



SITE LEGEND:

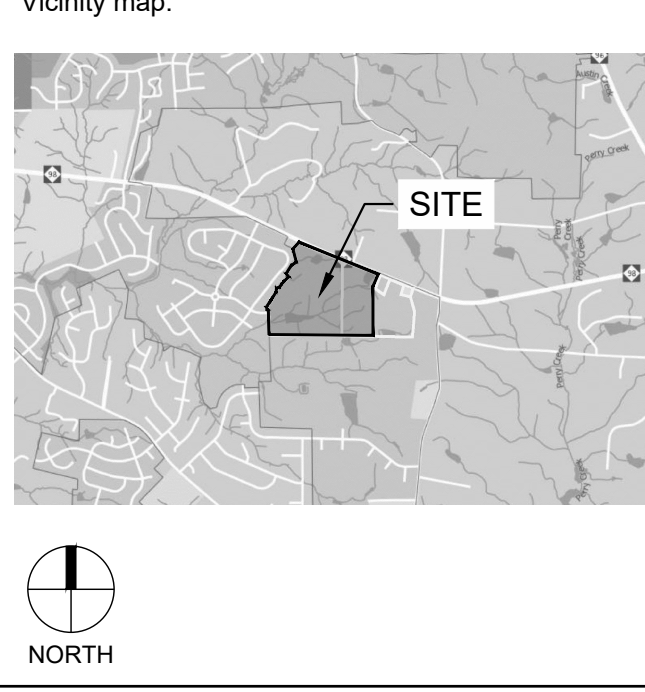
SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Symbol]	PROPOSED BUILDING	SEE ARCH PLANS
[Symbol]	PROPOSED CONCRETE SIDEWALK	#/C9.XX
[Symbol]	PROPOSED BRICK SIDEWALK	#/C9.XX
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT	#/C9.XX
[Symbol]	PROPOSED CONCRETE PAVERS	#/C9.XX
[Symbol]	PROPOSED GRAVEL	#/C9.XX
[Symbol]	PROPOSED CURB & GUTTER	#/C9.XX
[Symbol]	PROPOSED STOP BAR	#/C9.XX
[Symbol]	PROPOSED CROSSWALK	#/C9.XX
[Symbol]	PROPOSED 6' WIDE STANDARD CROSSWALK	#/C9.XX
[Symbol]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK	#/C9.XX
[Symbol]	PROPOSED SIGN	N/A
[Symbol]	PROPOSED ADA PARKING SPACE	#/C9.XX
[Symbol]	PROPOSED KEYSTONE WALL	#/C9.XX
[Symbol]	PROPOSED CIP WALL	#/C9.XX
[Symbol]	PROPOSED WHEEL STOP	#/C9.XX
[Symbol]	PROPOSED GRAVEL TRAIL	#/C9.XX
[Symbol]	PROPOSED ASPHALT TRAIL	#/C9.XX
[Symbol]	PROPOSED TREELINE	N/A
[Symbol]	PROPOSED FENCE	#/C9.XX
[Symbol]	PROPOSED LIGHT	#/C9.XX
[Symbol]	PROPOSED BIKE RACK	#/C9.XX
[Symbol]	PROPOSED BENCH	#/C9.XX
[Symbol]	PROPOSED BOLLARD	#/C9.XX
[Symbol]	LIMITS OF DISTURBANCE	N/A

NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



Client:
PULTE HOMES
CHRIS RAUGHEY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919)816-1100

Vicinity map:



Seal:
PRELIMINARY - DO NOT USE FOR CONSTRUCTION
[Professional Engineer Seal]

