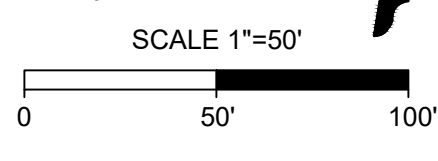
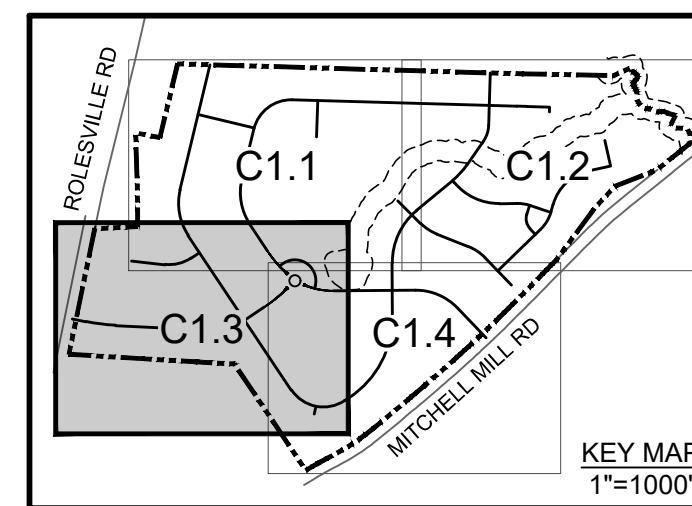
### EXISTING CONDITIONS AND DEMOLITION PLAN

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SHEET NO.  
**C1.3**

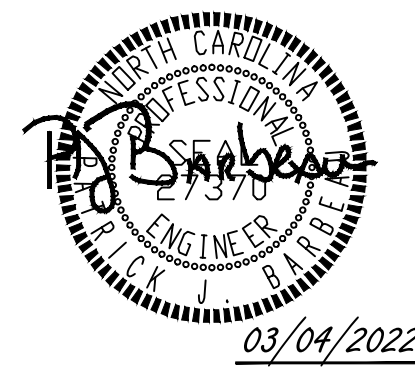
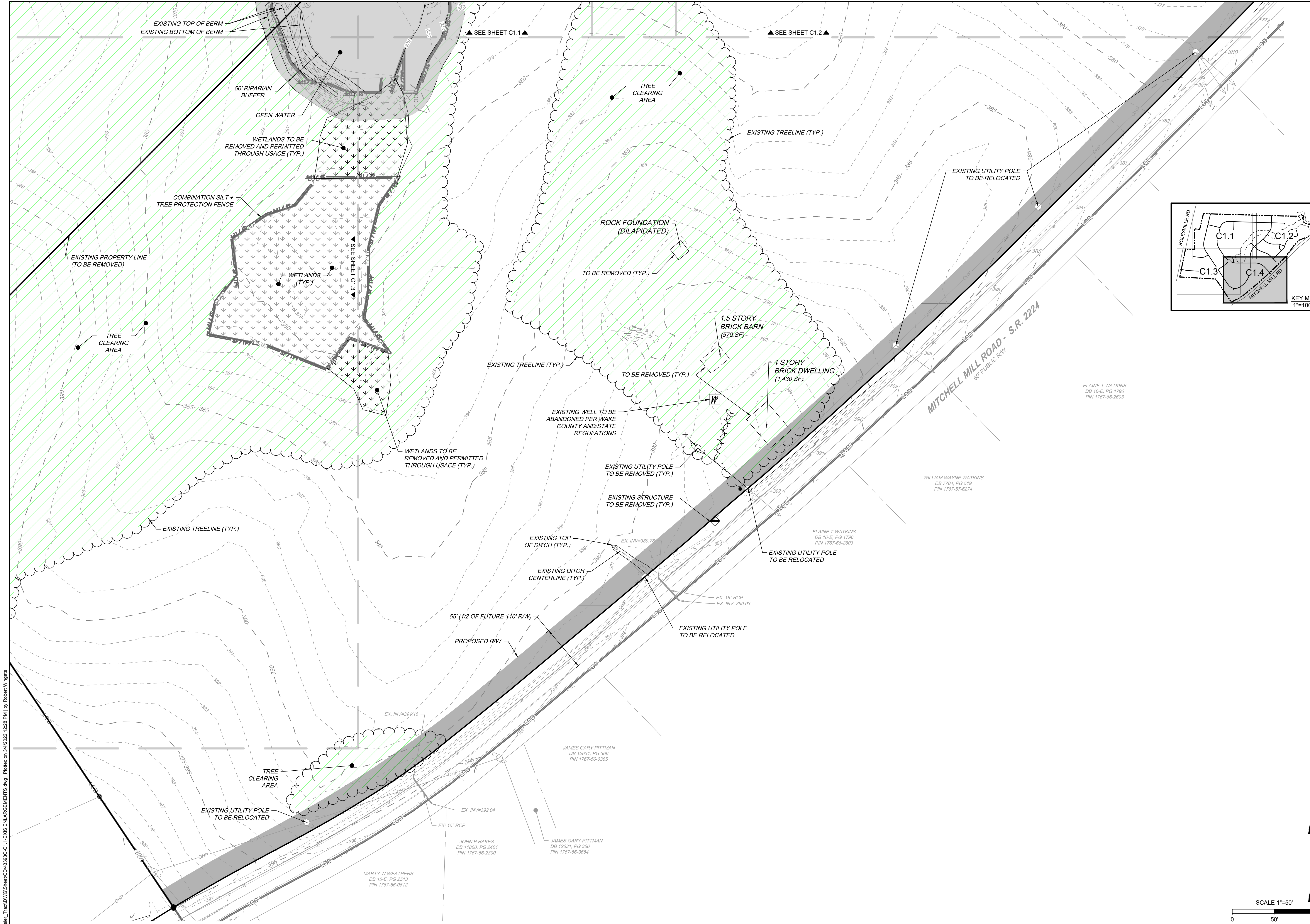
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DESIGNED BY  
**P. BARBEAU**

CHECKED BY  
**P. BARBEAU**

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**AS SHOWN**

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# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### EXISTING CONDITIONS AND DEMOLITION PLAN

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PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

ELAINE T WATKINS  
 DB 16-E, PG 1796  
 PIN 1767-66-2603

WILLIAM WAYNE WATKINS  
 DB 7704, PG 519  
 PIN 1767-57-6274

ELAINE T WATKINS  
 DB 16-E, PG 1796  
 PIN 1767-66-2603

JAMES GARY PITTMAN  
 DB 12631, PG 366  
 PIN 1767-56-6385

JOHN P HAKES  
 DB 11860, PG 2401  
 PIN 1767-56-2300

JAMES GARY PITTMAN  
 DB 12631, PG 366  
 PIN 1767-56-3654

MARTY W WEATHERS  
 DB 15-E, PG 2513  
 PIN 1767-56-0612

SCALE 1"=50'

NAD 83

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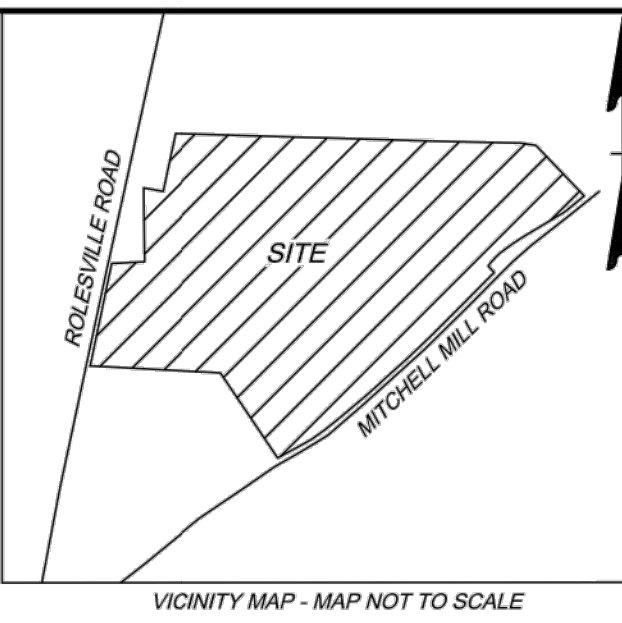
**ANNEXED AREA DESCRIPTION:**

BEGINNING AT AN IRON PIPE FOUND IN THE NORTHERN 60' R/W LINE OF MITCHELL MILL RD. (SR 2224) AND HAVING NORTH CAROLINA GRID COORDINATES (NAD 83 (2011)) OF N= 776,723.00 FEET, E= 2,164,761.89 FEET, AND BEING A COMMON CORNER BETWEEN DANA F. BRIGHT, ET AL. (DB 9828 PG 902) AND LOT 7 OF MITCHELL MEADOW SUBDIVISION (BM 2001 PG 1814); THENCE LEAVING THE NORTHERN 60' R/W LINE OF MITCHELL MILL RD. (SR 2224) NORTH 33°49'30" WEST, 158.25 FEET TO AN IRON PIPE FOUND; THENCE NORTH 33°47'11" WEST, 508.32 FEET TO AN IRON PIPE FOUND, A COMMON CORNER BETWEEN DANA F. BRIGHT, ET AL. (DB 9828 PG 902), GINA F. WHEELER, ET AL. (DB 9458 PG 627) AND LOT 5 OF MITCHELL MEADOW SUBDIVISION (BM 2001 PG 1814); THENCE NORTH 87°52'25" WEST, 197.32 FEET TO AN IRON REBAR FOUND; THENCE NORTH 88°32'54" WEST, 688.42 FEET TO A POINT IN THE CENTER OF BUFFALO CREEK; THENCE NORTH 11°34'52" EAST, 684.53 FEET TO A POINT; THENCE NORTH 87°15'14" EAST, 254.95 FEET TO AN IRON REBAR FOUND; THENCE NORTH 00°24'42" WEST, 189.05 FEET TO AN IRON PIPE FOUND; THENCE NORTH 01°39'01" WEST, 298.96 FEET TO AN IRON PIPE FOUND; THENCE NORTH 79°02'56" EAST, 127.90 FEET TO A POINT; THENCE NORTH 13°30'53" EAST, 393.38 FEET TO AN IRON REBAR FOUND; THENCE SOUTH 88°19'53" EAST, 1,798.45 FEET TO AN IRON REBAR FOUND; THENCE SOUTH 88°55'44" EAST, 475.00 FEET TO A POINT; THENCE THE FOLLOWING COURSES DOWN THE CENTER LINE OF BUFFALO CREEK: THENCE NORTH 65°44'16" EAST, 102.70 FEET TO A POINT; THENCE SOUTH 18°00'04" WEST, 14.47 FEET TO A POINT; THENCE SOUTH 42°30'53" EAST, 45.95 FEET TO A POINT; THENCE SOUTH 6°51'48" WEST, 20.88 FEET TO A POINT; THENCE SOUTH 76°45'14" WEST, 26.61 FEET TO A POINT; THENCE SOUTH 19°06'03" EAST, 75.60 FEET TO A POINT; THENCE SOUTH 21°12'02" EAST, 67.30 FEET TO A POINT; THENCE SOUTH 78°17'04" EAST, 53.71 FEET TO A POINT; THENCE SOUTH 80°26'04" EAST, 61.46 FEET TO A POINT; THENCE SOUTH 70°47'08" EAST, 63.51 FEET TO A POINT; THENCE SOUTH 20°21'33" WEST, 55.83 FEET TO A POINT; THENCE SOUTH 54°55'18" EAST, 18.68 FEET TO A POINT; THENCE SOUTH 88°00'51" EAST, 67.89 FEET TO A POINT; THENCE SOUTH 25°51'48" EAST, 28.94 FEET TO A POINT; THENCE SOUTH 15°51'51" EAST, 50.19 FEET TO A POINT; THENCE SOUTH 15°51'51" EAST, 32.81 FEET TO A POINT; THENCE THE FOLLOWING COURSES DOWN THE CENTER LINE OF MITCHELL MILL ROAD (S.R. 2224) A 60 FOOT PUBLIC RIGHT-OF-WAY: THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 10,151.02 FEET, WITH CHORD BEARING OF SOUTH 51°28'46" WEST, 67.90 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 20,962.58 FEET, WITH CHORD BEARING OF SOUTH 50°55'27" WEST, 151.51 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 9,512.05 FEET, WITH CHORD BEARING OF SOUTH 50°31'07" WEST, 393.46 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 9,516.09 FEET, WITH CHORD BEARING OF SOUTH 48°11'08" WEST, 301.64 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 2,299.367 FEET, WITH CHORD BEARING OF SOUTH 44°29'43" WEST, 228.79 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 18,151.18 FEET, WITH CHORD BEARING OF SOUTH 45°19'30" WEST, 276.12 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 7,283.93 FEET, WITH CHORD BEARING OF SOUTH 47°55'59" WEST, 411.59 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 14,402.54 FEET, WITH CHORD BEARING OF SOUTH 49°50'49" WEST, 332.72 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 2,123.53 FEET, WITH CHORD BEARING OF SOUTH 52°13'18" WEST, 165.22 FEET TO A POINT; THENCE WITH A CURVE TO THE LEFT, SAID CURVE HAS A RADIUS OF 1,515.57 FEET, WITH CHORD BEARING OF SOUTH 59°21'35" WEST, 147.34 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 3,265.30 FEET, WITH CHORD BEARING OF SOUTH 61°15'45" WEST, 117.29 FEET TO A POINT; THENCE WITH A CURVE TO THE RIGHT, SAID CURVE HAS A RADIUS OF 2,686.61 FEET, WITH CHORD BEARING OF SOUTH 59°23'07" WEST, 37.74 FEET TO A POINT; THENCE NORTH 33°49'30" WEST, 30.36 FEET TO THE POINT OF BEGINNING. CONTAINING 95.362 ACRES, MORE OR LESS.

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	10181.34'	80.68'	40.34'	0°27'15"	S51°30'53"W	80.68'
C2	20992.91'	146.94'	73.47'	0°24'04"	S50°55'51"W	146.94'
C3	2299397.52'	226.56'	113.28'	0°00'20"	S44°29'43"W	226.56'
C4	18120.85'	278.40'	139.20'	0°52'49"	S45°19'30"W	278.40'
C5	7253.61'	409.88'	204.99'	3°14'15"	S47°56'03"W	409.82'
C6	14372.21'	332.26'	166.14'	1°19'28"	S49°50'50"W	332.25'
C7	2093.21'	162.48'	81.28'	4°26'51"	S52°12'44"W	162.44'
C8	1485.25'	143.85'	71.98'	5°32'58"	S59°22'11"W	143.80'
C9	3315.62'	118.47'	59.24'	2°02'50"	S61°15'40"W	118.46'
C10	2696.93'	39.78'	19.89'	0°50'42"	S59°22'14"W	39.78'

**SURVEY NOTES:**

- PER THE FEMA FLOODPLAIN MAPS, THE PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE X, PER FIRM MAP NO. 3720176600J PANEL 1766, EFFECTIVE DATE MAY 2, 2006.
- HORIZONTAL CONTROL IS BASED ON NC STATE GRID, NAD83 (2011) AS DETERMINED BY GPS. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- NOT ALL IMPROVEMENTS LOCATED ON THE PROPERTY HAVE BEEN SHOWN.
- AREA COMPUTATION IS BY THE COORDINATE METHOD.
- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A TITLE SEARCH.
- RIGHT-OF-WAY AND PROPERTY BOUNDARY INFORMATION IS BASED ON REFERENCES AS SHOWN HEREON.



DWIGHT THOMAS WOODLIEF AND WIFE CAROLYN WOODLIEF DB 14286, PG 1908 BM 2011, PG 84 PIN 1767-58-0938 ZONING: R-30

NORMA AGUILAR DB 12647, PG 1286 PIN 1767-68-5863 ZONING: R-30

**TOTAL AREA TO BE ANNEXED: 95.362 AC**

CHARLES T. CLARK AND WIFE PATRICIA H. CLARK DB 4572, PG 246 PIN 1767-38-9615 ZONING: R-30

ELMO R. MOODY DB 3750, PG 591 BM 1986, PG 967 PIN 1767-38-8313 ZONING: R-30

MILDRED B. MOODY DB 17107, PG 582 PIN 1767-38-7170 ZONING: R-30

GINY F. WHEELER, JILL F. BRIGHT, AND JAMES ROBERT FOWLER, III DB 5456, PG 627 (DB 1091, PG 438) PIN 1767-48-3143 1801 ROLESVILLE ROAD WAKE FOREST, NC 27587 48.252 AC ZONING: R-30

DANA F. BRIGHT AND HUSBAND RANDY L. BRIGHT & GINY F. WHEELER AND HUSBAND STEPHEN E. WHEELER DB 9828, PG 902 BM 1998, PG 1776 PIN 1767-58-6083 6301 MITCHELL MILL ROAD ZEBULON, NC 27597 44.685 AC ZONING: R-30

WILLIAM WAYNE WATKINS DB 1177, PG 754 BM 1927, PG 69 PIN 1767-77-3114 ZONING: R-30

**Annexation Certificate - Town Clerk:**  
I hereby certify that this plat for annexation has followed all requirements and procedures and a public hearing was held by the Town to annex the property herein described. The Town Board of Commissioners of the Town of Rolesville adopted the resolution to annex on \_\_\_\_\_ with the effective date of annexation on \_\_\_\_\_.

Town Clerk

**SURVEYOR CERTIFICATION**

I, TERRY L. WESTENDORF, PLS. HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, AS DESCRIBED IN DEEDS AND MAPS OF RECORD OR OTHER REFERENCE SOURCES; THAT THE ERROR OF CLOSURE AS CALCULATED BY LATITUDES AND DEPARTURES IS GREATER THAN 1:10,000, THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD; THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THAT THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS A RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

TERRY L. WESTENDORF, NCPLS NO. L-3232  
DATE 01/17/2020

**FOR REFERENCE ONLY**



**ANNEXATION PLAT PREPARED FOR HOPPER COMMUNITIES**

WAKE FOREST TWP	WAKE COUNTY, NC
DATE: JANUARY 17, 2020	SCALE: 1" = 200'
SHEET 1 OF 1	J.N.: 43398
DRAWN BY: MM	CHECK BY: TLW
FIELD EDIT BY:	
MAP CHECKED BY: MM, JANUARY 15, 2020	
REVISED:	

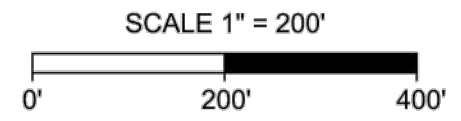
LINE TABLE		
LINE	BEARING	LENGTH
L1	N65°44'16"E	102.70'
L2	S18°00'04"W	14.47'
L3	S42°30'53"E	45.95'
L4	S6°51'48"W	20.88'
L5	S76°45'14"W	26.61'
L6	S19°06'03"E	75.60'
L7	S21°12'02"E	67.30'
L8	S78°17'04"E	53.71'
L9	S80°26'04"E	61.46'

LINE TABLE		
LINE	BEARING	LENGTH
L10	S7°47'08"E	63.51'
L11	S20°21'33"W	55.83'
L12	S54°55'18"E	18.68'
L13	S88°00'51"E	67.89'
L14	S25°51'48"E	28.94'
L15	S15°51'51"E	50.19'
L16	S15°51'51"E	32.81'
L17	N33°49'30"W	30.36'

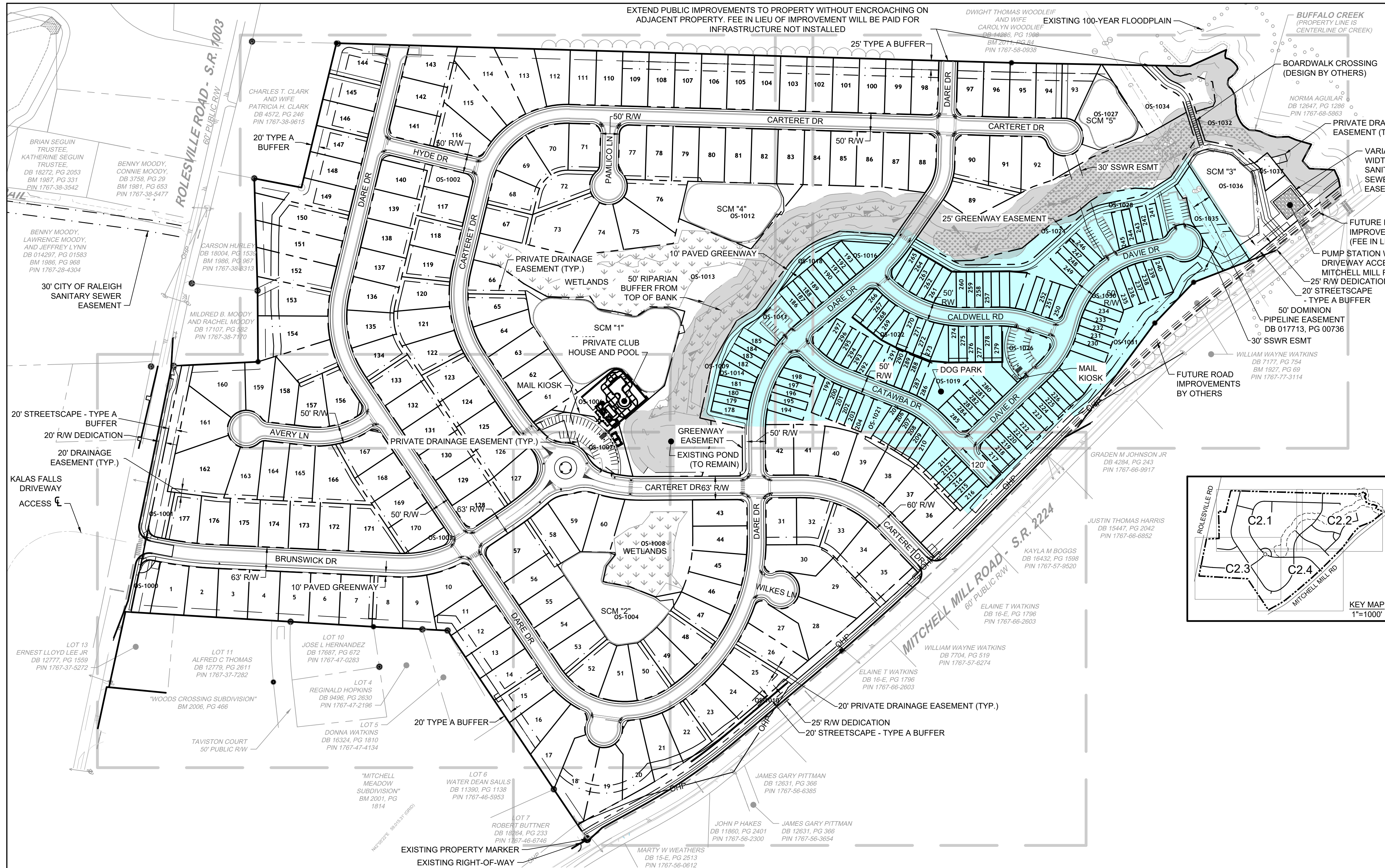
**Review Officer Certification:**  
I, \_\_\_\_\_, Review Officer of the Town of Rolesville, Wake County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording.

**Annexation Exempt Certification:**  
I hereby certify that this annexation plat is approved for recording, and is exempt from the Rolesville Unified Development Ordinance.

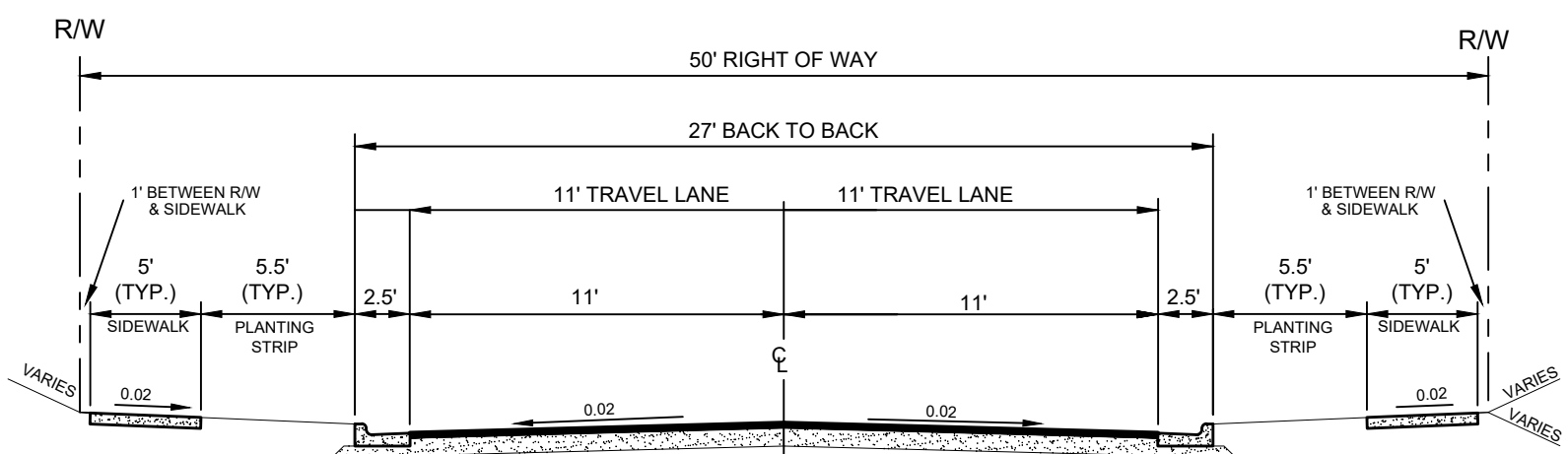
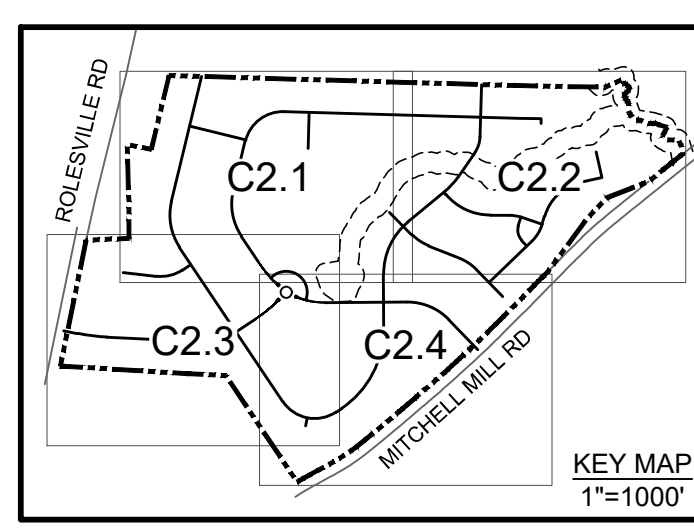
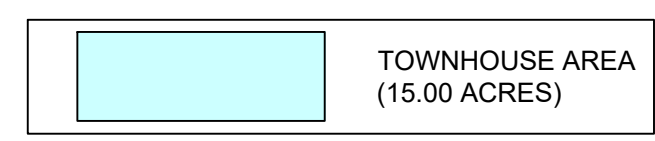
CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C11	10151.02'	67.90'	33.95'	0°23'00"	S51°28'46"W	67.90'
C12	20962.58'	151.52'	75.76'	0°24'51"	S50°55'27"W	151.51'
C13	9512.05'	393.48'	196.77'	2°22'13"	S50°31'07"W	393.46'
C14	8816.09'	301.66'	150.84'	1°57'38"	S45°11'08"W	301.64'
C15	2299367.06'	228.79'	114.39'	0°00'21"	S44°29'43"W	228.79'
C16	18151.18'	279.12'	139.56'	0°52'52"	S45°19'30"W	279.12'
C17	7283.93'	411.64'	205.88'	3°14'17"	S47°55'59"W	411.59'
C18	14402.54'	332.73'	166.37'	1°19'25"	S49°50'49"W	332.72'
C19	2123.53'	165.27'	82.67'	4°27'33"	S52°13'18"W	165.22'
C20	1515.57'	147.40'	73.76'	5°34'21"	S59°21'35"W	147.34'
C21	3285.30'	117.30'	58.66'	2°02'45"	S61°15'45"W	117.29'
C22	2666.61'	37.74'	18.87'	0°48'40"	S59°23'07"W	37.74'



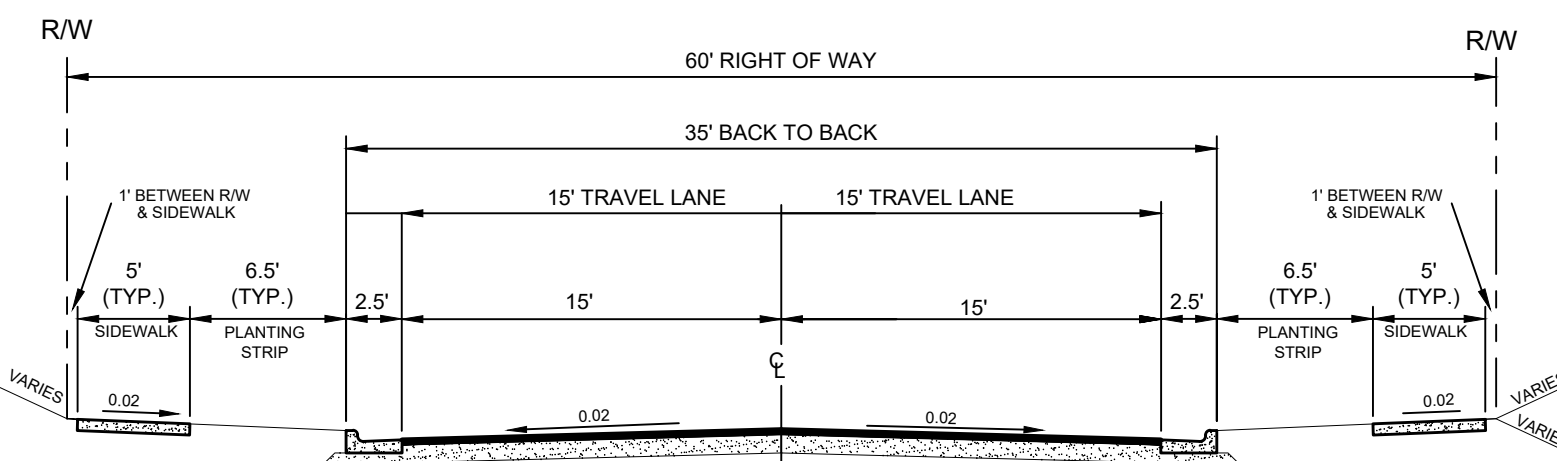




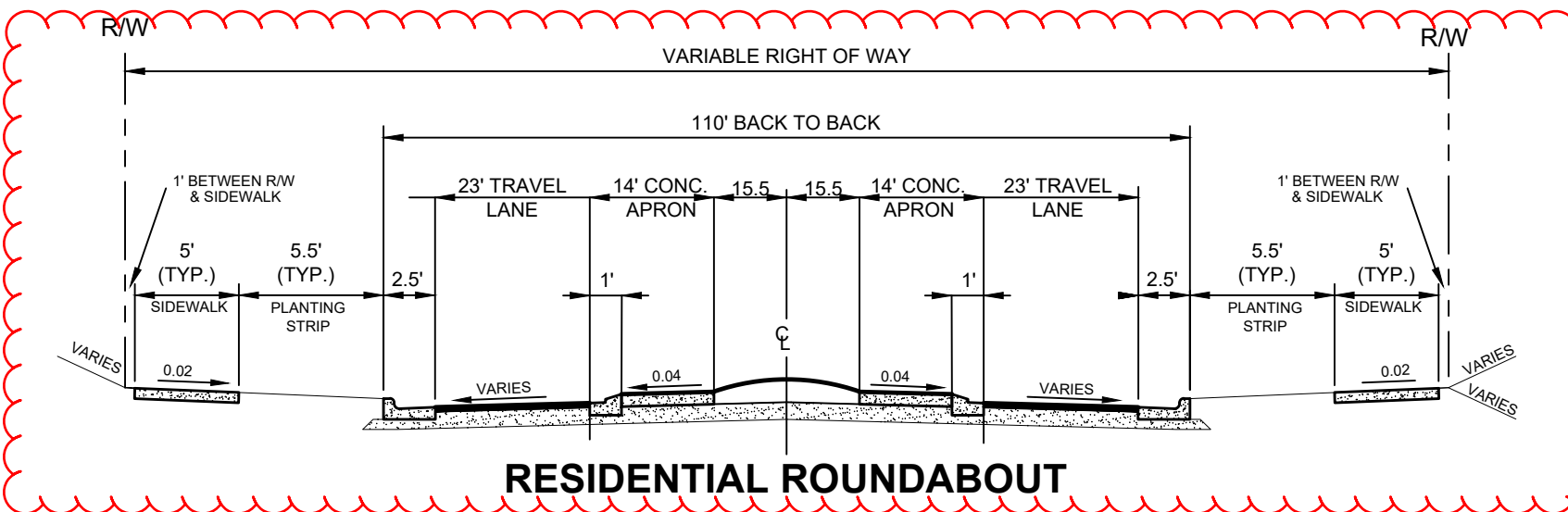
- ### SITE LAYOUT NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE AND NCDOT STANDARDS AND SPECIFICATIONS.
  - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  - AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) TO HAVE EXISTING UTILITIES LOCATED.
  - PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
  - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING(S).
  - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE. ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER TOWN OF ROLESVILLE OR NCDOT STANDARDS AND SPECIFICATIONS.
  - ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH TOWN OF ROLESVILLE. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
  - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
  - PRIVATE CLUB HOUSE AND POOL AREA REQUIRES SEPARATE SITE PLAN APPROVAL PROCESS THROUGH TOWN OF ROLESVILLE.
  - SUBDIVISION STREET NAMES PENDING WAKE COUNTY APPROVAL.
  - REFER TO SHEET C0.0 FOR SETBACK TABLE FOR SINGLE FAMILY AND TOWNHOMES.



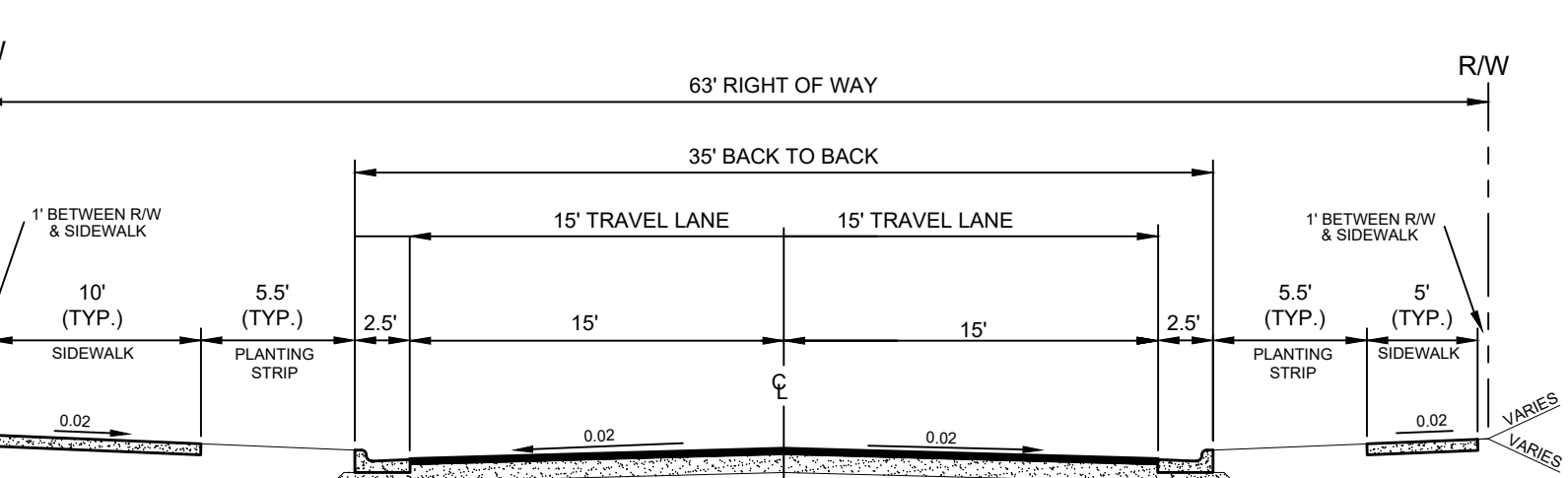
**LOCAL RESIDENTIAL STREET**  
(50' PUBLIC R/W)



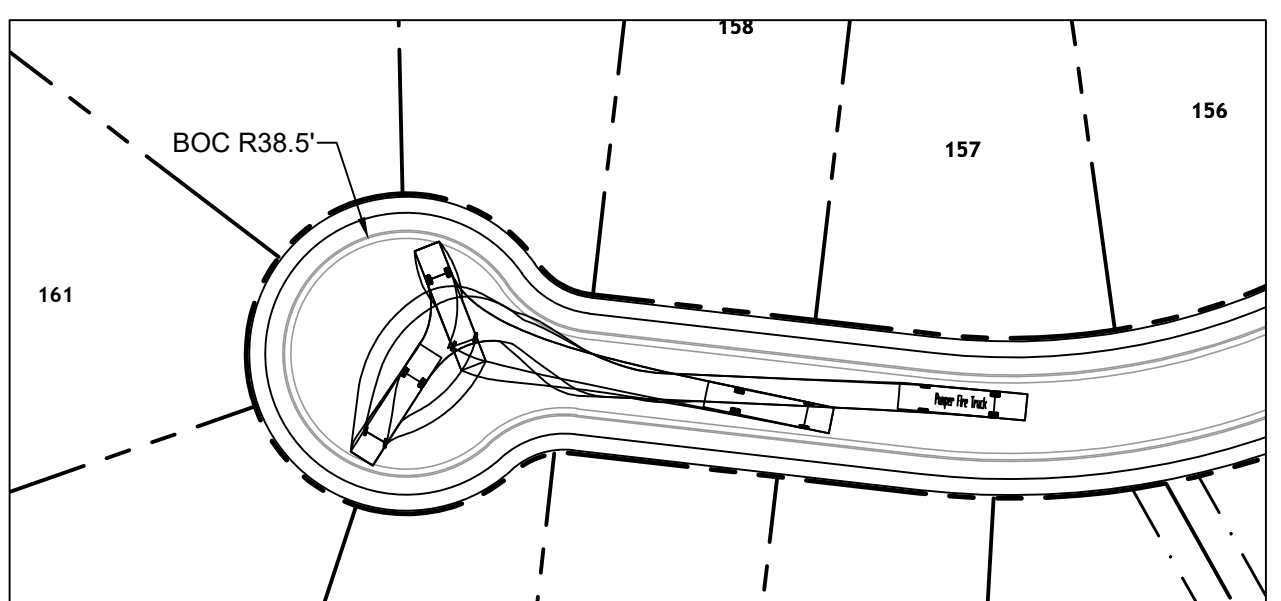
**RESIDENTIAL COLLECTOR**  
(60' PUBLIC R/W)



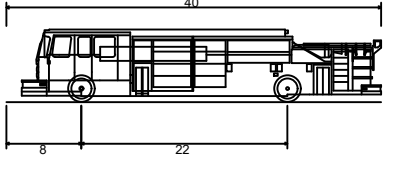
**RESIDENTIAL ROUNDABOUT**



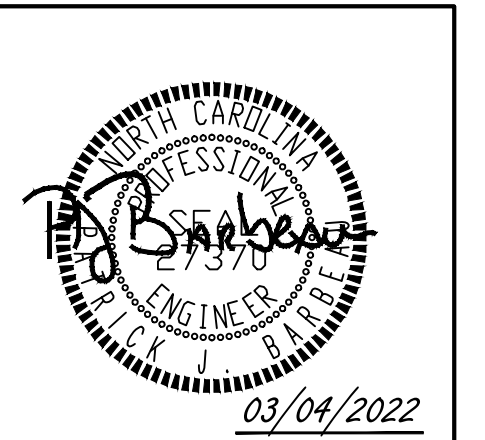
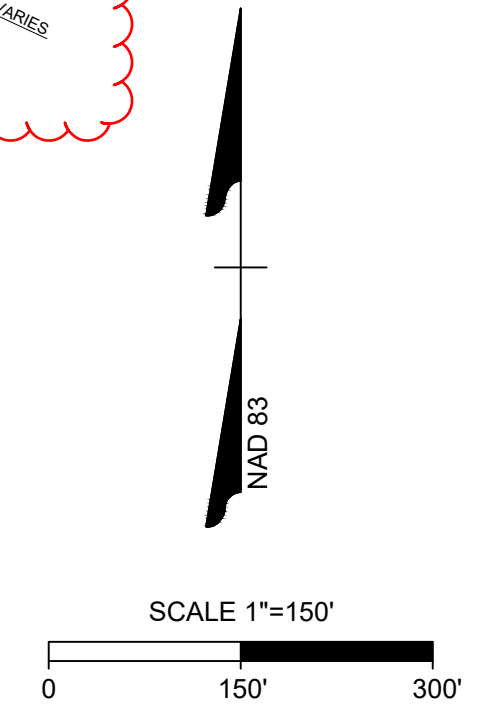
**RESIDENTIAL COLLECTOR WITH GREENWAY**  
(63' PUBLIC R/W)



**FIRE APPARATUS ACCESS INSET**  
SCALE: 1" = 60'



Pumper Fire Truck  
Overall Length: 40.00ft  
Overall Width: 8.167ft  
Overall Body Height: 7.745ft  
Min. Body Ground Clearance: 0.656ft  
Track Width: 8.167ft  
Lock-to-lock time: 5.90s  
Max Wheel Angle: 45.00°



THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102, Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION	DATE
REVISIONS PER TRC COMMENTS	07/08/21
CONSTRUCTION DOCUMENT SUBMITTAL	09/17/21
CONSTRUCTION DOCUMENT SUBMITTAL	12/22/21
PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 09/17/2021  
DRAWN BY: R. WINGATE  
DESIGNED BY: P. BARBEAU  
CHECKED BY: P. BARBEAU  
SCALE: AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

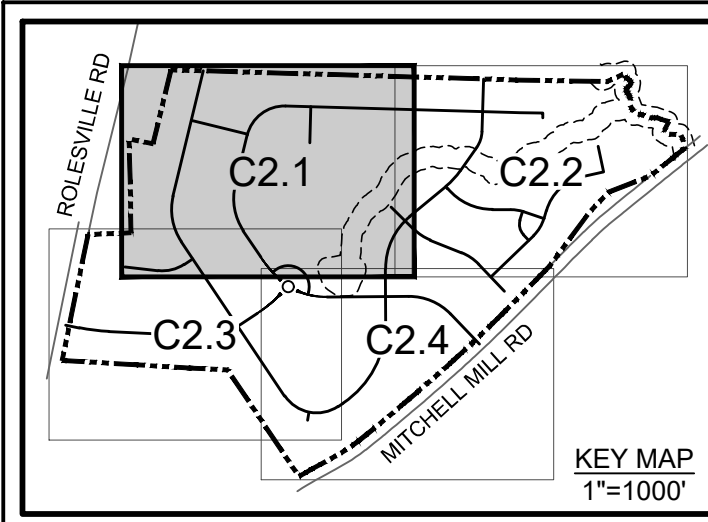
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### OVERALL SITE PLAN

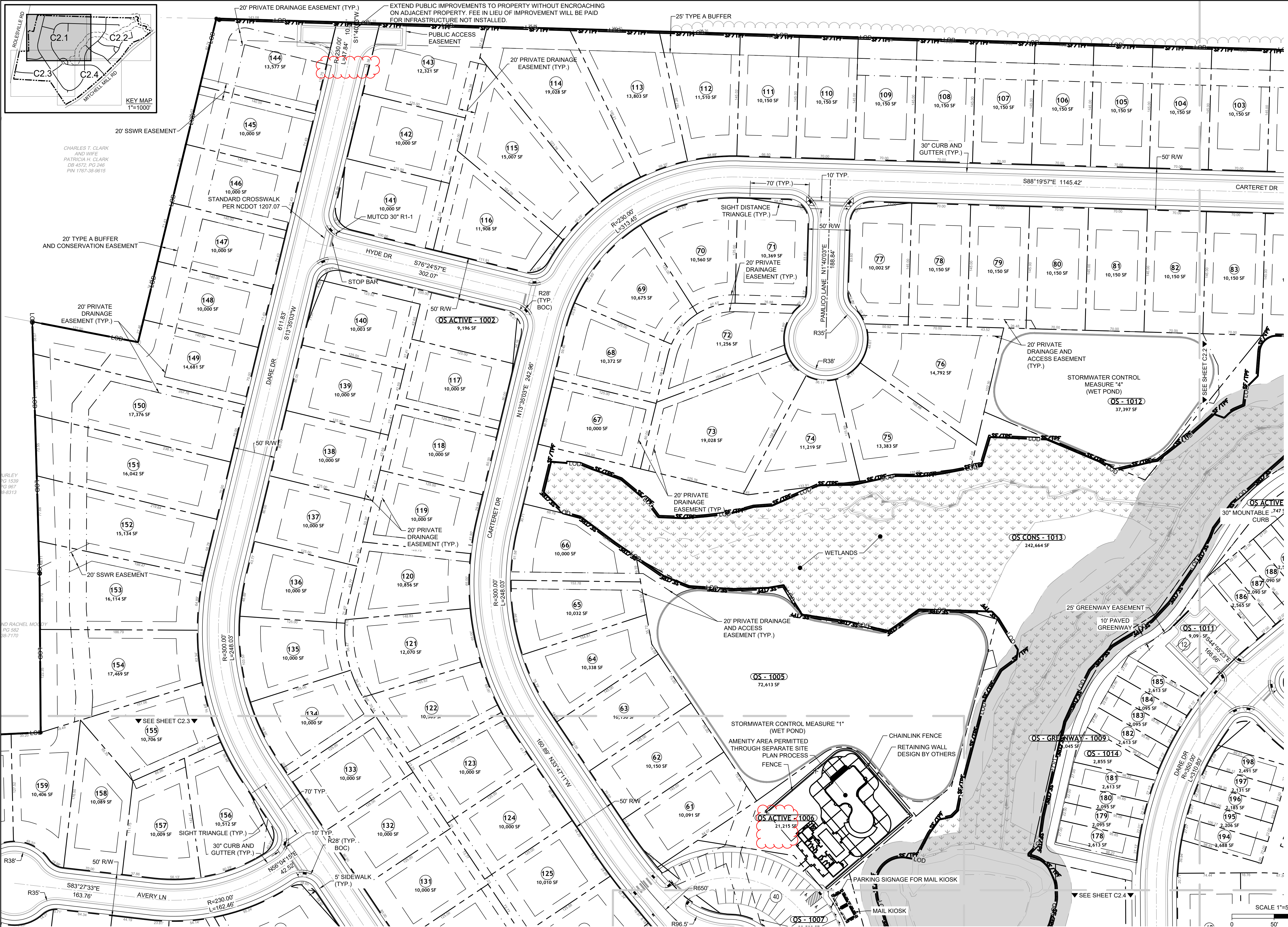
JOB NO. 43398  
SHEET NO. C2.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, NCDOT AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS





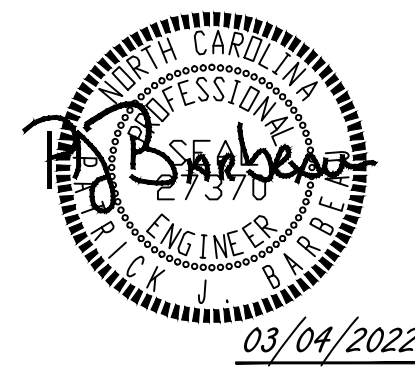
CHARLES T. CLARK  
AND WIFE  
PATRICIA H. CLARK  
DB 4572, PG 246  
PIN 1767-38-9615



