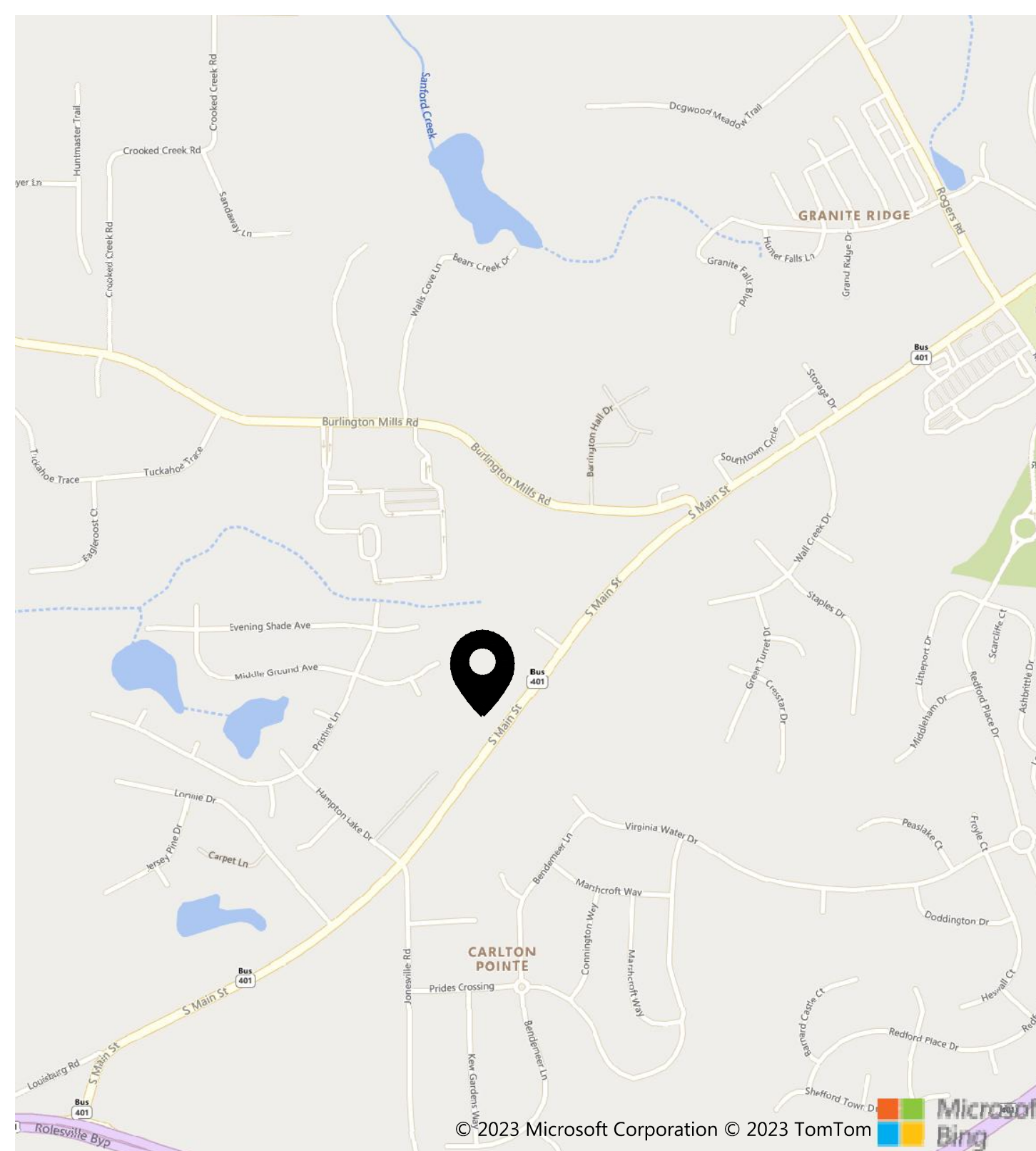


V1 - SDP-23-08

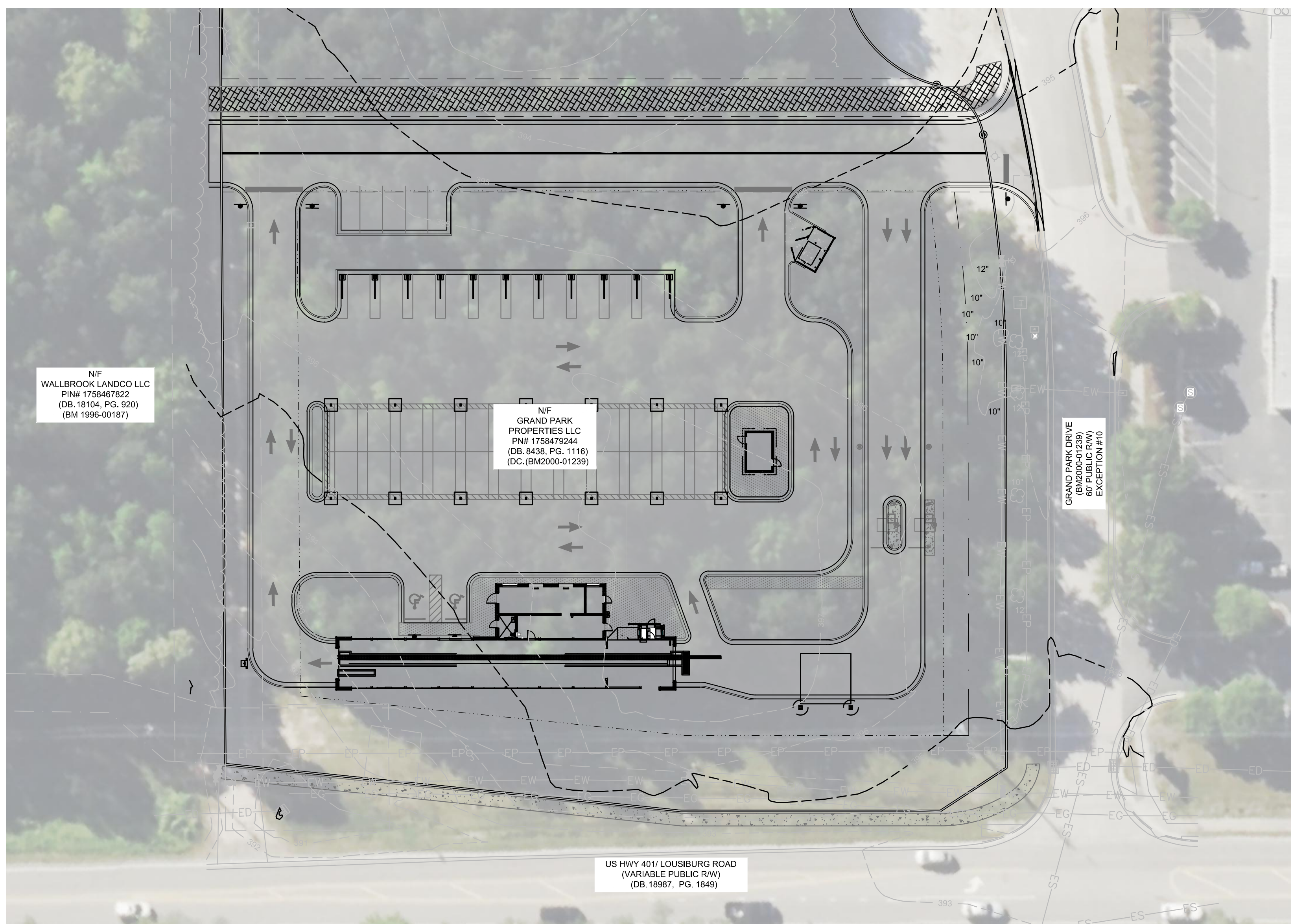
# TIDAL WAVE AUTO SPA

## ROLESVILLE, NC, USA

### SITE LOCATION MAP



### SITE OVERVIEW



Sheet List Table	
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L1.0	LANDSCAPE PLAN
L1.1	PLANT SCHEDULE & DETAILS & NOTES

### PROJECT DESCRIPTION

**PROJECT DATA:**  
THIS PROJECT IS LOCATED ON A 1.82 ACRE SITE, IN ROLESVILLE, NC. THE PROPERTY AS IT EXISTS IS AN UNDEVELOPED LOT. THE PROPOSED DEVELOPMENT WILL BE AN AUTOMATED CAR WASH WITH ASSOCIATED PARKING AND INFRASTRUCTURE.

**FLOOD ZONE:**  
THIS PROPERTY IS LOCATED OUTSIDE OF ANY REGULATED FLOOD ZONES, ZONEX (OTHER AREAS), NAVD88, SCALED FROM THE FIRM THE TOWN OF ROLESVILLE, NORTH CAROLINA PANEL NO. 3720175800K.