Project:
FORMER THALES SITE

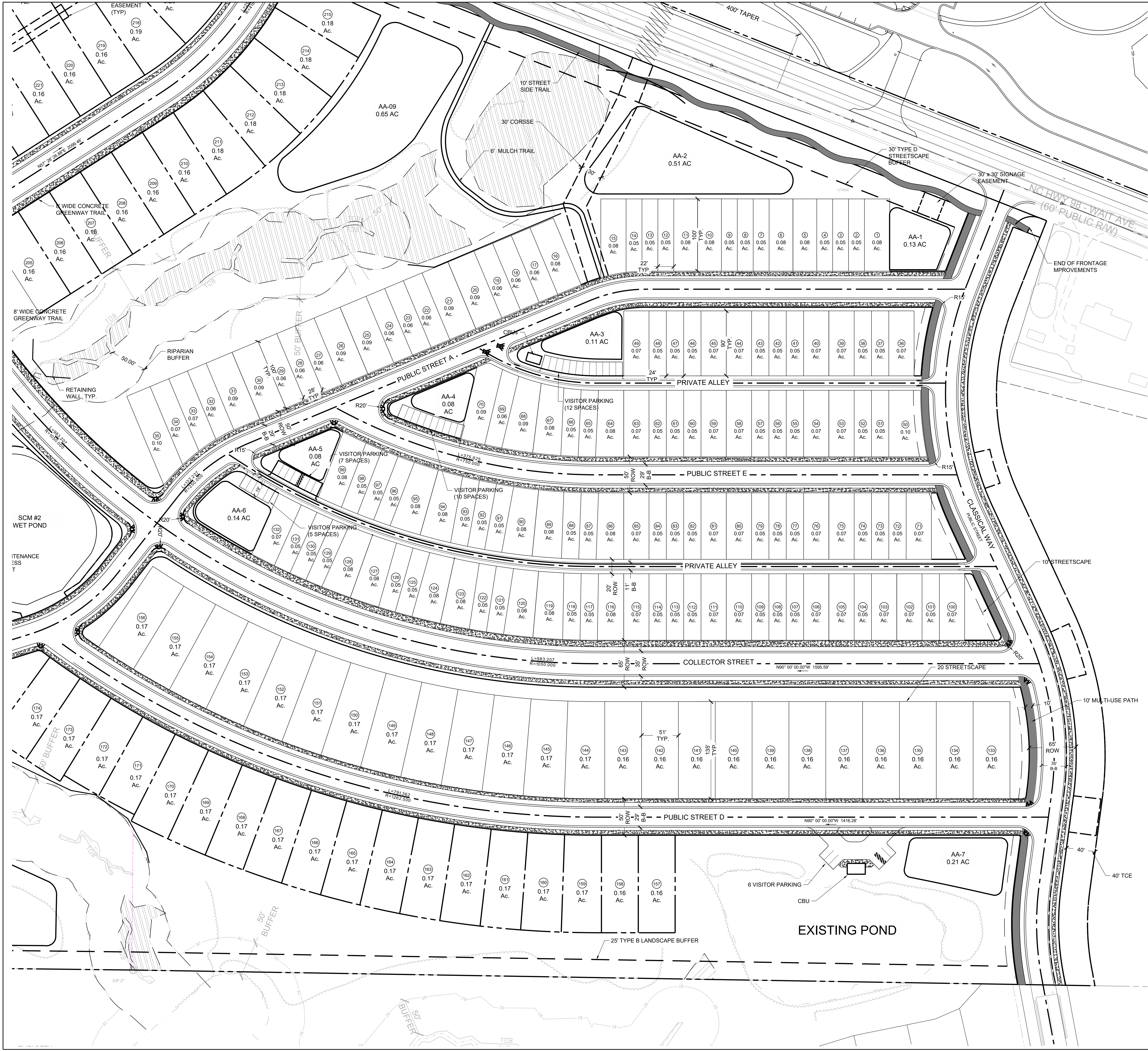
Issued for:
PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL

Title:
SITE PLAN NORTHWEST

Project number: C19003 Sheet #: **C3.01**
Issued Date: 12.23.2020
Drawn by: JH
Approved by: CD

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SITE LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
	PROPOSED BUILDING	SEE ARCH. PLANS
	PROPOSED CONCRETE SIDEWALK	#/C9.XX
	PROPOSED BRICK SIDEWALK	#/C9.XX
	PROPOSED HEAVY DUTY PAVEMENT	#/C9.XX
	PROPOSED CONCRETE PAVERS	#/C9.XX
	PROPOSED GRAVEL	#/C9.XX
	PROPOSED CURB & GUTTER	#/C9.XX
	PROPOSED STOP BAR	#/C9.XX
	PROPOSED CROSSWALK	#/C9.XX
	PROPOSED 6' WIDE STANDARD CROSSWALK	#/C9.XX
	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK	#/C9.XX
	PROPOSED SIGN	N/A
	PROPOSED ADA PARKING SPACE	#/C9.XX
	PROPOSED KEYSTONE WALL	#/C9.XX
	PROPOSED CIP WALL	#/C9.XX
	PROPOSED WHEEL STOP	#/C9.XX
	PROPOSED GRAVEL TRAIL	#/C9.XX
	PROPOSED ASPHALT TRAIL	#/C9.XX
	PROPOSED TREELINE	N/A
	PROPOSED FENCE	#/C9.XX
	PROPOSED LIGHT	#/C9.XX
	PROPOSED BIKE RACK	#/C9.XX
	PROPOSED BENCH	#/C9.XX
	PROPOSED BOLLARD	#/C9.XX
	LIMITS OF DISTURBANCE	N/A