URLLEY  
PG 1539  
PG 967  
S-6313

AND RACHEL MONROE  
PG 582  
PG 7170

S:\3324\3398-Wheeler\_Timed\DWG\Sheet\CD\43398-C2.1-SITE ENLARGEMENTS.dwg | Printed on 3/4/2022 12:31 PM | by Robert Wingate



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YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
07/08/21	REVISIONS PER TRC COMMENTS
09/17/21	CONSTRUCTION DOCUMENT SUBMITTAL
12/22/21	CONSTRUCTION DOCUMENT SUBMITTAL
03/04/2022	PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL

DATE: 09/17/2021  
DRAWN BY: R. WINGATE  
DESIGNED BY: P. BARBEAU  
CHECKED BY: P. BARBEAU  
SCALE: AS SHOWN

# TIMMONS GROUP

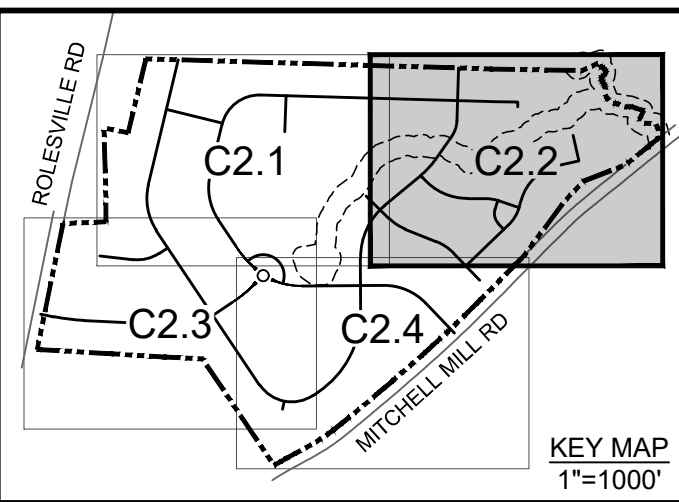
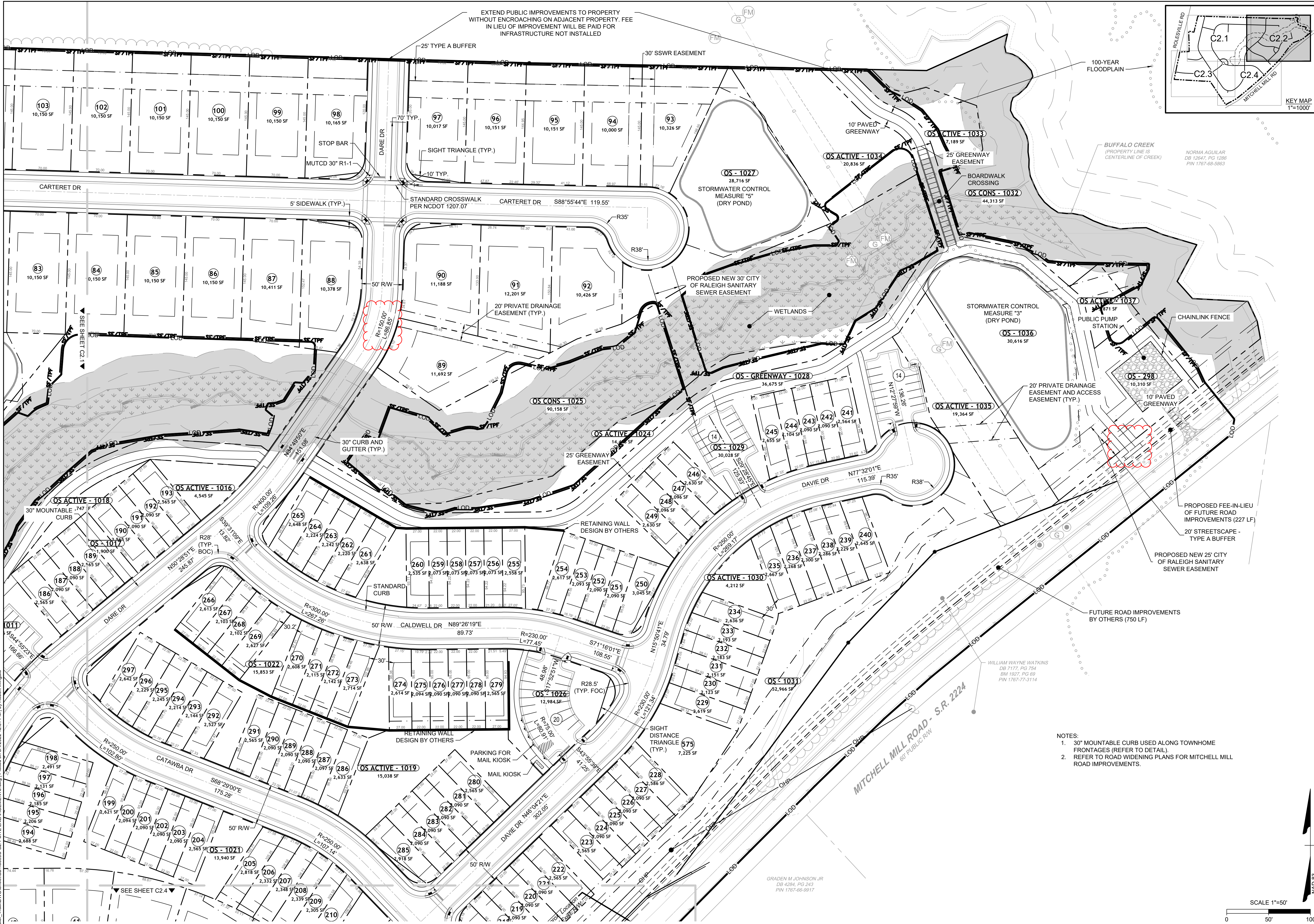
NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
SITE PLAN

JOB NO. 43398  
SHEET NO. C2.1

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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03/04/2022

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 TEL 919-866-9511, FAX 919-833-8124, www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022
CONSTRUCTION DOCUMENT SUBMITTAL	12/22/21
REVISIONS PER TRC COMMENTS	09/17/21
DATE	09/17/2021

DRAWN BY  
**R. WINGATE**

DESIGNED BY  
**P. BARBEAU**

CHECKED BY  
**P. BARBEAU**

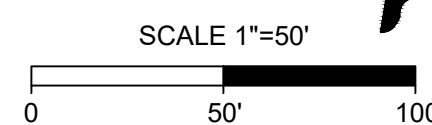
SCALE  
**AS SHOWN**

# TIMMONS GROUP

**ROLESVILLE CROSSING**  
 NORTH CAROLINA LICENSE NO. C-1652  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

**SITE PLAN**

- NOTES:
- 30' MOUNTABLE CURB USED ALONG TOWNHOME FRONTAGES (REFER TO DETAIL).
  - REFER TO ROAD WIDENING PLANS FOR MITCHELL MILL ROAD IMPROVEMENTS.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

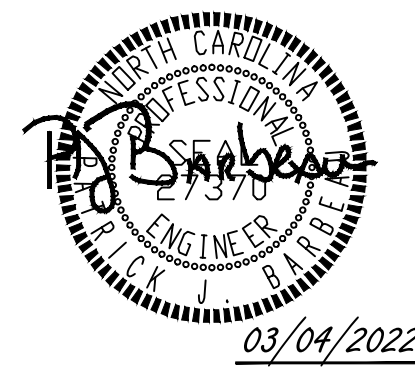
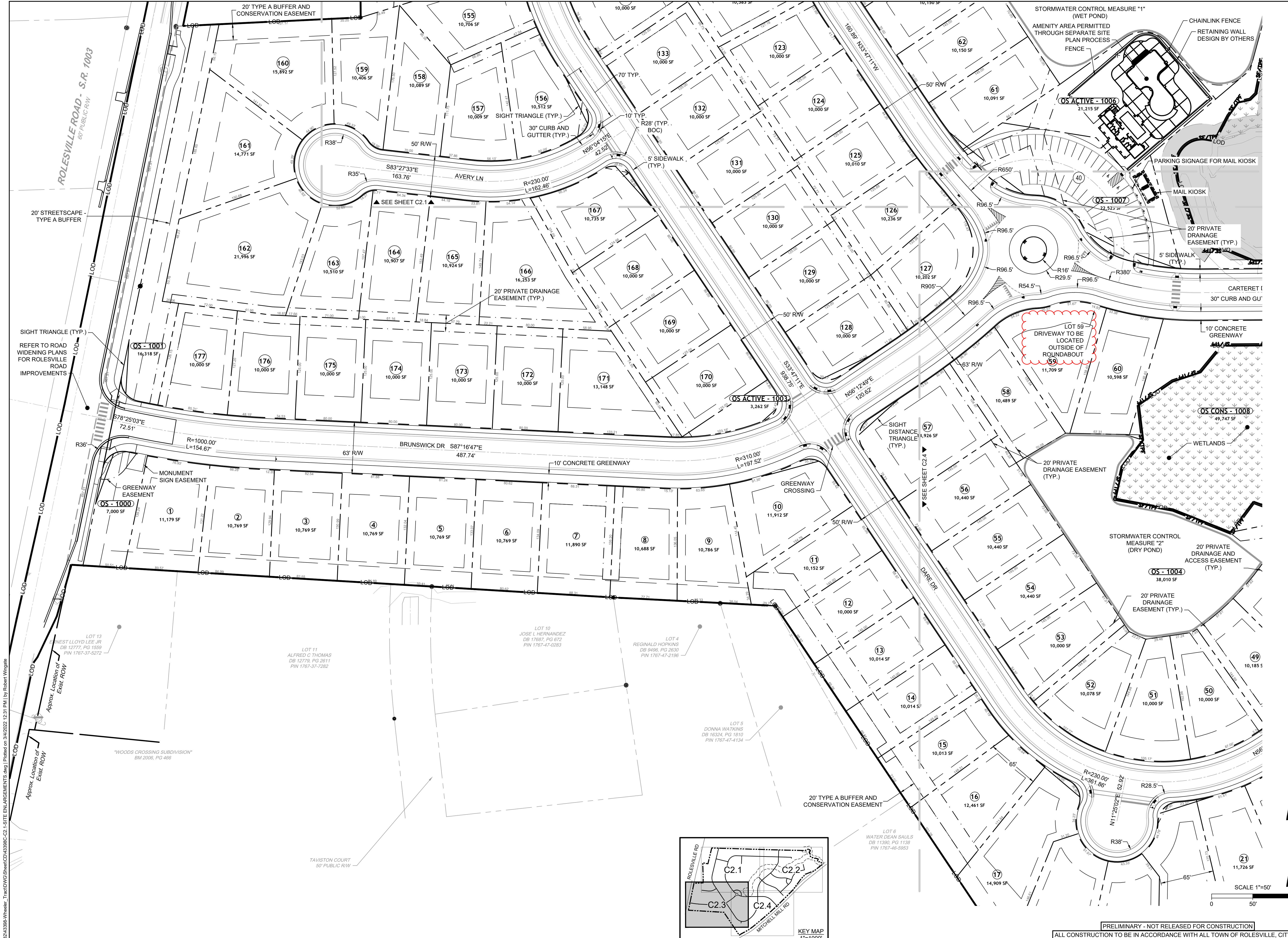
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

JOB NO.  
**43398**

SHEET NO.  
**C2.2**

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REVISION DESCRIPTION  
 REVISIONS PER TRC COMMENTS  
 CONSTRUCTION DOCUMENT SUBMITTAL  
 CONSTRUCTION DOCUMENT SUBMITTAL  
 PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL

DATE  
 09/17/2021

DRAWN BY  
**R. WINGATE**

DESIGNED BY  
**P. BARBEAU**

CHECKED BY  
**P. BARBEAU**

SCALE  
**AS SHOWN**

JOB NO.  
**43398**

SHEET NO.  
**C2.3**

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ROLESVILLE CROSSING  
 NORTH CAROLINA LICENSE NO. C-1652  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

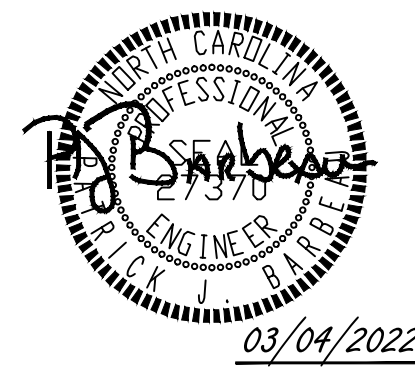
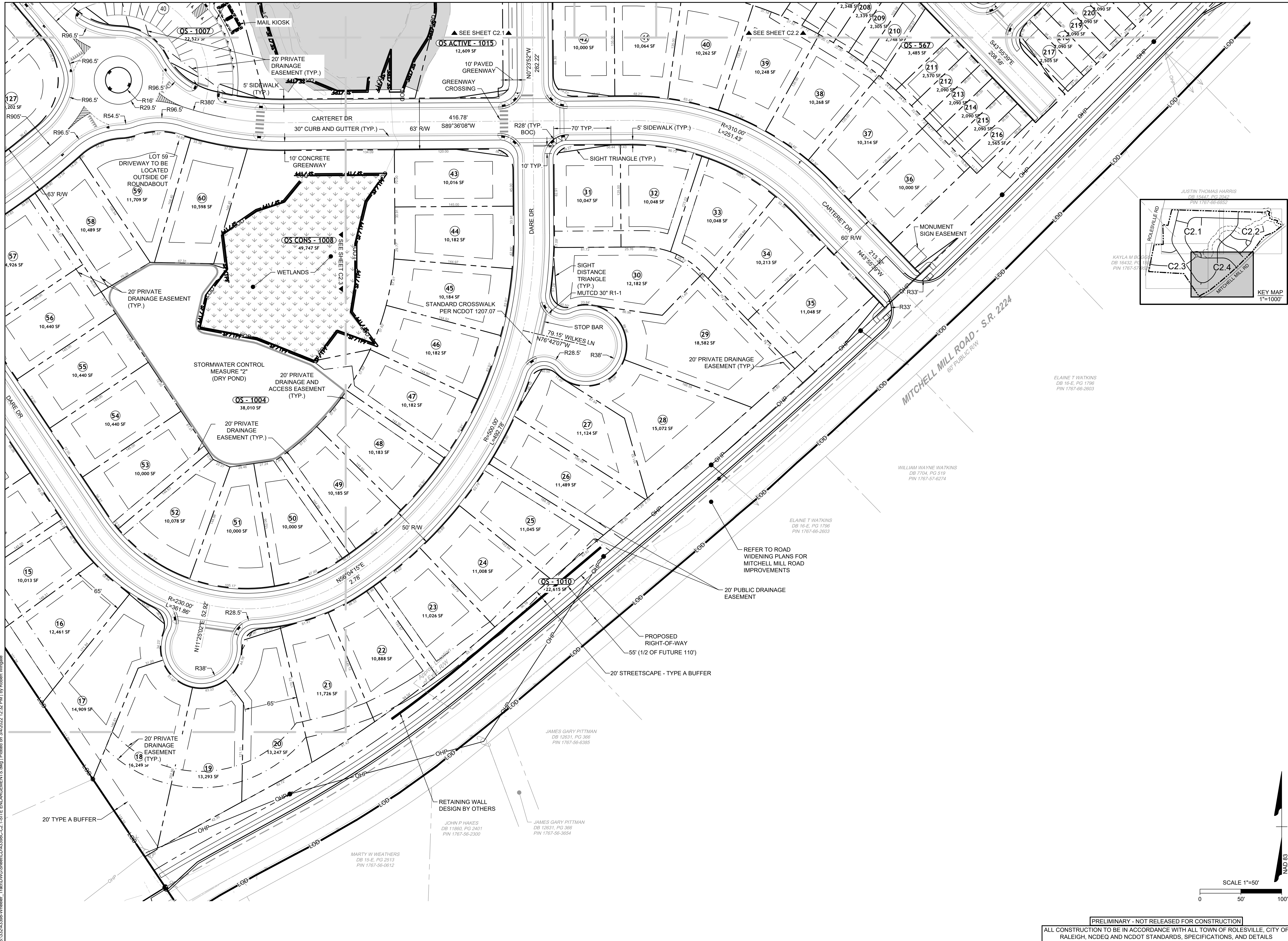
**TIMMONS GROUP**

**ROLESVILLE CROSSING**

**SITE PLAN**

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DATE  
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DRAWN BY  
 R. WINGATE

DESIGNED BY  
 P. BARBEAU

CHECKED BY  
 P. BARBEAU

SCALE  
 AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### SITE PLAN

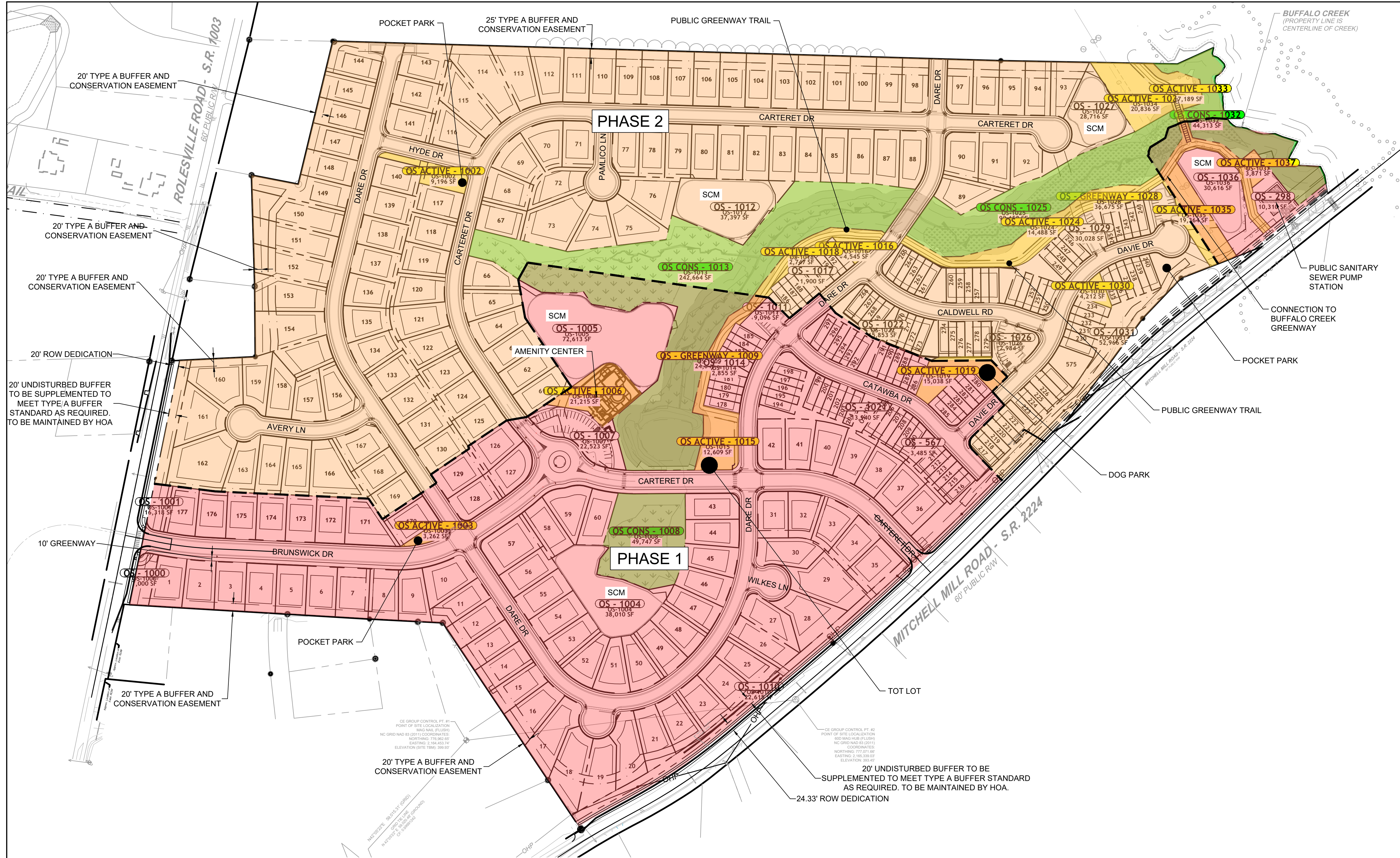
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**43398**

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**C2.4**

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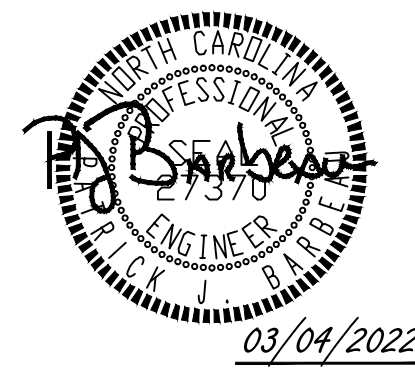
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PHASE LEGEND	
HATCH	DESCRIPTION
	PHASE 1
	PHASE 2

LOT DATA TABLE		
PHASE	1	2
NUMBER OF LOT(S)	1	297
LOT NUMBER(S) BY PHASE	1-60, 126-129, 170-185, 194-216, 280-297	61-125, 130-169, 186-193, 217-279
NUMBER OF SINGLE FAMILY UNITS	72	105
NUMBER OF TOWNHOME UNITS	49	71



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PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

DATE  
 09/17/2021

DRAWN BY  
 R. WINGATE

DESIGNED BY  
 P. BARBEAU

CHECKED BY  
 P. BARBEAU

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# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### PHASING PLAN

JOB NO.  
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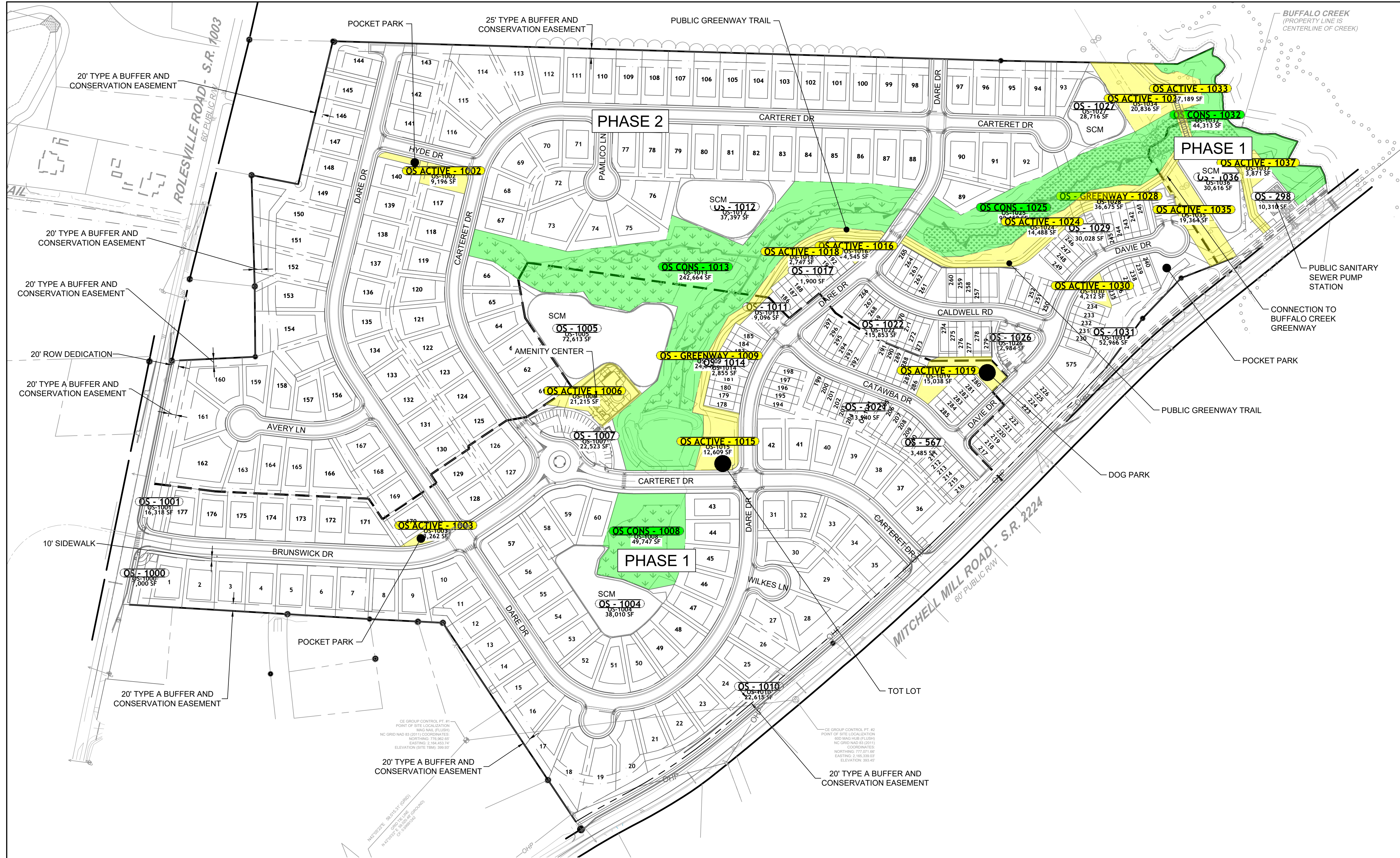
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**OPEN SPACE PARCEL TABLE**

Lot	Total Area (Acres)
OS - GREENWAY : 1009	0.55
OS - GREENWAY : 1028	0.84
OS ACTIVE : 1002	0.21
OS ACTIVE : 1003	0.07
OS ACTIVE : 1006	0.49
OS ACTIVE : 1015	0.29
OS ACTIVE : 1016	0.10
OS ACTIVE : 1018	0.06
OS ACTIVE : 1019	0.35
OS ACTIVE : 1024	0.33
OS ACTIVE : 1030	0.10
OS ACTIVE : 1033	0.17
OS ACTIVE : 1034	0.48
OS ACTIVE : 1035	0.44
OS ACTIVE : 1037	0.09

**OPEN SPACE PARCEL TABLE**

Lot	Total Area (Acres)
OS CONS : 1008	1.14
OS CONS : 1013	5.57
OS CONS : 1025	2.07
OS CONS : 1032	1.02
TOTAL CONSERVATION OPEN SPACE	9.82 AC

**OPEN SPACE PARCEL TABLE**

Lot	Total Area (Acres)
OS : 1000	0.16
OS : 1001	0.37
OS : 1004	0.87
OS : 1005	1.67
OS : 1007	0.52
OS : 1010	0.52
OS : 1011	0.21
OS : 1012	0.86
OS : 1014	0.07
OS : 1017	0.04
OS : 1021	0.32
OS : 1022	0.36
OS : 1026	0.30
OS : 1027	0.66
OS : 1029	0.69
OS : 1031	1.22
OS : 1036	0.70

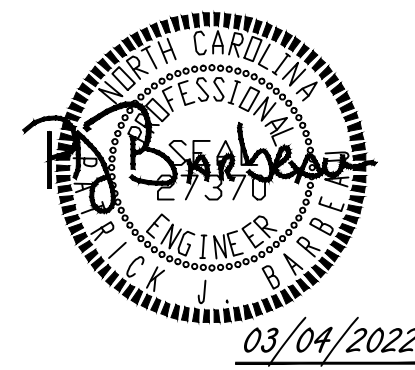
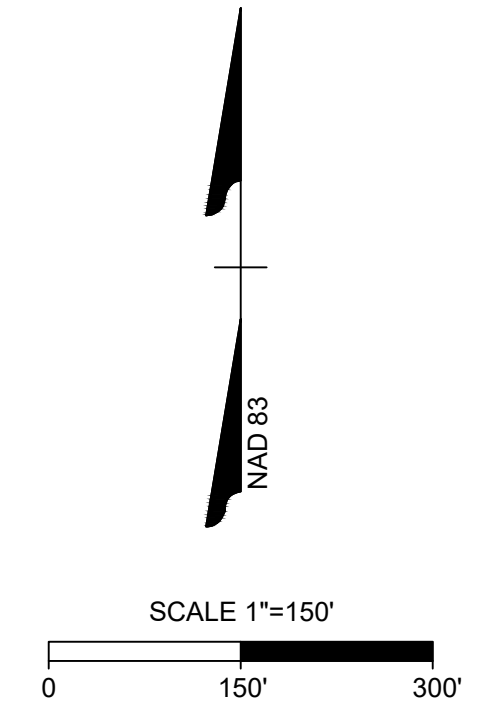
**OPEN SPACE CALCULATIONS**

PHASE	AREA (AC)	REQUIRED 10% GROSS AREA	PROVIDED
		TOTAL (ACTIVE) (AC)	TOTAL (ACTIVE) (AC)
PHASE 1	41.06	4.11 (2.06)	5.76 (2.06)
PHASE 2	50.61	5.06 (2.53)	8.97 (2.68)
TOTAL	91.67		14.73 (4.74)

**OPEN SPACE LEGEND**

HATCH	DESCRIPTION
	ACTIVE OPEN SPACE
	CONS. OPEN SPACE

NOTES:  
1. REFER TO DETAIL SHEETS FOR REPRESENTATIVE OPEN SPACE IMPROVEMENTS



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DESIGNED BY  
**P. BARBEAU**

CHECKED BY  
**P. BARBEAU**

SCALE  
**AS SHOWN**

DRAWN BY  
**R. WINGATE**

DATE  
**09/17/2021**

DATE  
**03/04/2022**

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DATE  
**09/17/2021**

JOB NO.  
**43398**

SHEET NO.  
**C2.6**

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

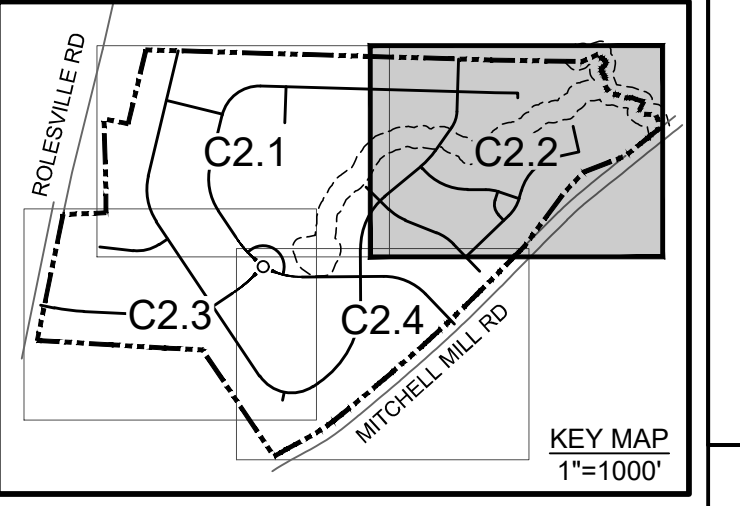
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### OPEN SPACE PLAN

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PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

DATE  
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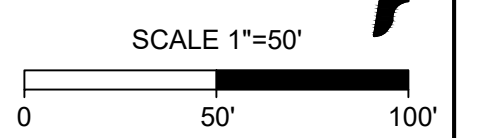
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**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**PAVEMENT MARKING & SIGNAGE PLAN**

**SIGNAGE & PAVEMENT MARKING KEYNOTES**

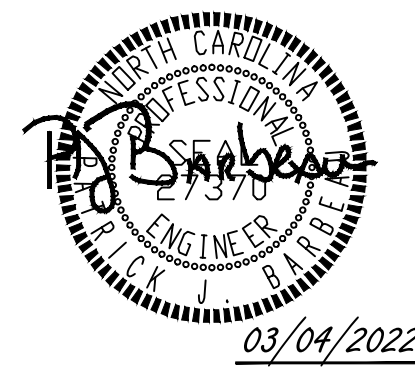
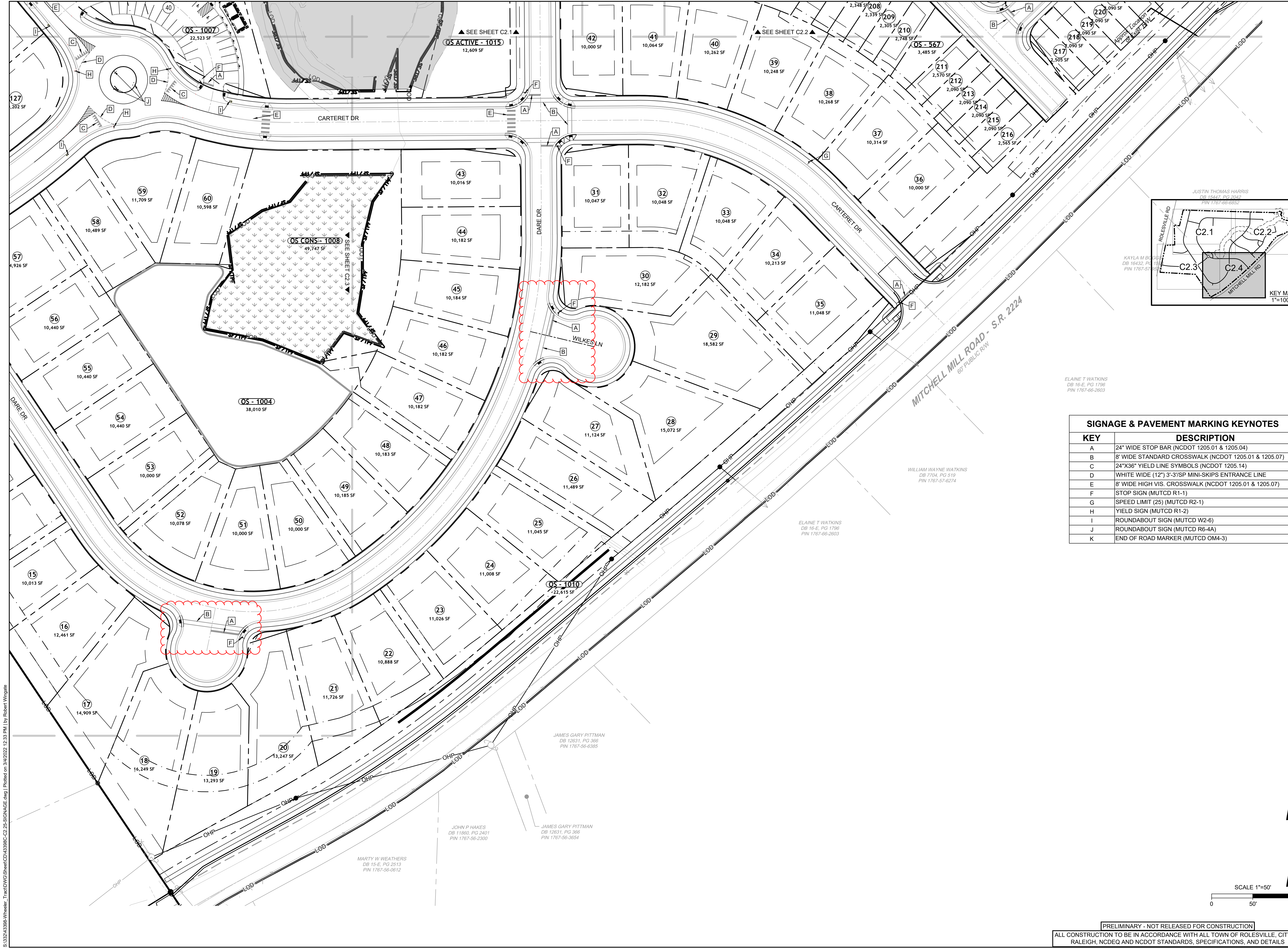
KEY	DESCRIPTION
A	24" WIDE STOP BAR (NCDOT 1205.01 & 1205.04)
B	8" WIDE STANDARD CROSSWALK (NCDOT 1205.01 & 1205.07)
C	24"x36" YIELD LINE SYMBOLS (NCDOT 1205.14)
D	WHITE WIDE (12") 3'-3"/SP MINI-SKIPS ENTRANCE LINE
E	8" WIDE HIGH VIS. CROSSWALK (NCDOT 1205.01 & 1205.07)
F	STOP SIGN (MUTCD R1-1)
G	SPEED LIMIT (25) (MUTCD R2-1)
H	YIELD SIGN (MUTCD R1-2)
I	ROUNDBOUT SIGN (MUTCD W2-6)
J	ROUNDBOUT SIGN (MUTCD R6-4A)
K	END OF ROAD MARKER (MUTCD OM4-3)



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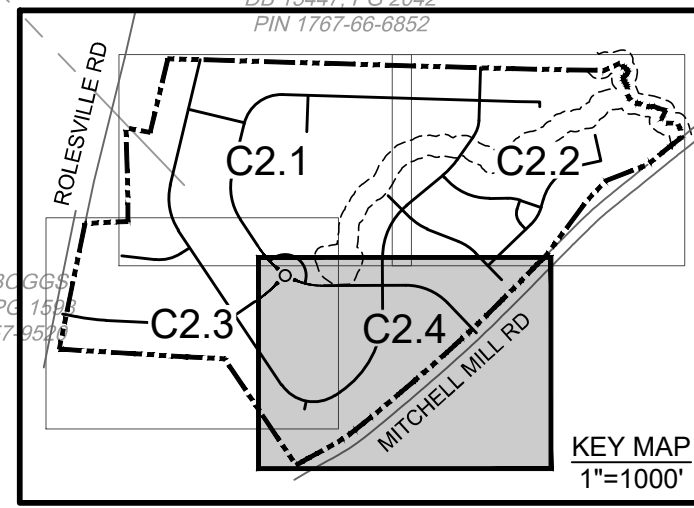
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 DRAWN BY R. WINGATE  
 DESIGNED BY P. BARBEAU  
 CHECKED BY P. BARBEAU  
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# TIMMONS GROUP

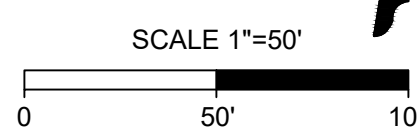
NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING ROLESVILLE - WAKE COUNTY - NORTH CAROLINA PAVEMENT MARKING & SIGNAGE PLAN

JOB NO. 43398  
 SHEET NO. C.27



SIGNAGE & PAVEMENT MARKING KEYNOTES	
KEY	DESCRIPTION
A	24" WIDE STOP BAR (NCDOT 1205.01 & 1205.04)
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J	ROUNDABOUT SIGN (MUTCD R6-4A)
K	END OF ROAD MARKER (MUTCD OM4-3)

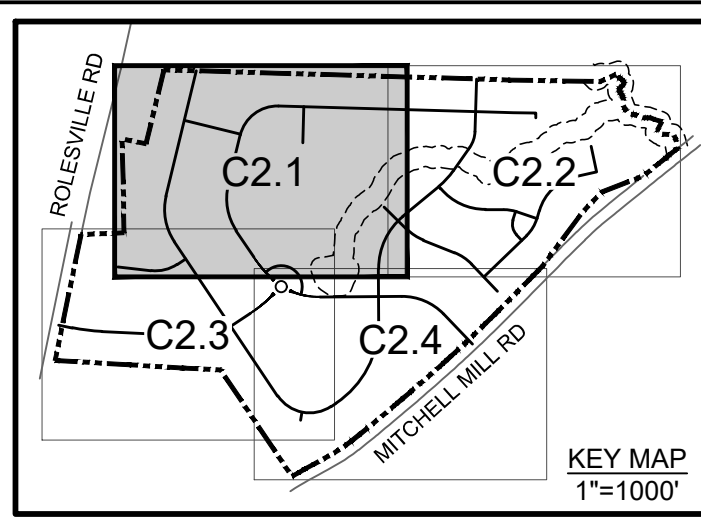


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AND WIFE  
PATRICIA H. CLARK  
DB-4572, PG 246  
PIN 1767-38-9615

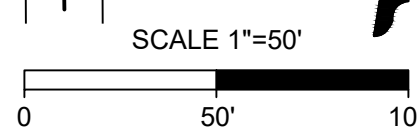
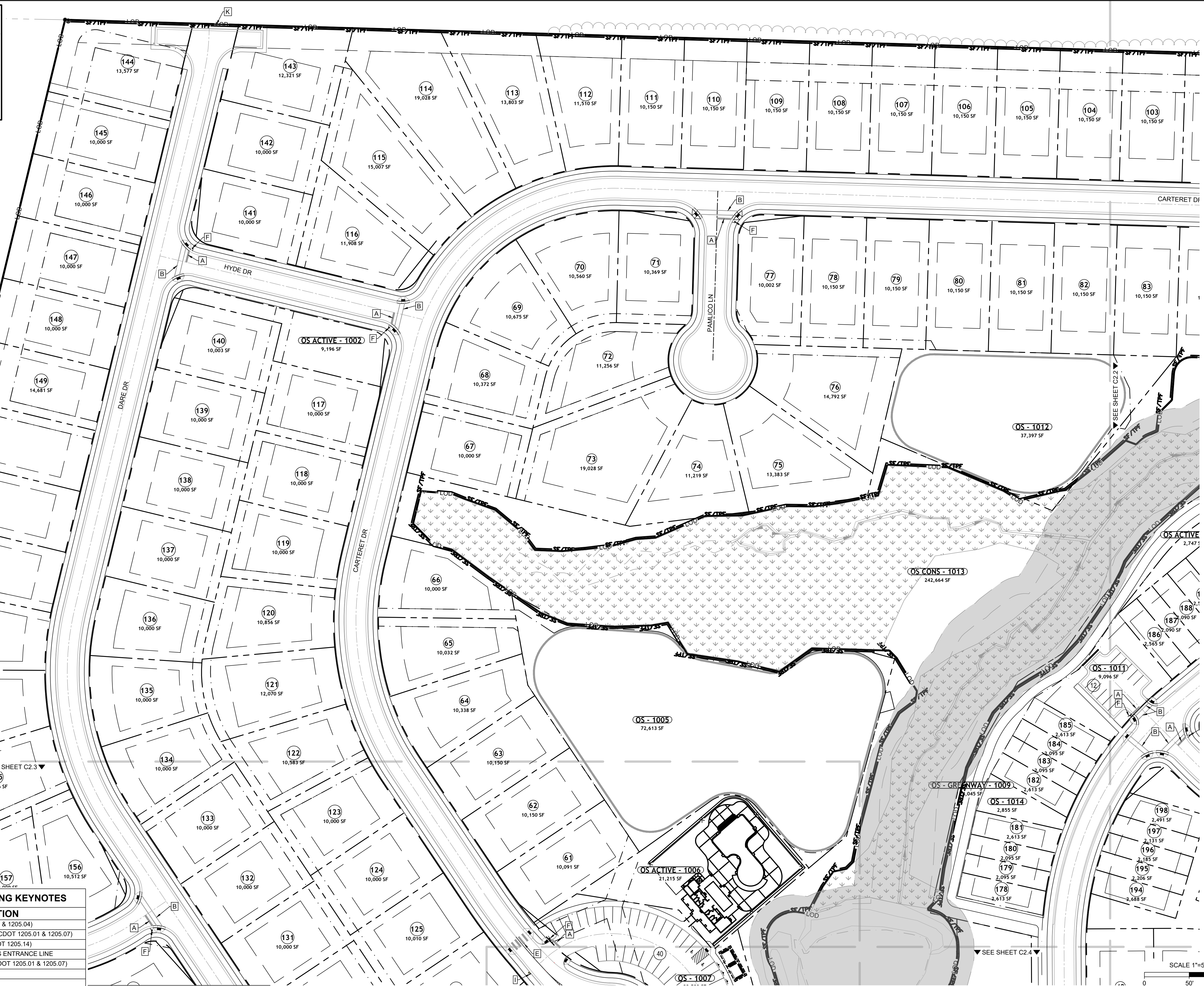
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AND RACHEL MONROE  
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J	ROUNDABOUT SIGN (MUTCD R6-4A)
K	END OF ROAD MARKER (MUTCD OM4-3)



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DATE: 09/17/2021  
DRAWN BY: R. WINGATE  
DESIGNED BY: P. BARBEAU  
CHECKED BY: P. BARBEAU  
SCALE: AS SHOWN

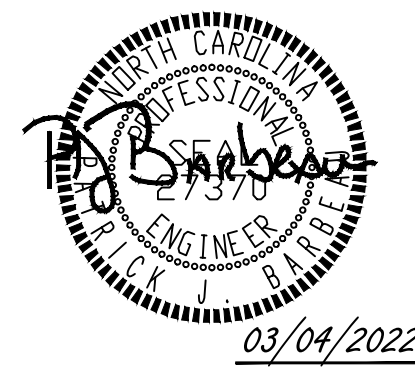
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NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**PAVEMENT MARKING & SIGNAGE PLAN**

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DESIGNED BY  
 P. BARBEAU

CHECKED BY  
 P. BARBEAU

SCALE  
 AS SHOWN

NORTH CAROLINA LICENSE NO. C-1652

ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

PAVEMENT MARKING & SIGNAGE PLAN

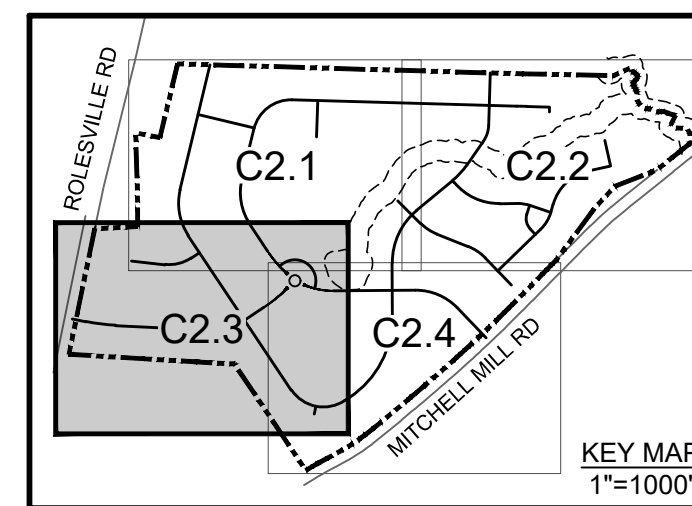
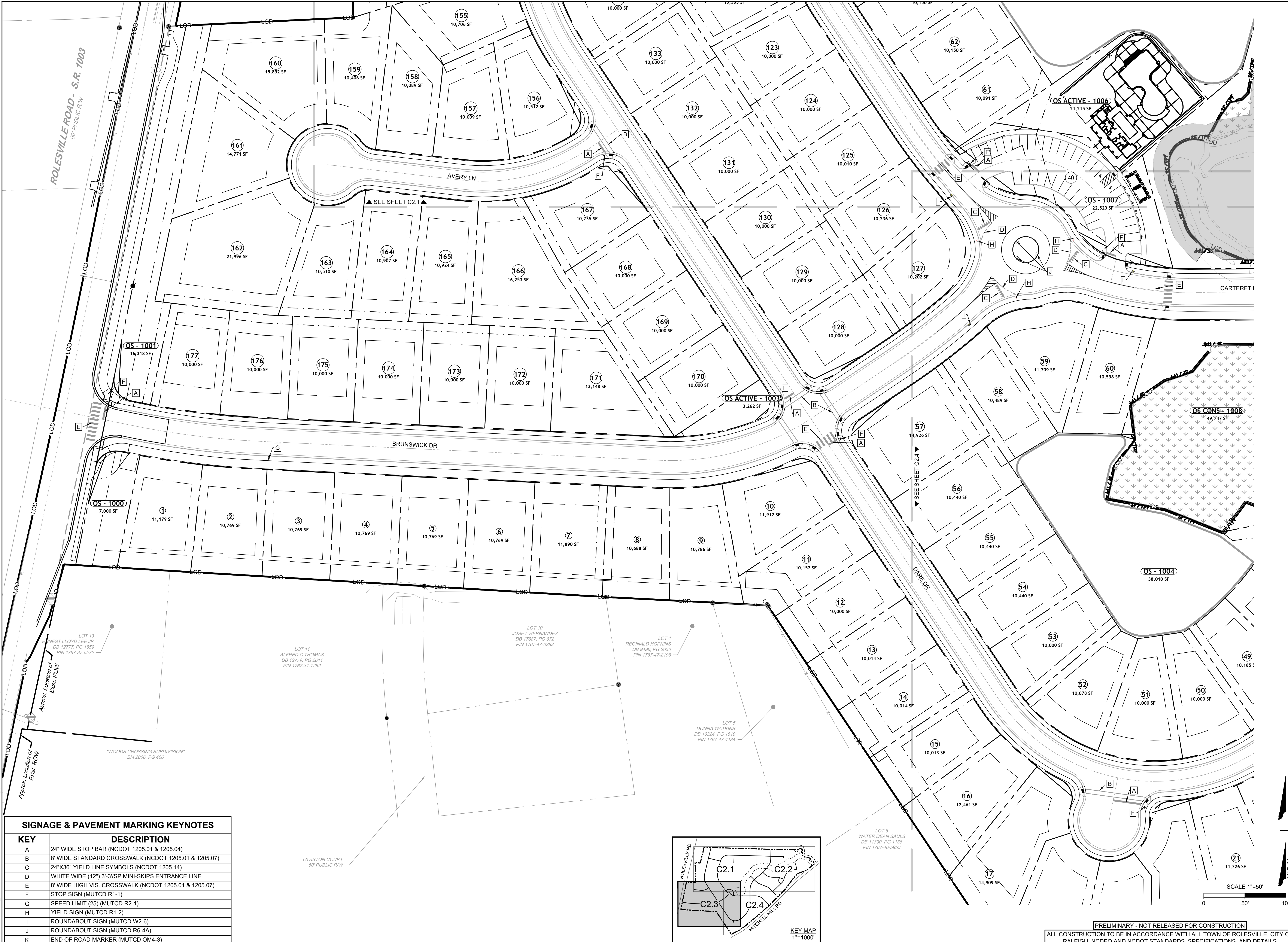
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SHEET NO.  
 C.29

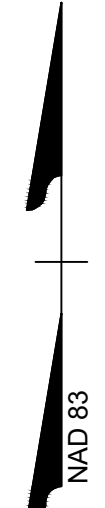
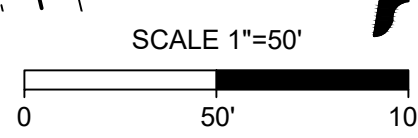
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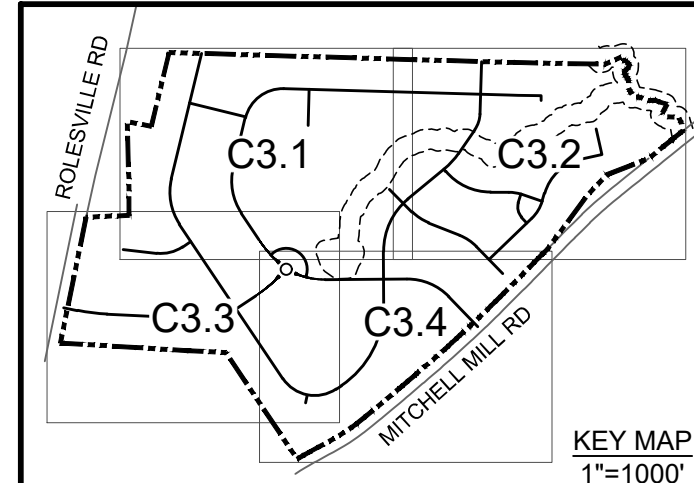


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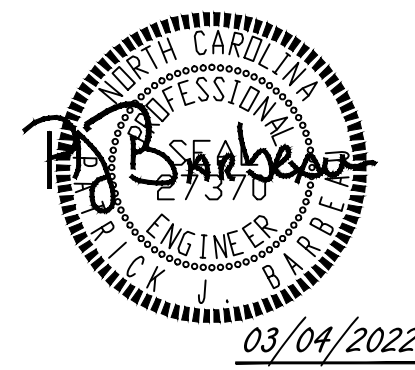
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**GRADING AND STORM DRAINAGE NOTES**

- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811) AT LEAST 3-12 BUSINESS DAYS PRIOR TO DIGGING TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CATCH BASINS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- A LAND DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISHED GRADE.
- ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
- ALL SPOT ELEVATIONS INDICATED ARE AT TOP OF CURB UNLESS NOTED OTHERWISE. ALL ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.
- A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO ANY WORK, GRADING OR INSTALLATION OF EROSION CONTROL MEASURES.
- ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 (2.0%) SLOPE IN ALL DIRECTIONS. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 (5.0%) SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 (2.0%) SLOPE FOR THE WIDTH OF THE SIDEWALK.
- CONTRACTOR TO IDENTIFY ALL NECESSARY SPILL CURB SECTION LOCATIONS AND INSTALL TO ENSURE POSITIVE DRAINAGE TO STORM STRUCTURES.
- IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
- SPOT ELEVATIONS ARE GIVEN AT THE MAJORITY OF THE MAJOR BREAK POINTS BUT IT SHOULD NOT BE ASSUMED THAT ALL NECESSARY SPOT ELEVATIONS ARE SHOWN. DUE TO SPACE LIMITATIONS, THERE MAY BE OTHER CRITICAL SPOTS NOT LABELED THAT SHOULD BE TAKEN INTO CONSIDERATION. THE CONTRACTOR SHALL REVIEW THE GRADING PLAN IN DETAIL AND SHALL ENSURE THAT ALL CRITICAL GRADE POINTS ARE STAKED AND FOLLOWED TO PROVIDE POSITIVE DRAINAGE.
- EXISTING VEGETATION WITHIN TREE PROTECTIVE AREAS SHALL REMAIN UNDISTURBED UNLESS NOTED OTHERWISE. ANY AND ALL LANDSCAPING AND EXISTING TREES AND SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR USING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR OR THE ENGINEER.
- THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
- ALL CATCH BASINS MUST BE MARKED "DUMP NO WASTE DRAINS TO STREAM OR EQUIVALENT".
- RETAINING WALLS TO BE DESIGNED BY OTHERS' STRUCTURAL ENGINEER.