**PROPERTY INFORMATION:**  
PARCEL ID: 1758479244  
ZONING DISTRICT: GI-CZ (GENERAL INDUSTRIAL - CONDITIONAL ZONING)

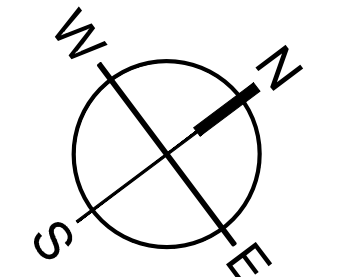
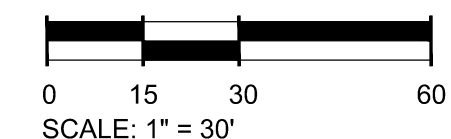
### GENERAL NOTES

#### PROJECT SURVEY INFORMATION AND CONTRACTOR VERIFICATION REQUIREMENTS

- BOUNDARY, TOPOGRAPHIC, TREE, WETLAND DELINEATION, AND OTHER EXISTING CONDITIONS SHOWN ARE FROM SURVEY PREPARED BY MSP & ASSOCIATES LAND SURVEYING, INC.
- ALL ELEVATIONS ARE BASED ON NAVD88 DATUM.
- THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC WORK, EXISTING UTILITY LINE LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING WORK. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL MAINTAIN AND BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY.
- AN AUTOCAD BASE PLAN OF THIS DRAWINGS CAN BE PROVIDED TO THE CONTRACTOR UPON REQUEST. ENGINEER SHALL NOT BE RESPONSIBLE FOR ERRORS IN ELECTRONIC DATA.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL PLANS AND COORDINATION WITH THE TOWN OF ROLESVILLE FOR LANE/ROAD CLOSURE AS NEEDED THROUGHOUT CONSTRUCTION.
- ALL SITE WORK TO BE PERFORMED IN CONFORMANCE WITH THE TOWN OF ROLESVILLE CODE OF ORDINANCE. MATERIAL SPECIFICATIONS ARE PROVIDED IN THE SPECIFICATIONS AND SPECIAL PROVISIONS SECTION.
- ALL UTILITY INSTALLATIONS, PUBLIC AND PRIVATE, SHALL BE PERFORMED IN CONFORMANCE WITH THE TOWN OF ROLESVILLE WATER AND SEWER POLICIES, PROCEDURES, STANDARDS AND SPECIFICATIONS.



Know what's below.  
Call before you dig.



### PROJECT CONTACTS

**DEVELOPER:**  
SHJ DEVELOPMENT, LLC  
124 EAST THOMPSON STREET  
POST OFFICE DRAWER 311  
THOMASTON, GA 30286  
CONTACT: ALEX PERRY  
PHONE: 478-972-2418

**CIVIL ENGINEER & LANDSCAPE ARCHITECT:**  
SEAMON WHITESIDE & ASSOCIATES, LLC  
230 E PETERSON DR  
CHARLOTTE, NC 28217  
CONTACT: TOMMIE LITTLE  
PHONE: 980-312-5450

**SOURCES:**  
SURVEYOR  
MSP & ASSOCIATES  
LAND SURVEYING INC.  
301 E. HILLCREST DR.  
GREENVILLE, SC, 29609  
PHONE: (864) 370-2232

**OWNER:**  
GRAND PARK PROPERTIES, LLC  
2636 WAIT AVENUE  
WAKE FOREST, NC 27587  
CONTACT: GEORGE M. UPCHURCH, JR.

**UTILITY CONTACTS:**  
CITY OF RALEIGH PUBLIC UTILITIES  
ONE EXCHANGE PLAZA,  
RALEIGH, NC 27601  
PHONE: 919-996-3245

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | JUDGECHILLIS BUILDING CORP. | CHARLOTTE, NC 28217 | 701 N. GERRARD STREET | GREENVILLE, SC 29615 | 150 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
COPYRIGHT © SEAMON WHITESIDE & ASSOCIATES, INC. THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT A WRITTEN PERMISSION.