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

STEWART
 223 S. WEST ST., #1100
 RALEIGH, NC 27603
 T 919.380.8750
 FIRM LICENSE # C-1051
 www.stewartinc.com
 PROJECT # C19003

Client:
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Vicinity map:

North Arrow:

Scale:
 1" = 50'

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

Scale:
 1" = 50'

Project:
FORMER THALES SITE

Issued for:
PRELIMINARY PLAT

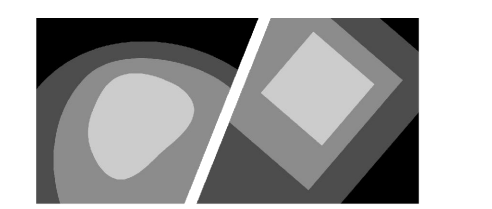
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL

Title:
SITE PLAN EAST

Project number: C19003 Sheet #:
 Issued Date: 12.23.2020
 Drawn by: JH
 Approved by: CD

C3.02

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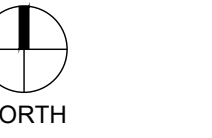
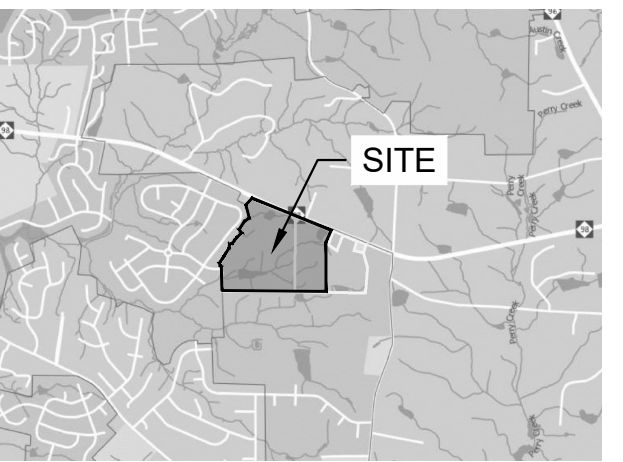
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RALEIGH, NC 27603
FIRM LICENSE # C-1051
WWW.STEWARTINC.COM PROJECT # C19003

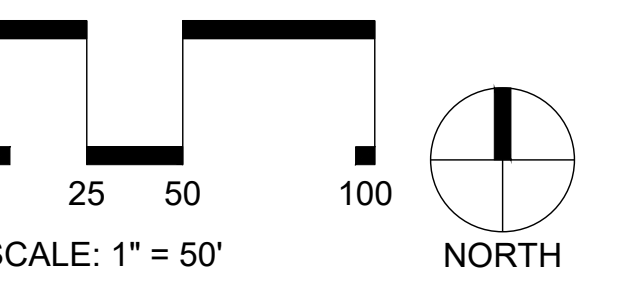
Client:

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Vicinity map:



