

CAWTHORNE, MOSS & PANCIERA, PC
MICHAEL A. MOSS, PLS
333 S. WHITE STREET
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**“ANNEXATION MAP”
Legal Description For
Lot 1 & 2, Barham Land**

Beginning at an existing iron pipe, said iron pipe being the rear common corner of Lots 2 and 3, Barham Land (B.M. 1994, PG. 165) with NC Grid NAD 83/2011 coordinates N(Y): 806,796.48' E(x): 2,159,149.26'; Thence N 89°43'09" E a distance of 257.65' to a new iron pipe; Thence N 89°43'09" E a distance of 391.86' to a bent existing iron pipe; Thence S 00°47'55" W a distance of 369.84' to an existing iron pipe; Thence S 00°47'55" W a distance of 158.02' to an existing iron pipe; Thence S 00°47'55" W a distance of 149.52' to an existing iron pipe; Thence S 00°47'55" W a distance of 177.44' to a new iron pipe at the right-of-way of Wait Avenue (Hwy98); Thence S 00°47'55" W a distance of 31.71' to a point; Thence N 70°16'42" W a distance of 74.92' to a point; Thence with a curve turning to the right with an arc length of 97.41', with a radius of 1881.06', with a chord bearing of N 68°47'42" W, with a chord length of 97.40', to a point; Thence with a curve turning to the left with an arc length of 160.14', with a radius of 6157.39', with a chord bearing of N 68°03'23" W, with a chord length of 160.14', to a point; Thence with a curve turning to the right with an arc length of 86.34', with a radius of 3538.02', with a chord bearing of N 68°06'09" W, with a chord length of 86.34', to a point; Thence with a curve turning to the right with an arc length of 12.10', with a radius of 3538.02', with a chord bearing of N 67°18'19" W, with a chord length of 12.10', to a point; Thence with a curve turning to the right with an arc length of 117.71', with a radius of 3538.02', with a chord bearing of N 66°15'15" W, with a chord length of 117.71', to a point; Thence with a curve turning to the left with an arc length of 431.49', with a radius of 97847.83', with a chord bearing of N 65°25'39" W, with a chord length of 431.49', to a point; Thence N 27°53'04" E a distance of 30.05' to an existing iron bar at the right-of-way of Wait Avenue (Hwy98) being the common corner of Lots 2 and 3; Thence N 27°53'04" E a distance of 534.74' to an existing iron pipe; Which is the point of beginning, Containing an area of 570,714 Square Feet, 13.102 Acres.

I, L. JORDAN PARKER, JR. CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES, THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS GREATER THAN 1:10000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL.



THIS 9TH DAY OF OCTOBER A.D. 2020.