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07/08/21	REVISIONS PER TRC COMMENTS
09/17/21	CONSTRUCTION DOCUMENT SUBMITTAL
12/22/21	CONSTRUCTION DOCUMENT SUBMITTAL
03/04/2022	PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

DATE  
 09/17/2021

DRAWN BY  
 R. WINGATE

DESIGNED BY  
 P. BARBEAU

CHECKED BY  
 P. BARBEAU

SCALE  
 AS SHOWN

**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

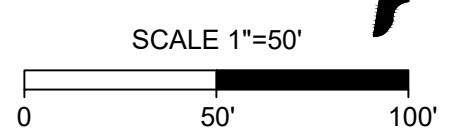
**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

**OVERALL GRADING AND DRAINAGE PLAN**

JOB NO.  
 43398

SHEET NO.  
 C3.0

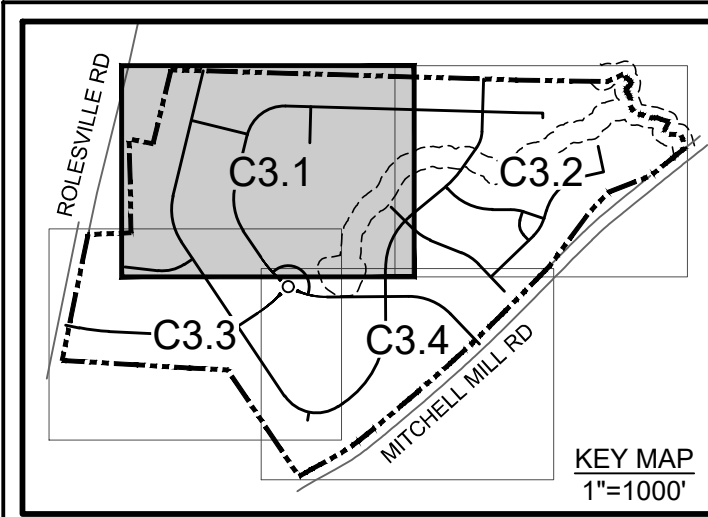
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CHARLES T. CLARK  
AND WIFE  
PATRICIA H. CLARK  
DB-4572, PG 246  
PIN 1767-38-9615

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

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EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

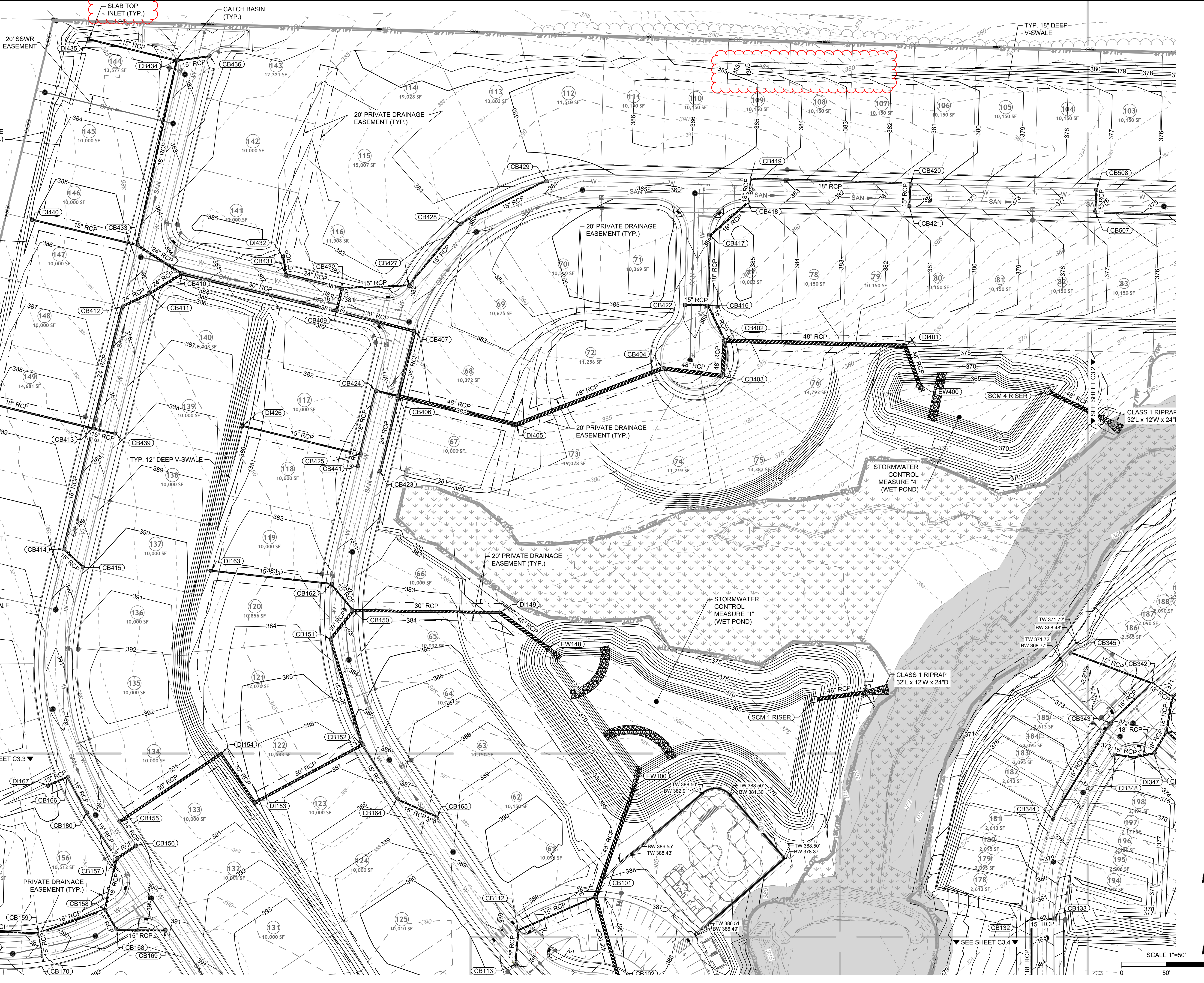
20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)

20' PRIVATE DRAINAGE  
EASEMENT (TYP.)



03/04/2022

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DATE  
09/17/2021

DRAWN BY  
R. WINGATE

DESIGNED BY  
P. BARBEAU

CHECKED BY  
P. BARBEAU

SCALE  
AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### GRADING AND DRAINAGE PLAN

JOB NO.  
43398

SHEET NO.  
C3.1

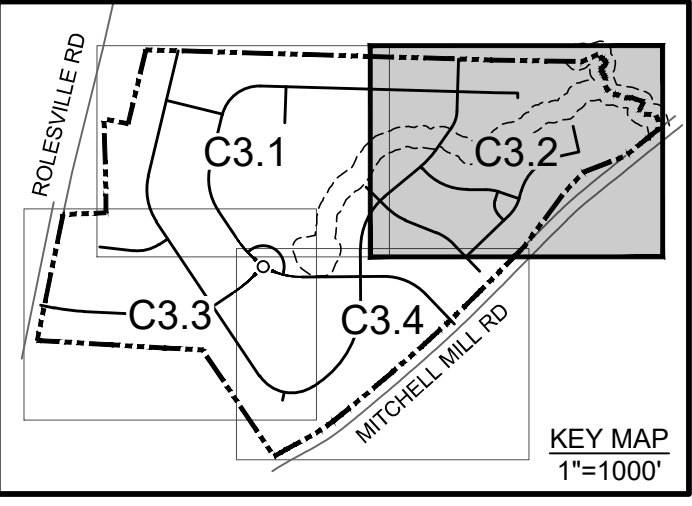
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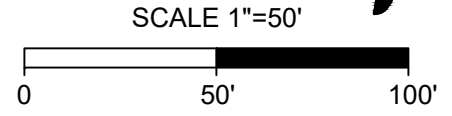
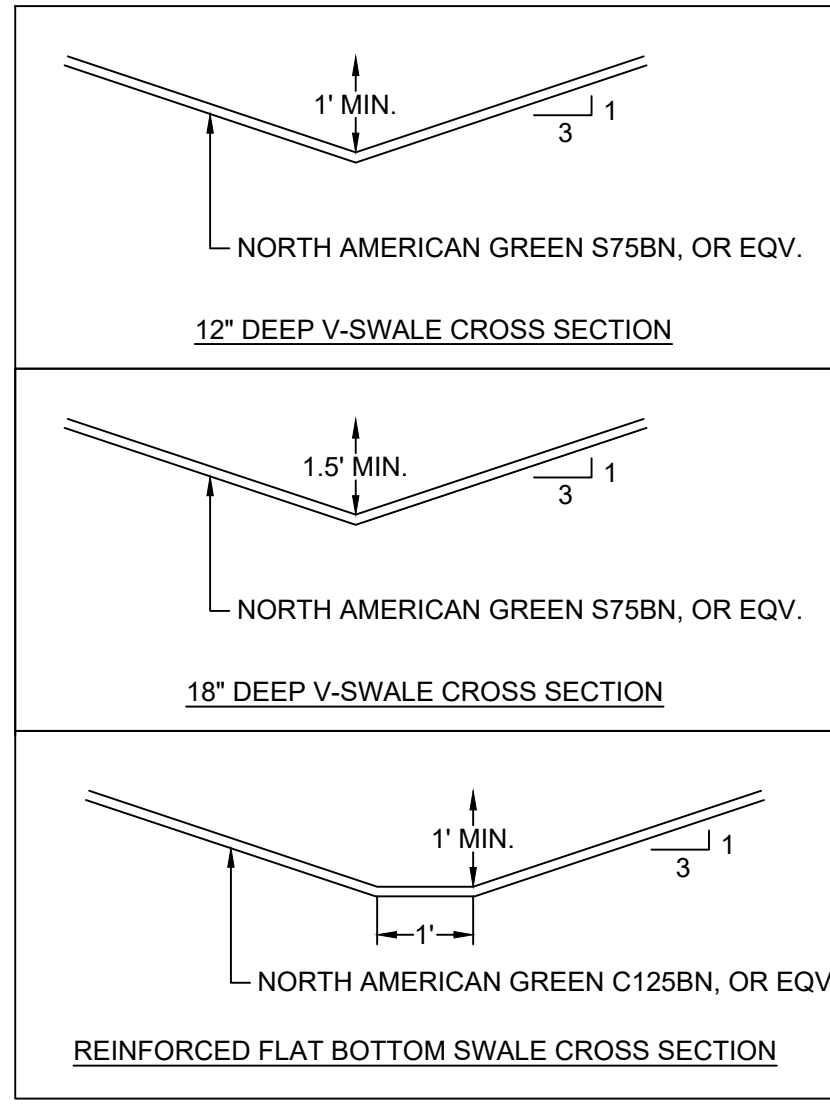
## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### GRADING AND DRAINAGE PLAN

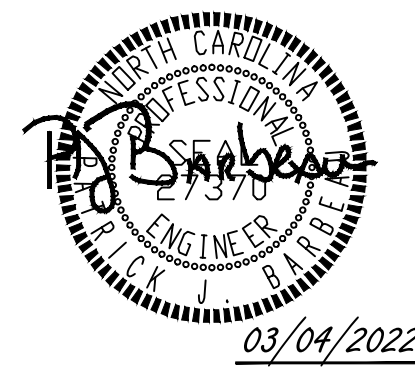
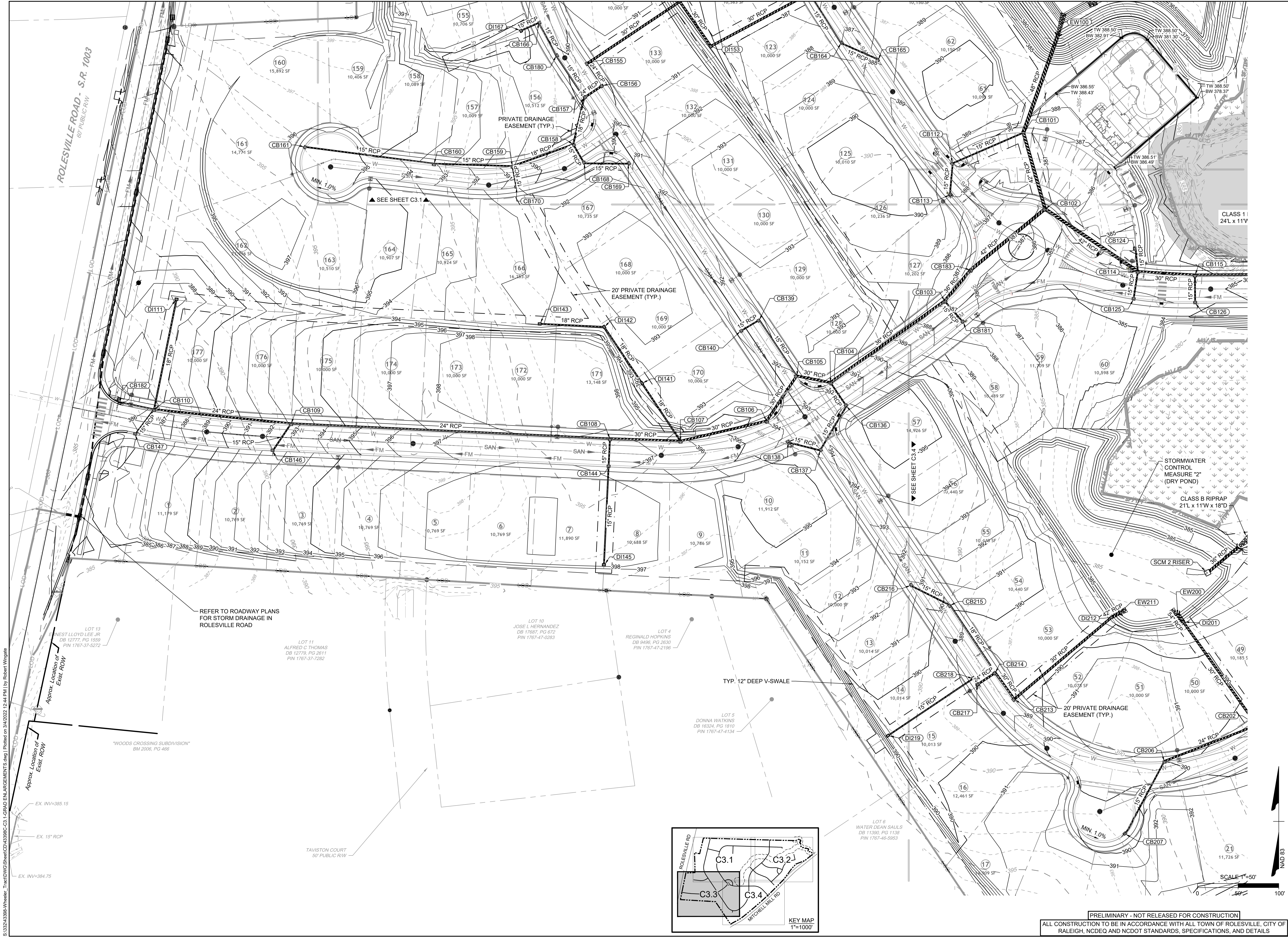
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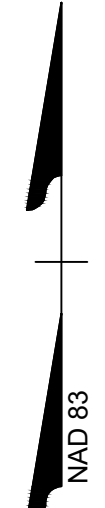
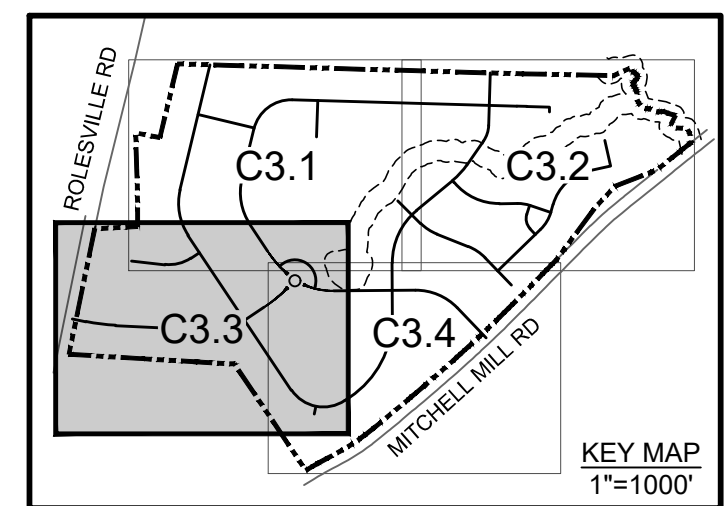
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**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**GRADING AND DRAINAGE PLAN**

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SCALE 1"=50'

REFER TO ROADWAY PLANS FOR STORM DRAINAGE IN ROLESVILLE ROAD

Approx. Location of Exisit. ROW

Approx. Location of Exisit. ROW

"WOODS CROSSING SUBDIVISION" BM 2006, PG 466

LOT 11 ALFRED C THOMAS DB 12779, PG 2611 PIN 1767-37-7292

LOT 10 JOSE L HERNANDEZ DB 17687, PG 672 PIN 1767-47-0283

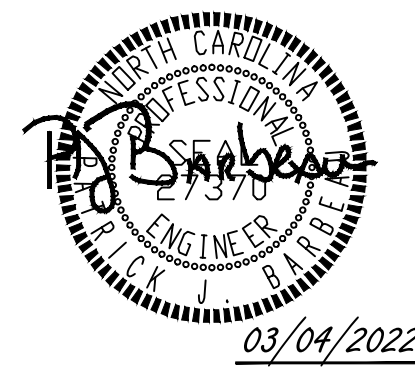
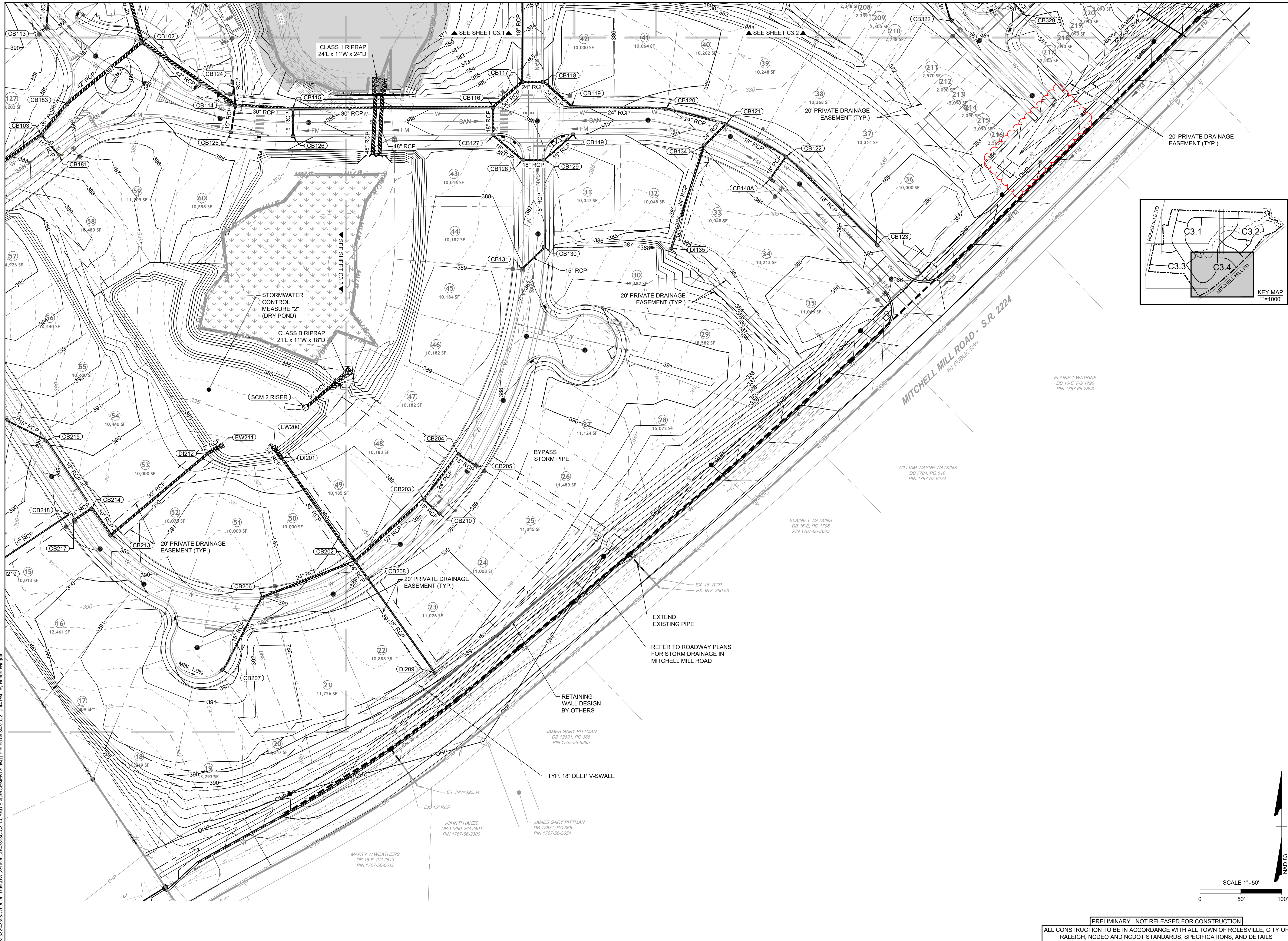
LOT 4 REGINALD HOPKINS DB 9496, PG 2830 PIN 1767-47-2196

LOT 5 DONNA WATKINS DB 16324, PG 1810 PIN 1767-47-4134

LOT 6 WATER DEAN SAULS DB 11390, PG 1138 PIN 1767-46-5953

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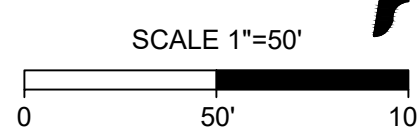
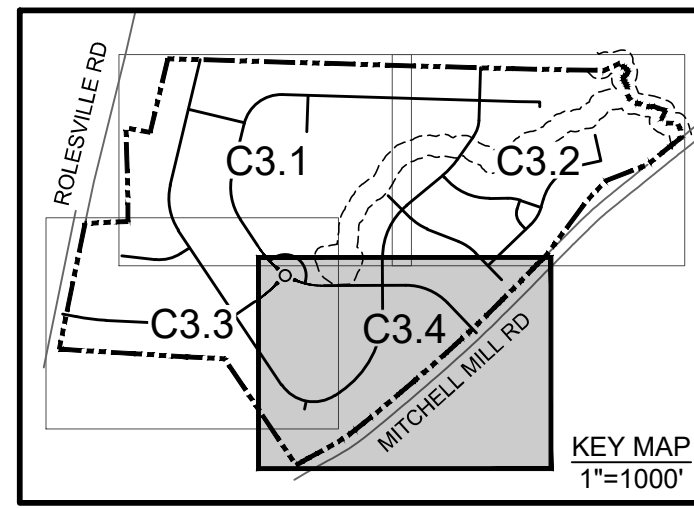
## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### GRADING AND DRAINAGE PLAN

JOB NO.  
43398

SHEET NO.  
C3.4

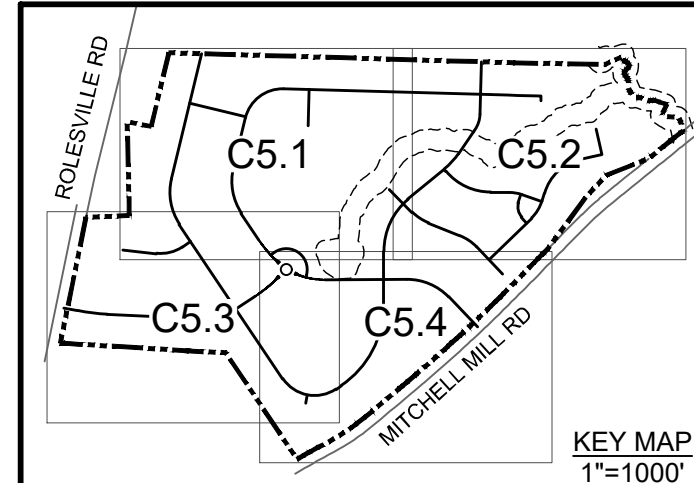


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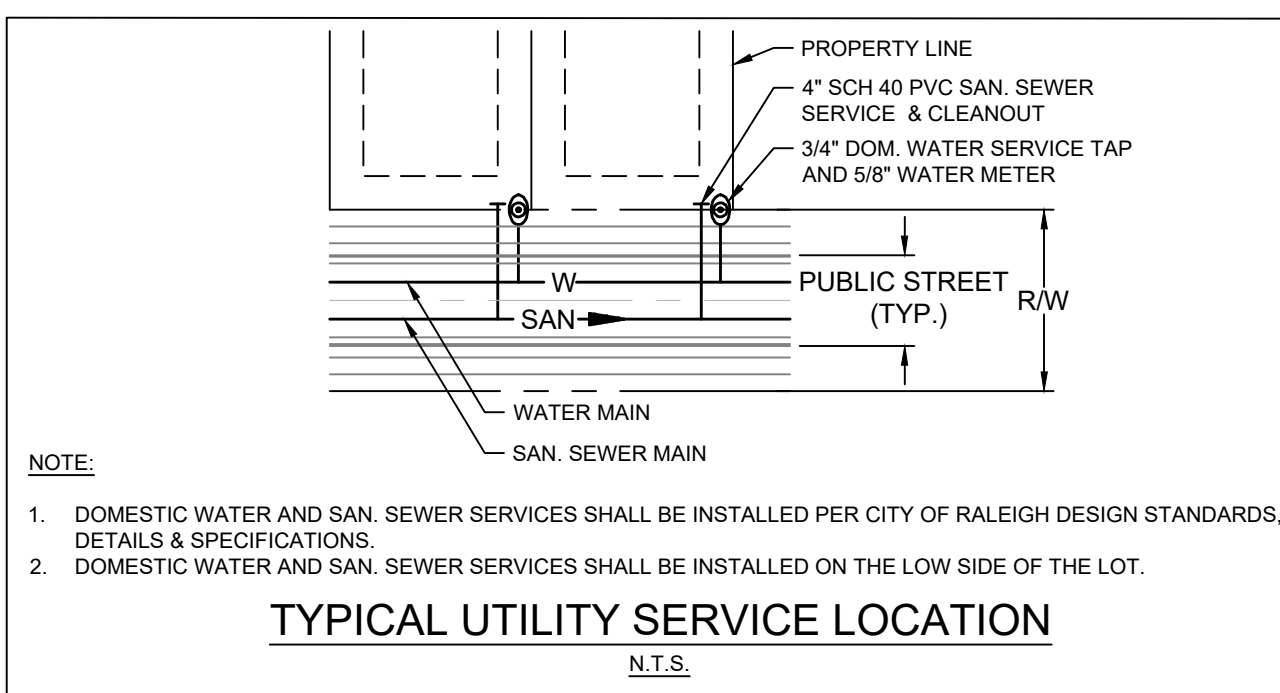
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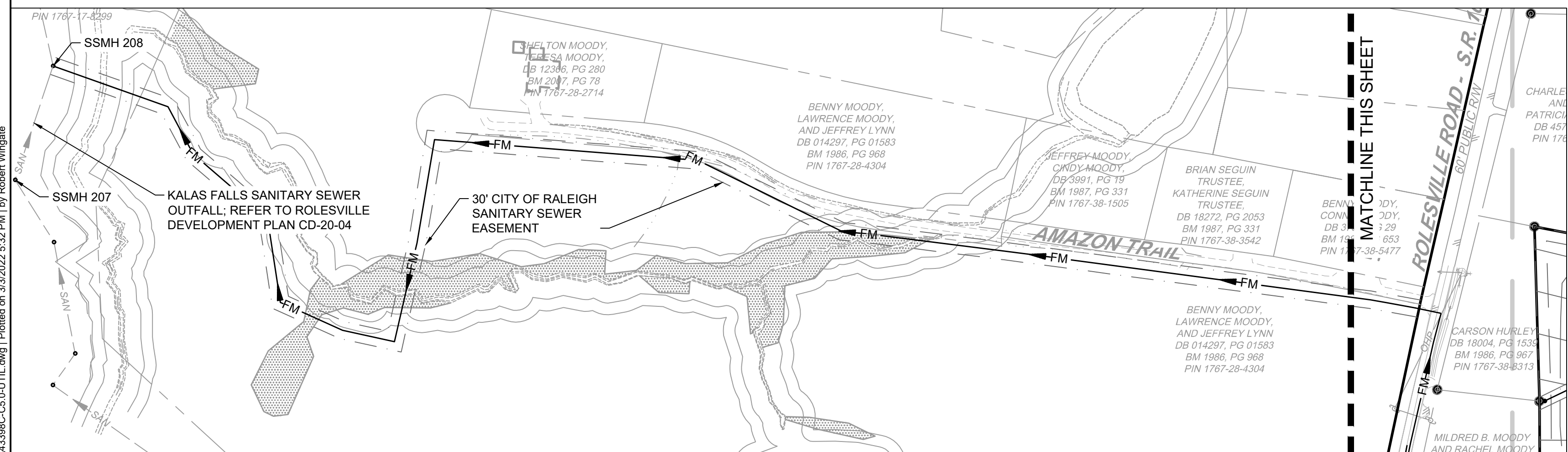


**STANDARD UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS. CONTRACTOR SHALL ENSURE THAT ALL OVERHEAD UTILITY LINES ARE ADJUSTED BY APPROPRIATE UTILITY COMPANY TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" TYPE "K" COPPER WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL 6" SCHEDULE 40 PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE ROW PRIOR TO CONSTRUCTION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CONTRACTORS WORKING (EXCAVATION, BORING, OR OTHER SUBSURFACE BREACH) AROUND OR IN THE VICINITY OF EXISTING WATER LINES 12 INCHES IN DIAMETER OR LARGER SHALL BE REQUIRED TO PHYSICALLY SPOT THE EXISTING LINE TO BE VERIFIED BY P.U.D. DISTRIBUTION STAFF OR INSPECTION STAFF. IF OTHER EXISTING LINES SIZES ARE IN QUESTION OF CONFLICT THE CONTRACTOR SHALL BE DIRECTED BY P.U.D. STAFF OF THE LEVEL OF SUBSURFACE INVESTIGATION NEEDED TO LOCATE THE EXISTING LINE.
- KALAS FALLS SANITARY SEWER MANHOLE 208 AND DOWNSTREAM SANITARY SEWER LINE TO SANITARY SEWER MANHOLE 207 TO BE LINED PER CITY OF RALEIGH DETAILS FOR RECEIVE FLOW FROM SANITARY SEWER FORCE MAIN.
- THIS DEVELOPMENT RELIES UPON KALAS FALLS FOR ACCESS TO PUBLIC WATER AND PUBLIC SANITARY SEWER. IF KALAS FALLS DOES NOT INSTALL NECESSARY INFRASTRUCTURE, THIS DEVELOPMENT MAY BE RESPONSIBLE FOR NECESSARY EXTENSIONS.

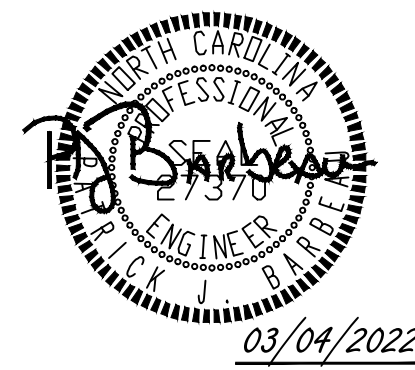
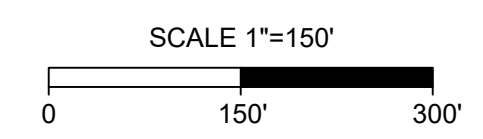


- NOTE:
- DOMESTIC WATER AND SAN SEWER SERVICES SHALL BE INSTALLED PER CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS.
  - DOMESTIC WATER AND SAN SEWER SERVICES SHALL BE INSTALLED ON THE LOW SIDE OF THE LOT.



WATERLINE, STORM DRAINAGE, SANITARY SEWER HAVE BEEN REVISED TO PROVIDE ADDITIONAL HORIZONTAL AND/OR VERTICAL CLEARANCES

WATER VALVES WERE RELOCATED OUTSIDE OF CURB RAMPS



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03/04/2022	PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

DATE  
09/17/2021

DRAWN BY  
R. WINGATE

DESIGNED BY  
P. BARBEAU

CHECKED BY  
P. BARBEAU

SCALE  
AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### OVERALL UTILITY PLAN

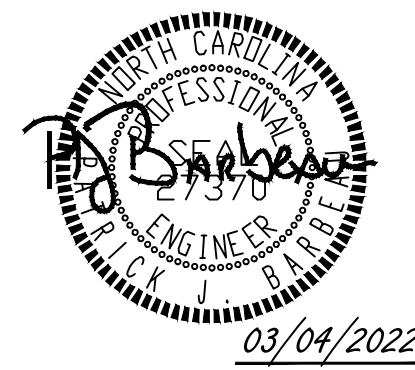
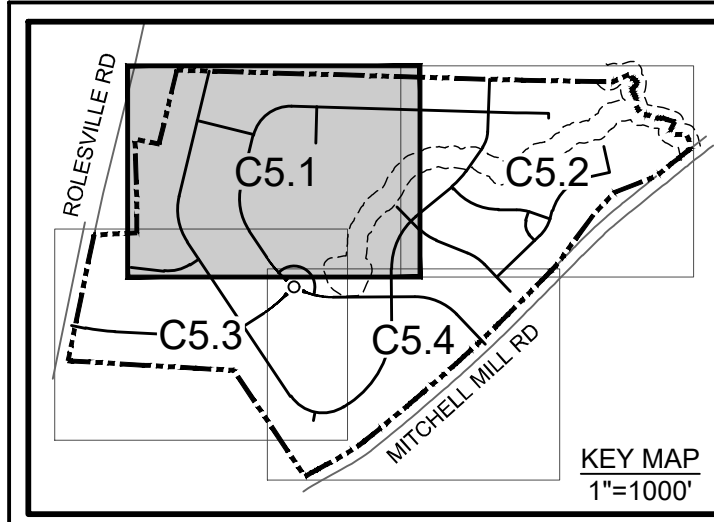
JOB NO.	43398
SHEET NO.	C5.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

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03/04/2022

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REVISION DESCRIPTION	DATE
PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022
CONSTRUCTION DOCUMENT SUBMITTAL	12/22/21
REVISIONS PER TRC COMMENTS	09/17/21
CONSTRUCTION DOCUMENT SUBMITTAL	07/08/21

DATE: 09/17/2021  
 DRAWN BY: R. WINGATE  
 DESIGNED BY: P. BARBEAU  
 CHECKED BY: P. BARBEAU  
 SCALE: AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
 UTILITY PLAN

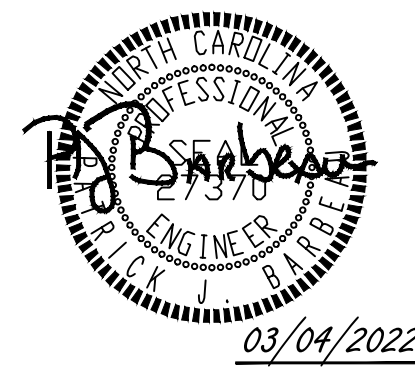
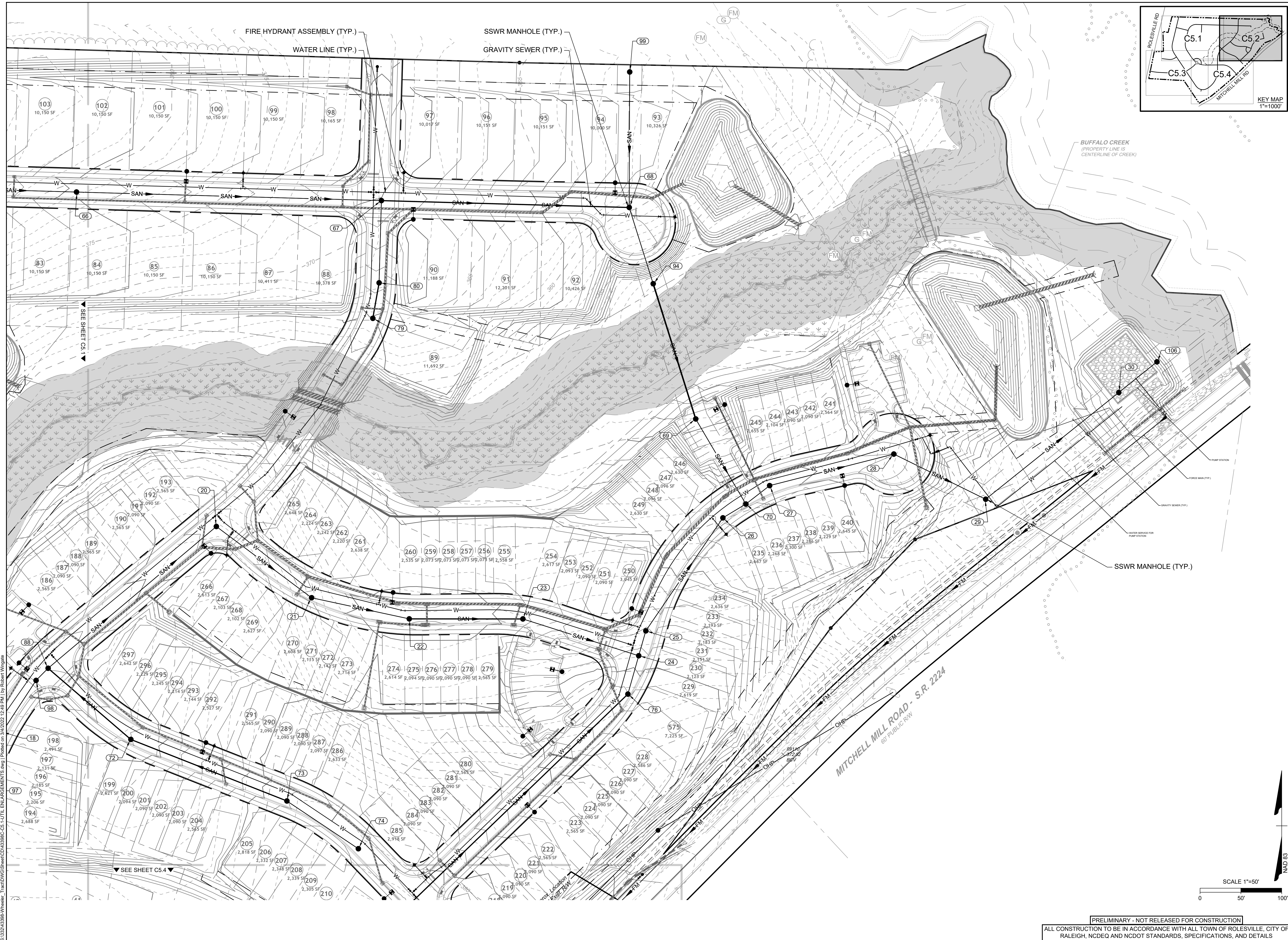
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 SHEET NO. C5.1

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION  
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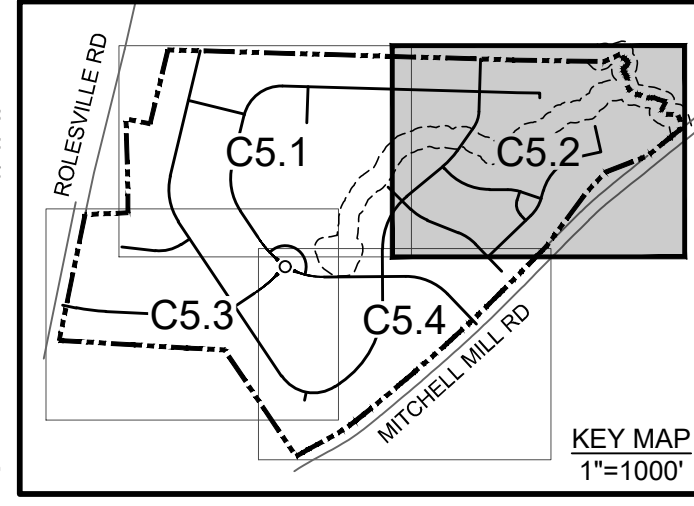
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03/04/2022



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DESIGNED BY  
**P. BARBEAU**

CHECKED BY  
**P. BARBEAU**

SCALE  
**AS SHOWN**

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### UTILITY PLAN

JOB NO.  
**43398**

SHEET NO.  
**C5.2**

REVISION DESCRIPTION	DATE
REVISIONS PER TRC COMMENTS	07/08/21
CONSTRUCTION DOCUMENT SUBMITTAL	09/17/21
CONSTRUCTION DOCUMENT SUBMITTAL	12/22/21
PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