15/01/2023 10:30:23 219 PW, BY: Fowler Evans N:\0179\2023\TIDAL\DWG\C1.0 - COVER SHEET & LEGEND.dwg

**REVISION HISTORY**

NO.	DESCRIPTION	DATE

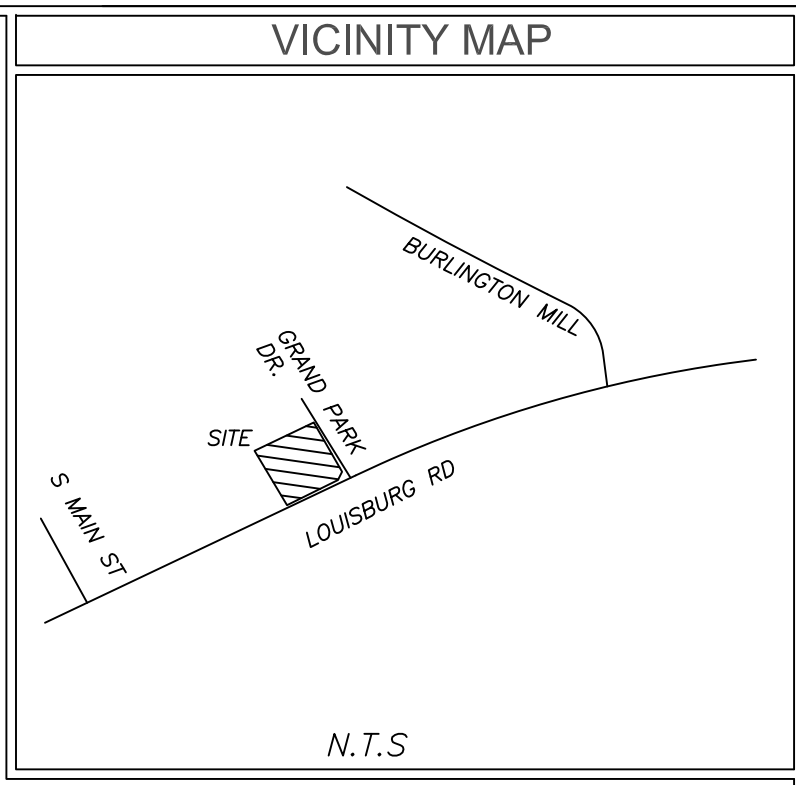
**LEGEND & REVISION NOTES**

# DRAWING LEGEND

NOTE: THIS LEGEND DOES NOT APPLY TO 'EXISTING CONDITIONS' SHEET(S). THOSE ARE SHOWN IN THE ORIGINAL FORMAT AS RECEIVED BY THE SURVEYOR

OBJECTS AND SYMBOLS	EXISTING	NEW	OBJECTS AND SYMBOLS	EXISTING	NEW	ABBREVIATIONS	EXISTING	NEW	SWPPP PLAN LEGEND
Right of Way			Benchmark		N/A	Sewer Easement	Ex. S.E.	S.E.	Turf Reinforcement Mat (TR)
Lot Line			Sanitary Sewer Manhole			Storm Easement	Ex. W.E.	W.E.	Sodding (S)
Adjoining Property Line		N/A	Sanitary Sewer Manhole ID #	N/A		Drainage Easement	Ex. D.E.	D.E.	Surface Roughening (SR)
Centerline		(Same as Existing)	Sanitary Sewer Cleanout			General Utility Easement	Ex. G.U.E.	G.U.E.	Temporary Seeding (TS)
Easement			Double Sanitary Sewer Service (Residential Only)			Access Easement	Ex. A.E.	A.E.	Permanent Seeding (PS)
Setback		(Same as Existing)	Single Sanitary Sewer Service (Residential Only)			Ingress/Egress Easement	Ex. I.E.E.	I.E.E.	Mulching (M)
Sanitary Sewer (Gravity)			TYPE 1 Storm Drainage Structure (CI-1)			Pond Maintenance Easement	Ex. P.M.E.	P.M.E.	Typical Lot Erosion Control Plan (LE)
Sanitary Sewer (Force Main)			TYPE 16 Storm Drainage Structure (CI-16)			Home Owner's Association	Ex. HOA	HOA	Flexible Growth Medium (FG)
Water Line			TYPE 17 Storm Drainage Structure (Right) (CI-17)			Property Owners Association	Ex. POA	POA	Erosion Control Blanket (EC)
Curb & Gutter (Straight)			TYPE 17 Storm Drainage Structure (Left) (CI-17)			<b>HATCH PATTERNS</b>			
Curb & Gutter (Roll)			TYPE 18 Storm Drainage Structure (CI-18)			Freshwater Wetland			Dust Control (DC)
Previous Phase Storm Drain Pipe		N/A	Isolation Box (IB)			Freshwater Wetland Buffer			Bonded Fiber Matrix (BF)
Storm Drain Pipe			Storm Drainage Junction Box (JB)			Saltwater Marsh			Concrete Washout Basin (CW)
Drainage Flow Arrow	N/A		Yard Inlet (YI)			Saltwater Marsh Buffer			Portable Toilet (PT)
Roof Drain			Control Structure (CS)			Site Clearing Area			Block & Stone Inlet Protection
Subsurface Drainage			Storm Drainage Structure ID #	N/A		Area Previously Cleared Included in Limits of Disturbance			Temp. Sediment Control Tube (See Tube)
Silt Fence, Standard			Telephone Box			Area to be Permanently Stabilized			Temp. Rock Ditch Checks
Silt Fence, Reinforced			Telephone Manhole			<b>SWPPP PLAN LEGEND</b>			
Phase Line	N/A		Electrical Box			Turf Reinforcement Mat Outlet Protection (and Turf and Grasses Specs)			Filter Fabric Inlet Protection
Drainage Basin Limits	N/A		Electrical Manhole			Temp. Curb Inlet Weep Filter			Temp. Inlet Sediment Filter
Flood Zone	ZONE 'X' ZONE 'AE'	N/A	Power Pole			Both Curb Inlet Filters (See Above)			Construction Entrance
Conduit			Light Pole			Dandy Sack or Grate Gator Inlet Protection			
Natural Gas			Fire Hydrant Assembly						
Overhead Electrical			Water Blowoff						
Underground Electrical			Water Line Bends, Angle Varies	N/A					
Underground Telephone			Water Line Valve						
Underground Cable			Water Line Reducer						
Underground Fiber Optic			Single Water Service (Residential Only)						
Fence			Double Water Service (Residential Only)						
Elevation Contour			Sign						
Revision Cloud (Encloses Revision)	N/A		ADA Accessible Parking Space						
			Spot Elevation						
			Drainage Basin Area	N/A					
			Keynote	N/A					
			Parking Count ID #	N/A					
			Lot #	N/A					
			Revision ID #	N/A					
			Rip Rap at Pipe Outlet	N/A					