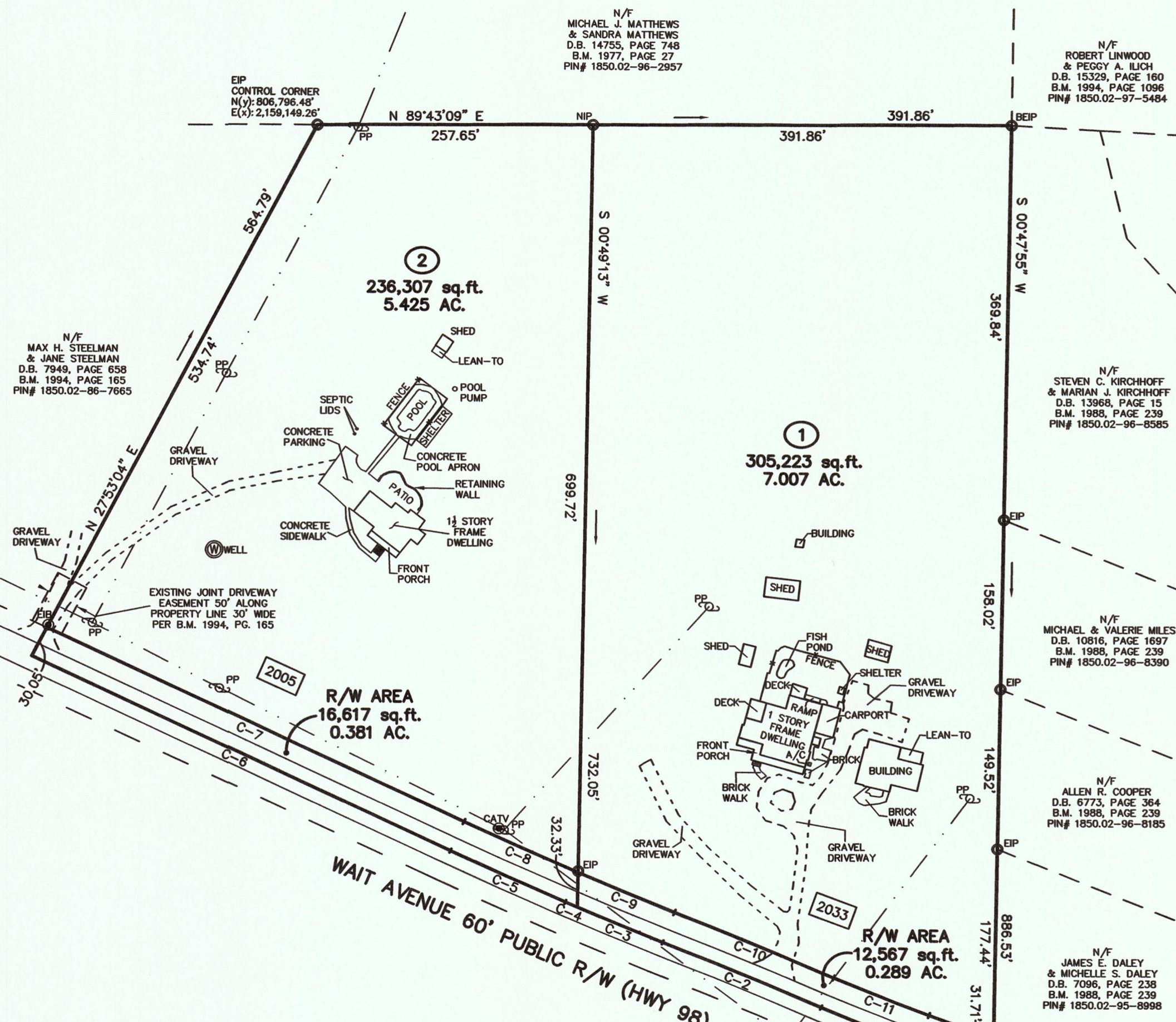
[Signature]
L-4685
PROFESSIONAL LAND SURVEYOR LICENSE NUMBER

THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE EXISTING EASEMENTS AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET. FOR THE PURPOSES OF THIS SUBSECTION, AN "EXISTING PARCEL" OR "EXISTING EASEMENT" IS AN AREA OF LAND DESCRIBED IN A SINGLE, LEGAL DESCRIPTION OR LEGALLY RECORDED SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION.

[Signature]
L-4685
PROFESSIONAL LAND SURVEYOR LICENSE NUMBER

LAND SURVEYOR/CONTACT

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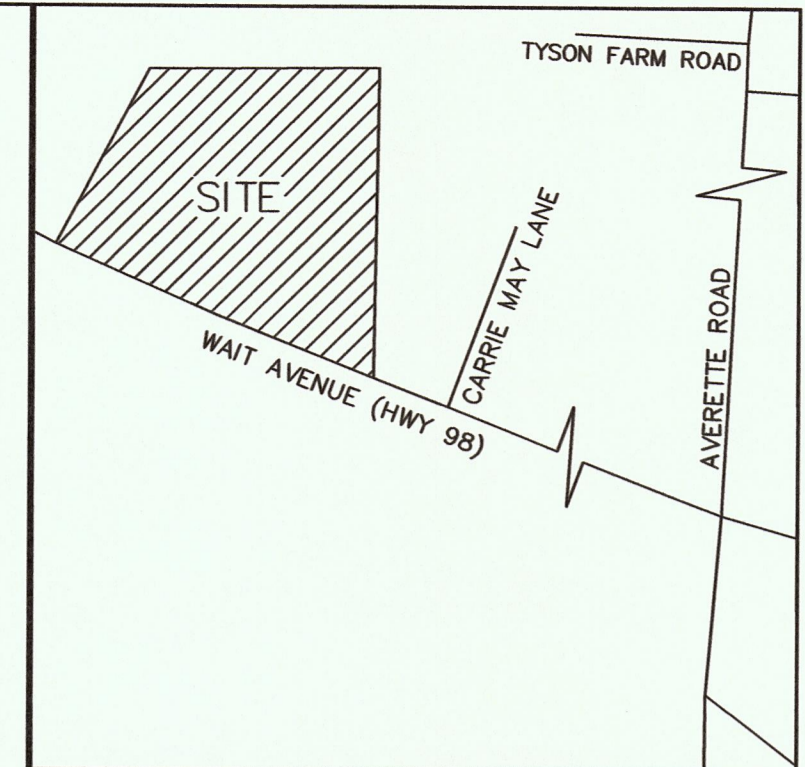