DATE  
**09/17/2021**

DRAWN BY  
**R. WINGATE**

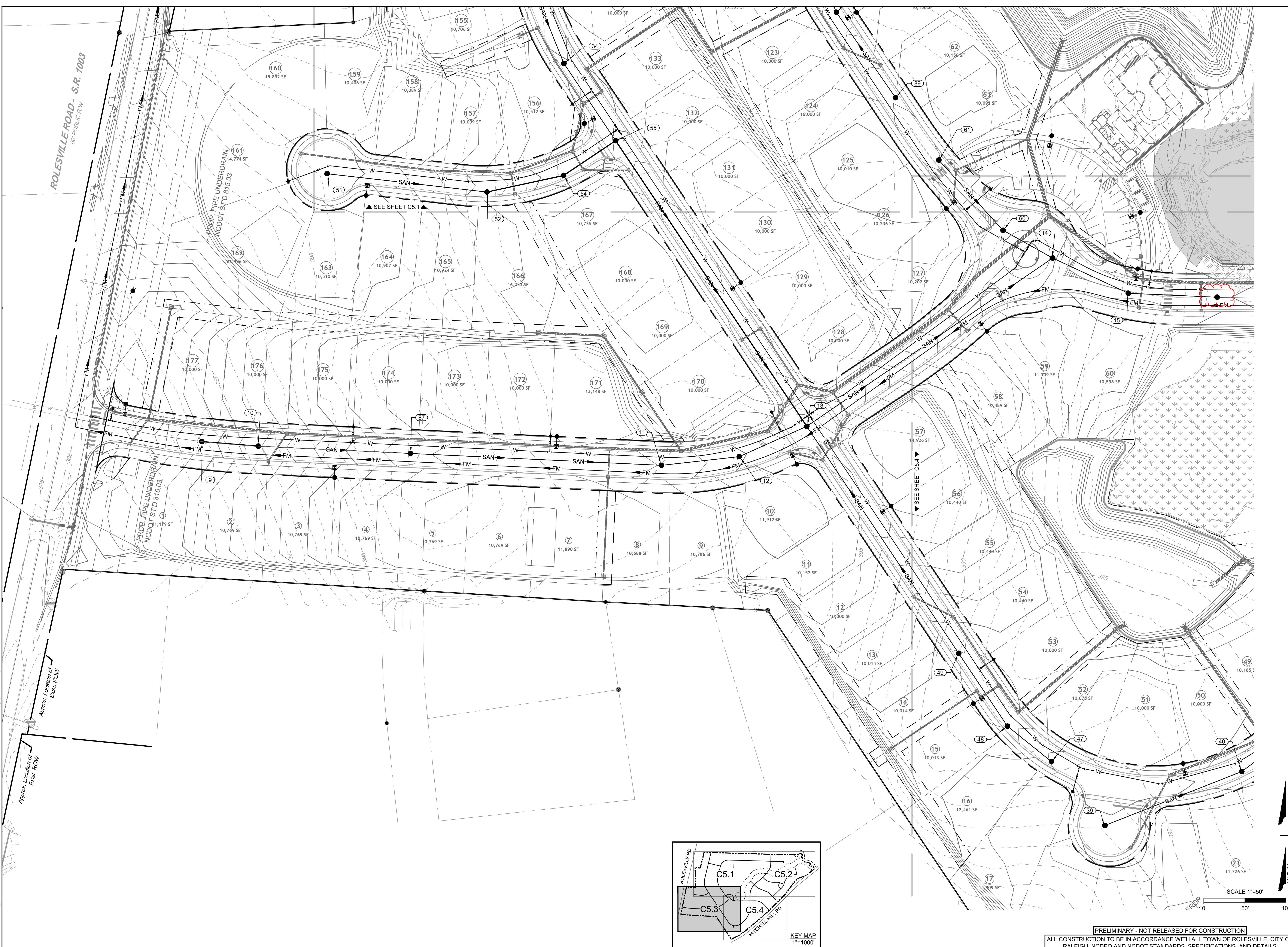
SCALE  
**AS SHOWN**

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S:\3224\3398-Wheeler\_Timed\DWG\Sheet\C5-1 UTIL ENLARGEMENTS.dwg | Printed on 3/2/2022 12:50 PM | by Robert Wingate



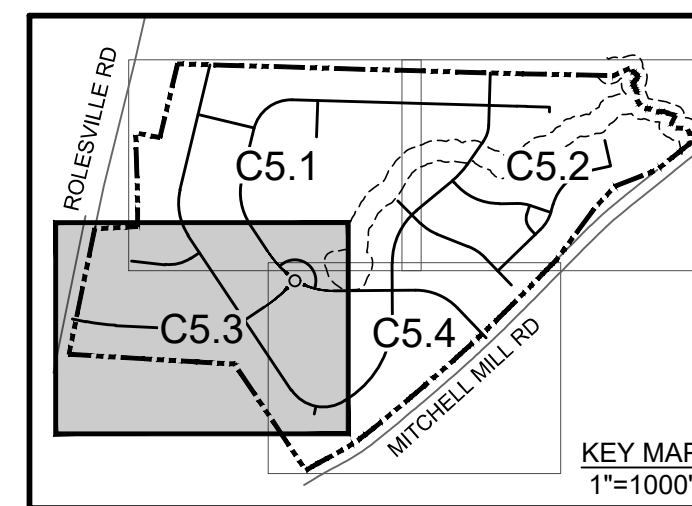
ROLESVILLE ROAD - S.R. 1003  
60' PUBLIC ROW

PROP PIPE UNDERDRAIN  
NCDOT STD 815.03  
14,771 SF

PROP PIPE UNDERDRAIN  
NCDOT STD 815.03  
11,179 SF

SEE SHEET C5.1

SEE SHEET C5.4



SCALE 1"=50'

NAD 83

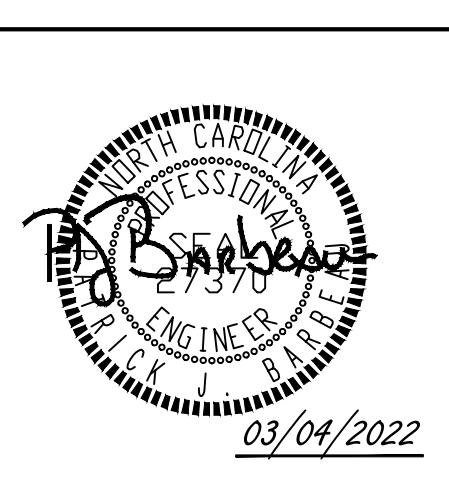
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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
UTILITY PLAN

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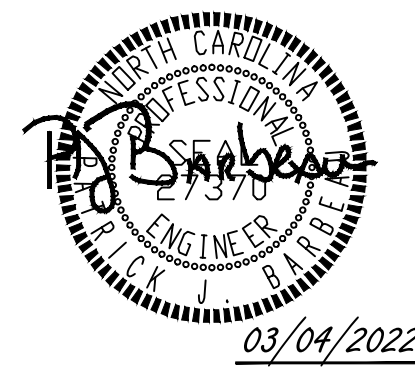
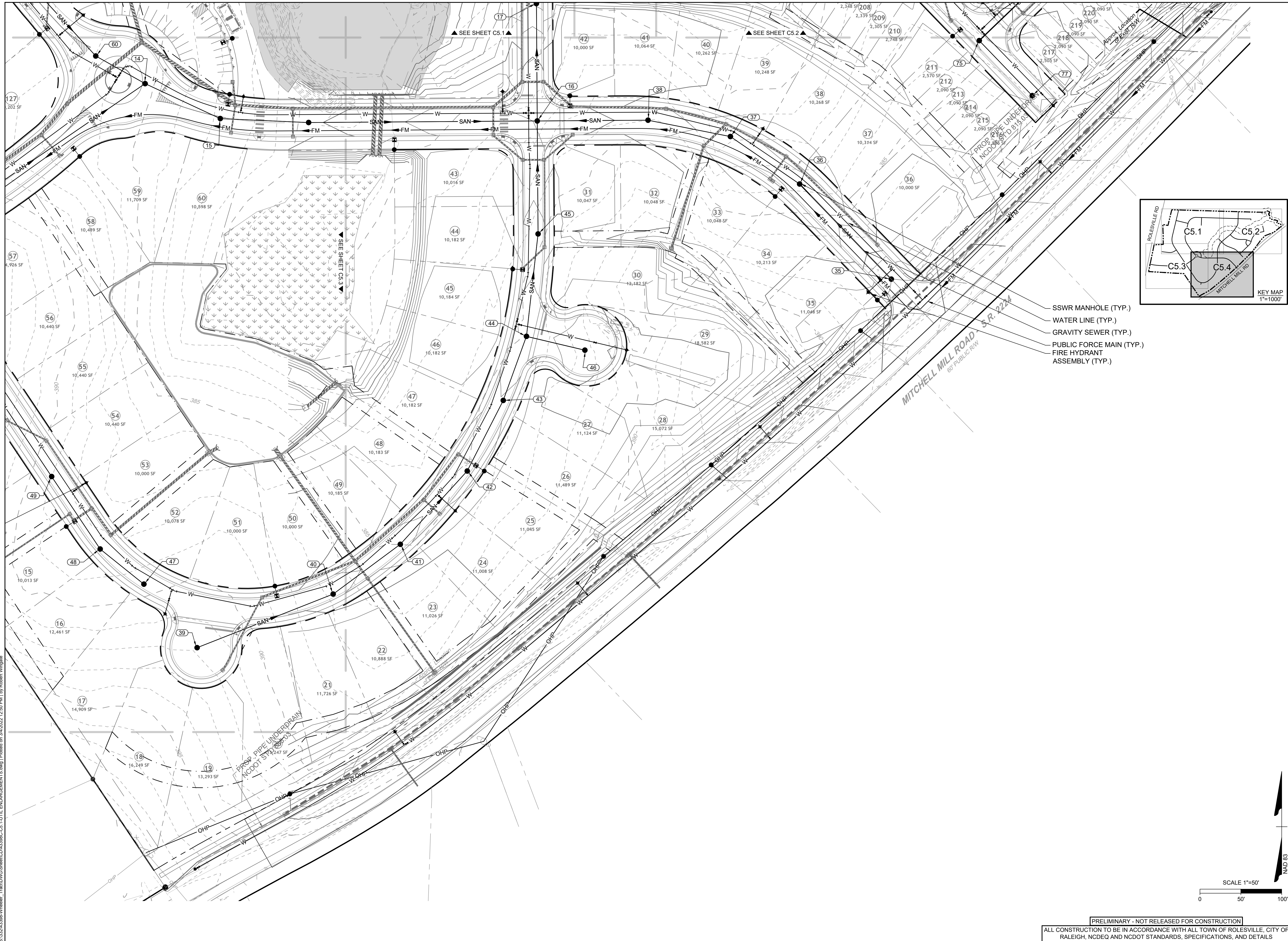
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07/08/21	REVISIONS PER TRC COMMENTS
09/17/21	CONSTRUCTION DOCUMENT SUBMITTAL
12/22/21	CONSTRUCTION DOCUMENT SUBMITTAL
03/04/2022	PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

DATE	DRAWN BY
09/17/2021	R. WINGATE
	DESIGNED BY P. BARBEAU
	CHECKED BY P. BARBEAU
	SCALE AS SHOWN

JOB NO.	SHEET NO.
43398	C5.3

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DATE	REVISION DESCRIPTION
07/08/21	REVISIONS PER TRC COMMENTS
09/17/21	CONSTRUCTION DOCUMENT SUBMITTAL
12/22/21	CONSTRUCTION DOCUMENT SUBMITTAL
03/04/2022	PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

DATE  
 09/17/2021

DRAWN BY  
 R. WINGATE

DESIGNED BY  
 P. BARBEAU

CHECKED BY  
 P. BARBEAU

SCALE  
 AS SHOWN

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**ROLESVILLE CROSSING**

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

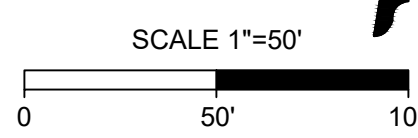
**UTILITY PLAN**

JOB NO.  
**43398**

SHEET NO.  
**C5.4**

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S:\3324\3398-Wheeler\_Timed\DWG\Sheet\C5-1\UTIL ENLARGEMENTS.dwg | Plotted on 3/4/2022 12:50 PM | by Robert Wingate





### Roadway LED



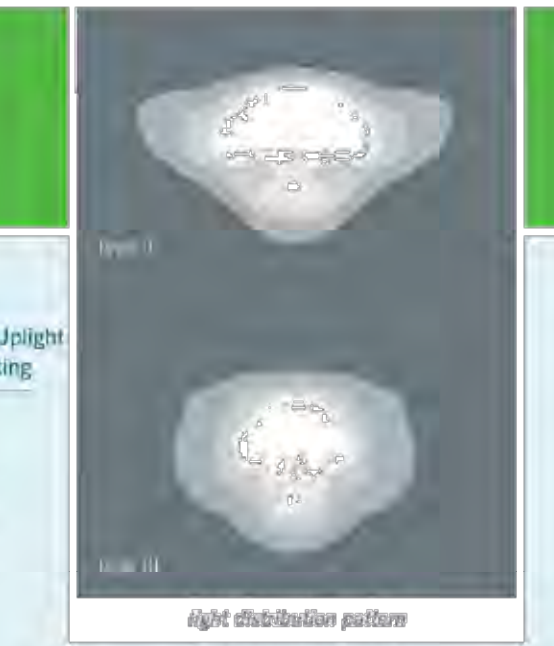
The Roadway LED is a green solution and great fit for streets, roads, long, narrow areas and parking lots. This energy-efficient luminaire delivers the light where it is needed while increasing visibility and reducing spill light to adjoining properties. Choose low to medium light output on wood or fiberglass poles (or mount on an existing pole). Available with one to four fixtures per pole, depending on the fixture/pole combination selected.

LED (Light Emitting Diode)	50   75   105   160   215   280 watts
Mounting heights	25', 30', 35'
Color	Gray/Black
Poles	Fiberglass Metal (special conditions) Wood

For additional information, visit us at [duke-energy.com/OutdoorLighting](http://duke-energy.com/OutdoorLighting) or call us toll free at 866.709.6417.



### Roadway LED



Light source: LED (white)  
Lumens: 4,807 - 25,050 (fixture dependent)

Wattage	Light Pattern	IESNA Backlight-Uplight - Glare (BUG) Rating
LED 50	IESNA Type III (omnidirectional)	B1-AUG-01
LED 75	IESNA Type III (omnidirectional)	B1-AUG-02
LED 105	IESNA Type III (omnidirectional)	B1-AUG-03
LED 160	IESNA Type III (omnidirectional)	B1-AUG-04
LED 215	IESNA Type III (omnidirectional)	B1-AUG-05
LED 280	IESNA Type III (omnidirectional)	B1-AUG-06

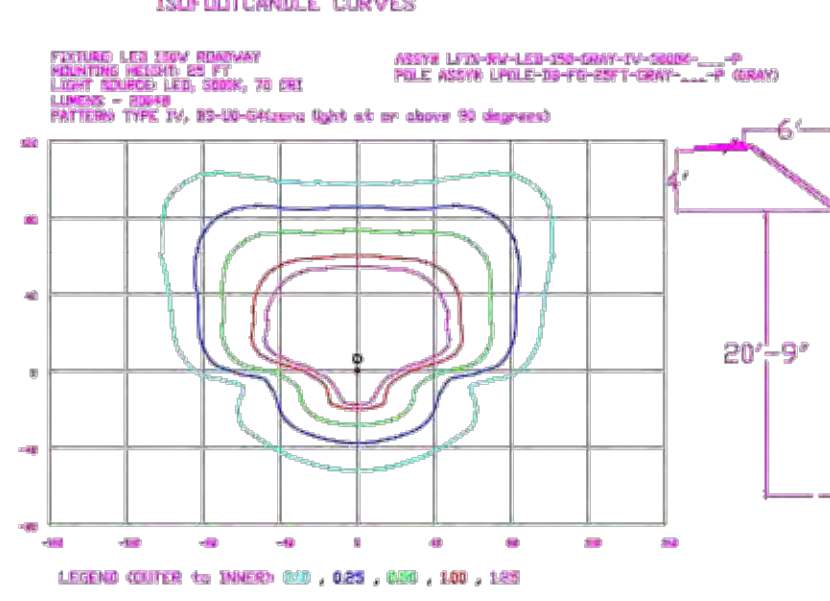
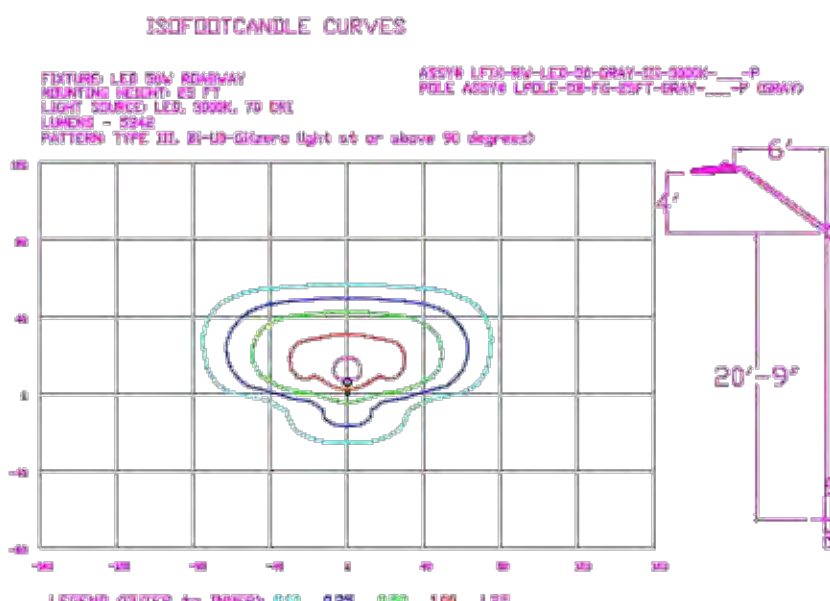
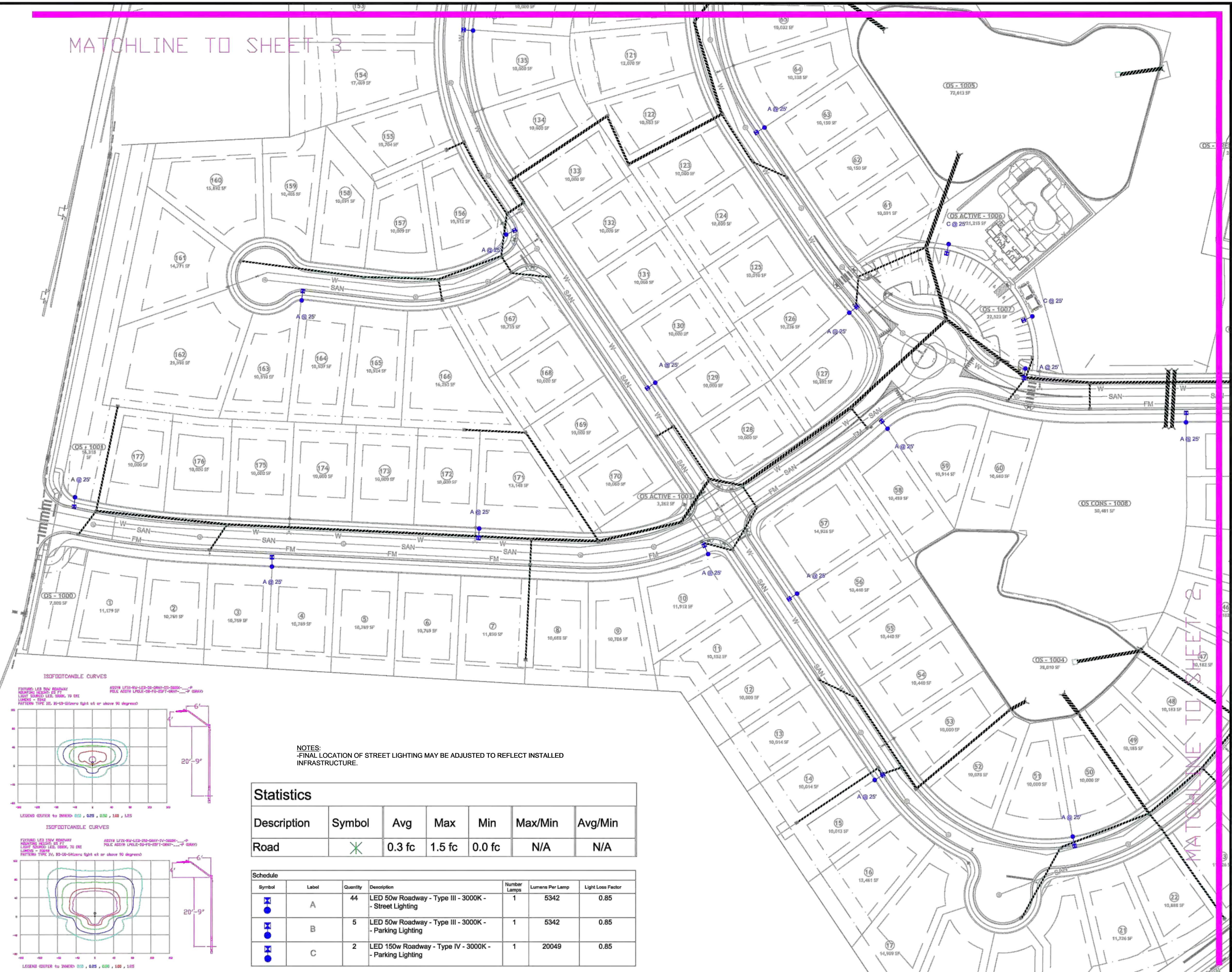
Color temperature: 4000K  
Warm-up and restrike time: Instant (on-line switching on variable transformer)

Poles available:	Mounting height	Color
Aluminum	25', 30', 35'	Gray
Fiberglass	25', 30', 35'	Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)*	25', 30', 35'	Gray

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today ... and tomorrow

\*2' raised foundation available when required.

MATCHLINE TO SHEET 3



NOTES:  
-FINAL LOCATION OF STREET LIGHTING MAY BE ADJUSTED TO REFLECT INSTALLED INFRASTRUCTURE.

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Road	✕	0.3 fc	1.5 fc	0.0 fc	N/A	N/A

### Schedule

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
✕	A	44	LED 50w Roadway - Type III - 3000K - Street Lighting	1	5342	0.85
●	B	5	LED 50w Roadway - Type III - 3000K - Parking Lighting	1	5342	0.85
●	C	2	LED 150w Roadway - Type IV - 3000K - Parking Lighting	1	20049	0.85

### LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or structures) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



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### ROLESVILLE CROSSINGS

Rolesville, NC	Scale 1" = 60'
SITE LIGHTING PLAN	Size "Arch D"
Designed by DEP LIGHTING SOLUTIONS	Description LED 50w & 150w Roadway
Reviewed by N. Johnson	Drawing No. 21-0394A
Date 12/01/2021	Sht. 1 OF 4

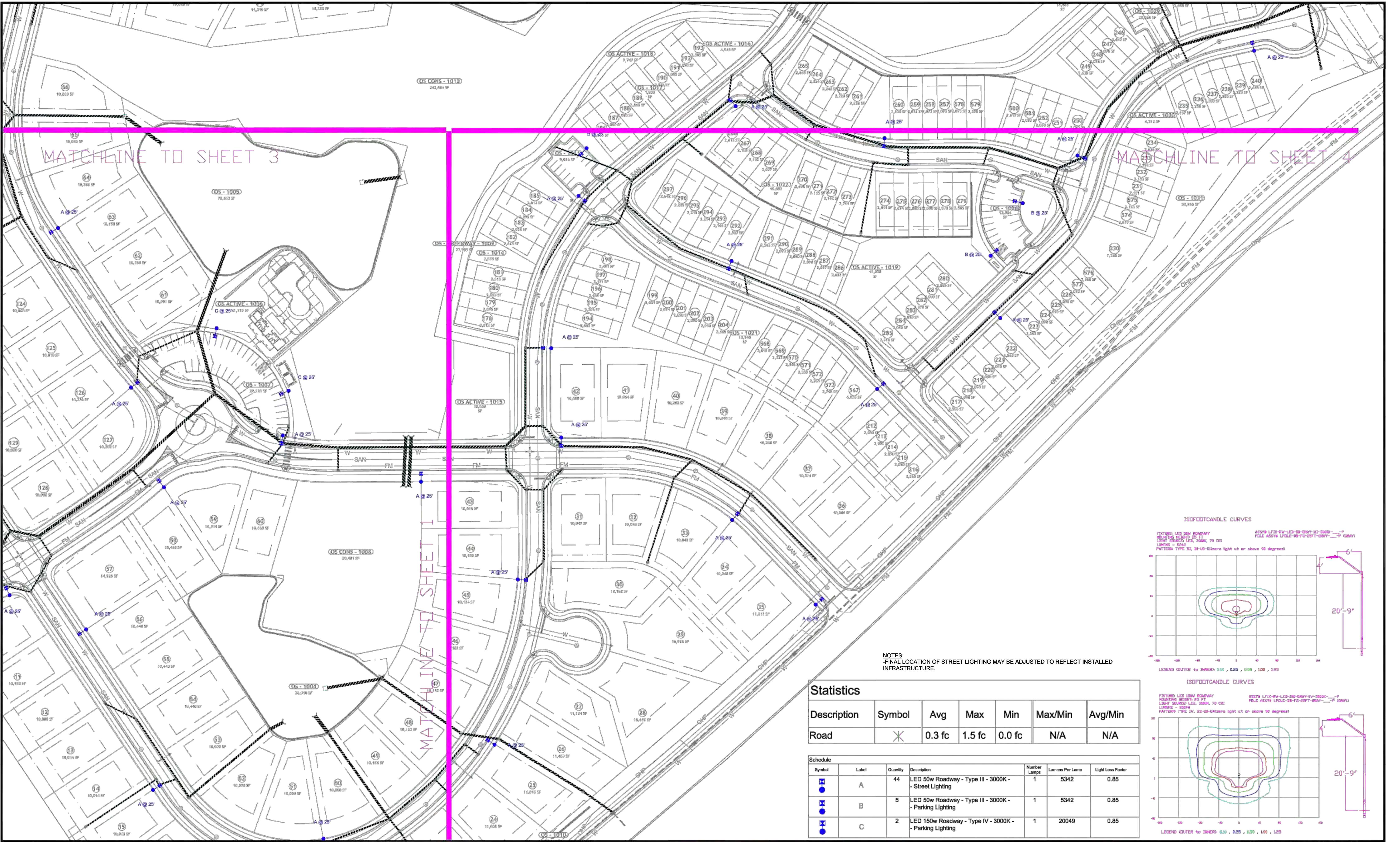
REV#	DATE	REVISION	BY
Rev A	12/01/2021	LED 50w & 150w Roadway - 3000K - Gray	NJ

Customer approval  
Date \_\_\_\_\_

DISTANCE CALIBRATION (INCHES)

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MATCHLINE TO SHEET 3

MATCHLINE TO SHEET 4

MATCHLINE TO SHEET 1

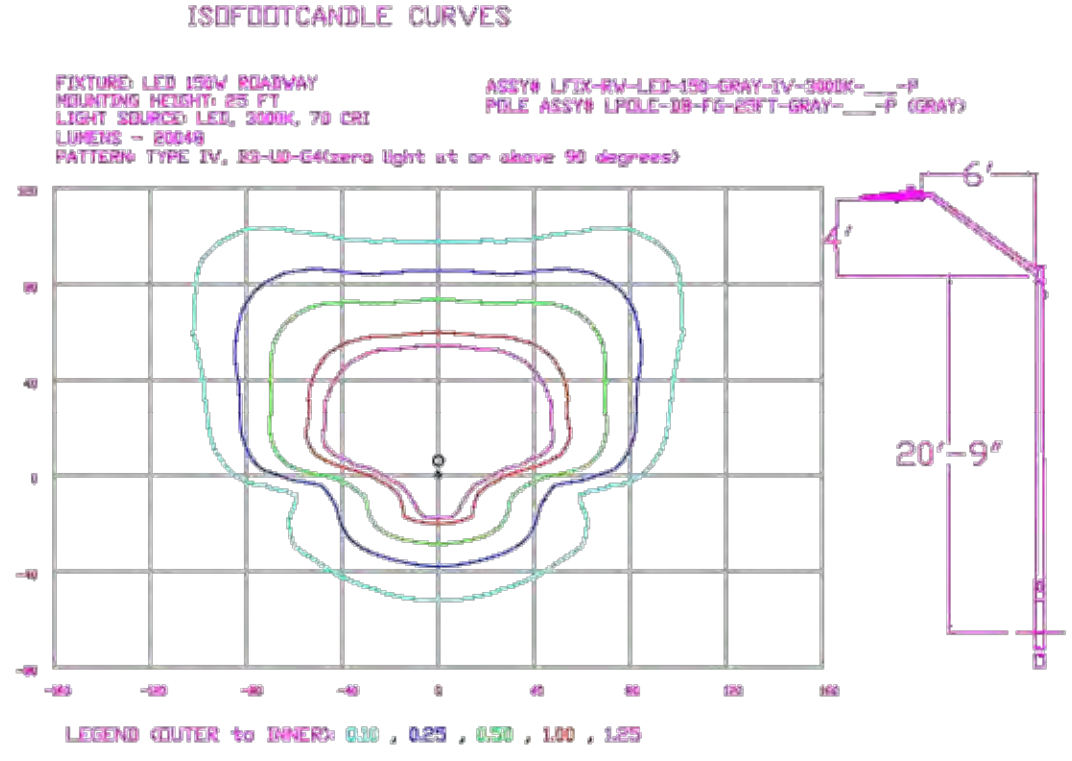
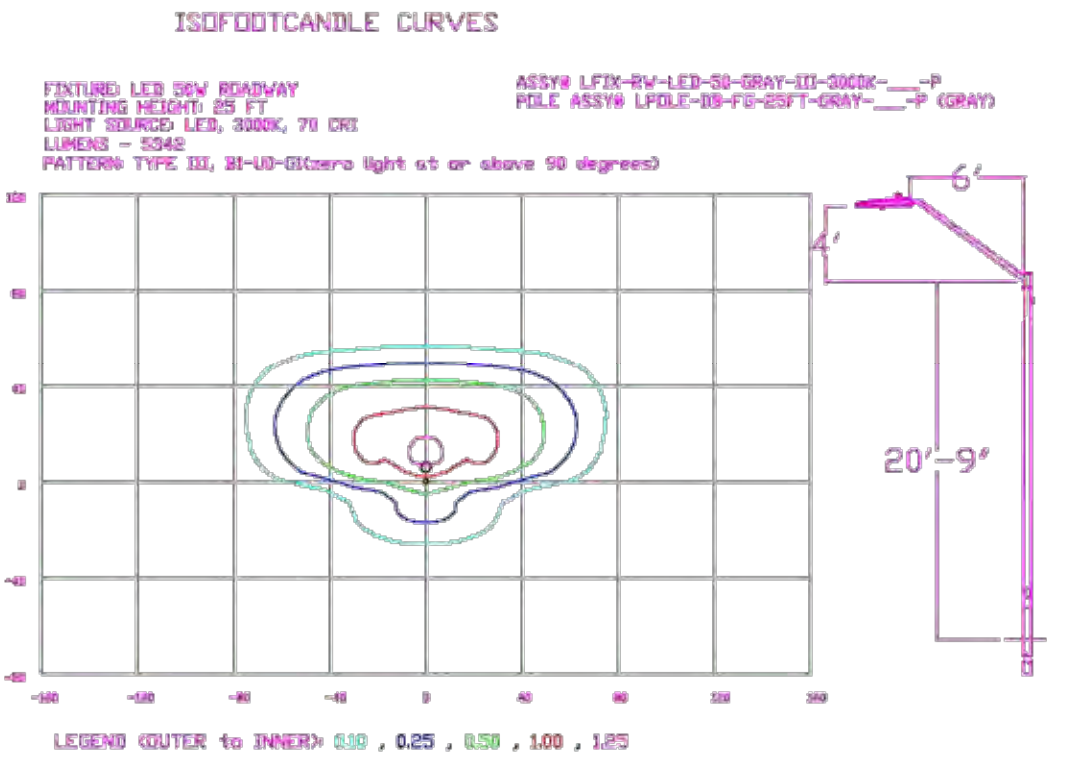
NOTES:  
-FINAL LOCATION OF STREET LIGHTING MAY BE ADJUSTED TO REFLECT INSTALLED INFRASTRUCTURE.

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Road	✕	0.3 fc	1.5 fc	0.0 fc	N/A	N/A

**Schedule**

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
✕	A	44	LED 50w Roadway - Type III - 3000K - Street Lighting	1	5342	0.85
●	B	5	LED 50w Roadway - Type III - 3000K - Parking Lighting	1	5342	0.85
●	C	2	LED 150w Roadway - Type IV - 3000K - Parking Lighting	1	20049	0.85



**LIGHTING DESIGN TOLERANCE**

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or structures) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



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**ROLESVILLE CROSSINGS**

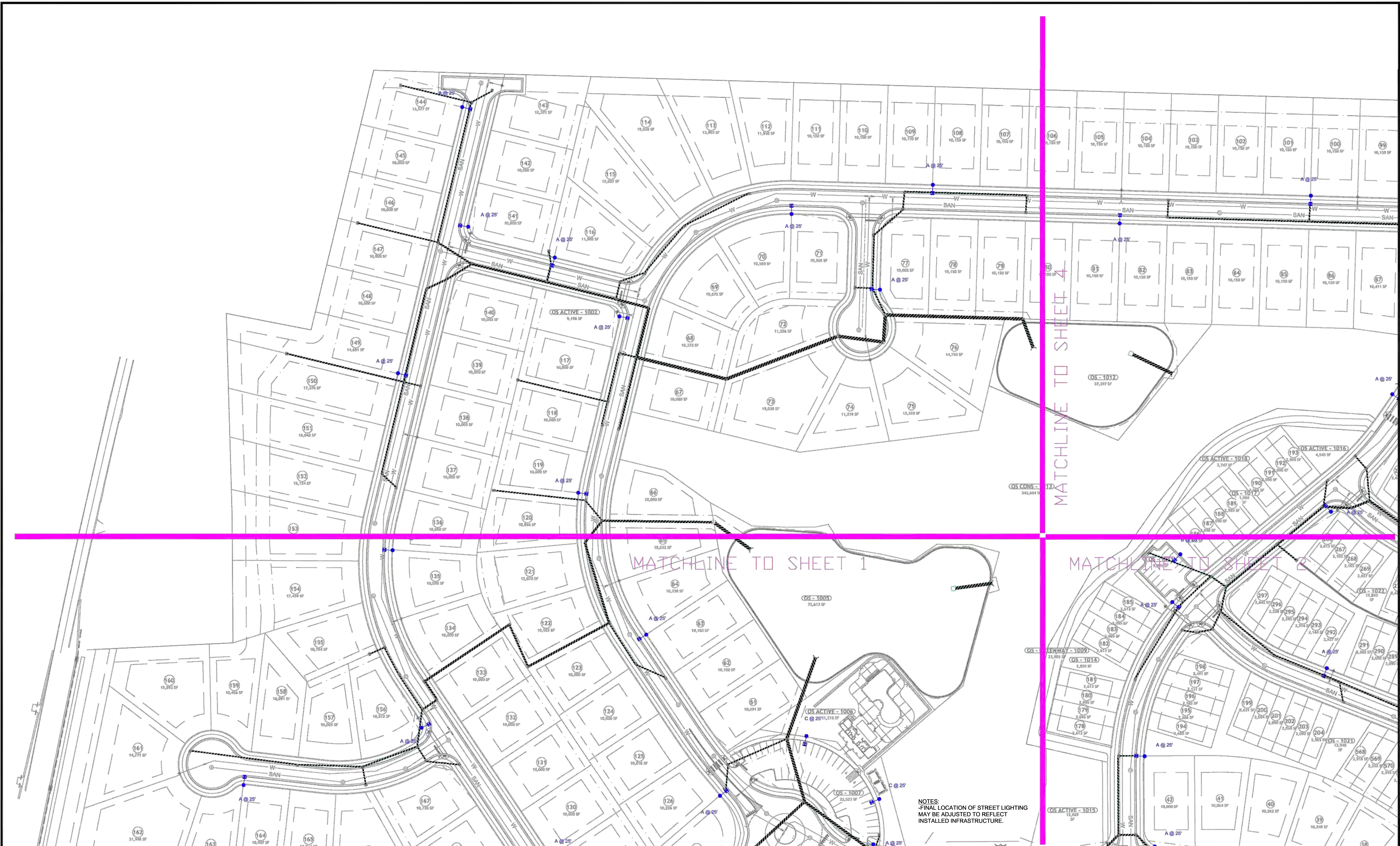
Rolesville, NC  
SITE LIGHTING PLAN  
Designed by DEP LIGHTING SOLUTIONS  
Reviewed by N. Johnson Scale 1" = 60'  
Date 12/01/2021 Size "Arch D"  
Description LED 50w & 150w Roadway  
Drawing No. 21-0394A Sht. 2 OF 4

REV#	DATE	REVISION	BY
Rev A	12/01/2021	LED 50w & 150w Roadway - 3000K - Gray	NJ

Customer approval \_\_\_\_\_  
Date \_\_\_\_\_

DISTANCE CALIBRATION (INCHES)





NOTES:  
-FINAL LOCATION OF STREET LIGHTING  
MAY BE ADJUSTED TO REFLECT  
INSTALLED INFRASTRUCTURE.

**LIGHTING DESIGN TOLERANCE**

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**ROLESVILLE CROSSINGS**

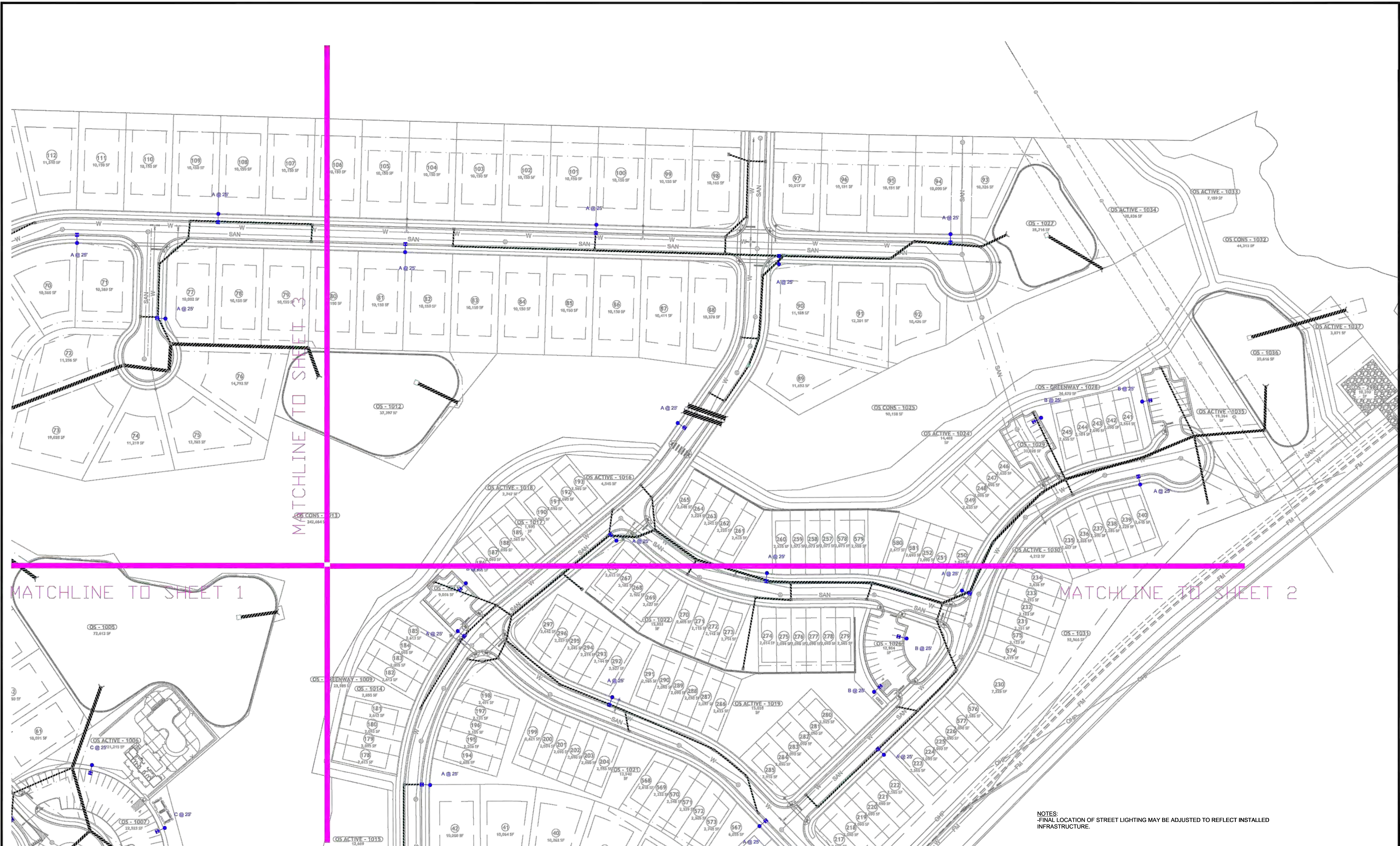
Rolesville, NC  
SITE LIGHTING PLAN  
Designed by DEP LIGHTING SOLUTIONS  
Reviewed by N. Johnson Scale 1" = 60'  
Date 12/01/2021 Size "Arch D"  
Description LED 50w & 150w Roadway  
Drawing No. 21-0394A Sht. 3 OF 4

REV#	DATE	REVISION	BY
Rev A	12/01/2021	LED 50w & 150w Roadway - 3000K - Gray	NJ

Customer approval \_\_\_\_\_  
Date \_\_\_\_\_

DISTANCE CALIBRATION (INCHES)





NOTES:  
 -FINAL LOCATION OF STREET LIGHTING MAY BE ADJUSTED TO REFLECT INSTALLED INFRASTRUCTURE.