Seal:
PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:
FORMER THALES SITE

Issued for:
PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL

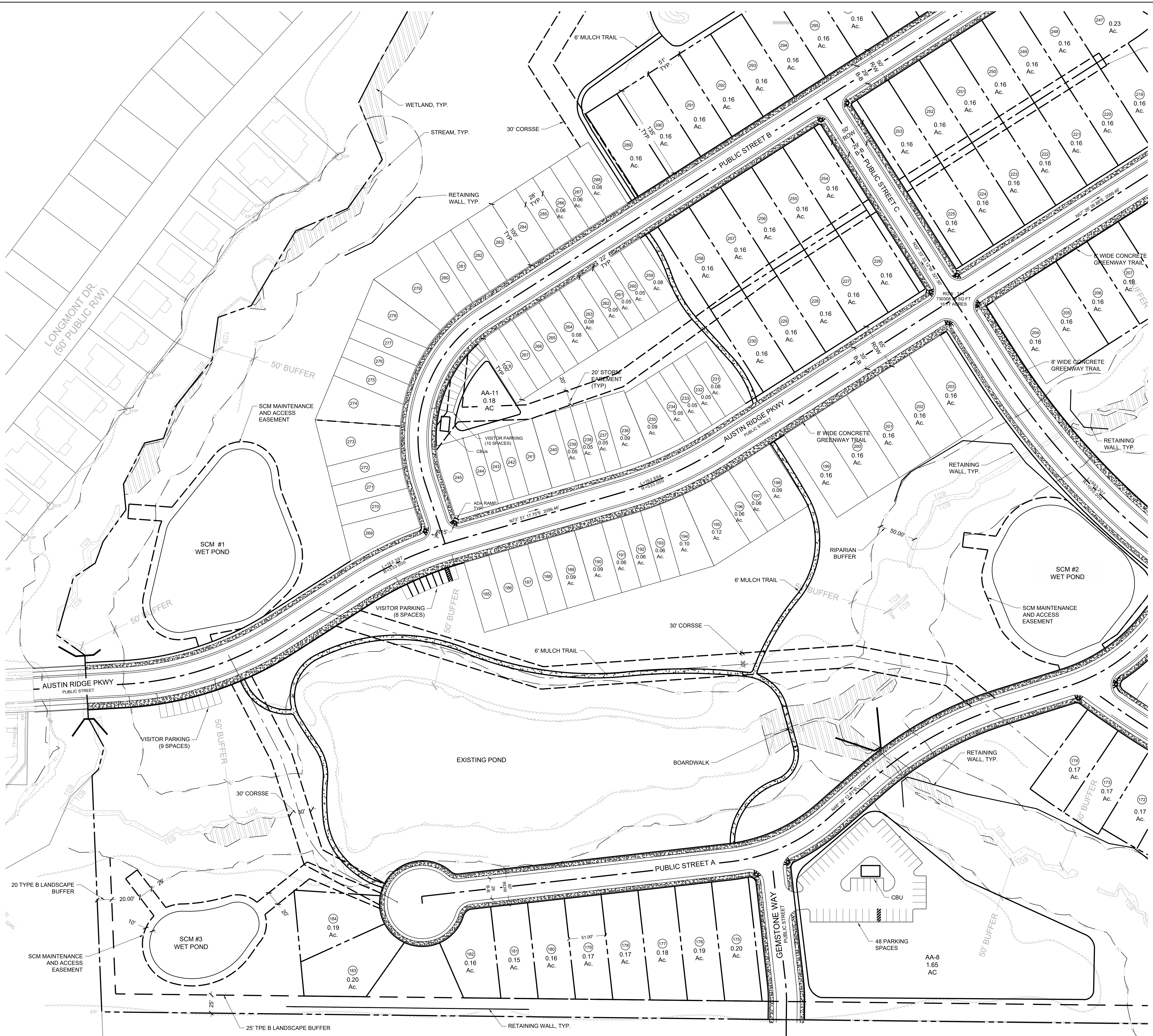
Title:
SITE PLAN SOUTHWEST

Project number: C19003 Sheet #: **C3.03**
Issued Date: 12.23.2020
Drawn by: JH
Approved by: CD