LINE TABLE

LINE	BEARING	DISTANCE
L-1	N 61°21'07" W	238.00'
L-2	N 70°16'42" W	74.92'
L-3	N 70°16'42" W	64.64'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-1	97.41'	1881.06'	97.40'	N 68°47'42" W
C-2	160.14'	6157.39'	160.14'	N 68°03'23" W
C-3	86.34'	3538.02'	86.34'	N 68°06'09" W
C-4	12.10'	3538.02'	12.10'	N 67°18'19" W
C-5	117.71'	3538.02'	117.71'	N 66°15'15" W
C-6	431.49'	97847.83'	431.49'	N 65°25'39" W
C-7	429.82'	97877.83'	429.82'	S 65°25'37" E
C-8	116.71'	3508.02'	116.71'	S 66°15'15" E
C-9	97.61'	3508.02'	97.60'	S 68°00'16" E
C-10	160.92'	6187.39'	160.92'	S 68°03'23" E
C-11	95.85'	1851.06'	95.84'	S 68°47'42" E

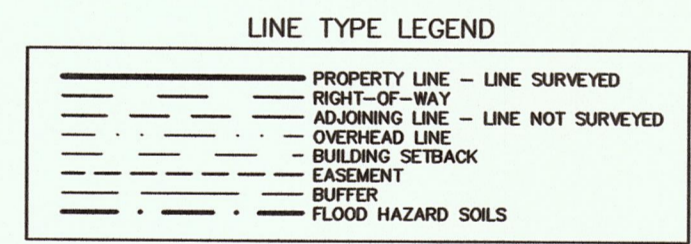


VICINITY MAP

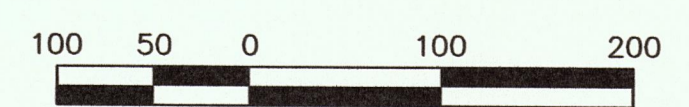
LOT 1 - 305,223 S.F./7.007 AC.
R/W AREA - 12,567 S.F./0.289 AC.
LOT 2 - 236,307 S.F./5.425 AC.
R/W AREA - 16,617 S.F./0.381 AC.
TOTAL AREA TO BE ANNEXED
570,714 S.F./13.102 AC.

- LEGEND:**
- EIP - EXISTING IRON PIPE
 - EIB - EXISTING IRON BAR
 - BEIP - BENT IRON PIPE
 - BEIB - BENT IRON BAR
 - CM - CONCRETE MONUMENT
 - EPK - EXISTING PK NAIL
 - SPK - SET PK NAIL
 - NIP - NEW IRON PIPE SET
 - R/W - RIGHT OF WAY
 - CATV - CABLE TV BOX
 - EB - ELECTRIC BOX
 - TEL - TELEPHONE PEDESTAL
 - PP - POWER POLE
 - OHL - OVERHEAD LINE
 - LP - LIGHT POLE
 - WM - WATER METER
 - WV - WATER VALVE
 - CO - SEWER CLEAN-OUT
 - XXXX - ADDRESS

- NOTES:**
- AREA COMPUTED BY COORDINATE METHOD.
 - THERE IS NO NCGS MONUMENT WITHIN 2000' OF THIS PROPERTY.
 - THIS PLAT SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
 - ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS
 - THIS PROPERTY DOES NOT LIE WITHIN A FEMA FLOOD ZONE PER PANEL # 3720-1850-00J DATED MAY 2, 2006



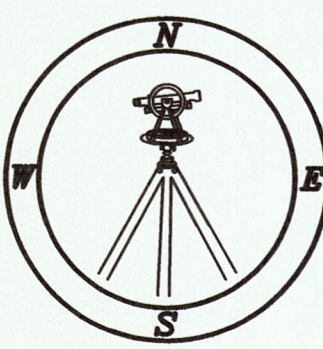
ANNEXATION MAP FOR
**LOT 1 & 2
BARHAM LAND**
WAIT AVENUE
OWNER: JA2GA, LLC
REF: D.B. 17900, PAGE 1328
REF: D.B. 17892, PAGE 2585
REF: B.M. 1992, PAGE 1174
REF: B.M. 1994, PAGE 165
WAKE FOREST TOWNSHIP
WAKE COUNTY, NORTH CAROLINA



SCALE 1"=100'

SEPTEMBER 18, 2020
ZONED HD

LOT 1 - PIN #1850.02-96-5586
LOT 2 - PIN #1850.02-96-2688



WAITAVE2005.DWG - JC