REV#	DATE	REVISION	BY
Rev A	12/01/2021	LED 50w & 150w Roadway - 3000K - Gray	NJ

Customer approval \_\_\_\_\_  
 Date \_\_\_\_\_

DISTANCE CALIBRATION (INCHES)

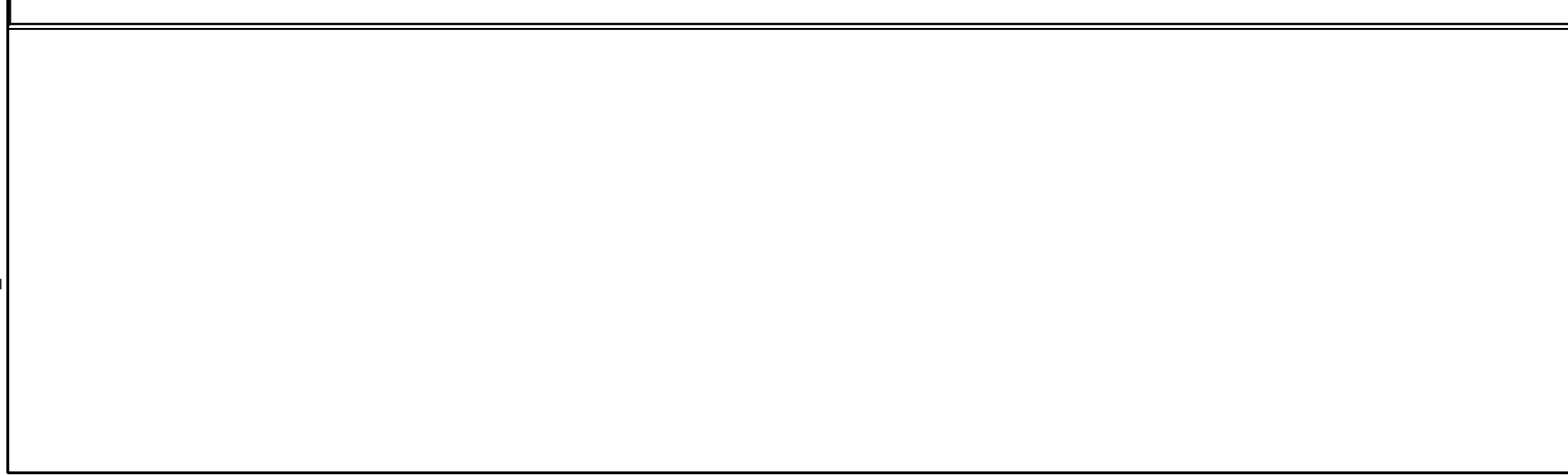
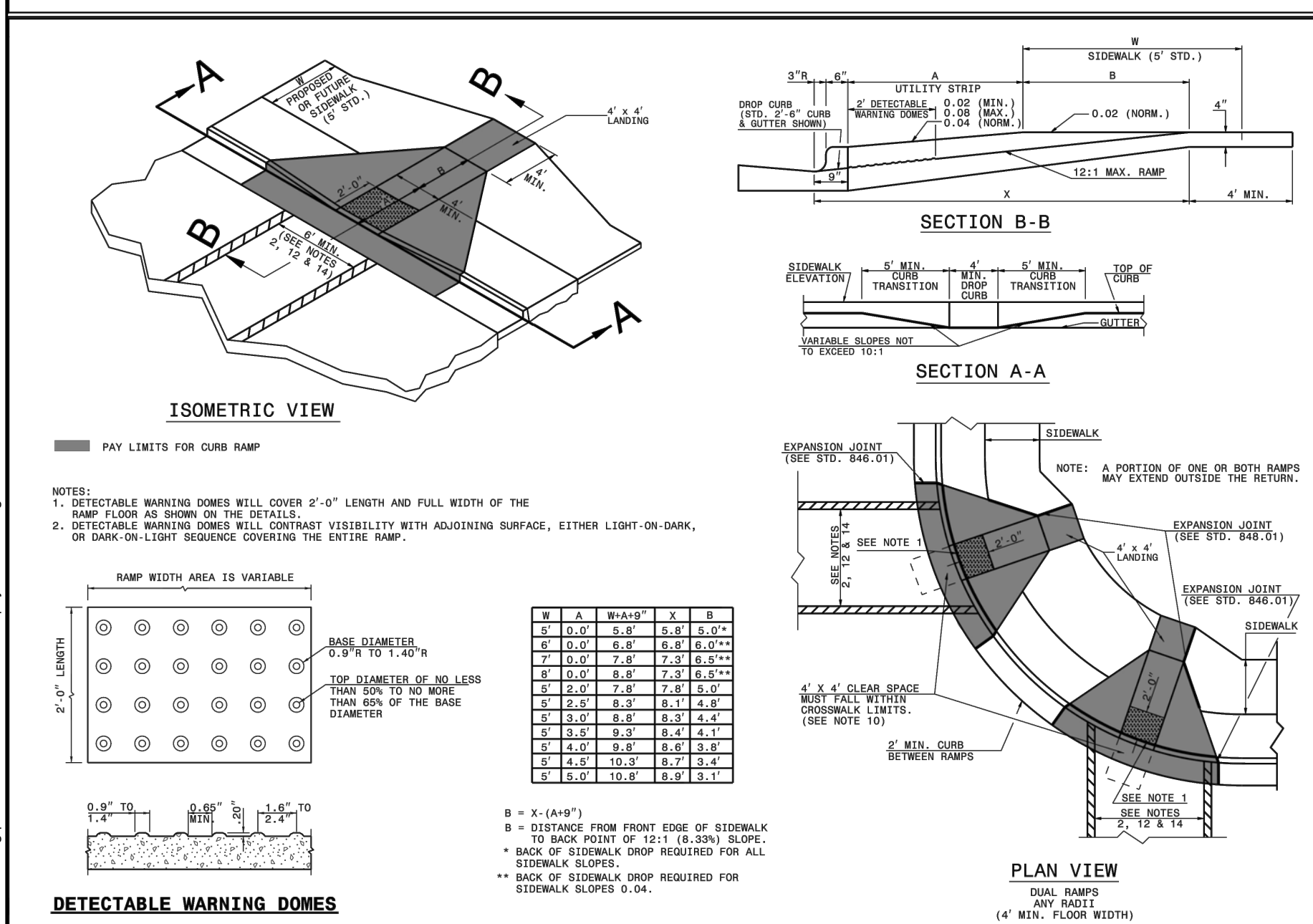
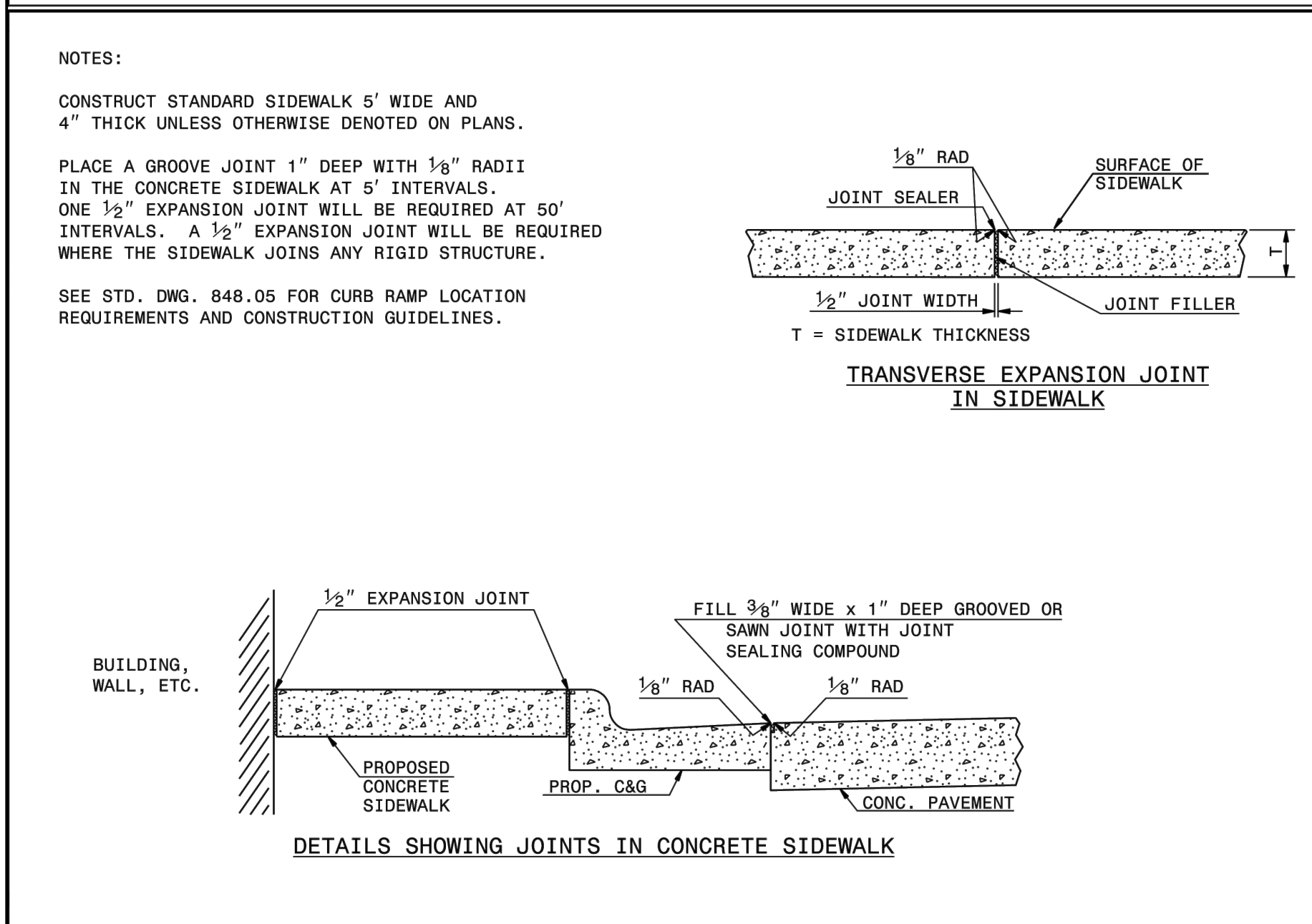
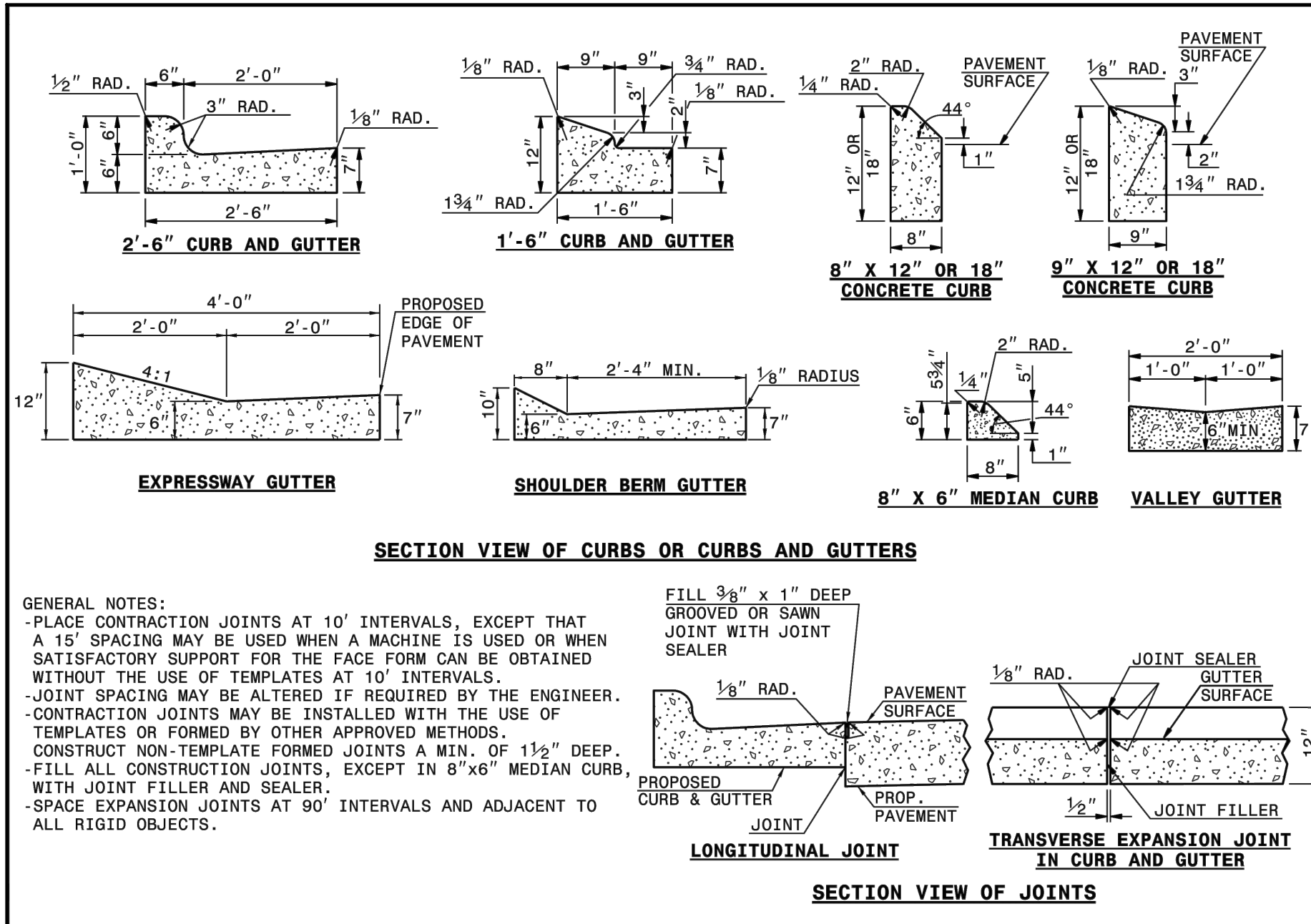
**LIGHTING DESIGN TOLERANCE**  
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**ROLESVILLE CROSSINGS**  
 Rolesville, NC  
 SITE LIGHTING PLAN  
 Designed by DEP LIGHTING SOLUTIONS  
 Reviewed by N. Johnson Scale 1" = 60'  
 Date 12/01/2021 Size "Arch D"  
 Description LED 50w & 150w Roadway  
 Drawing No. 21-0394A Sht. 4 OF 4

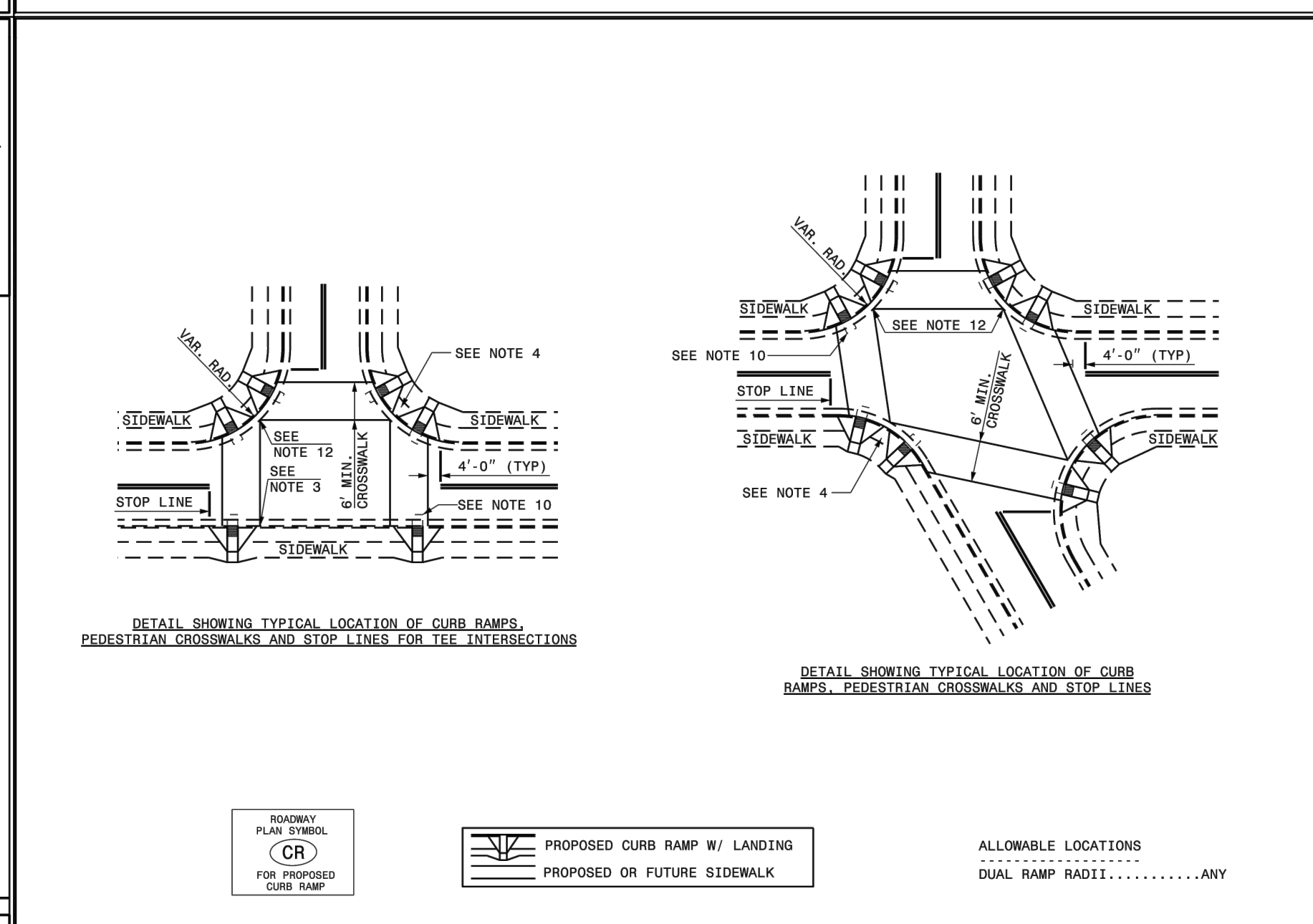
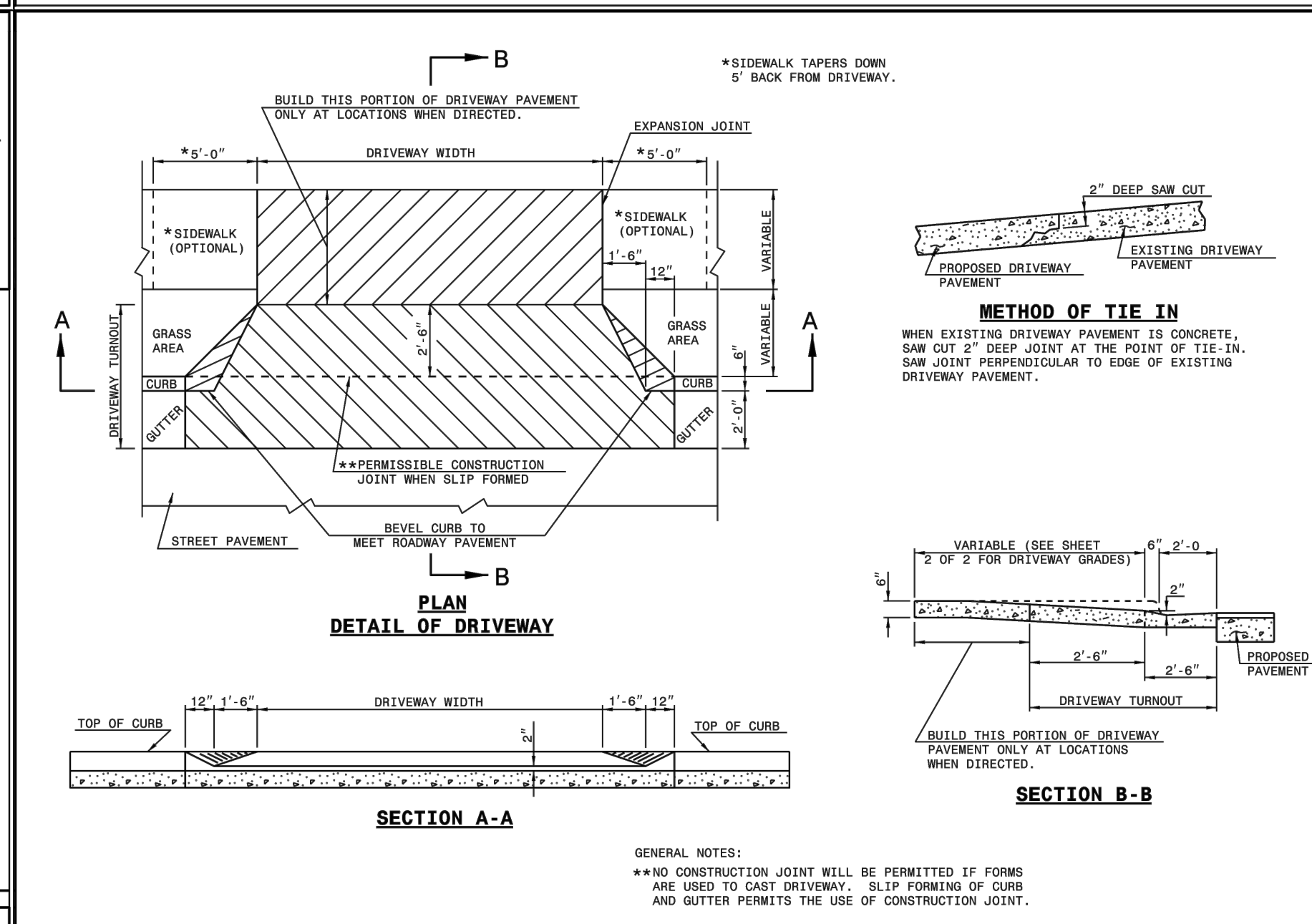
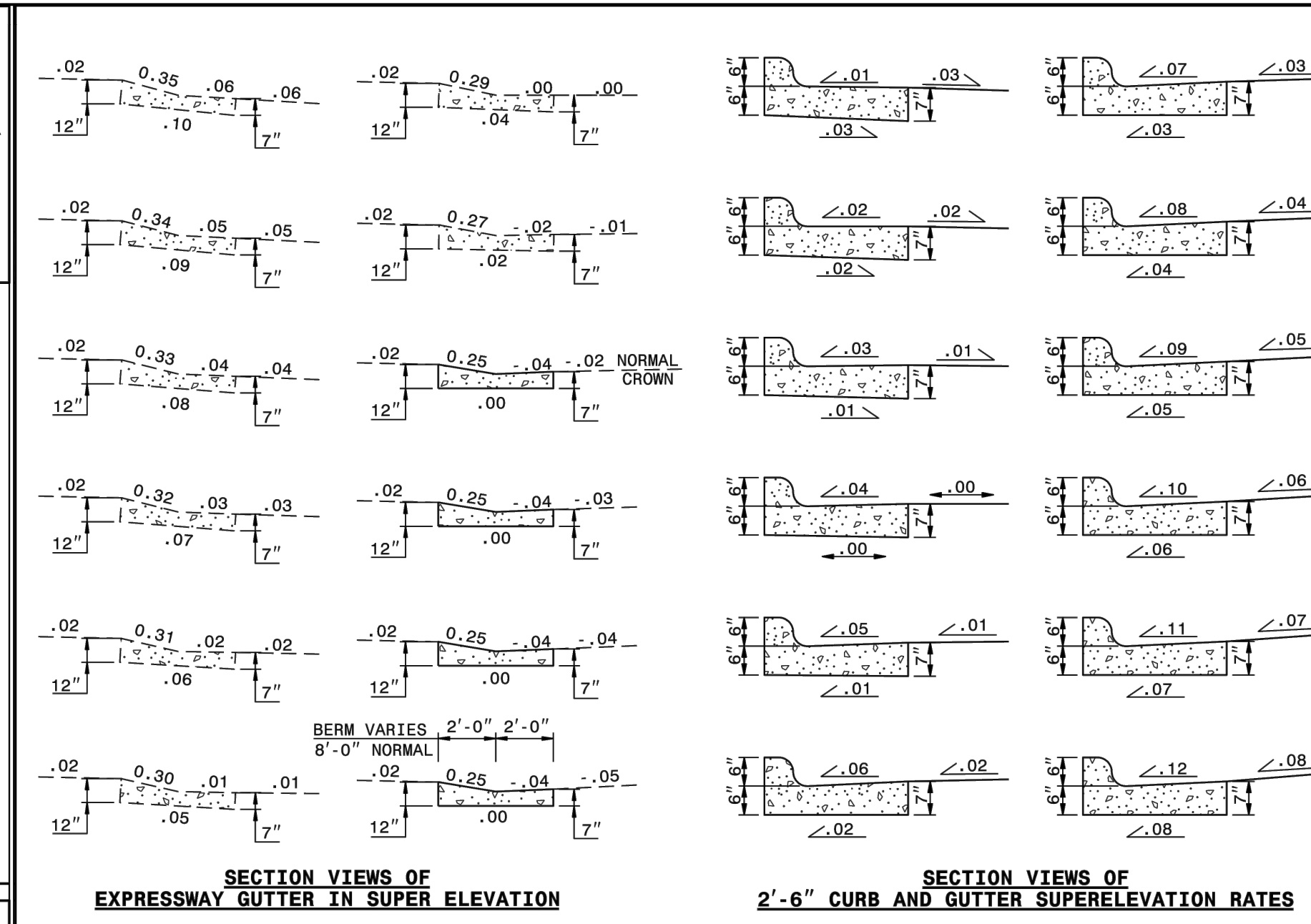




ROADWAY STANDARD DRAWING FOR CONCRETE CURB, GUTTER AND CURB & GUTTER  
SHEET 1 OF 3  
846.01

ROADWAY STANDARD DRAWING FOR CONCRETE SIDEWALK  
SHEET 1 OF 1  
848.01

ROADWAY STANDARD DRAWING FOR CURB RAMP PROPOSED CURB AND GUTTER  
SHEET 1 OF 3  
848.05

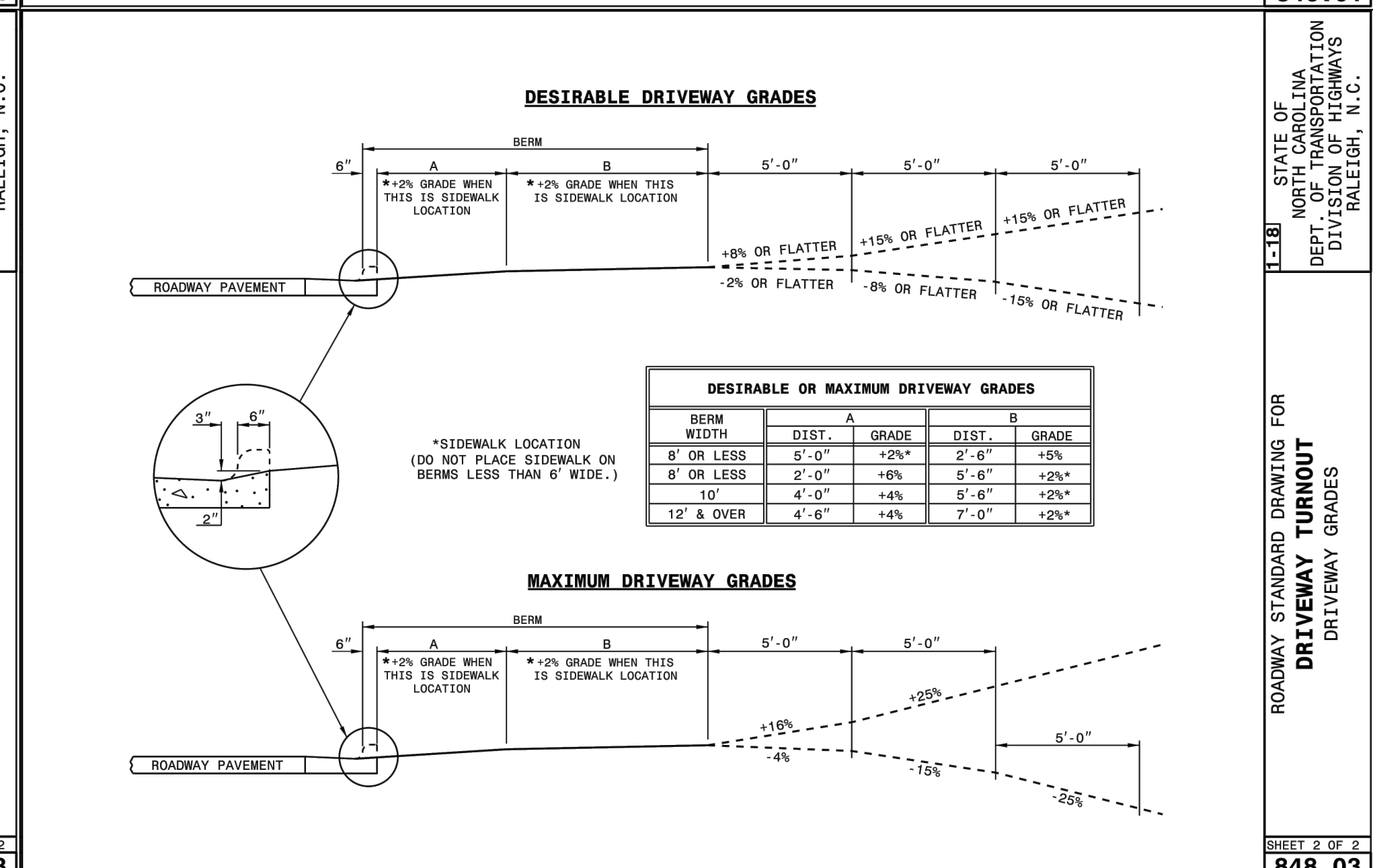
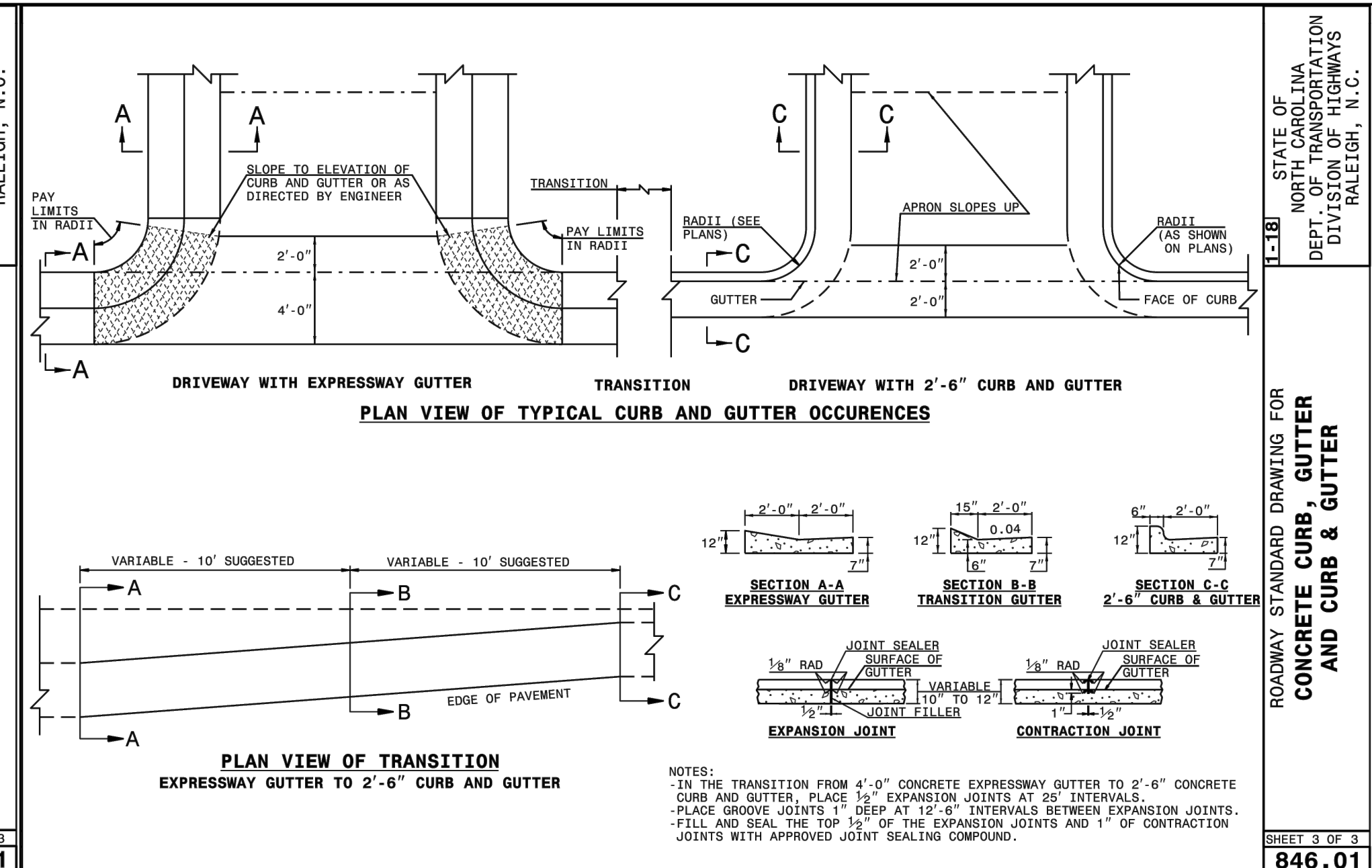


ROADWAY STANDARD DRAWING FOR CURB RAMP PROPOSED CURB AND GUTTER  
SHEET 2 OF 3  
848.05

ROADWAY STANDARD DRAWING FOR CONCRETE CURB, GUTTER AND CURB & GUTTER  
SHEET 2 OF 3  
846.01

ROADWAY STANDARD DRAWING FOR DRIVEWAY TURNOUT DROP CURB TYPE  
SHEET 1 OF 2  
848.03

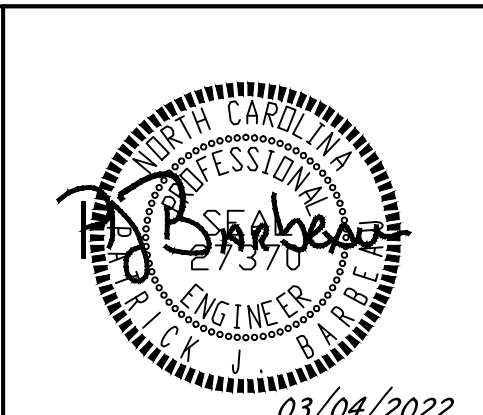
ROADWAY STANDARD DRAWING FOR CURB RAMP PROPOSED CURB AND GUTTER  
SHEET 2 OF 3  
848.05



ROADWAY STANDARD DRAWING FOR DRIVEWAY TURNOUT DRIVEWAY GRADES  
SHEET 2 OF 2  
848.03

ROADWAY STANDARD DRAWING FOR CURB RAMP PROPOSED CURB AND GUTTER  
SHEET 3 OF 3  
848.05

ROADWAY STANDARD DRAWING FOR CONCRETE CURB, GUTTER AND CURB & GUTTER  
SHEET 3 OF 3  
846.01



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DESIGNED BY: P. BARBEAU  
CHECKED BY: P. BARBEAU  
SCALE: AS SHOWN

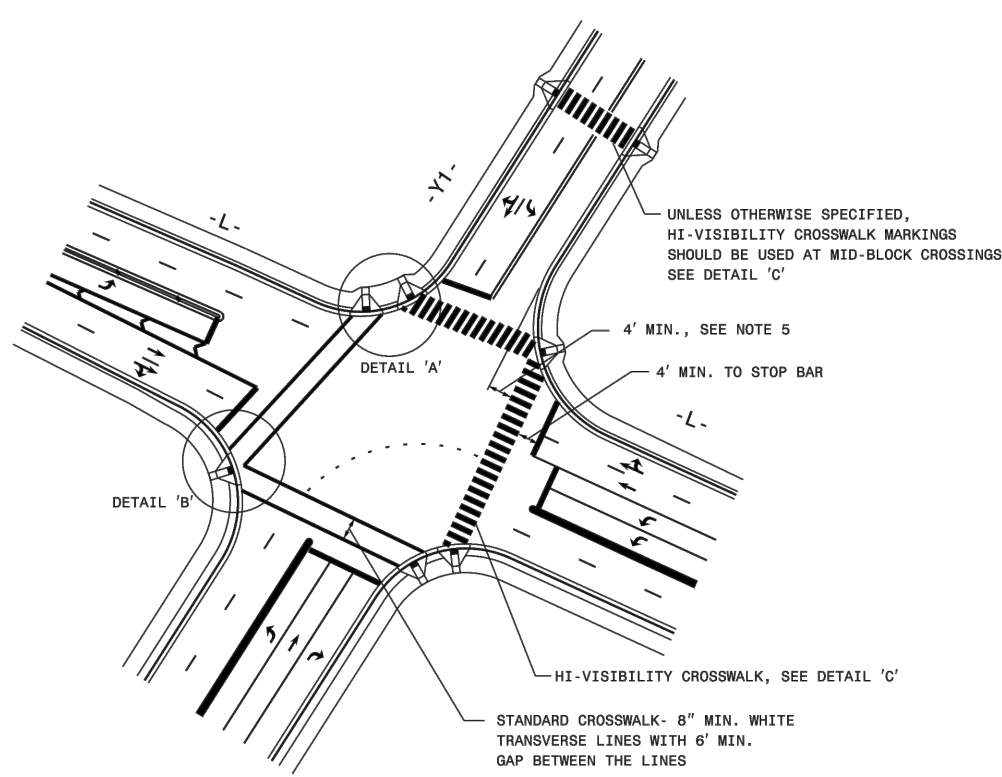
**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
ROLESVILLE CROSSING  
WAKE COUNTY - NORTH CAROLINA  
SITE DETAILS

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

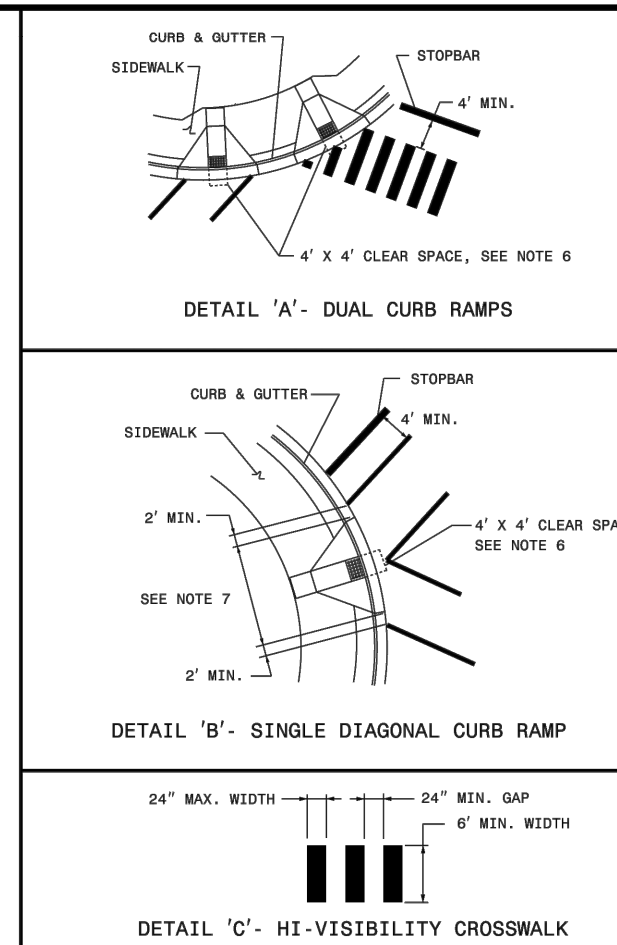
JOB NO. 43398  
SHEET NO. C7.0



CROSSWALK PLACEMENT GUIDANCE



- GENERAL NOTES:
- USE THE DETAILS ABOVE AND THE FOLLOWING NOTES FOR GUIDANCE IN PLACING CROSSWALK MARKINGS. REFER TO NCDOT ROADWAY STANDARD DRAWINGS, MUTCD AND ADA STANDARDS FOR ADDITIONAL GUIDANCE.
  - THE LOCATION AND TYPE OF CROSSWALK MARKINGS SHOWN ON THE ABOVE DETAILS ARE FOR REFERENCE ONLY. LOCATE CROSSWALK MARKINGS AS SHOWN ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER. THE CROSSWALK MARKING TYPE, STANDARD OR HI-VISIBILITY, SHALL BE INSTALLED AS SPECIFIED ON THE PROJECT DETAIL SHEETS OR AS DIRECTED BY THE ENGINEER.
  - THE STANDARD CROSSWALK IS TWO WHITE 6" MIN. TRANSVERSE LINES WITH A 6" MIN. GAP BETWEEN THE LINES. THE HI-VISIBILITY CROSSWALK IS WHITE 24" MAX. WIDE LONGITUDINAL LINES WITH 24" MIN. GAPS BETWEEN LINES, SEE DETAIL 'C'. HI-VISIBILITY CROSSWALKS SHOULD BE A MINIMUM OF 6' WIDE. CURB RAMP MARKINGS SHALL BE FULLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARES.
  - STOP BARS SHOULD BE PLACED A 4' MIN. IN ADVANCE OF NEAREST CROSSWALK LINE.
  - SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL IS 4' MIN.
  - BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4' X 4' MIN. SHALL BE PROVIDED WITHIN THE MARKINGS.
  - SINGLE DIAGONAL CURB RAMP WITH FLARED SIDES SHALL HAVE A SEGMENT OF CURB 2' MIN. LONG LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING, SEE DETAIL 'B'.
  - CURB RAMP SHALL BE CONSTRUCTED IN ACCORDANCE TO THE LATEST NCDOT ROADWAY STANDARD DRAWINGS. CURB RAMP THROUGH MEDIAN ISLANDS, SINGLE RAMP AT DUAL CROSSINGS OR LIMITED #/R STATIONS, WILL BE HANDLED BY SPECIAL DETAILS. CONTACT THE CONTRACT STANDARDS AND DEVELOPMENT UNIT FOR DETAILS OR A SPECIAL DESIGN.

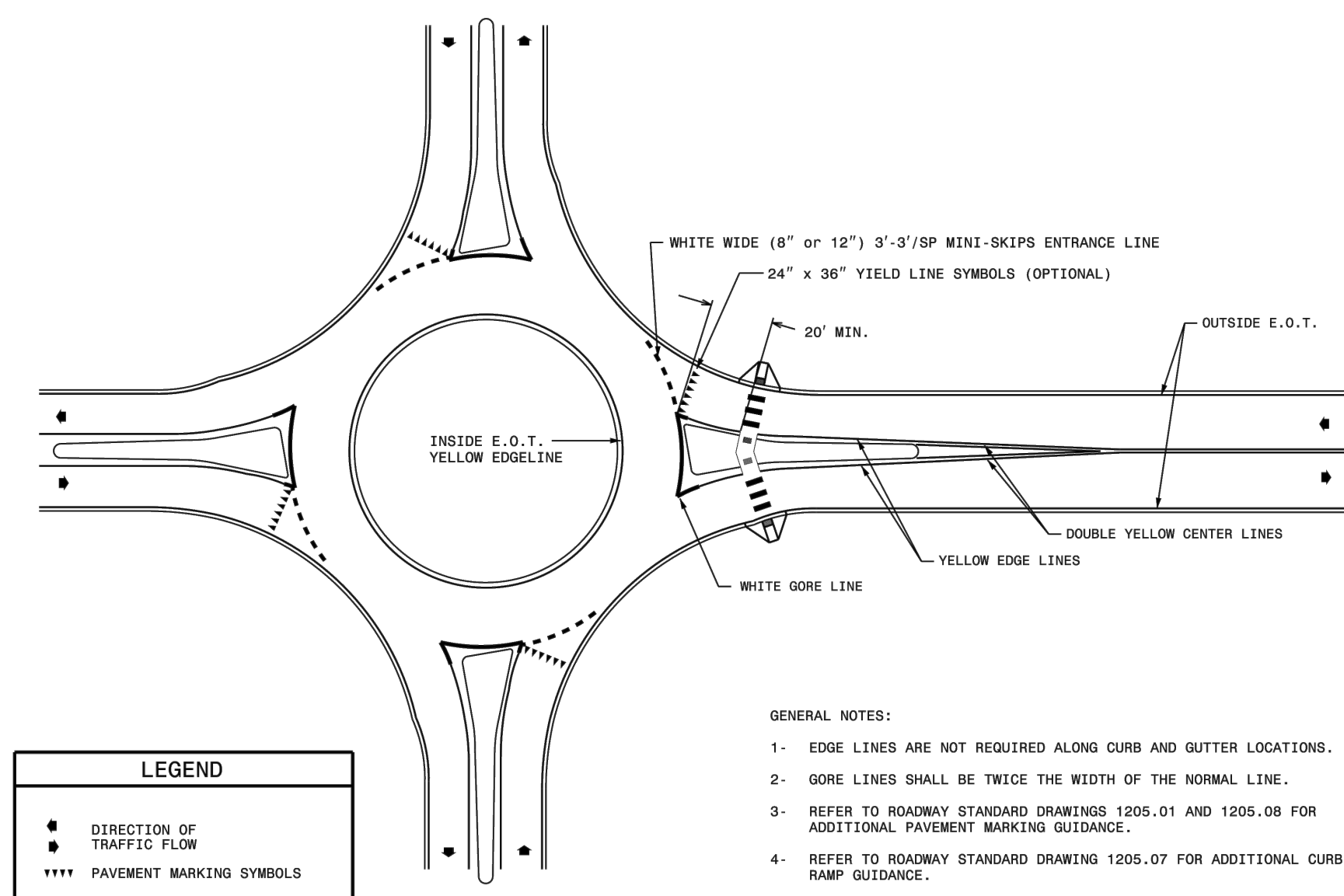


STATE OF NORTH CAROLINA  
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RALEIGH, N. C.

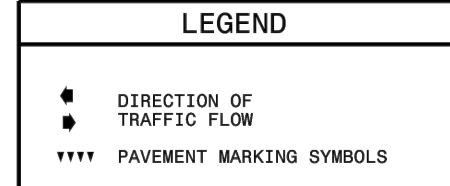
ROADWAY STANDARD DRAWING FOR  
**PAVEMENT MARKINGS**  
PEDESTRIAN CROSSWALKS

SHEET 1 OF 1  
**1205.07**

SINGLE-LANE ROUNDABOUT



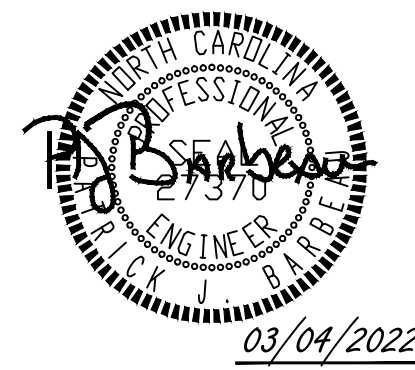
- GENERAL NOTES:
- EDGE LINES ARE NOT REQUIRED ALONG CURB AND GUTTER LOCATIONS.
  - GORE LINES SHALL BE TWICE THE WIDTH OF THE NORMAL LINE.
  - REFER TO ROADWAY STANDARD DRAWINGS 1205.01 AND 1205.08 FOR ADDITIONAL PAVEMENT MARKING GUIDANCE.
  - REFER TO ROADWAY STANDARD DRAWING 1205.07 FOR ADDITIONAL CURB RAMP GUIDANCE.



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ROADWAY STANDARD DRAWING FOR  
**PAVEMENT MARKINGS**  
ROUNDABOUTS

SHEET 1 OF 2  
**1205.14**

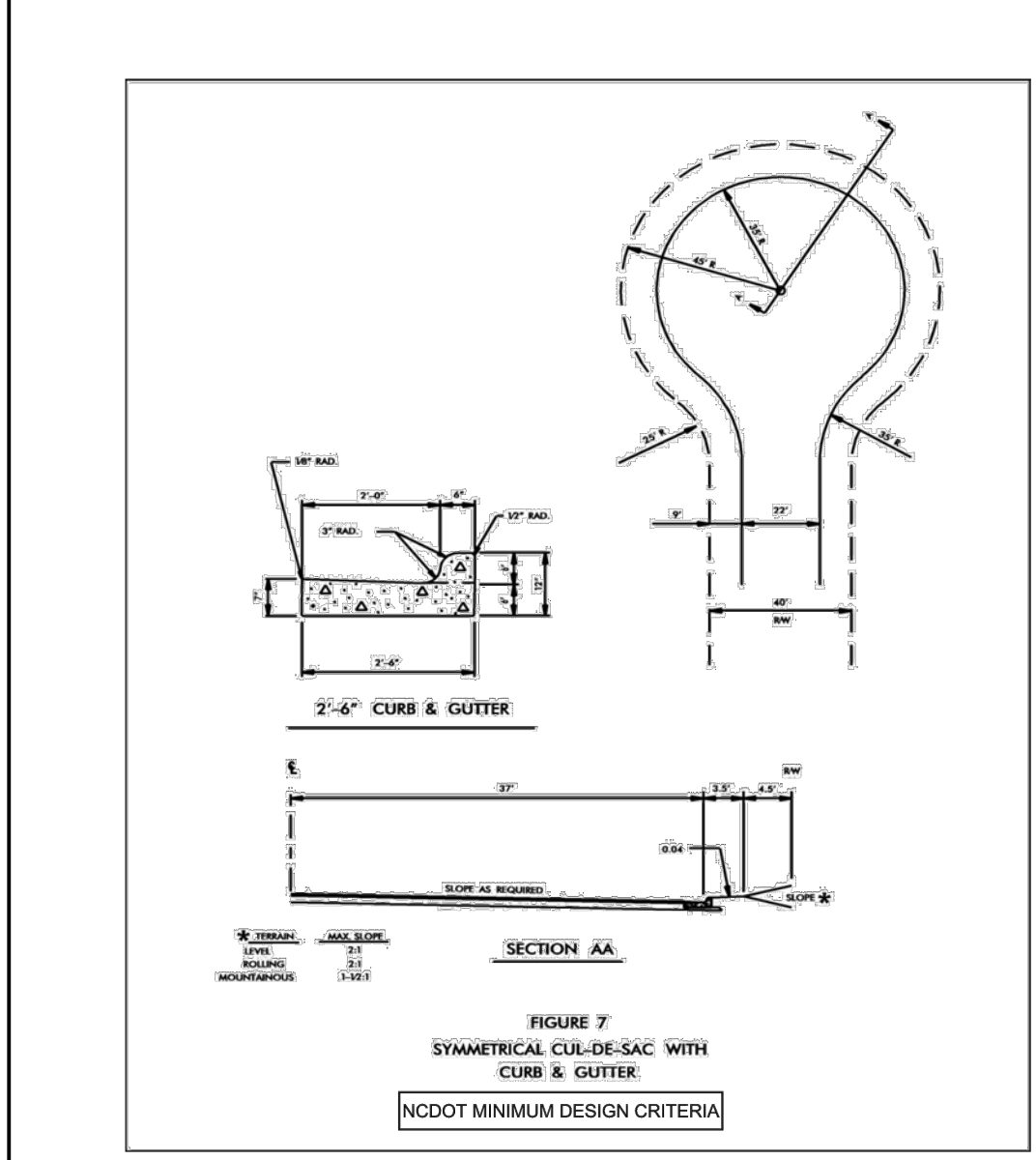


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REVISION	DATE	DESCRIPTION
1	03/04/2022	PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL
2	12/22/21	CONSTRUCTION DOCUMENT SUBMITTAL
3	09/17/21	REVISIONS PER TRC COMMENTS
4	07/08/21	CONSTRUCTION DOCUMENT SUBMITTAL

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DESIGNED BY: P. BARBEAU  
CHECKED BY: P. BARBEAU  
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**OP PLAY**  
2458 SOUTH SANTA FE AVE  
VISTA, CA 92084  
TOLL FREE: 1-800-585-3131  
PHONE: (760) 597-5960  
FAX: (760) 597-5961  
www.pdplay.com

AGE GROUP: 2-5  
MINIMUM SIZE ZONE: 22' X 22'  
MAX FALL HEIGHT: 4'  
NO. OF KIDS: 15  
NO. OF PLAY ELEMENTS: 6  
NO. OF MUX JABS: 1000  
% OF RECYCLED CONTENT: 73.5%  
TOTAL WEIGHT: 1700

NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. DO NOT SCALE DRAWING.  
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.  
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.  
5. CONTRACTOR NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADetails.com/info AND ENTER REFERENCE NUMBER 787-011.