SITE LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Hatched Box]	PROPOSED BUILDING	SEE ARCH PLANS
[Dashed Box]	PROPOSED CONCRETE SIDEWALK	#/C3.XX
[Brick Pattern Box]	PROPOSED BRICK SIDEWALK	#/C3.XX
[Dark Grey Box]	PROPOSED HEAVY DUTY PAVEMENT	#/C3.XX
[Square Pattern Box]	PROPOSED CONCRETE PAVERS	#/C3.XX
[Dotted Box]	PROPOSED GRAVEL	#/C3.XX
[Solid Line]	PROPOSED CURB & GUTTER	#/C3.XX
[Dashed Line]	PROPOSED STOP BAR	#/C3.XX
[Diagonal Line Box]	PROPOSED CROSSWALK	#/C3.XX
[Solid Line Box]	PROPOSED 6' WIDE STANDARD CROSSWALK	#/C3.XX
[Thick Solid Line Box]	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK	#/C3.XX
[Circle with X]	PROPOSED SIGN	N/A
[Square]	PROPOSED ADA PARKING SPACE	#/C3.XX
[Solid Line]	PROPOSED KEYSTONE WALL	#/C3.XX
[Dashed Line]	PROPOSED CIP WALL	#/C3.XX
[Circle]	PROPOSED WHEEL STOP	#/C3.XX
[Dotted Line]	PROPOSED GRAVEL TRAIL	#/C3.XX
[Dark Grey Line]	PROPOSED ASPHALT TRAIL	#/C3.XX
[Dashed Line]	PROPOSED FENCELINE	N/A
[Dashed Line]	PROPOSED FENCE	#/C3.XX
[Circle]	PROPOSED LIGHT	#/C3.XX
[Square]	PROPOSED BIKE RACK	#/C3.XX
[Line]	PROPOSED BENCH	#/C3.XX
[Circle]	PROPOSED BOLLARD	#/C3.XX
[Dashed Line]	LIMITS OF DISTURBANCE	N/A

- NOTES:**
- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



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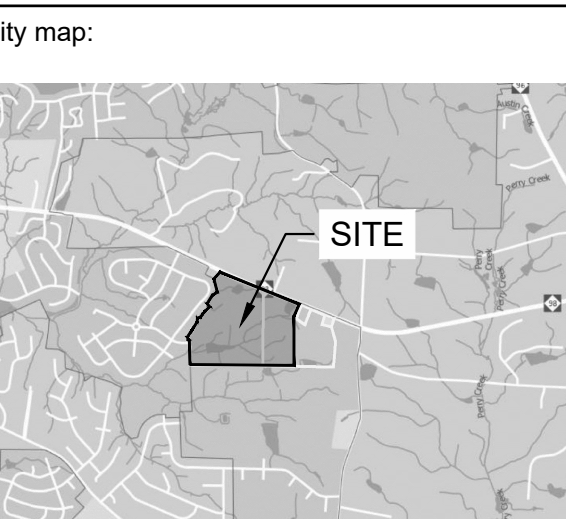
GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
- - - -	LIMITS OF DISTURBANCE	N/A
————	PROPOSED MAJOR CONTOUR	N/A
————	PROPOSED MINOR CONTOUR	N/A
————	EXISTING MAJOR CONTOUR	N/A
————	EXISTING MINOR CONTOUR	N/A
————	PROPOSED STORM DRAINAGE	#/CB.XX
(D)	PROPOSED JUNCTION BOX	#/CB.XX
[]	PROPOSED CATCH BASIN	#/CB.XX
[]	PROPOSED AREA DRAIN	#/CB.XX
[]	RIPRAP DISSIPATOR	#/CB.XX
→	FLOW DIRECTION	N/A
44.50	PROPOSED ELEVATION	N/A
TC 44.50	TOP/BOTTOM OF CURB	N/A
BC 44.00	TOP/BOTTOM OF CURB	N/A
TW 44.00	TOP/BOTTOM OF WALL	N/A
EW 44.00	TOP/BOTTOM OF WALL	N/A

NOTES:

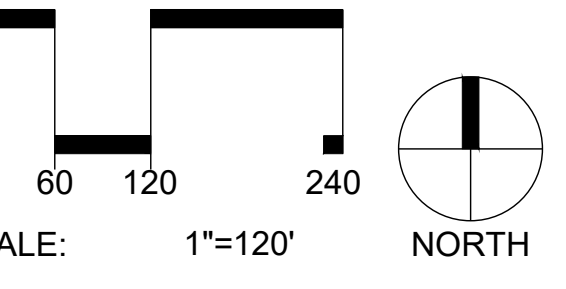
1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

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 CARY, NC 27516
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Seal:
 PRELIMINARY - DO NOT
 USE FOR CONSTRUCTION



Project:
**FORMER THALES
 SITE**

Issued for:
PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL

Title:
**GRADING AND
 DRAINAGE PLAN
 NORTHWESTWEST**

Project number: C19003 Sheet #:
 Issued Date: 12.23.2020
 Drawn by: JH
 Approved by: CD

C5.01

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