2-5 AGE GROUP  
JUMPER PLAY STRUCTURE

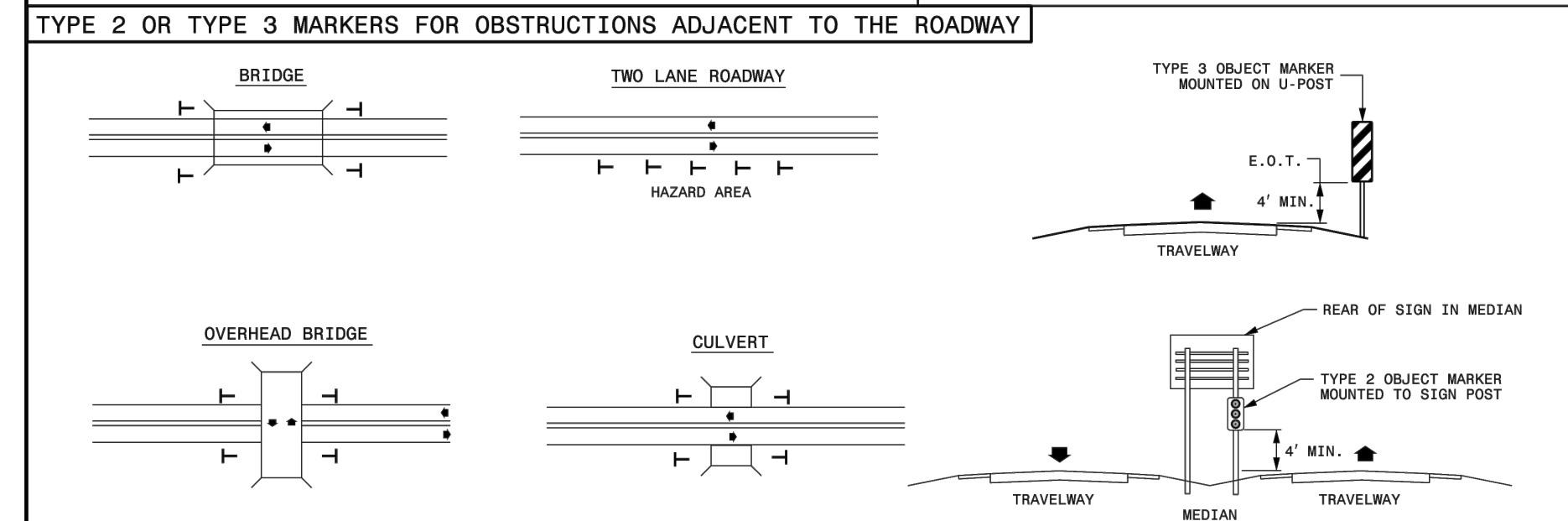
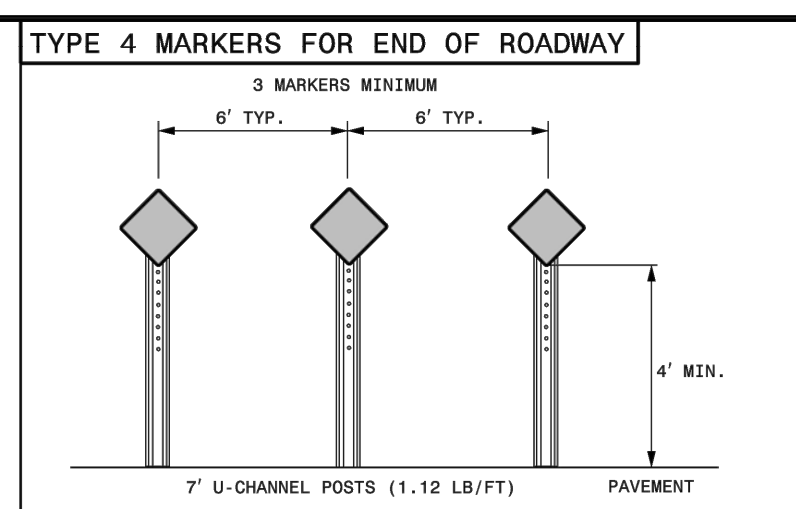
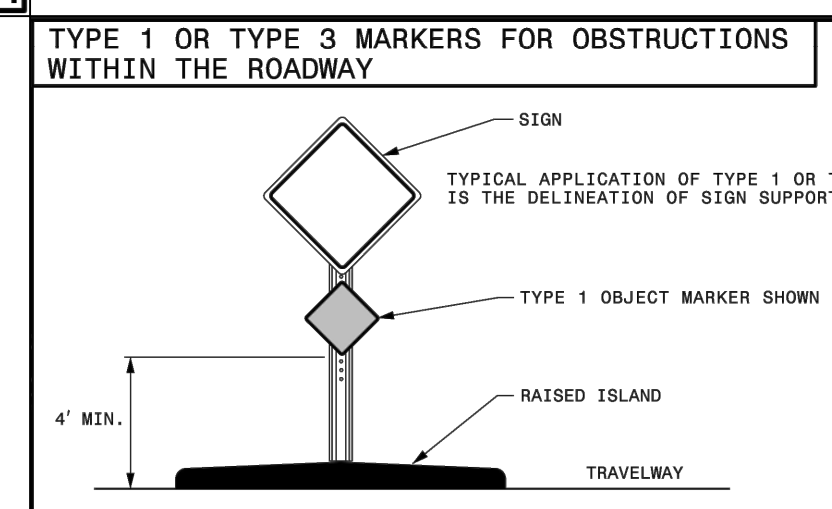
187-011  
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REVISION DATE: 08/09/2020  
CADetails.com

MODEL NUMBER	a	b	SLAT
CLB/G-4	48	40	3/4 X 2-1/2
CLB/G-6	72	64	3/4 X 3

4 FT MODEL DOES NOT HAVE CENTER SUPPORT CHANNEL  
6 FT MODEL HAS CENTER SUPPORT CHANNEL

Thomas Mfg. Co., Inc.  
P.O. Box 946 • Charlotte, NC 28209-0946  
Specification Bulletin SPC-145

DATE: 9-23-08  
DRAWN BY: WWM  
TITLE: CLB SERIES 4 AND 6 FOOT CLASSIC BENCH WITH HARDWOOD LUMBER SEAT SLATS  
DWG NO.: AL-1820

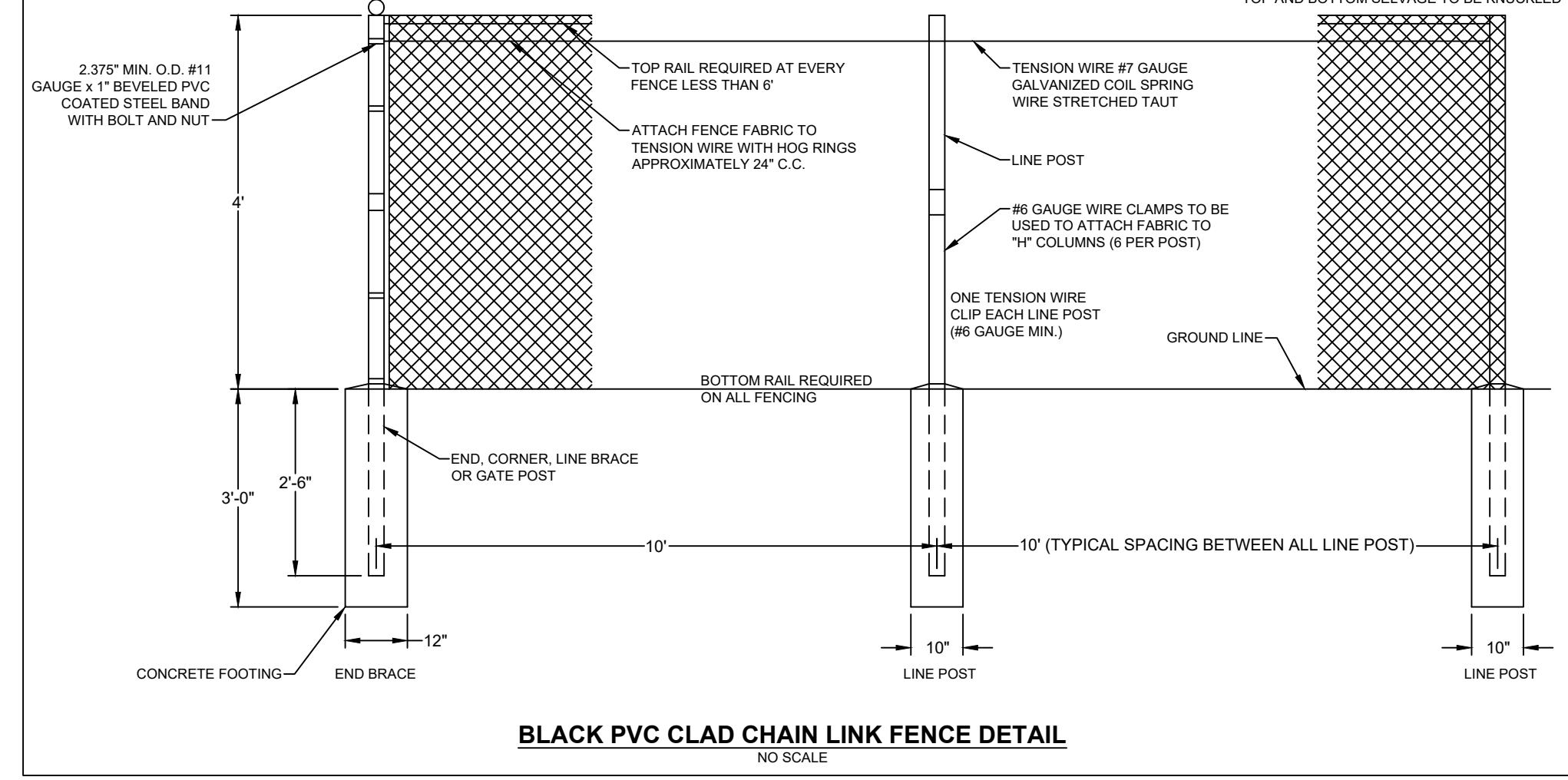
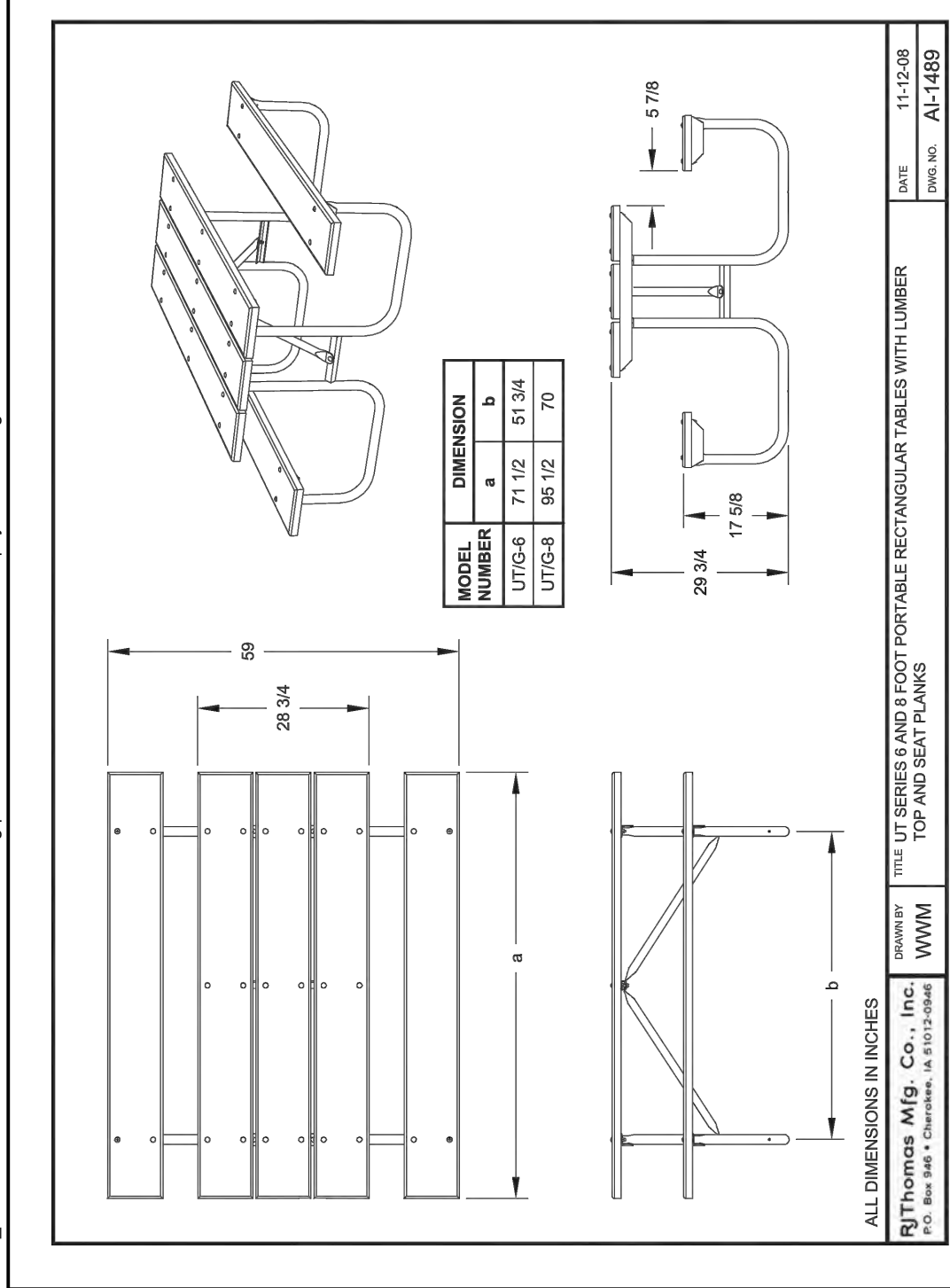


TYPICAL APPLICATIONS OF TYPE 2 OR TYPE 3 OBJECT MARKERS INCLUDES DELINEATION OF BRIDGE PIERS, ABUTMENTS, HANDRAILS, CULVERT HEADWALLS, NARROW SHOULDERS, DROP OFFS, OR OTHER UNDESIRABLE CONDITIONS WHEN GUARDRAIL OR OTHER ROADSIDE PROTECTION IS NOT IN PLACE.

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ROADWAY STANDARD DRAWING FOR  
**OBJECT MARKERS**  
INSTALLATION

SHEET 1 OF 1  
**1264.02**



BLACK PVC CLAD CHAIN LINK FENCE DETAIL  
NO SCALE

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652  
ROLESVILLE CROSSING  
WAKE COUNTY - NORTH CAROLINA  
SITE DETAILS

JOB NO. 43398  
SHEET NO. C7.1

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 REVISIONS PER TRC COMMENTS  
 CONSTRUCTION DOCUMENT SUBMITTAL  
 CONSTRUCTION DOCUMENT SUBMITTAL  
 PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL

DATE	DATE
07/08/21	03/04/22
09/17/21	
12/22/21	
03/04/2022	

DATE  
 03/04/22

DRAWN BY  
 S. FANTAYE

DESIGNED BY  
 S. FANTAYE

CHECKED BY  
 J. BLASCO

SCALE  
 AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

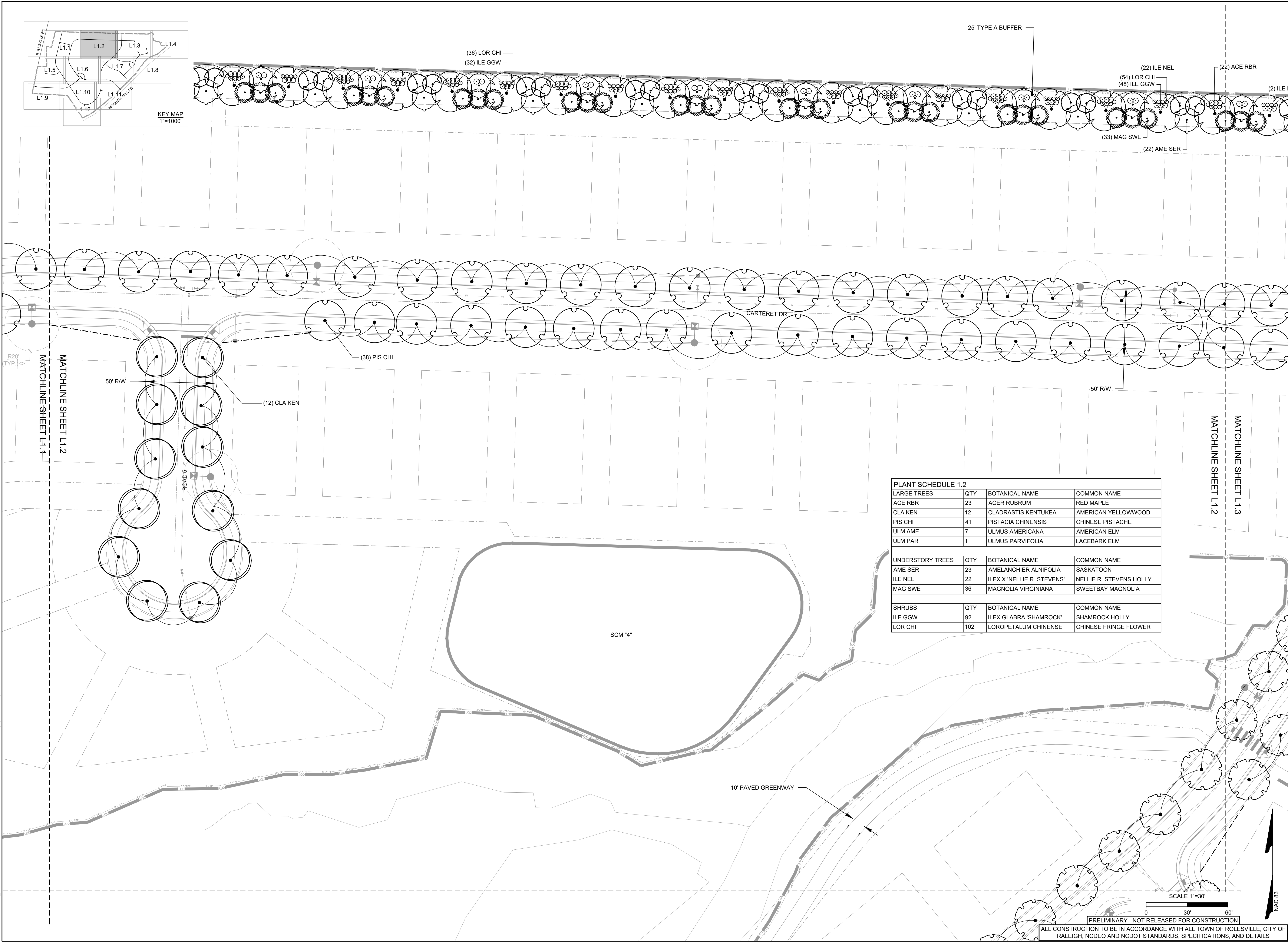
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### LANDSCAPE PLAN

JOB NO.  
**43398**

SHEET NO.  
**L1.2**

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**PLANT SCHEDULE 1.2**

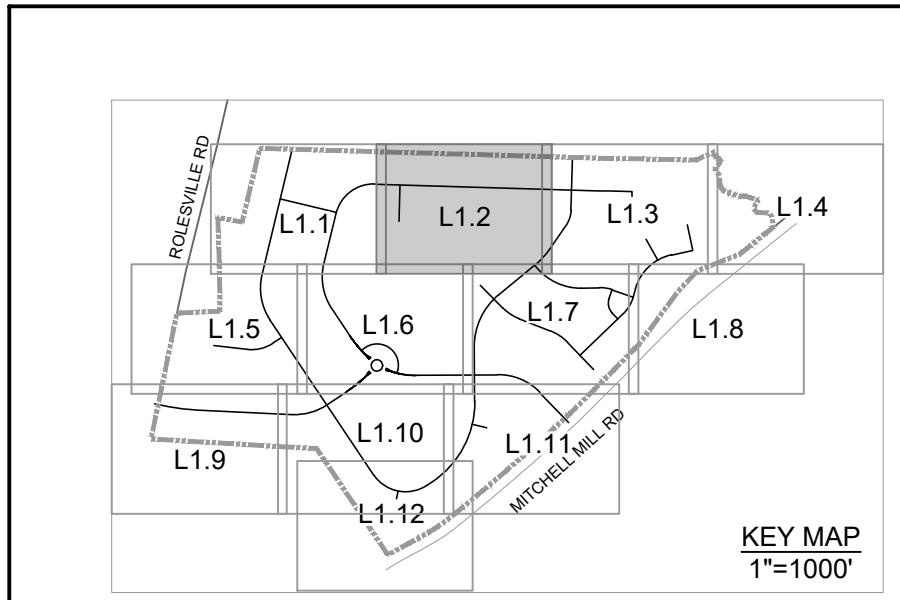
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
ACE RBR	23	ACER RUBRUM	RED MAPLE
CLA KEN	12	CLADRASTIS KENTUKEA	AMERICAN YELLOWWOOD
PIS CHI	41	PISTACIA CHINENSIS	CHINESE PISTACHE
ULM AME	7	ULMUS AMERICANA	AMERICAN ELM
ULM PAR	1	ULMUS PARVIFOLIA	LACEBARK ELM

UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
AME SER	23	AMELANCHIER ALNIFOLIA	SASKATOON
ILE NEL	22	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY
MAG SWE	36	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA

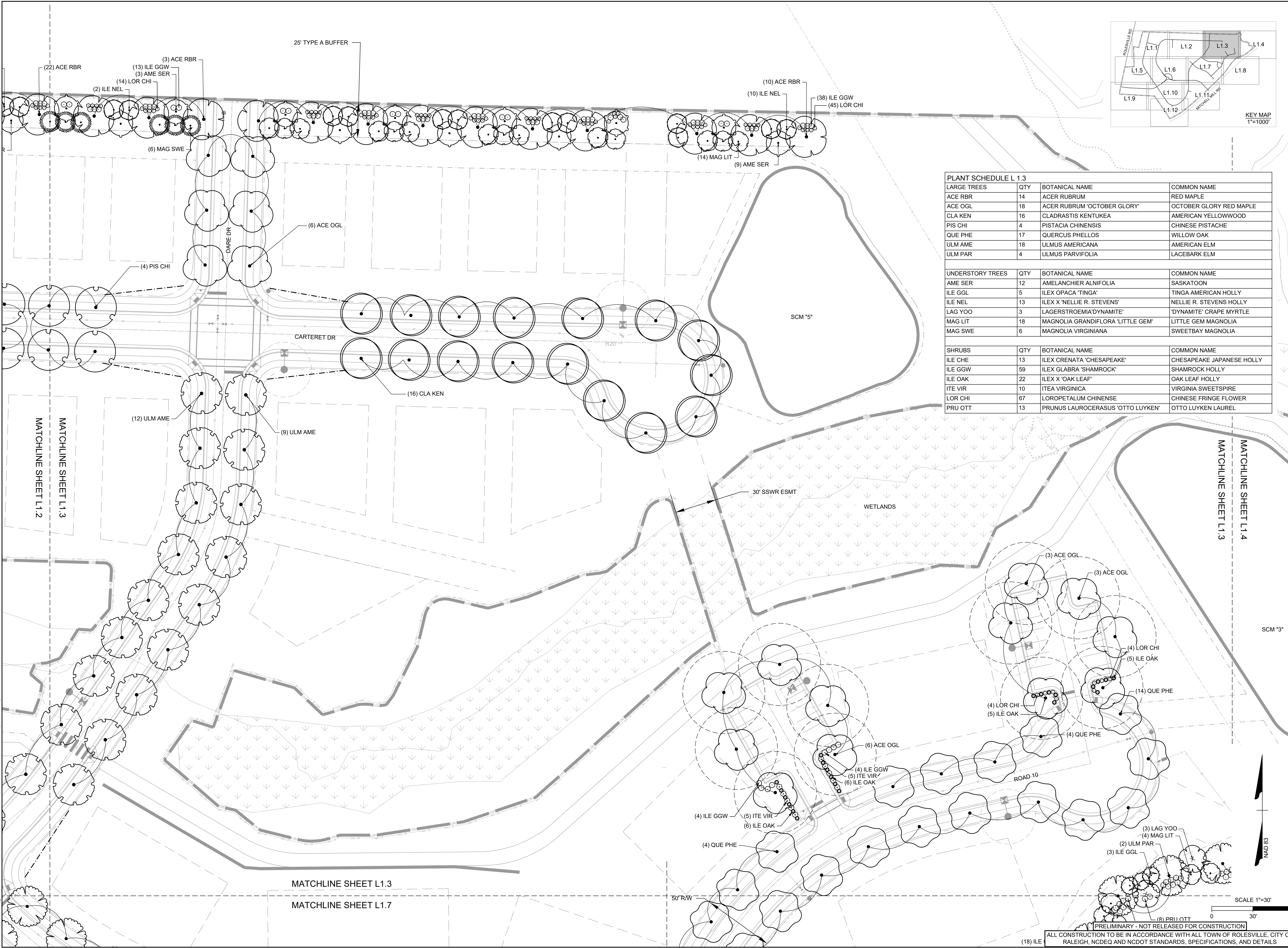
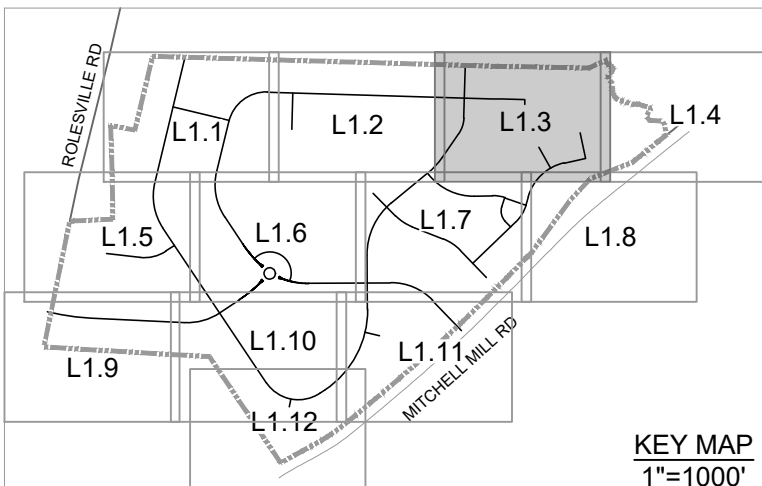
  

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE GGW	92	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOLLY
LOR CHI	102	LOROPETALUM CHINENSE	CHINESE FRINGE FLOWER



S:\324\43398-Wheeler\_Timed\DWG\SheetCD\43398-L1.0-PLANT.DWG | Plotted on 3/4/2022 2:24 PM | by Stam Fantaye





**PLANT SCHEDULE L 1.3**

LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
ACE RBR	14	ACER RUBRUM	RED MAPLE
ACE OGL	18	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE
CLA KEN	16	CLADRSTIS KENTUKEA	AMERICAN YELLOWWOOD
PIS CHI	4	PISTACIA CHINENSIS	CHINESE PISTACHE
QUE PHE	17	QUERCUS PHELLOS	WILLOW OAK
ULM AME	18	ULMUS AMERICANA	AMERICAN ELM
ULM PAR	4	ULMUS PARVIFOLIA	LACEBARK ELM

UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
AME SER	12	AMELANCHIER ALNIFOLIA	SASKATOON
ILE GGL	5	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
ILE NEL	13	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY
LAG YOO	3	LAGERSTROEMIA'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE
MAG LIT	18	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA
MAG SWE	6	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE CHE	13	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY
ILE GGW	59	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOLLY
ILE OAK	22	ILEX X 'OAK LEAF'	OAK LEAF HOLLY
ITE VIR	10	ITEA VIRGINICA	VIRGINIA SWEETSPICE
LOR CHI	67	LOROPETALUM CHINENSE	CHINESE FRINGE FLOWER
PRU OTT	13	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL

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PRELIMINARY PLAT / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

DATE  
03/04/22

DRAWN BY  
S. FANTAYE

DESIGNED BY  
S. FANTAYE

CHECKED BY  
J. BLASCO

SCALE  
AS SHOWN

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**ROLESVILLE CROSSING**

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

**LANDSCAPE PLAN**

JOB NO.  
43398

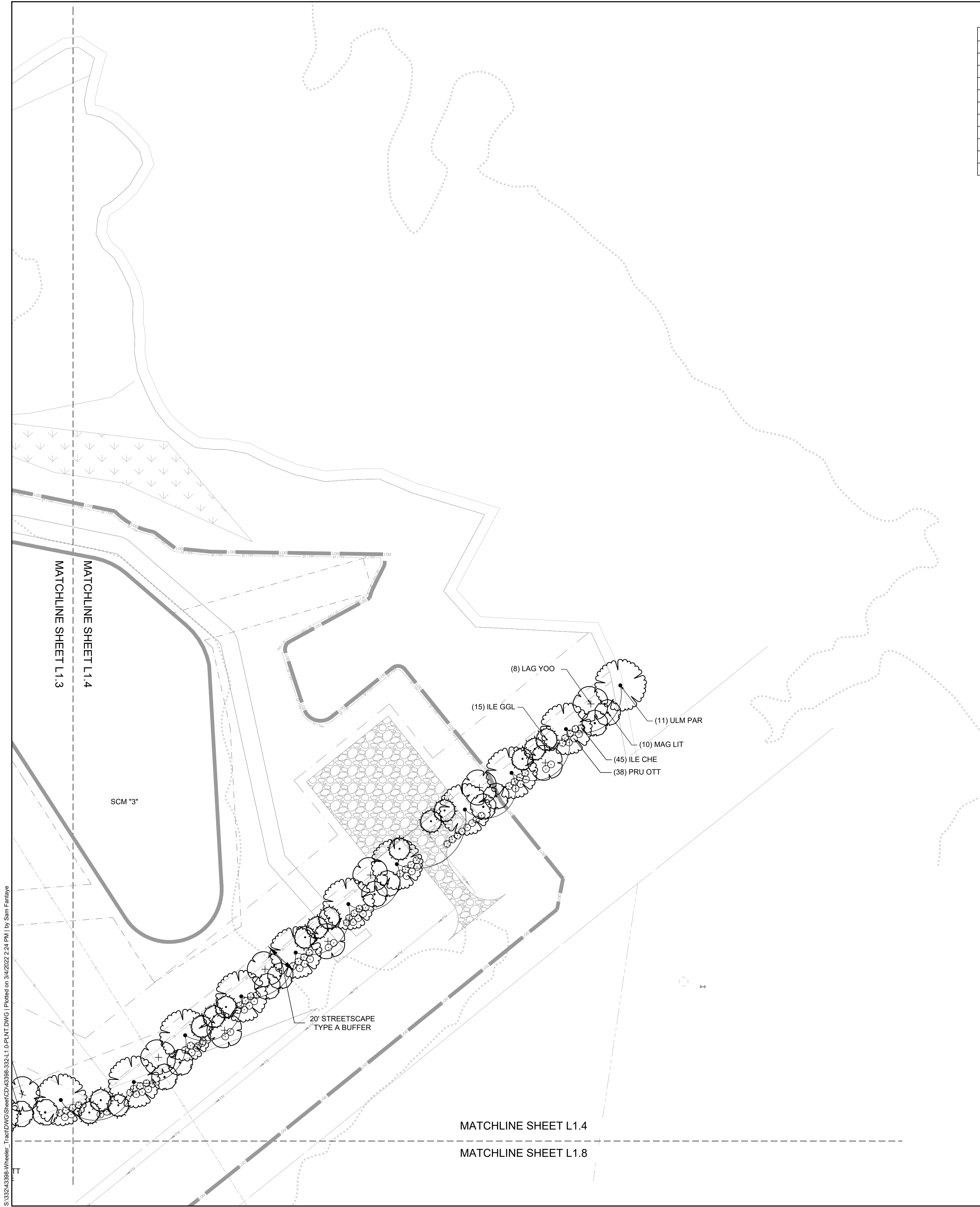
SHEET NO.  
L1.3

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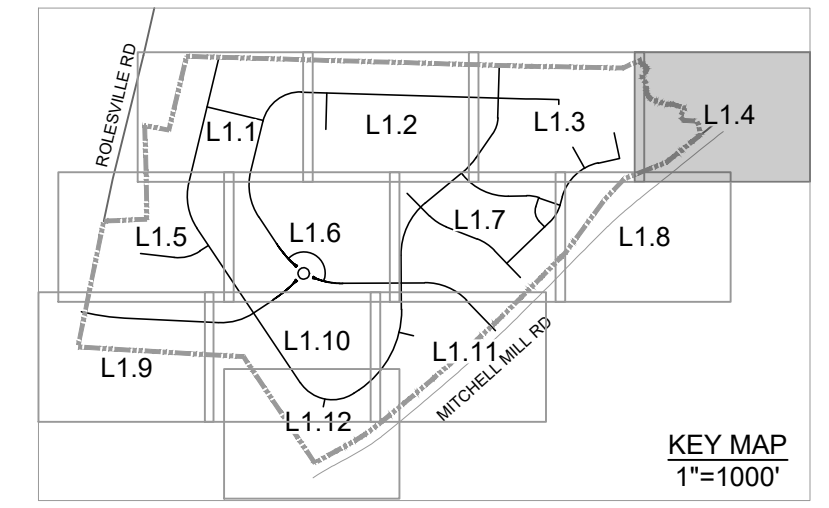
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PLANT SCHEDULE L 1.4			
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
ULM PAR	11	ULMUS PARVIFOLIA	LACEBARK ELM
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
ILE GGL	15	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
LAG YOO	8	LAGERSTROEMIA 'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE
MAG LIT	11	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE CHE	45	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY
PRU OTT	38	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL



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12/22/21	CONSTRUCTION DOCUMENT SUBMITTAL
03/04/2022	PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

DATE: 03/04/22  
 DRAWN BY: S. FANTAYE  
 DESIGNED BY: S. FANTAYE  
 CHECKED BY: J. BLASCO  
 SCALE: AS SHOWN

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**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**LANDSCAPE PLAN**

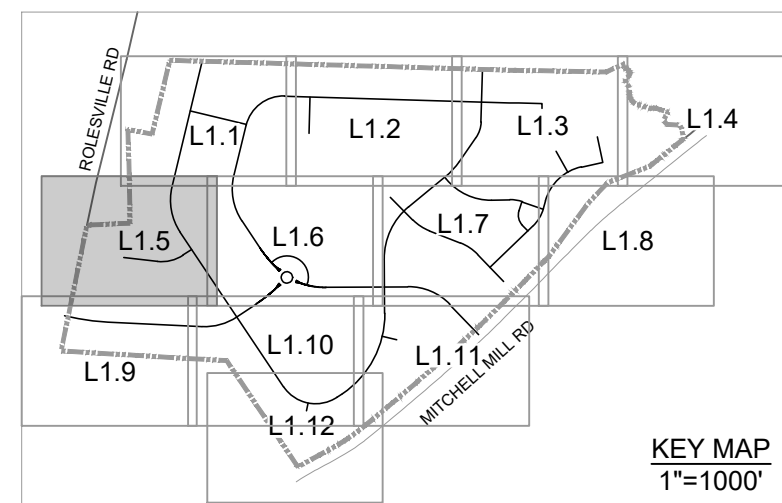
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PLANT SCHEDULE L 1.5			
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
CLA KEN	20	CLADRASTIS KENTUCKEA	AMERICAN YELLOWWOOD
LIQ STY	21	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM
QUE BIC	30	QUERCUS BICOLOR	SWAMP WHITE OAK
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
AME SER	12	AMELANCHIER ALNIFOLIA	SASKATOON
COR WHT	11	CORNUS FLORIDA	WHITE DOGWOOD
ILE NEL	12	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY
JUN EAS	12	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR
MAG LIT	15	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA
MAG SWE	12	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ABE GRB	51	ABELIA GRANDIFLORA	GLOSSY ABELIA
ILE VOM	85	ILEX VOMITORIA	YAUPON HOLLY
ILE OAK	52	ILEX X 'OAK LEAF'	OAK LEAF HOLLY

20' STREETSCAPE  
- TYPE A BUFFER  
20' R/W  
DEDICATION

(7) ILE VOM  
(12) ABE GRB  
(2) LIQ STY  
(2) AME SER

(40) ILE VOM  
(44) ABE GRB  
(10) AME SER  
(12) JUN EAS  
(9) LIQ STY  
(15) MAG LIT

(20) ILE VOM  
(21) ILE OAK  
(6) ILE NEL

(5) LIQ STY  
(5) COR WHT  
(6) MAG SWE

(22) ILE OAK  
(14) ILE VOM  
(4) MAG SWE

(6) ILE VOM  
(9) ILE OAK  
(1) COR WHT  
(2) MAG SWE  
(1) LIQ STY

MATCHLINE SHEET L1.1  
MATCHLINE SHEET L1.5

155  
10,706 SF

(17) QUE BIC

50' R/W

(20) CLA KEN

(9) QUE BIC

MATCHLINE SHEET L1.5  
MATCHLINE SHEET L1.6

SCALE 1"=30'  
0 30' 60'

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DESIGNED BY S. FANTAYE  
CHECKED BY J. BLASCO  
SCALE AS SHOWN

REVISION PER TRC COMMENTS  
CONSTRUCTION DOCUMENT SUBMITTAL  
CONSTRUCTION DOCUMENT SUBMITTAL  
PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL

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NORTH CAROLINA LICENSE NO. C-1652  
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ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**LANDSCAPE PLAN**

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SHEET NO. L1.5

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DRAWN BY  
 S. FANTAYE

DESIGNED BY  
 S. FANTAYE

CHECKED BY  
 J. BLASCO

SCALE  
 AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

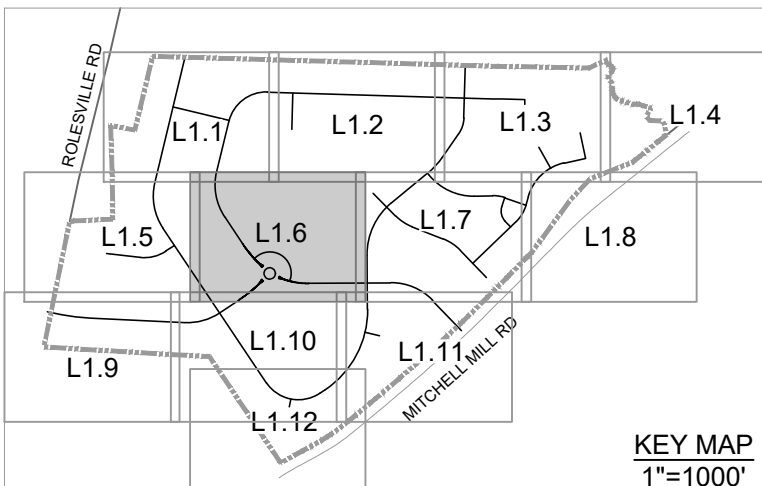
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### LANDSCAPE PLAN

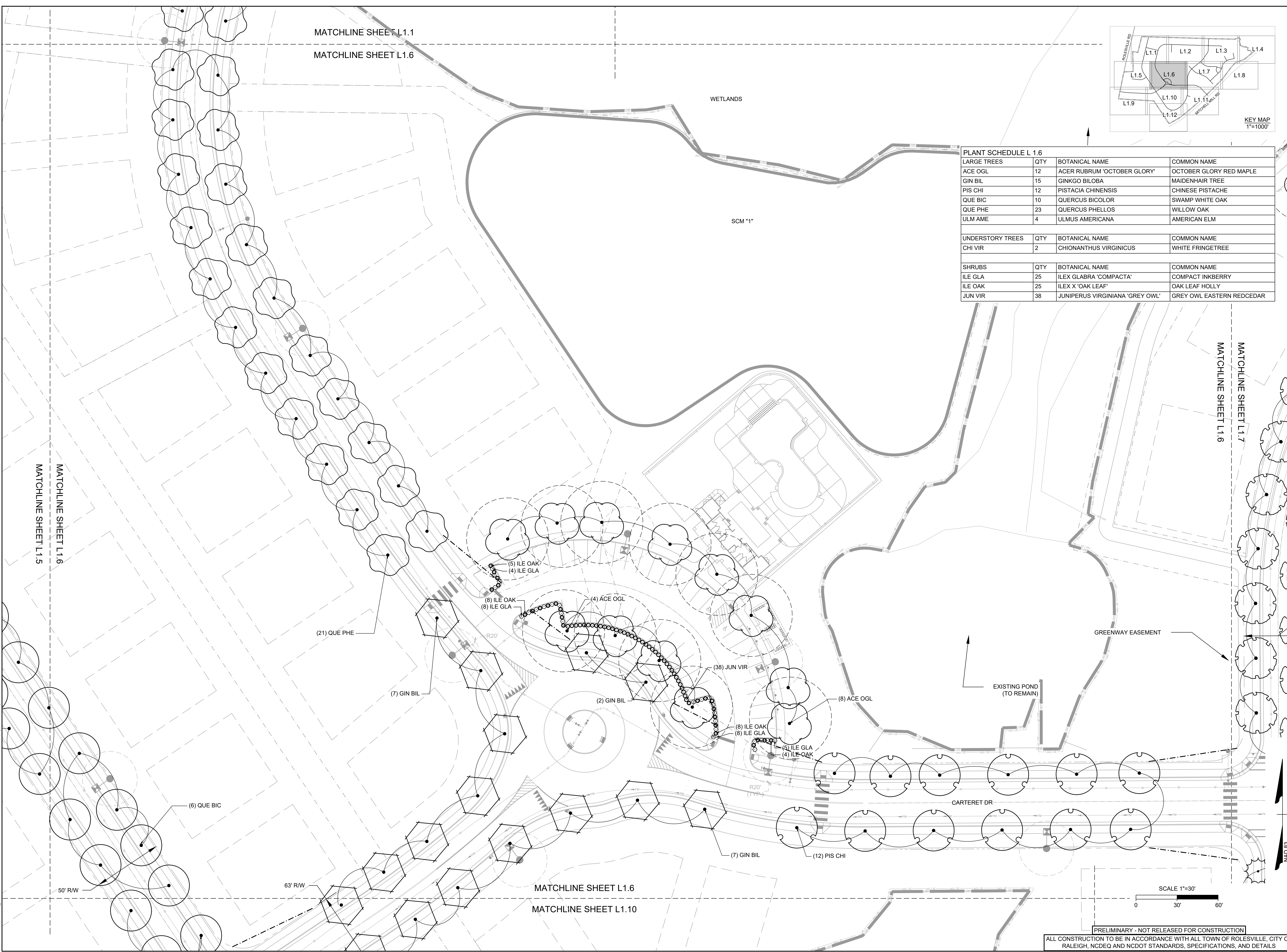
JOB NO.  
**43398**

SHEET NO.  
**L1.6**

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PLANT SCHEDULE L 1.6			
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
ACE OGL	12	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE
GIN BIL	15	GINKGO BILOBA	MAIDENHAIR TREE
PIS CHI	12	PISTACIA CHINENSIS	CHINESE PISTACHE
QUE BIC	10	QUERCUS BICOLOR	SWAMP WHITE OAK
QUE PHE	23	QUERCUS PHELLOS	WILLOW OAK
ULM AME	4	ULMUS AMERICANA	AMERICAN ELM
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
CHI VIR	2	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE GLA	25	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY
ILE OAK	25	ILEX X 'OAK LEAF'	OAK LEAF HOLLY
JUN VIR	38	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN REDCEDAR



MATCHLINE SHEET L1.1  
 MATCHLINE SHEET L1.6

MATCHLINE SHEET L1.5  
 MATCHLINE SHEET L1.6

MATCHLINE SHEET L1.7  
 MATCHLINE SHEET L1.6

MATCHLINE SHEET L1.6  
 MATCHLINE SHEET L1.10

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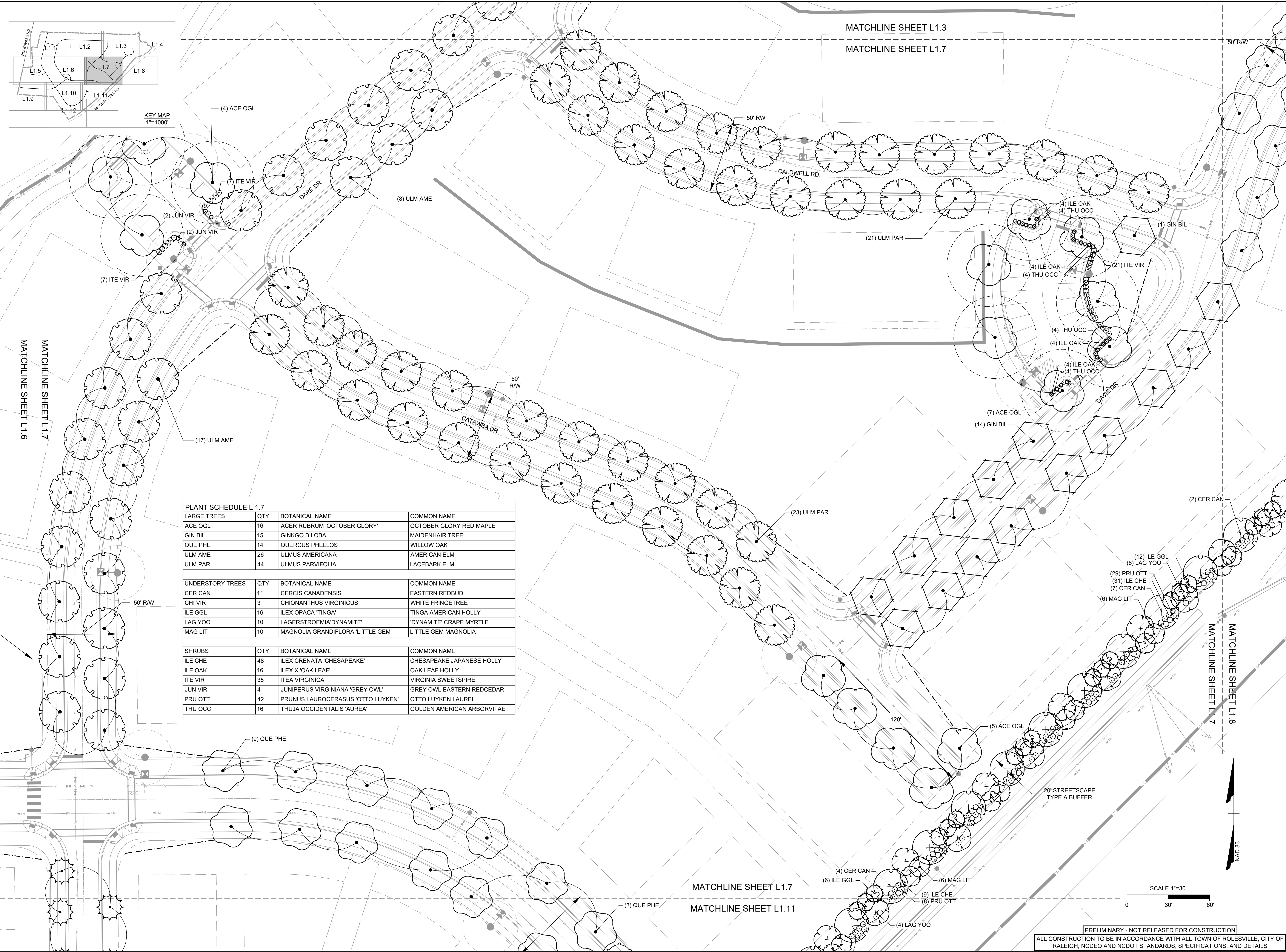
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 03/04/22  
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 S. FANTAYE  
 DESIGNED BY  
 S. FANTAYE  
 CHECKED BY  
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 SCALE  
 AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**LANDSCAPE PLAN**

JOB NO.  
**43398**  
 SHEET NO.  
**L1.7**

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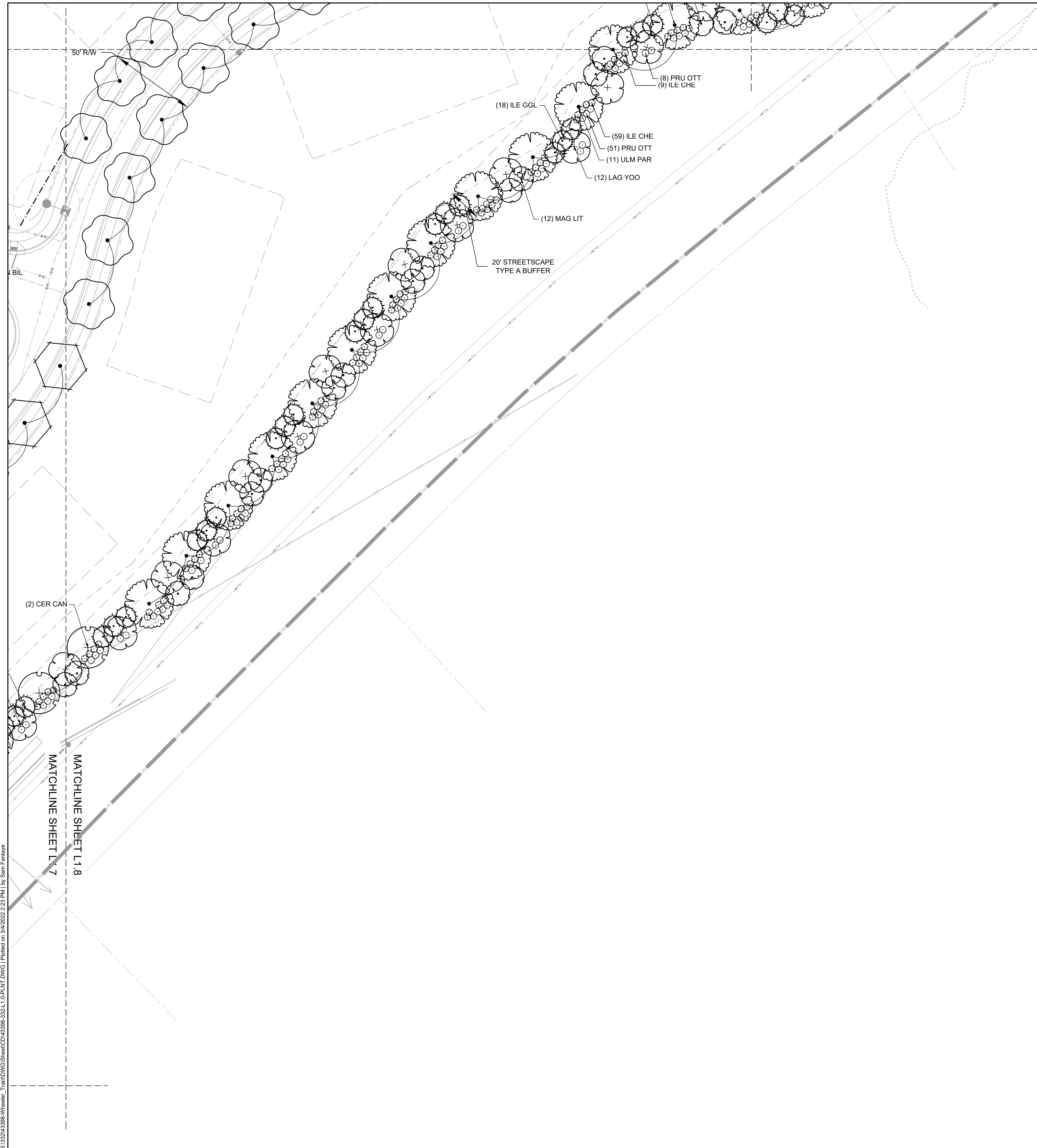


PLANT SCHEDULE L 1.7			
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
ACE OGL	16	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE
GIN BIL	15	GINKGO BILOBA	MAIDENHAIR TREE
QUE PHE	14	QUERCUS PHELLOS	WILLOW OAK
ULM AME	26	ULMUS AMERICANA	AMERICAN ELM
ULM PAR	44	ULMUS PARVIFOLIA	LACEBARK ELM
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
CER CAN	11	CERCIS CANADENSIS	EASTERN REDBUD
CHI VIR	3	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE
ILE GGL	16	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
LAG YOO	10	LAGERSTROEMIA 'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE
MAG LIT	10	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE CHE	48	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY
ILE OAK	16	ILEX X 'OAK LEAF'	OAK LEAF HOLLY
ITE VIR	35	ITEA VIRGINICA	VIRGINIA SWEETSPIRE
JUN VIR	4	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN REDCEDAR
PRU OTT	42	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL
THU OCC	16	THUJA OCCIDENTALIS 'AUREA'	GOLDEN AMERICAN ARBORVITAE

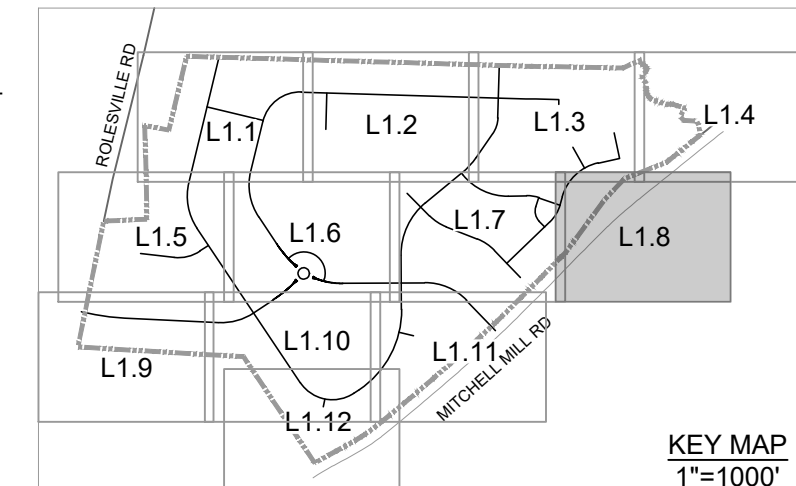
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MATCHLINE SHEET L1.4  
MATCHLINE SHEET L1.8



PLANT SCHEDULE L 1.8			
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
GIN BIL	2	GINKGO BILOBA	MAIDENHAIR TREE
QUE PHE	9	QUERCUS PHELLOS	WILLOW OAK
ULM PAR	14	ULMUS PARVIFOLIA	LACEBARK ELM
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
CER CAN	2	CERCIS CANADENSIS	EASTERN REDBUD
ILE GGL	25	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
LAG YOO	14	LAGERSTROEMIA 'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE
MAG LIT	16	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE CHE	72	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY
PRU OTT	65	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL



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PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

DATE  
03/04/22  
DRAWN BY  
S. FANTAYE  
DESIGNED BY  
S. FANTAYE  
CHECKED BY  
J. BLASCO  
SCALE  
AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### LANDSCAPE PLAN

JOB NO.  
43398  
SHEET NO.  
L1.8

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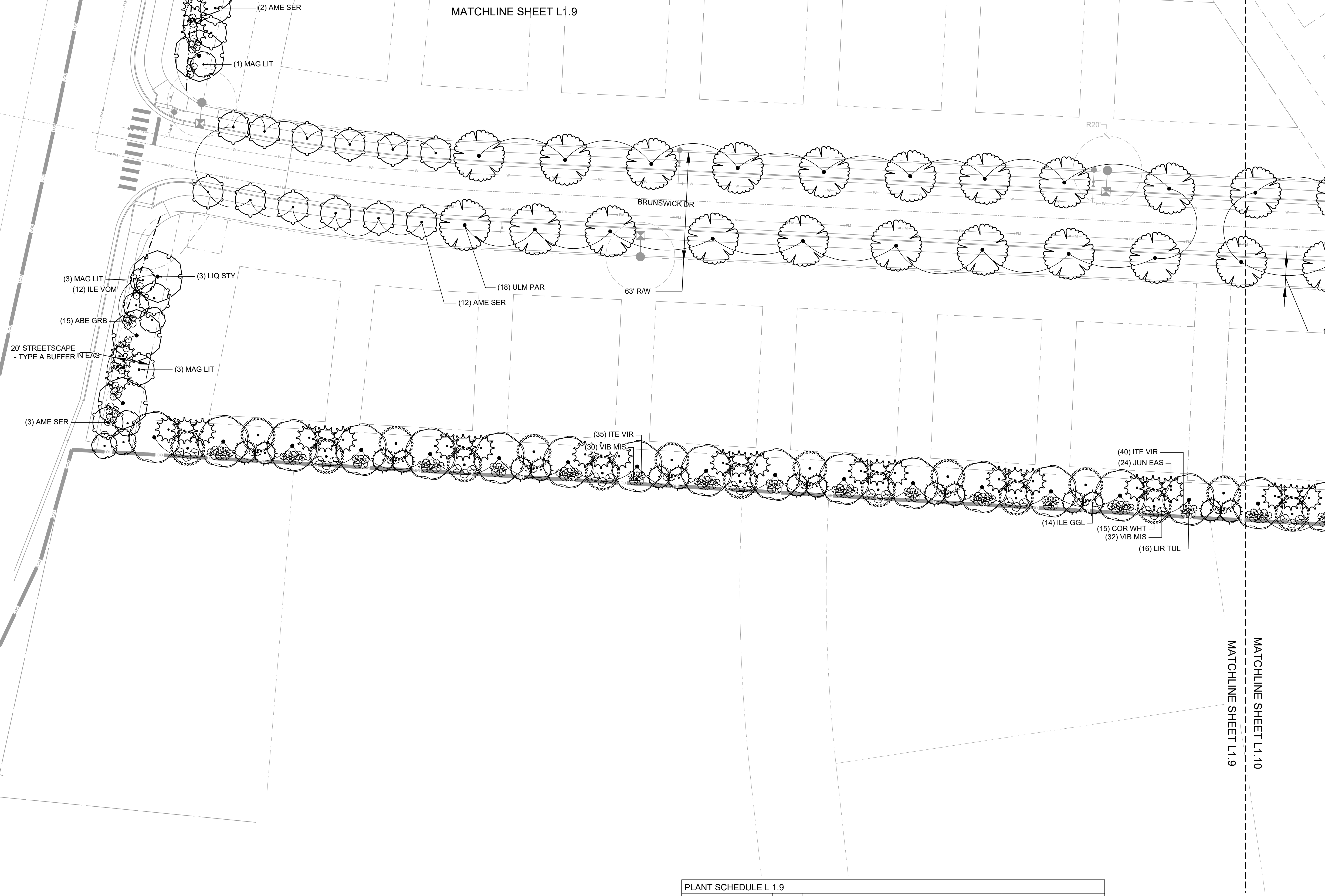




KEY MAP  
1"=1000'

(7) ILE VOM  
(12) ABE GRB  
(2) LIQ STY

MATCHLINE SHEET L1.5  
MATCHLINE SHEET L1.9



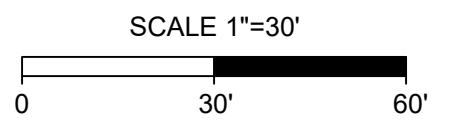
(3) MAG LIT  
(12) ILE VOM  
(15) ABE GRB  
20' STREETSCAPE  
- TYPE A BUFFER IN EAS  
(3) MAG LIT  
(3) AME SER

(18) ULM PAR  
(12) AME SER

(35) ITE VIR  
(30) VIB MIS

(40) ITE VIR  
(24) JUN EAS  
(14) ILE GGL  
(15) COR WHT  
(32) VIB MIS  
(16) LIR TUL

PLANT SCHEDULE L 1.9			
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
LIQ STY	5	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM
LIR TUL	17	LIRIODENDRON TULIPIFERA	TULIP POPLAR
ULM PAR	20	ULMUS PARVIFOLIA	LACEBARK ELM
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
AME SER	17	AMELANCHIER ALNIFOLIA	SASKATOON
COR WHT	16	CORNUS FLORIDA	WHITE DOGWOOD
ILE GGL	16	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
JUN EAS	29	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR
MAG LIT	8	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ABE GRB	27	ABELIA GRANDIFLORA	GLOSSY ABELIA
ILE VOM	19	ILEX VOMITORIA	YAUPON HOLLY
ITE VIR	82	ITEA VIRGINICA	VIRGINIA SWEETSPIRE
VIB MIS	66	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	VIBURNUM



MATCHLINE SHEET L1.10  
MATCHLINE SHEET L1.9



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DATE  
03/04/22

DRAWN BY  
S. FANTAYE

DESIGNED BY  
S. FANTAYE

CHECKED BY  
J. BLASCO

SCALE  
AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**LANDSCAPE PLAN**

JOB NO.  
**43398**

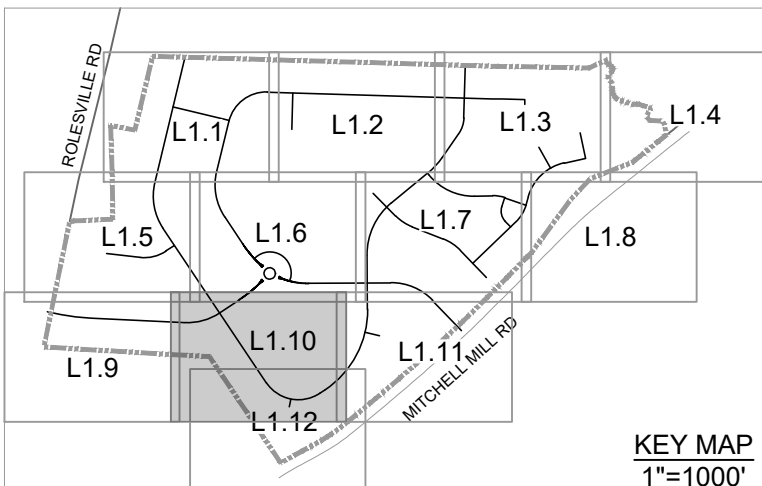
SHEET NO.  
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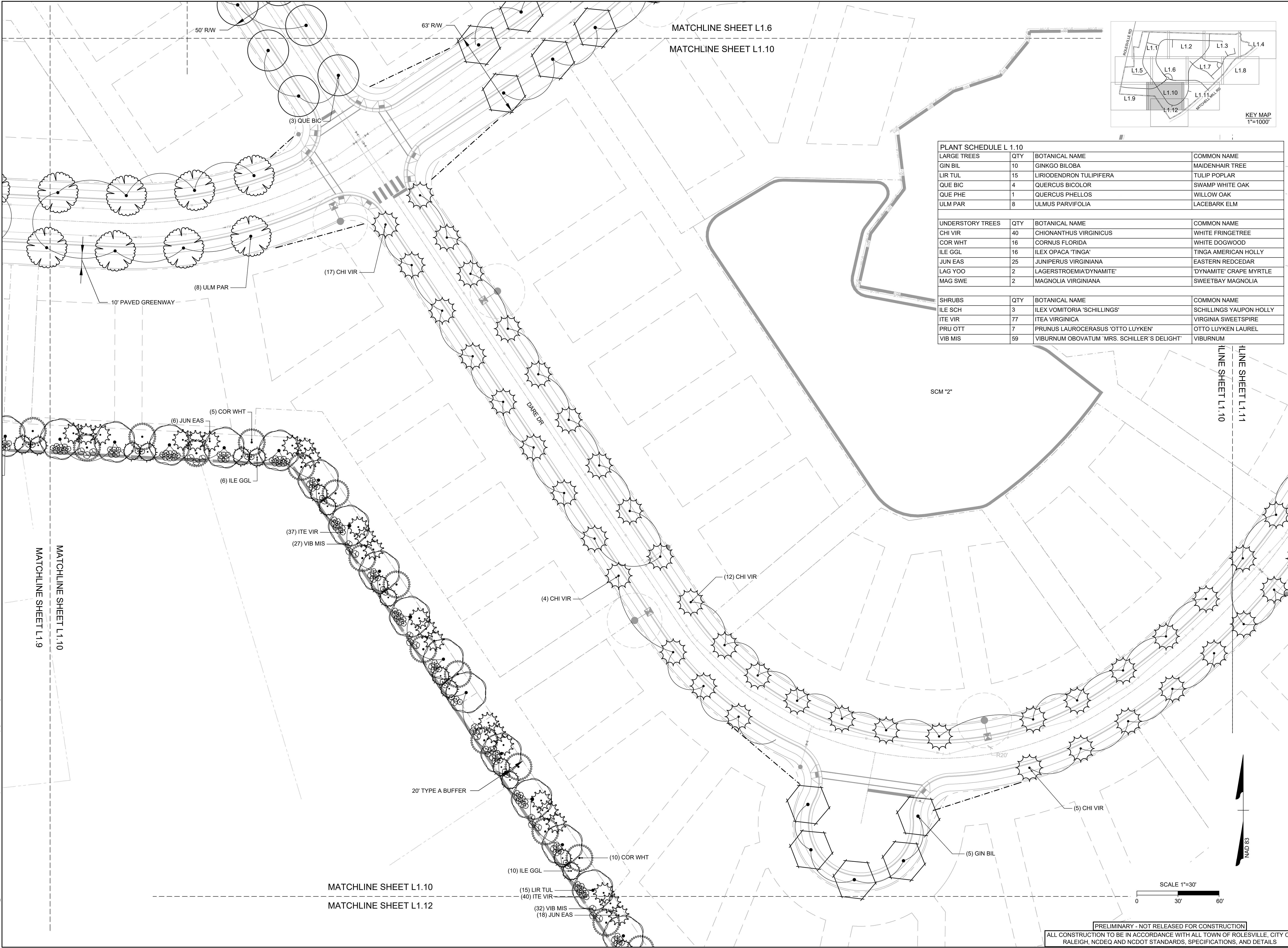
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PLANT SCHEDULE L 1.10			
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
GIN BIL	10	GINKGO BILOBA	MAIDENHAIR TREE
LIR TUL	15	LIRIODENDRON TULIPIFERA	TULIP POPLAR
QUE BIC	4	QUERCUS BICOLOR	SWAMP WHITE OAK
QUE PHE	1	QUERCUS PHELLOS	WILLOW OAK
ULM PAR	8	ULMUS PARVIFOLIA	LACEBARK ELM
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
CHI VIR	40	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE
COR WHT	16	CORNUS FLORIDA	WHITE DOGWOOD
ILE GGL	16	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
JUN EAS	25	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR
LAG YOO	2	LAGERSTROEMIA 'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE
MAG SWE	2	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE SCH	3	ILEX VOMITORIA 'SCHILLINGS'	SCHILLINGS YAUPON HOLLY
ITE VIR	77	ITEA VIRGINICA	VIRGINIA SWEETSPIRE
PRU OTT	7	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL
VIB MIS	59	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	VIBURNUM



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DESIGNED BY  
 S. FANTAYE

CHECKED BY  
 J. BLASCO

SCALE  
 AS SHOWN

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**ROLESVILLE CROSSING**

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

**LANDSCAPE PLAN**

JOB NO.  
**43398**

SHEET NO.  
**L1.10**

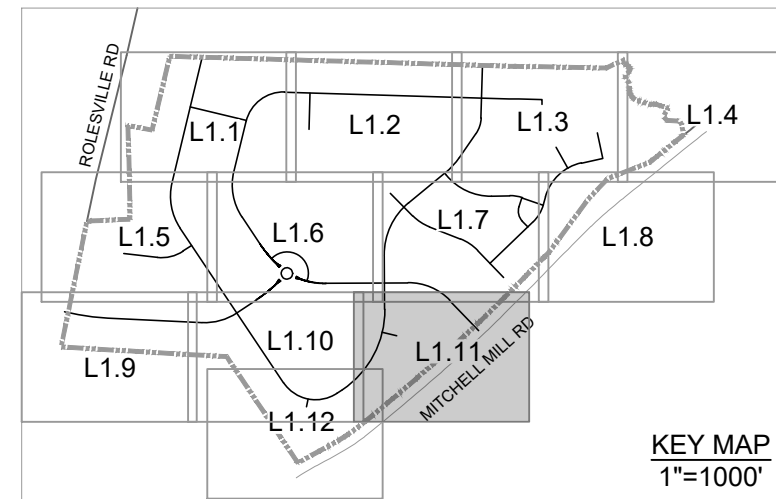
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# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### LANDSCAPE PLAN

JOB NO.  
43398

SHEET NO.  
L1.11

**PLANT SCHEDULE L 1.11**

LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
GIN BIL	7	GINKGO BIL OBA	MAIDENHAIR TREE
QUE PHE	12	QUERCUS PHELLOS	WILLOW OAK

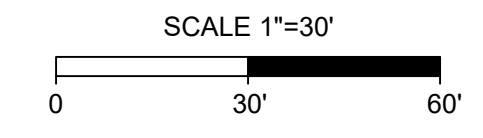
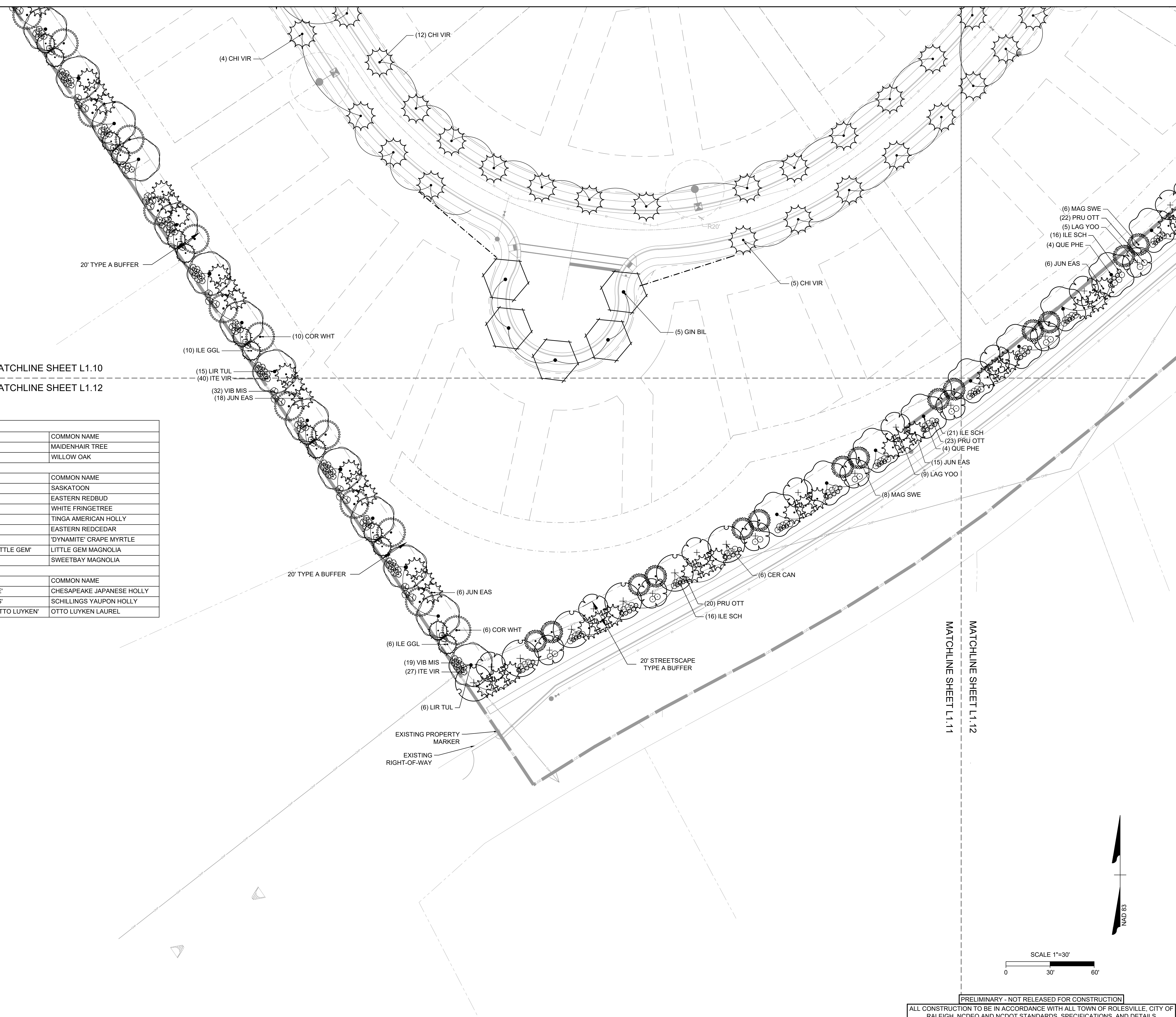
  

UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
AME SER	8	AMELANCHIER ALNIFOLIA	SASKATOON
CER CAN	15	CERCIS CANADENSIS	EASTERN REDBUD
CHI VIR	23	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE
ILE GGL	6	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
JUN EAS	27	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR
LAG YOO	23	LAGERSTROEMIA 'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE
MAG LIT	6	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA
MAG SWE	20	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE CHE	18	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY
ILE SCH	72	ILEX VOMITORIA 'SCHILLINGS'	SCHILLINGS YAUPON HOLLY
PRU OTT	108	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL

MATCHLINE SHEET L1.10  
 MATCHLINE SHEET L1.12

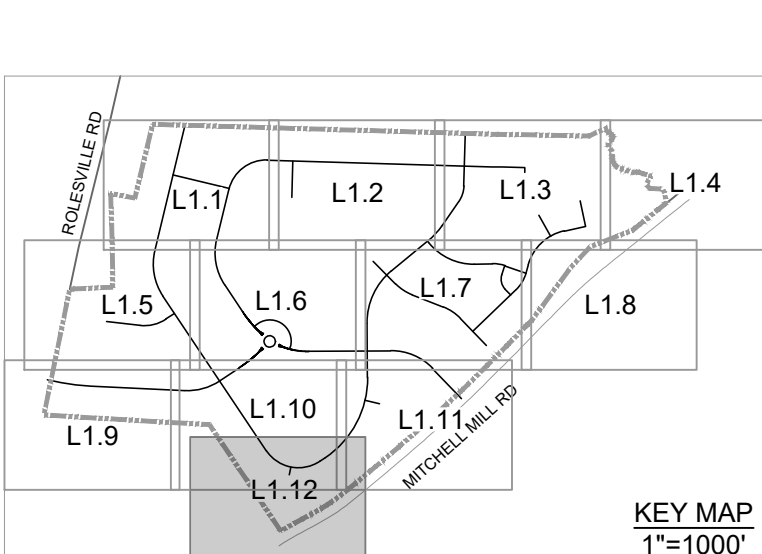
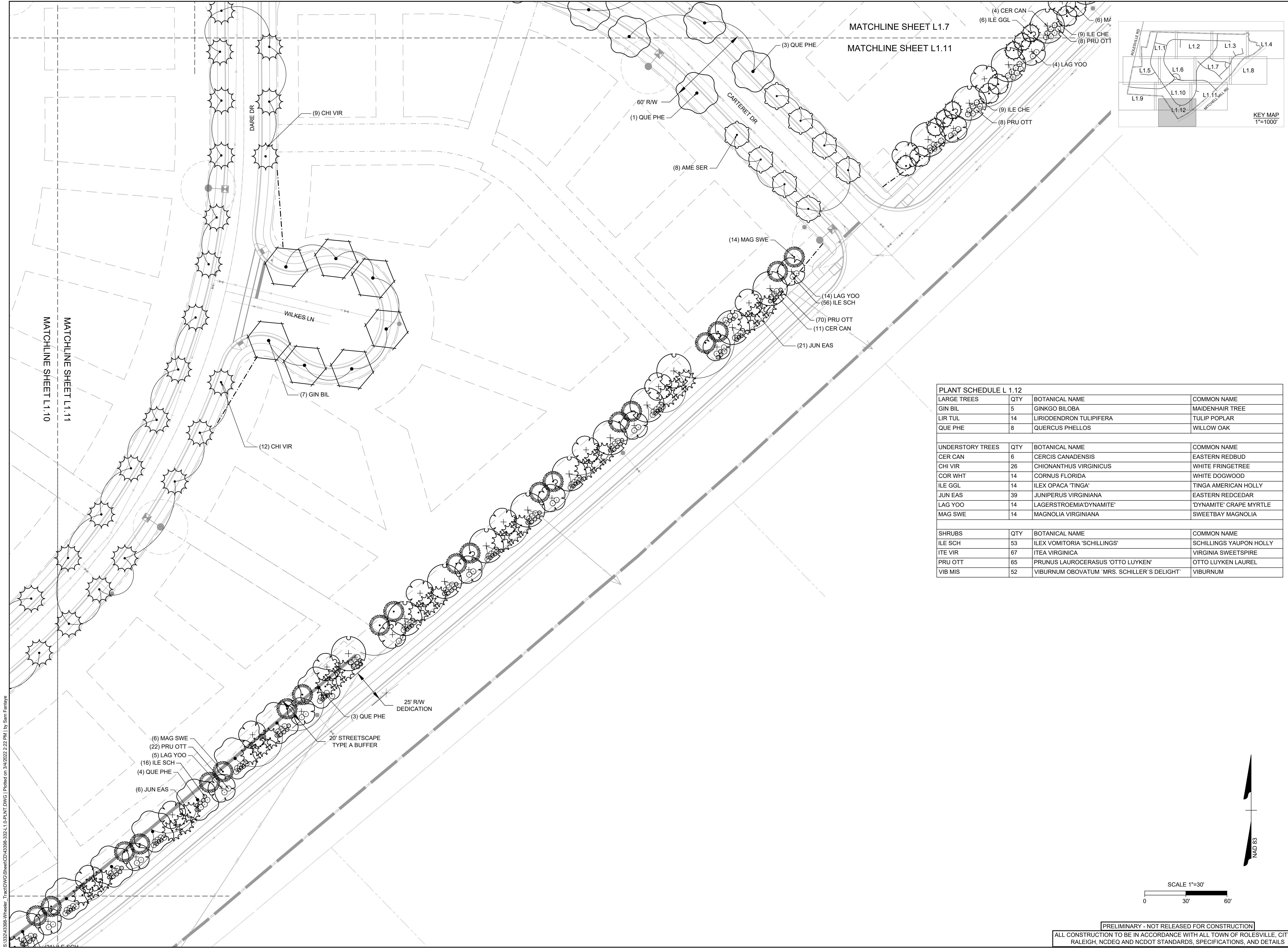


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**PLANT SCHEDULE L 1.12**

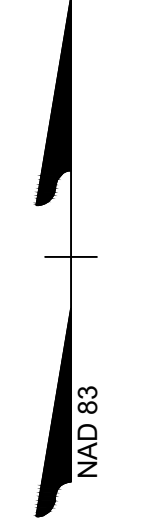
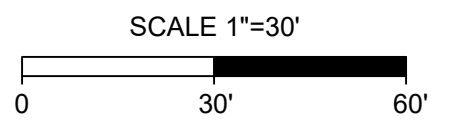
LARGE TREES	QTY	BOTANICAL NAME	COMMON NAME
GIN BIL	5	GINKGO BILOBA	MAIDENHAIR TREE
LIR TUL	14	LIRIODENDRON TULPIFERA	TULIP POPLAR
QUE PHE	8	QUERCUS PHELLOS	WILLOW OAK

UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME
CER CAN	6	CERCIS CANADENSIS	EASTERN REDBUD
CHI VIR	26	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE
COR WHT	14	CORNUS FLORIDA	WHITE DOGWOOD
ILE GGL	14	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY
JUN EAS	39	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR
LAG YOO	14	LAGERSTROEMIA 'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE
MAG SWE	14	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME
ILE SCH	53	ILEX VOMITORIA 'SCHILLINGS'	SCHILLINGS YAUPON HOLLY
ITE VIR	67	ITEA VIRGINICA	VIRGINIA SWEETSPIRE
PRU OTT	65	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL
VIB MIS	52	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	VIBURNUM



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DRAWN BY  
**S. FANTAYE**

DESIGNED BY  
**S. FANTAYE**

CHECKED BY  
**J. BLASCO**

SCALE  
**AS SHOWN**

**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652

**ROLESVILLE CROSSING**  
 ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

**LANDSCAPE PLAN**

JOB NO.  
**43398**

SHEET NO.  
**L1.12**

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DATE

03/04/22

DRAWN BY

S. FANTAYE

DESIGNED BY

S. FANTAYE

CHECKED BY

J. BLASCO

SCALE

AS SHOWN

# TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

## ROLESVILLE CROSSING

ROLESVILLE - WAKE COUNTY - NORTH CAROLINA

### LANDSCAPE DETAILS + NOTES

JOB NO.

43398

SHEET NO.

L2.0

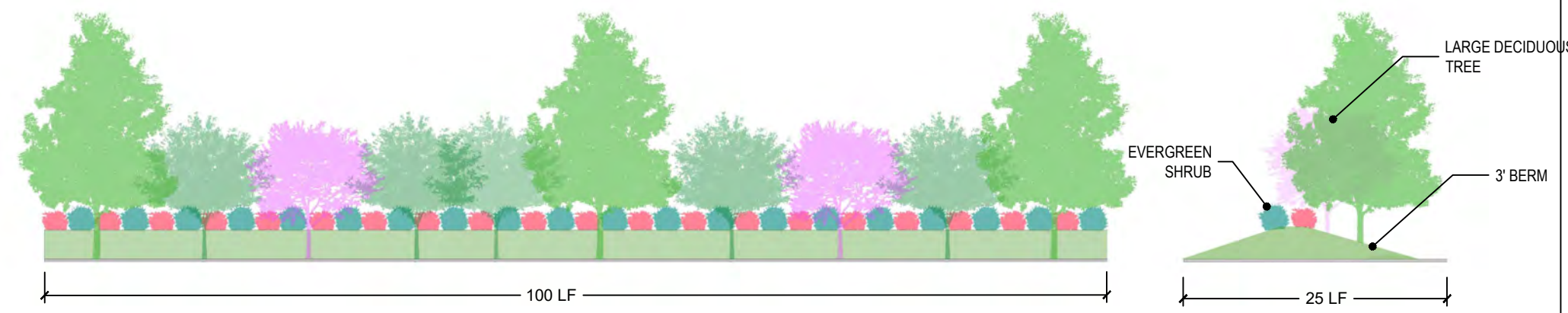
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### PLANT SCHEDULE

LARGE TREES				CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE
ACE RBR	48	ACER RUBRUM	RED MAPLE	2.5" CAL., 10' HT. MIN.	B&B	PERIMETER BUFFER				
ACE OGL	58	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
CLA KEN	48	CLADRASTIS KENTUKEA	AMERICAN YELLOWWOOD	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
GIN BIL	43	GINKGO BILOBA	MAIDENHAIR TREE	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
LIQ STY	44	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	2.5" CAL., 10' HT. MIN.	B&B	PERIMETER BUFFER				
LIR TUL	37	LIRIODENDRON TULIPIFERA	TULIP POPLAR	2.5" CAL., 10' HT. MIN.	B&B	PERIMETER BUFFER				
PIS CHI	67	PISTACIA CHINENSIS	CHINESE PISTACHE	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
QUE BIC	62	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
QUE PHE	80	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
ULM AME	46	ULMUS AMERICANA	AMERICAN ELM	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
ULM PAR	94	ULMUS PARVIFOLIA	LACEBARK ELM	2.5" CAL., 10' HT. MIN.	B&B	STREET TREES				
UNDERSTORY TREES				CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE
AME SER	82	AMELANCHIER ALNIFOLIA	SASKATOON	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
CER CAN	30	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
CHI VIR	59	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	1.5" CAL., 8' HT. MIN.	B&B	STREET TREES				
COR WHT	66	CORNUS FLORIDA	WHITE DOGWOOD	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
ILE GGL	90	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
ILE NEL	84	ILEX X 'NELLIE R. STEVENS'	NELLIE R. STEVENS HOLLY	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
JUN EAS	110	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
LAG YOO	63	LAGERSTROEMIA 'DYNAMITE'	'DYNAMITE' CRAPE MYRTLE	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
MAG LIT	77	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
MAG SWE	111	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1.5" CAL., 8' HT. MIN.	B&B	PERIMETER BUFFER				
SHRUBS				CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	REMARKS
ABE GRB	71	ABELIA GRANDIFLORA	GLOSSY ABELIA	24" HT. MIN.		PERIMETER BUFFER				
ILE CHE	162	ILEX CRENATA 'CHESAPEAKE'	CHESAPEAKE JAPANESE HOLLY	24" HT. MIN.		PERIMETER BUFFER				
ILE GLA	25	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24" HT. MIN.		SCREENING				
ILE GGW	192	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOLLY	24" HT. MIN.		PERIMETER BUFFER				
ILE VOM	162	ILEX VOMITORIA	YAUPON HOLLY	24" HT. MIN.		PERIMETER BUFFER				
ILE SCH	109	ILEX VOMITORIA 'SCHILLINGS'	SCHILLINGS YAUPON HOLLY	24" HT. MIN.		PERIMETER BUFFER				
ILE OAK	193	ILEX X 'OAK LEAF'	OAK LEAF HOLLY	24" HT. MIN.		SCREENING				
ITE VIR	224	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	24" HT. MIN.		SCREENING				
JUN VIR	42	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL EASTERN REDCEDAR	24" HT. MIN.		SCREENING				
LOR CHI	215	LOROPETALUM CHINENSE	CHINESE FRINGE FLOWER	24" HT. MIN.		SCREENING				
PRU OTT	277	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	24" HT. MIN.		PERIMETER BUFFER				
THU OCC	16	THUJA OCCIDENTALIS 'AUREA'	GOLDEN AMERICAN ARBORVITAE	24" HT. MIN.		SCREENING				
VIB MIS	140	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT'	VIBURNUM	24" HT. MIN.		PERIMETER BUFFER				

#### NOTE:

NO SINGLE SPECIES SHALL COMPRISE MORE THAN 50% OF PLANT TYPE IN BUFFERS.



#### 25' TYPE A: OPAQUE YARD BUFFER W/ BERM

3 CANOPY TREES MIN 40' @ MATURITY  
7 UNDERSTORY TREES MIN 20' @ MATURITY  
35-40 EVERGREEN SHRUBS 90 (3" H" 5" W)

#### CANOPY TREES

Quercus phellos / WILLOW OAK  
Ulmus americana / AMERICAN ELM  
Liriodendron tulipifera / TULIP POPLAR  
Acer rubrum / RED MAPLE  
Liquidambar styraciflua / FRUITLESS SWEETGUM

#### UNDERSTORY EVERGREEN

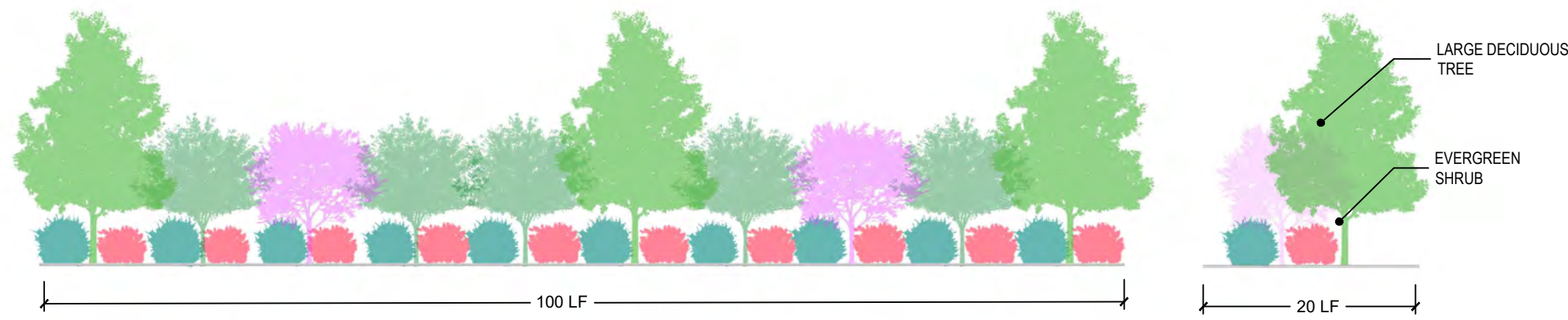
Magnolia grandiflora 'little gem' / LITTLE GEM MAGNOLIA  
Magnolia virginiana / SWEETBAY MAGNOLIA  
Ilex nellie / NELLIE R. STEVENS HOLLY  
Juniperus virginiana / EASTERN CEDAR  
Ilex opaca 'tinga' / TINGA AMERICAN HOLLY

#### UNDERSTORY DECIDUOUS

Amelanchier alnifolia / SERVICEBERRY  
Cercis sp. / REDBUD  
Cornus sp. / DOGWOOD

#### EVERGREEN SHRUB - 3' H

Itea virginica / VIRGINIA SWEETSPIRE  
Ilex vomitoria / DWARF YAUPON HOLLY  
Ilex glabra 'georgia wine' / INKBERRY HOLLY  
LOROPETALUM SP. / FRINGE



#### 20' TYPE A: OPAQUE YARD BUFFER - NO BERM

3 CANOPY TREES MIN 40' @ MATURITY  
7 UNDERSTORY TREES MIN 20' @ MATURITY  
20 EVERGREEN SHRUBS (3" H" 5" W)

#### CANOPY TREES

Quercus phellos / WILLOW OAK  
Ulmus americana / AMERICAN ELM  
Liriodendron tulipifera / TULIP POPLAR  
Acer rubrum / RED MAPLE  
Liquidambar styraciflua / FRUITLESS SWEETGUM

#### UNDERSTORY EVERGREEN

Magnolia grandiflora 'little gem' / LITTLE GEM MAGNOLIA  
Magnolia virginiana / SWEETBAY MAGNOLIA  
Ilex nellie / NELLIE R. STEVENS HOLLY  
Juniperus virginiana / EASTERN CEDAR  
Ilex opaca 'tinga' / TINGA AMERICAN HOLLY

#### UNDERSTORY DECIDUOUS

Amelanchier alnifolia / SERVICEBERRY  
Cercis sp. / REDBUD  
Cornus sp. / DOGWOOD

#### EVERGREEN SHRUB - 6' H

Ilex glabra 'cape cod' / INKBERRY HOLLY  
Chinese Fringe / LOROPETALUM CHINENSIS  
Glossy Abelia / ABELIA GRANDIFLORA  
Sasanqua camellia / CAMELIA SASANQUA

#### LANDSCAPE CALCULATIONS:

#### PERIMETER AND STREETScape YARD BUFFERS

20' AND 25' TYPE A:

OPAQUE TYPE A

THIS BUFFER FUNCTIONS AS AN OPAQUE SCREEN FROM THE GROUND TO A HEIGHT OF AT LEAST SIX FEET. PLANTINGS OF DECIDUOUS AND EVERGREEN TREES ARE EXPECTED TO REACH A HEIGHT OF NO LESS THAN 20 FEET AND TO HAVE NO UNOBSTRUCTED OPENINGS WIDER THAN TEN FEET BETWEEN TREE CANOPIES AT MATURITY.

THE TYPE "A" BUFFER SHALL INCLUDE A WALL, AN OPAQUE FENCE, LANDSCAPED EARTHEN BERM, EXISTING OR PLANTED VEGETATION, OR ANY APPROPRIATE COMBINATION OF THESE ELEMENTS WHICH WILL CREATE THE DESIRED SPATIAL SEPARATION BETWEEN LAND USES. AT LEAST 50 PERCENT OF THE REQUIRED TREES AND SHRUBS MUST BE OF THE EVERGREEN SPECIES. SHRUBBERY IS TO BE PLANTED SUFFICIENTLY CLOSE TOGETHER TO FORM AN OPAQUE SCREEN WITHIN THREE YEARS AFTER PLANTING.

#### STREET TREES

REQUIRED: SHADE TREES 40' OC OR UNDERSTORY TREES 20' OC

**DARE DR**  
7,650 LF  
191 SHADE TREES PROVIDED

**BRUNSWICK DR**  
1,650 LF  
35 SHADE TREES PROVIDED  
12 UNDERSTORY TREES PROVIDED

**CALDWELL DR**  
950 LF  
25 SHADE TREES PROVIDED

**CARTERET RD**  
6,750 LF  
165 SHADE TREES PROVIDED  
8 UNDERSTORY TREES PROVIDED

**AVERY LANE**  
750 LF  
20 SHADE TREES PROVIDED

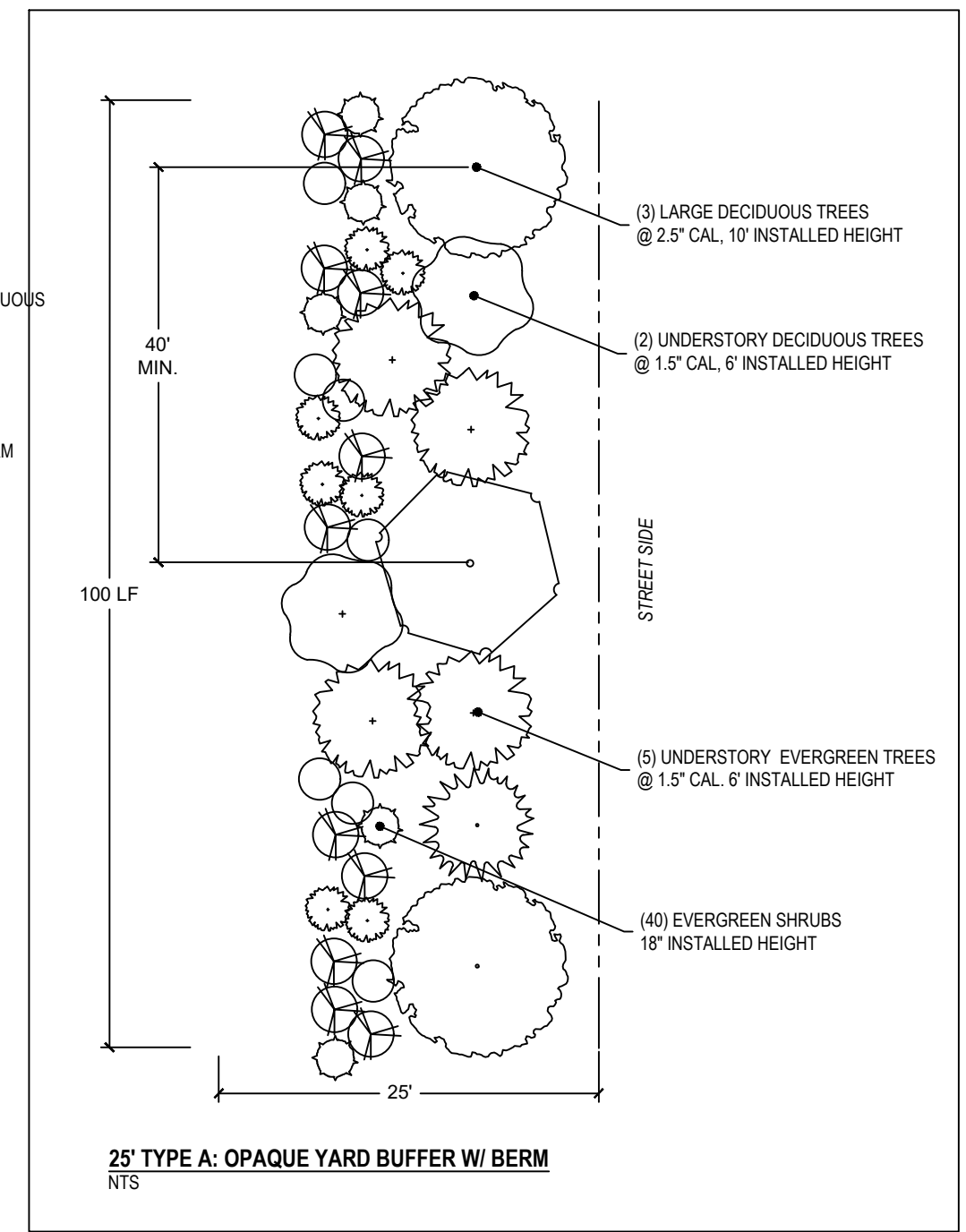
**CATAWBA DR**  
1250 LF  
30 SHADE TREES PROVIDED

**DAVIE RD**  
1500 LF  
38 SHADE TREES PROVIDED

**HYDER DR**  
500 LF  
12 SHADE TREES PROVIDED

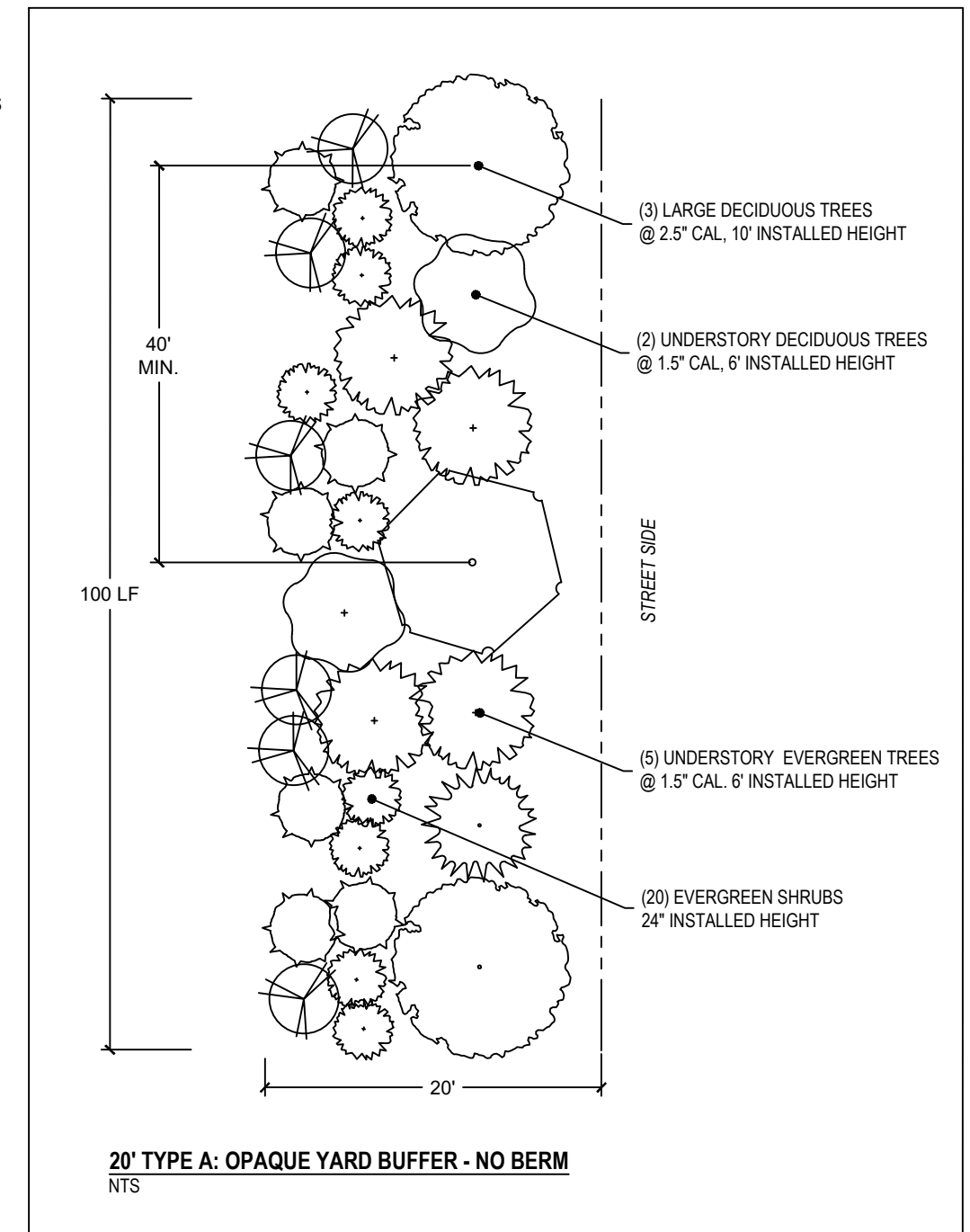
**DAVIE RD**  
1,500 LF  
38 SHADE TREES PROVIDED

**ROADS 5**  
450 LF  
13 SHADE TREES PROVIDED



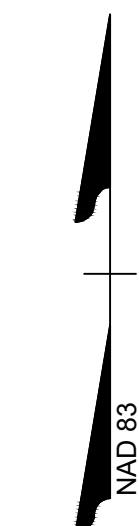
#### 25' TYPE A: OPAQUE YARD BUFFER W/ BERM

NTS

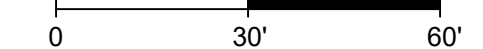


#### 20' TYPE A: OPAQUE YARD BUFFER - NO BERM

NTS



SCALE 1"=30'



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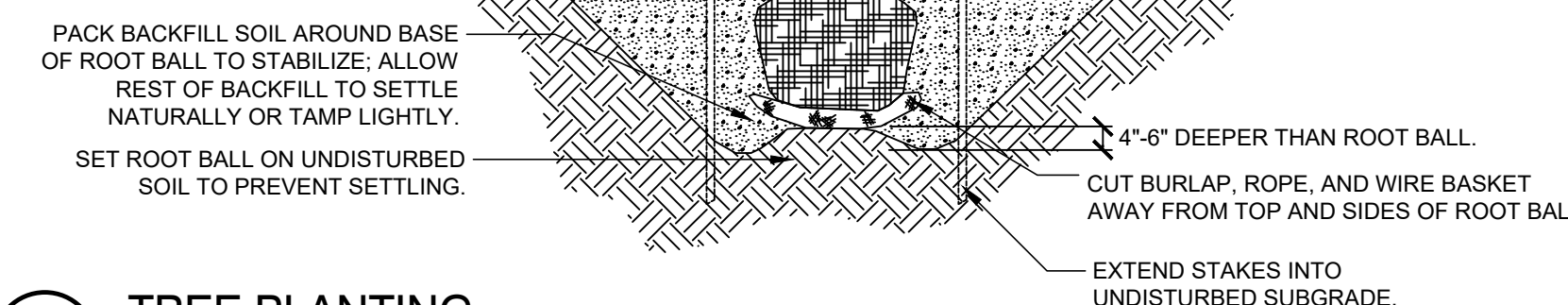
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS





**NOTES:**

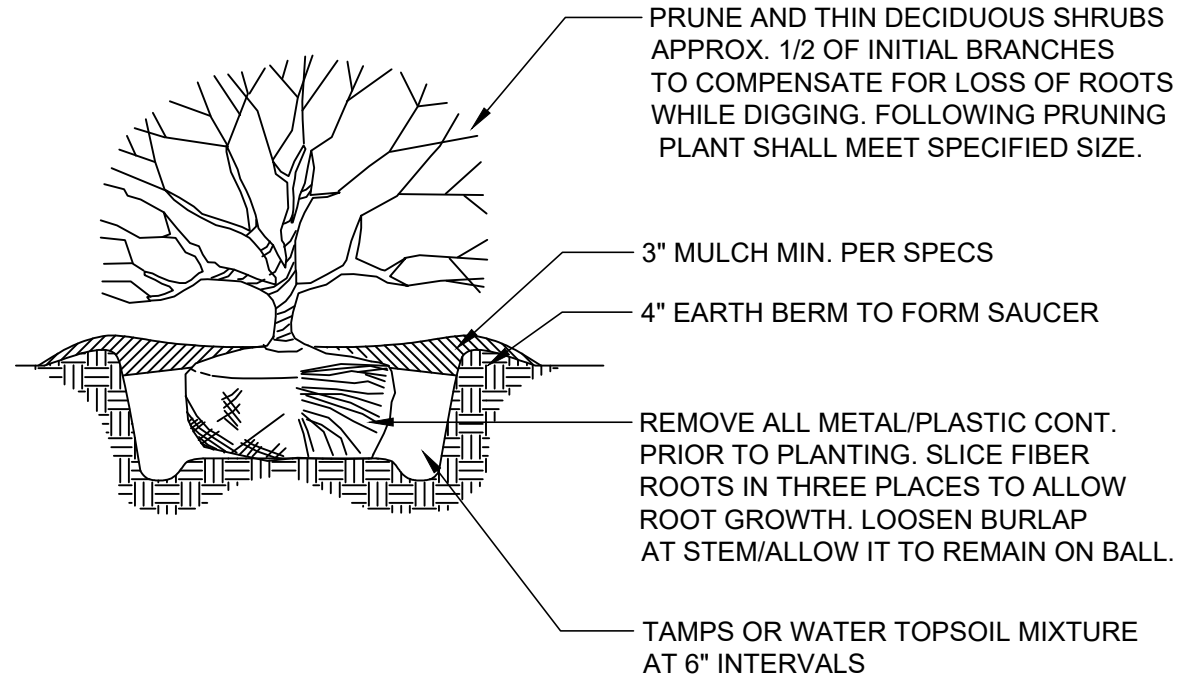
- WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4'-6" (10-15CM) OVER THE ENTIRE AREA.
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- DURING THE DESIGN PHASE, CONFIRM THAT WATER DRAINS OUT OF THE SOIL; USE LOWERED PLANTING HOLE DEPTH AND DESIGN ALTERNATE DRAINAGE SYSTEM AS REQUIRED.
- THOROUGHLY SOAK ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- THE PLANTING PROCESS IS SIMILAR FOR DECIDUOUS AND EVERGREEN TREES.
- DO NOT WRAP TRUNK; MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
- AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
- BEFORE PLANTING, ADD 3-4" OF WELL-COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND TILL INTO TOP 6" OF PREPARED SOIL. ADD COMPOST AT 20-35% BY VOLUME TO BACKFILL SOIL.



**1 TREE PLANTING**  
NTS

**LANDSCAPE NOTES:**

- ALL PLANT MATERIAL INSTALLED MUST MEET STANDARDS SET BY AMERICAN ASSOCIATION OF NURSERYMEN, INC., "STANDARDS FOR NURSERY STOCK."
- THE MINIMUM NUMBER OF PLANTS REQUIRED, REGARDLESS OF AREA CALCULATIONS, IS (3) TREES AND (20) SHRUBS.
- PLANTING AREAS SHALL BE PERMANENTLY PROTECTED FROM DAMAGE BY VEHICULAR TRAFFIC THROUGH THE USE OF CURBING AND/OR WHEEL STOPS. WHEEL STOPS SHALL BE USED IN PARKING AREAS WHERE:
  - CURBING HAS NOT BEEN USED OR IS LESS THAN 6" IN HEIGHT.
  - PROPOSED NEW TREES AND SHRUBS ARE PLANTED WITHIN 5' FROM ADJACENT CURBING OR EDGE OF VEHICULAR SURFACE AREA PAVING.
- A CERTIFICATE OF OCCUPANCY SHALL BE ISSUED ONLY WHEN ALL PLANTINGS HAVE BEEN INSTALLED AND ALL THE WORK SHOWN ON THE APPROVED LANDSCAPE PLAN HAS BEEN COMPLETED. SUBSTANTIAL CHANGES IN PLANTINGS WHICH HAVE CHANGED THE INTENT OF THE APPROVED PLANS AND CHANGED THE CREDIT TOTALS USED TO MEET THE ORDINANCE REQUIREMENTS SHALL BE REVIEWED BY THE TOWN STAFF FOR COMPLIANCE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- WHERE SUPPLEMENTAL PLANTING IS REQUIRED IN BUFFERS, THE PLANNING DIRECTOR SHALL HAVE THE AUTHORITY TO SPECIFY THE LOCATION TO ACCOUNT FOR AND PROVIDE MAXIMUM SCREENING IN THE EVENT OF SIGNIFICANT GRADE DIFFERENCES BETWEEN PROPERTIES TO WHICH THE BUFFER STANDARD APPLIES. PROPOSED VEGETATION SHALL ADHERE TO THE FOLLOWING BUFFER PLANTING REQUIREMENTS:
  - IN CALCULATING BUFFER PLANTING REQUIREMENTS, AREAS OF DRIVEWAYS AND SIGHT DISTANCE TRIANGLES SHALL BE EXCLUDED.
  - DECIDUOUS OVERSTORY TREES, SMALL TREES OR LARGE SHRUBS, EVERGREEN SHRUBS AND EVERGREEN TREES SHALL BE DISTRIBUTED ALONG THE ENTIRE LENGTH OF THE BUFFER. DUE TO UNIQUE CHARACTERISTICS OF A SITE, OR DESIGN OBJECTIVES, ALTERNATIVE DESIGNS THAT ACHIEVE THE REQUIRED SCREENING MAY BE APPROVED BY THE PLANNING DIRECTOR.
  - NO SCREENING OR BUFFERING SHALL INTERFERE WITH THE SIGHT DISTANCE TRIANGLES REQUIRED FOR SAFE TRAFFIC MOVEMENTS AT DRIVEWAY OR STREET INTERSECTIONS.
  - PLANTINGS MUST NOT CREATE ANY VISUAL OBSTRUCTION BETWEEN 30" AND 7' IN HEIGHT WITHIN SIGHT DISTANCE TRIANGLES.
  - THE PRUNING OF VSA SCREENING SHRUBS SHALL ALLOW LATERAL GROWTH OF BRANCHES AS TO FORM A HEDGE.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED

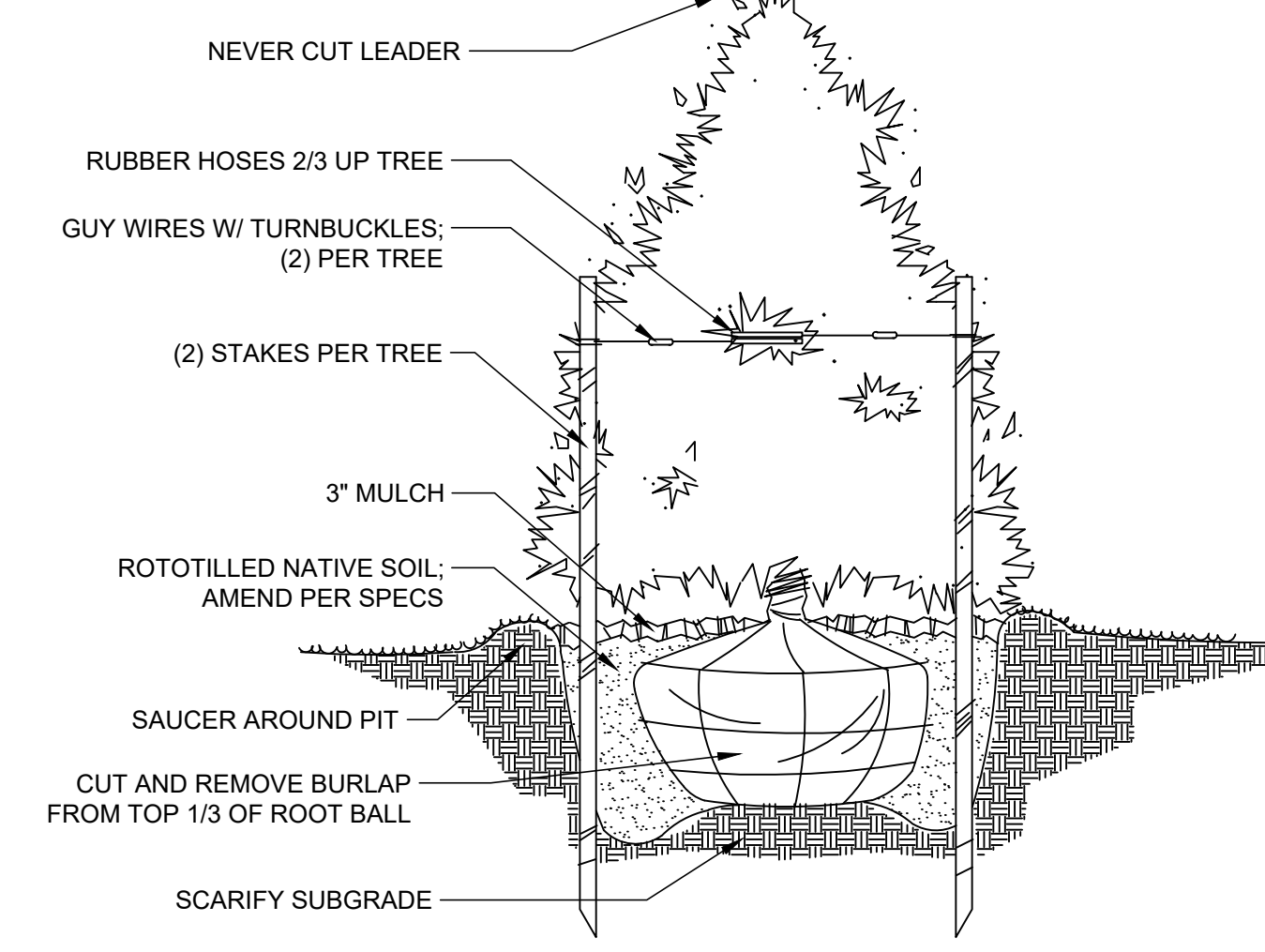


- NOTES:**
- SOIL MIX: 1/3 ORGANIC MATTER, 2/3 EXIST SOIL.
  - WIDTH OF PLANT PIT: SANDY SOIL, 24" WIDER THAN PLANT BALL; CLAY SOIL, 12" WIDER THAN PLANT BALL.
  - FOR PLANTING AREAS WHERE SOIL HAS BEEN COMPACTED BY EQUIP. CONTACT LA PRIOR TO PLANTING.
  - FOR CAMELIAS, RHODOS, AZALEAS, AND LAURELS: SOIL MIX, 2/3 ORGANIC AND 1/3 EXISTING SOIL
  - SHRUB SHALL BEAR SAME RELATIONSHIP TO GRADE AS IT DID PRIOR TO DIGGING.

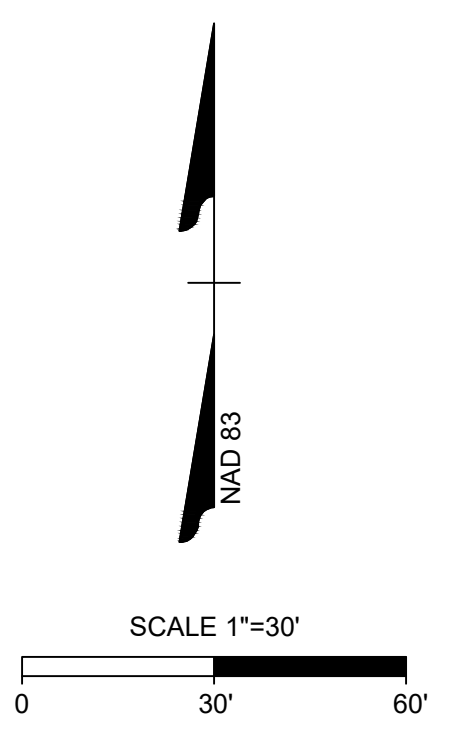
**2 SHRUB PLANTING**  
NTS

**NOTES:**

- Tree shall have same relation to grade as it had in nursery



**3 EVERGREEN PLANTING**  
NTS



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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REVISION DESCRIPTION	DATE
REVISIONS PER TRC COMMENTS	07/08/21
CONSTRUCTION DOCUMENT SUBMITTAL	09/17/21
CONSTRUCTION DOCUMENT SUBMITTAL	12/22/21
PRELIMINARY PLAN / CONSTRUCTION DOCUMENT SUBMITTAL	03/04/2022

DATE  
03/04/22

DRAWN BY  
S. FANTAYE

DESIGNED BY  
S. FANTAYE

CHECKED BY  
J. BLASCO

SCALE  
AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
**ROLESVILLE CROSSING**  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**LANDSCAPE DETAILS + NOTES**

JOB NO.  
43398

SHEET NO.  
L2.1

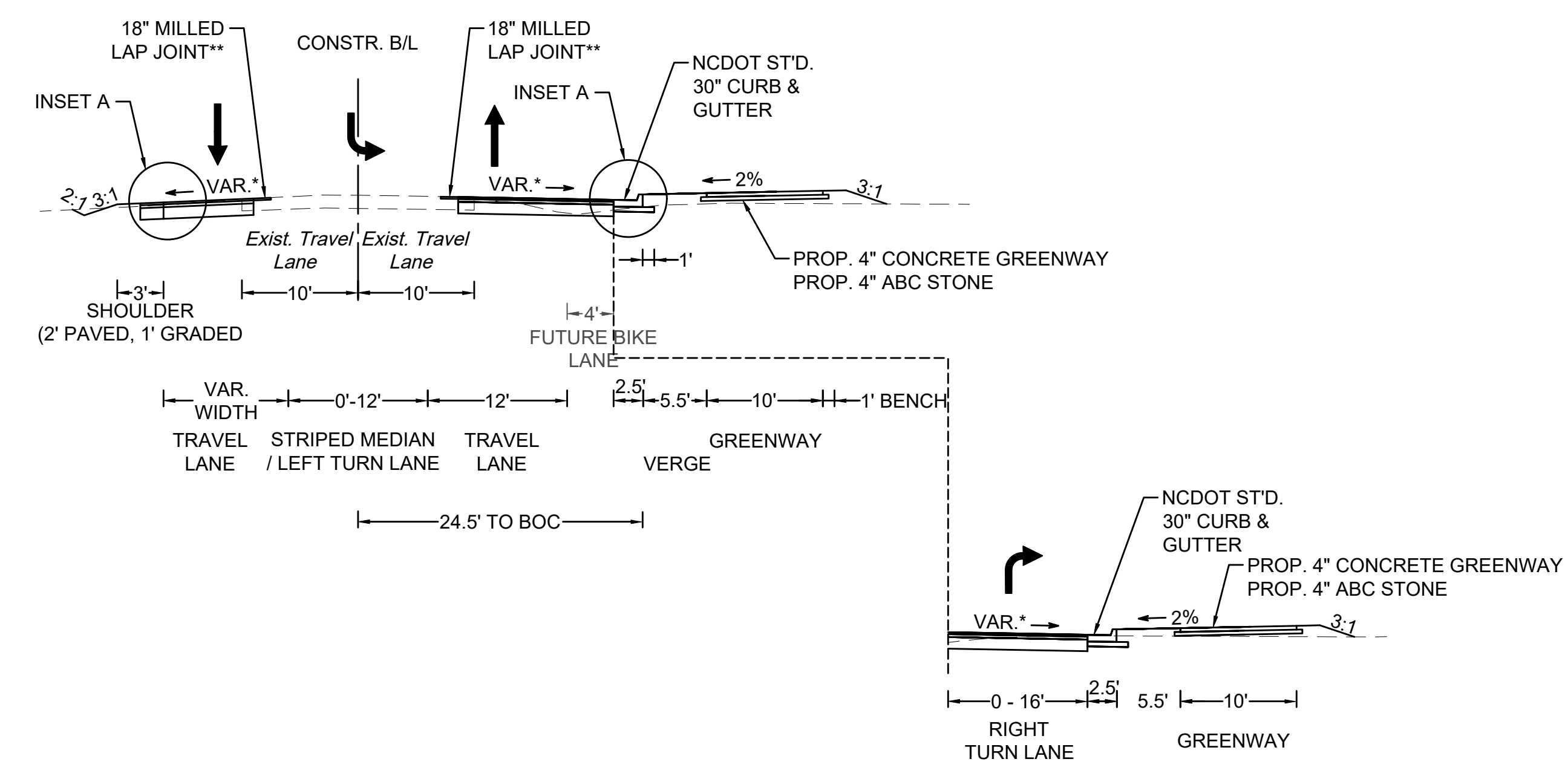
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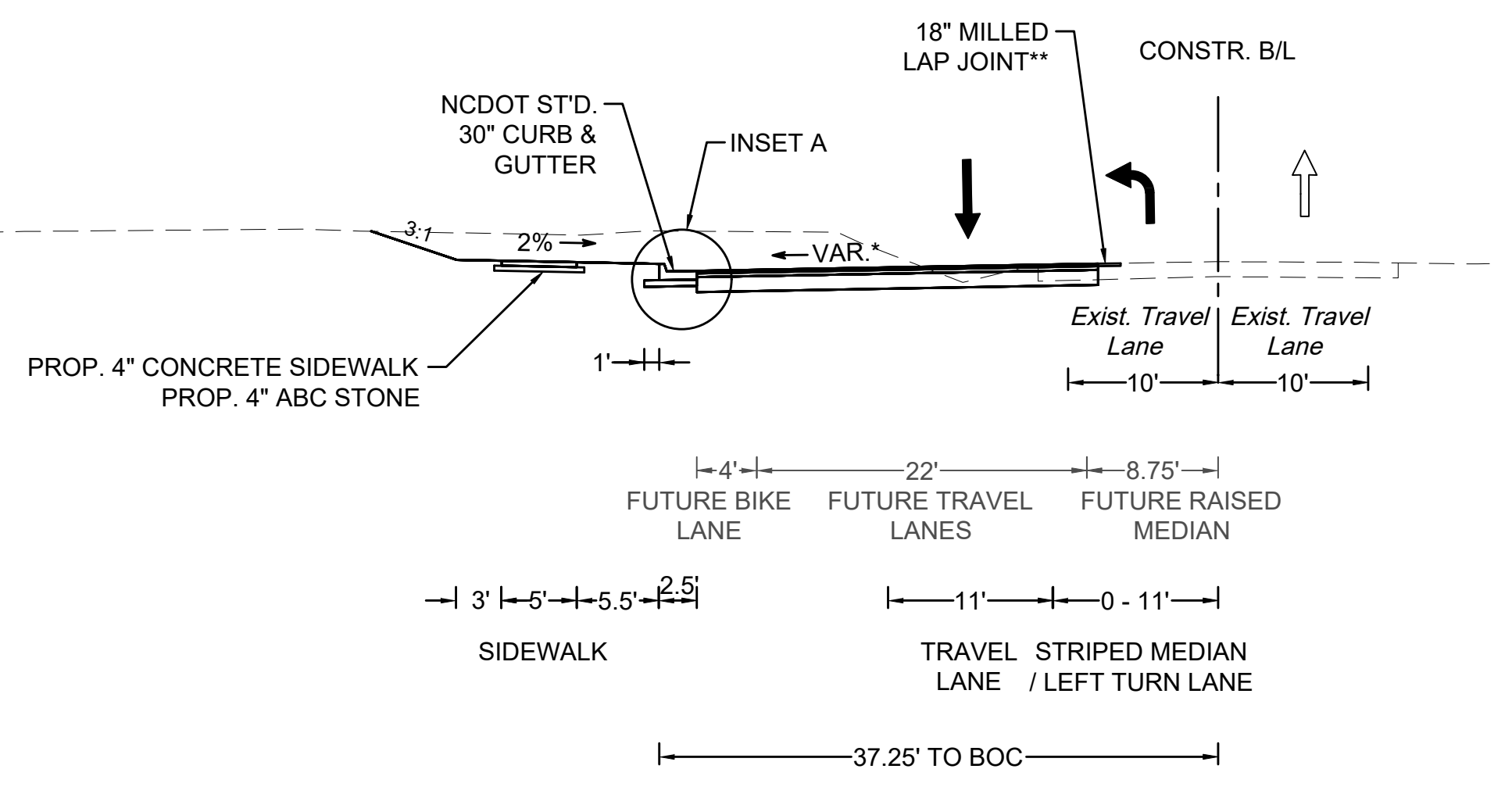


# TYPICAL SECTIONS

**ROLESVILLE ROAD**  
PROPOSED TYPICAL SECTION  
STA. 102+70 TO 110+00

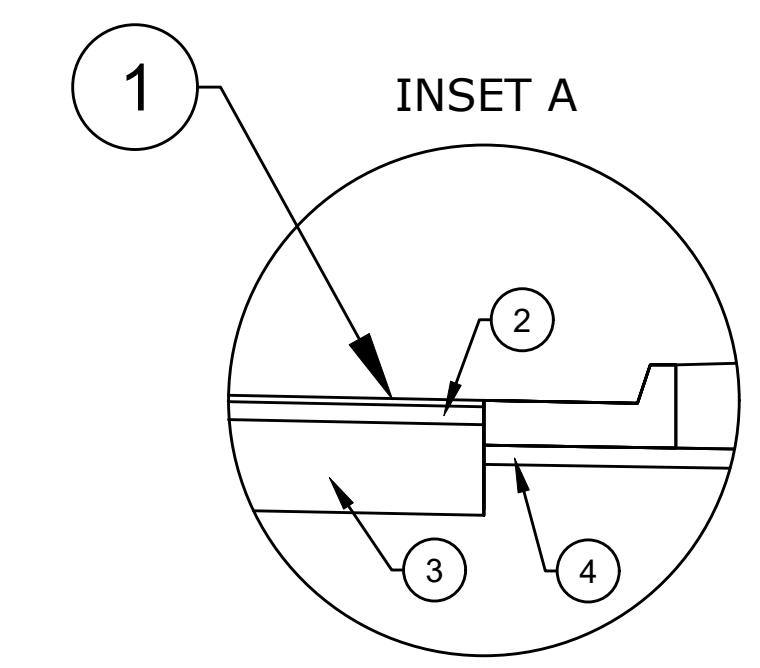


**MITCHELL MILL ROAD**  
PROPOSED TYPICAL SECTION  
STA. 203+00 TO 220+75



\* OR AS CONTROLLED BY SUPERELEVATION. SEE CROSS SECTIONS FOR FURTHER DETAILS

\*\* SAW CUT 18" INTO EXISTING PAVEMENT TO KEY-IN PAVEMENT WIDENING AREAS. MATCH AND REPLACE EXISTING.



- ① 3" ASPHALT CONCRETE SURFACE COURSE (NCDOT S9.5C)
- ② 4" ASPHALT INTERMEDIATE COURSE (NCDOT I19.0C)
- ③ 10" AGGREGATE BASE MATERIAL (NCDOT ABC STONE)  
\* USE 5" DEPTH ASPHALT CONCRETE BASE COURSE (NCDOT B25.0C) IF WIDENING < 6'
- ④ 4" AGGREGATE BASE MATERIAL (NCDOT ABC STONE)

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AS NOTED

**TIMMONS GROUP**

WHEELER TRACT - OFFSITE IMPROVEMENTS  
ROLESVILLE - WAKE COUNTY, NORTH CAROLINA  
TYPICAL SECTIONS

JOB NO.  
43398

SHEET NO.  
R2.01





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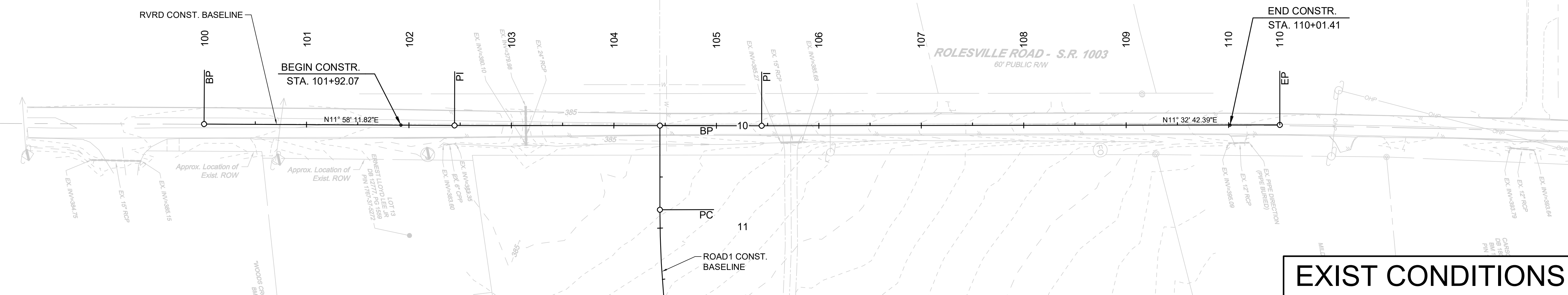
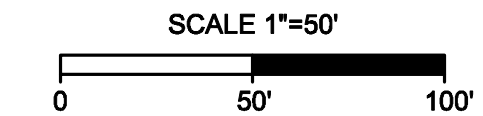
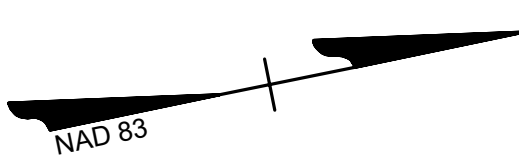
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	BPW
	DESIGNED BY BPW
	CHECKED BY BPW
	SCALE 1" = 50'

# TIMMONS GROUP

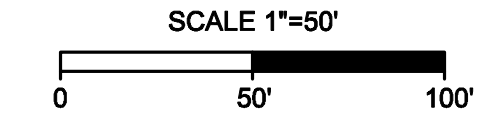
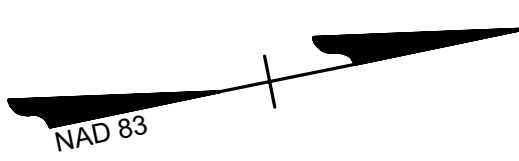
**WHEELER TRACT - OFFSITE IMPROVEMENTS**  
ROLESVILLE - WAKE COUNTY - NORTH CAROLINA  
**EXISTING CONDITIONS & PLAN & STRIPING SHEET**

JOB NO.  
**43398**  
SHEET NO.  
**R3.01**

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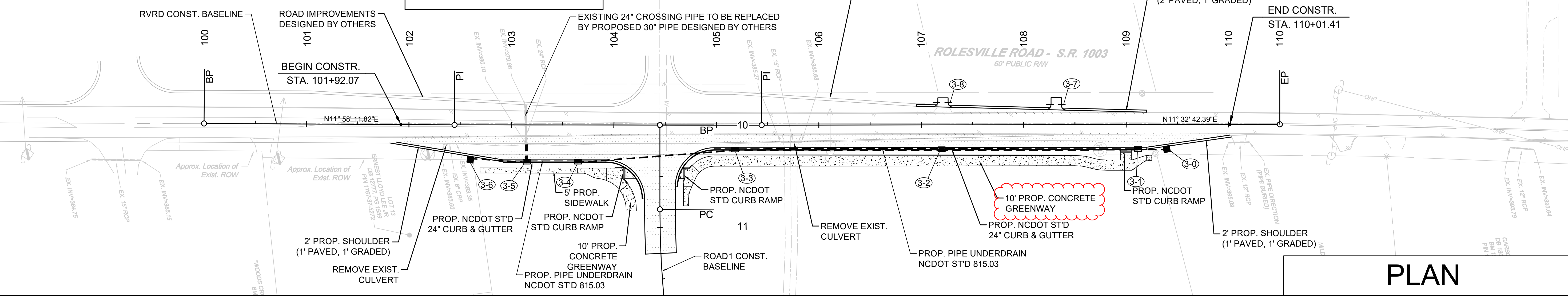


## EXIST CONDITIONS

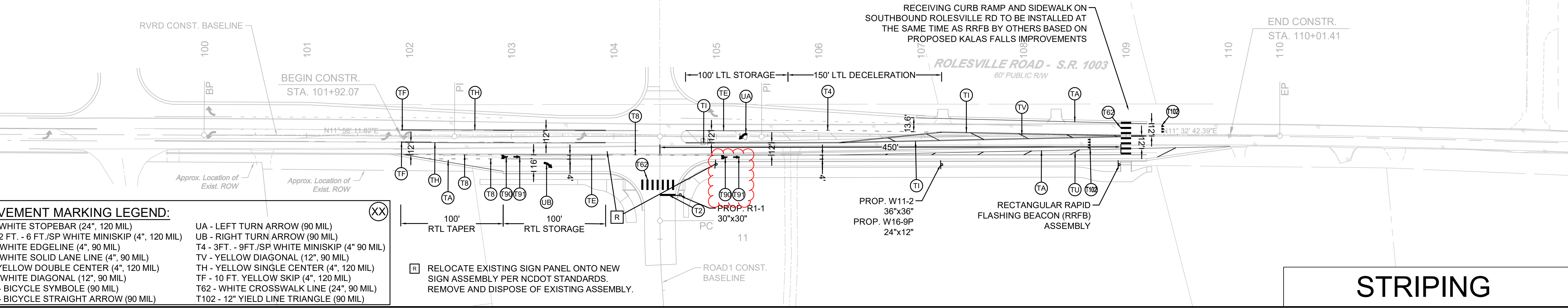
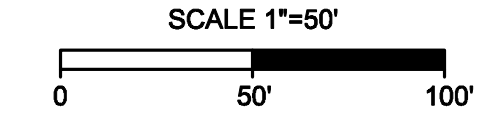
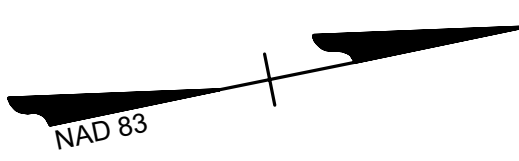


**LEGEND:**

- DEMOLITION OF EX. PAVEMENT
- NEW PAVEMENT
- CONCRETE SIDEWALK



## PLAN



## STRIPING

**PAVEMENT MARKING LEGEND:**

T2 - WHITE STOPEBAR (24", 120 MIL)	UA - LEFT TURN ARROW (90 MIL)
T8 - 2 FT. - 6 FT./SP WHITE MINISKIP (4", 120 MIL)	UB - RIGHT TURN ARROW (90 MIL)
TA - WHITE EDGELINE (4", 90 MIL)	T4 - 3 FT. - 9 FT./SP WHITE MINISKIP (4", 90 MIL)
TE - WHITE SOLID LANE LINE (4", 90 MIL)	TV - YELLOW DIAGONAL (12", 90 MIL)
T1 - YELLOW DOUBLE CENTER (4", 120 MIL)	TH - YELLOW SINGLE CENTER (4", 120 MIL)
TU - WHITE DIAGONAL (12", 90 MIL)	TF - 10 FT. YELLOW SKIP (4", 120 MIL)
T90 - BICYCLE SYMBOLE (90 MIL)	T62 - WHITE CROSSWALK LINE (24", 90 MIL)
T91 - BICYCLE STRAIGHT ARROW (90 MIL)	T102 - 12" YIELD LINE TRIANGLE (90 MIL)

**XX** RELOCATE EXISTING SIGN PANEL ONTO NEW SIGN ASSEMBLY PER NCDOT STANDARDS. REMOVE AND DISPOSE OF EXISTING ASSEMBLY.

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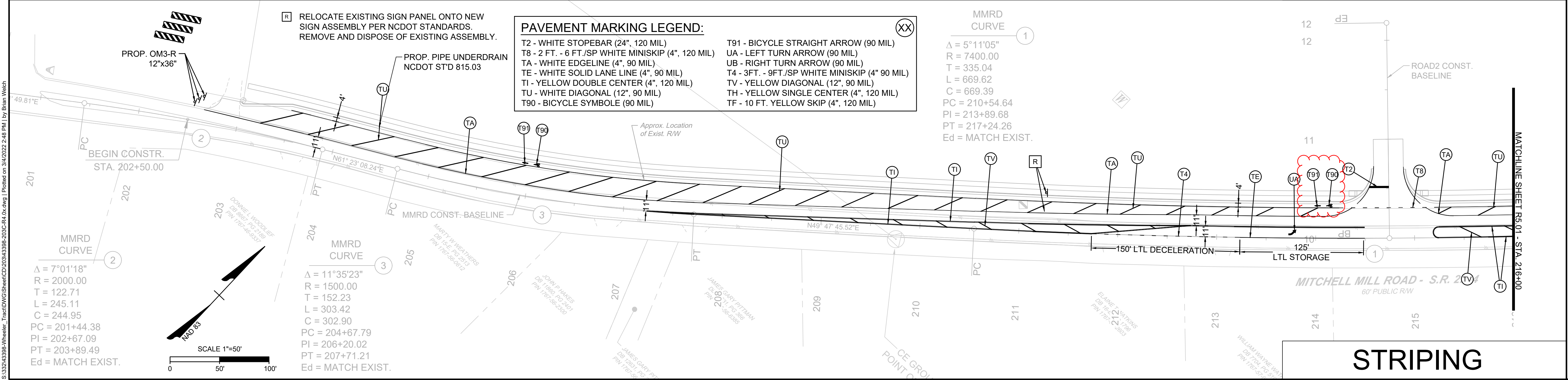
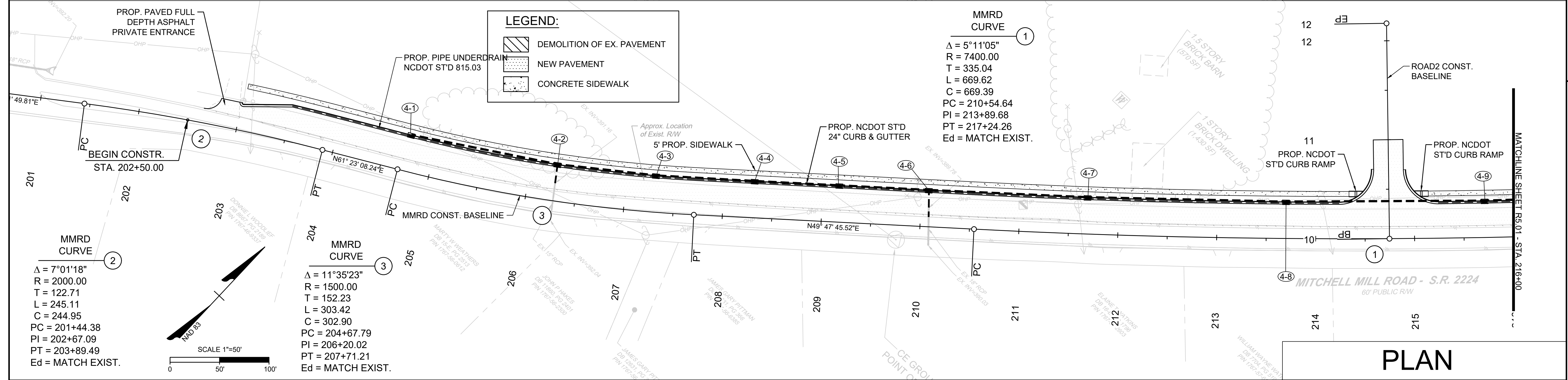
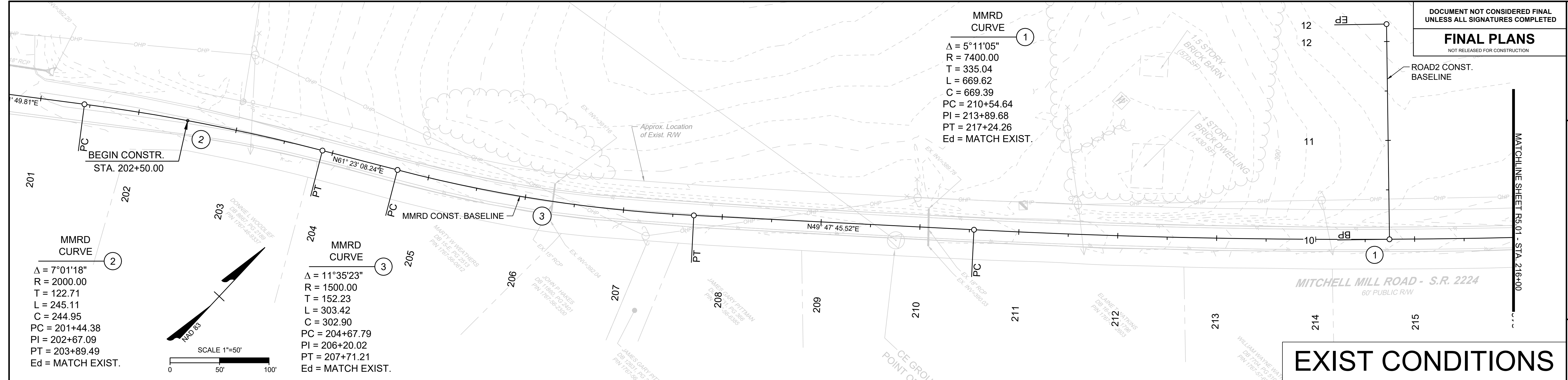
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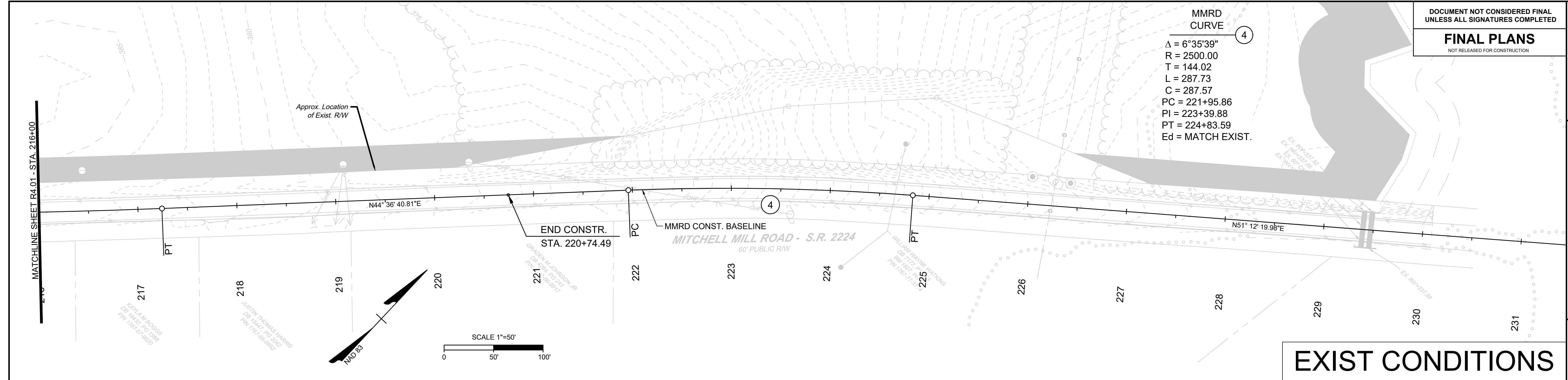
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DESIGNED BY: BPW  
CHECKED BY: BPW  
SCALE: 1" = 50'

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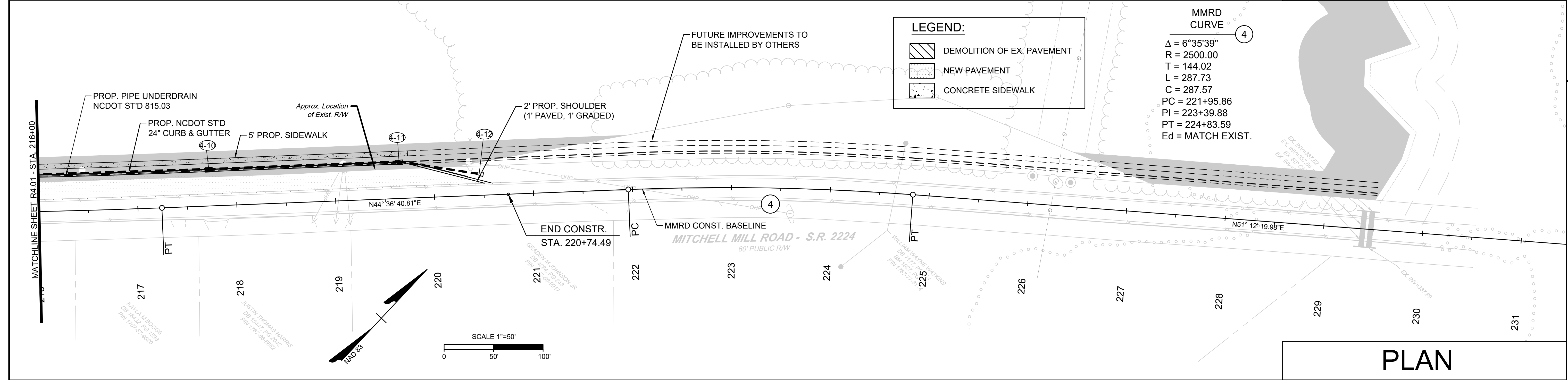
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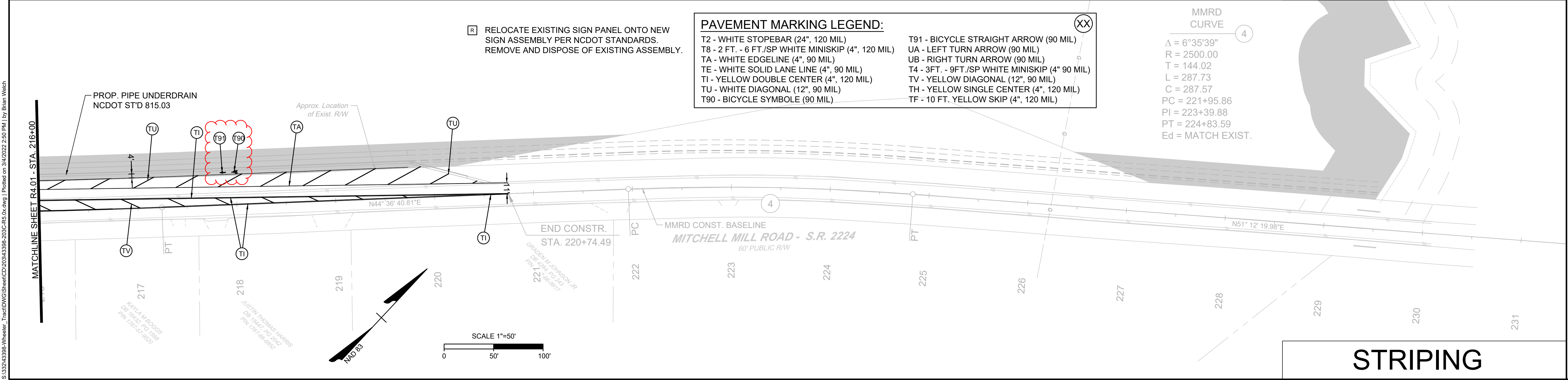
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**EXIST CONDITIONS**



**PLAN**



**STRIPING**

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