501 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29564 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000, GREENVILLE, SC 29611, 230 PETERSON DR., CHARLOTTE, NC 28217 | 701 N. CENAP STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MCGRAW AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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**TITLE EXCEPTIONS**

Schedule B-Section II Title Exceptions  
 Fidelity National Title Insurance Company  
 Commitment Number: NC252306067V;NACS230520; Effective Date: June 29, 2023

10. Easements, rights of ways, boundary lines, and improvements as set forth on Plat recorded in Book of Maps 2000, Page 1239, Book of Maps 1996, Page 1582, Book of Maps 1999, Page 1039, and Book of Maps 2003, Page 614, Wake County Registry. (AFFECTS SITE AS PLOTTED)

11. Deed of Easement Vehicular Access and Utility Services to Elevated Water Tank Facility from Grand Park Properties LLC to the City of Raleigh, dated May 5, 2003 and recorded in Book 10123, Page 2779, Wake County Registry. (AFFECTS SITE AS PLOTTED)

12. Right of way conveyance and easements contained in Deed for Highway Right of Way in favor of the Department of Transportation dated April 1, 2021, recorded April 11, 2022, in Book 18987, Page 1849, Wake County Registry. (AFFECTS SITE AS PLOTTED)

13. Cross Access Easement Agreement between Wallbrook Landco LLC and Grand Park Properties, LLC, dated April 12, 2022 and recorded in Book 18988, Page 1102, Wake County Registry. (AFFECTS SITE: UNABLE TO PLOT; NO DESCRIPTION OR MEASUREMENTS FOR EASEMENT)

**SURVEYORS CERTIFICATION**

\* To: Fidelity National Title Insurance Company and TWAS Properties LLC, a Delaware limited liability company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-6a,b,7a,b, 8, 9, 11, 13, 16, 17, 18, 20 and 21 of Table A thereof. The field work was completed on 6/6/23.

NIF  
 GRAND PARK PROPERTIES LLC  
 PIN# 1758479244  
 (BM1999-01039)

6/6/23  
 Date

Michael S. Perdue PLS #L-4322

**LEGEND**

- CB CPP CATCH BASIN
- CT CORRUGATED PLASTIC PIPE
- DI CRIMPED TOP PIPE
- IE DROP INLET
- JB INVERT ELEVATION
- MH JUNCTION BOX
- OT MANHOLE
- POB OPEN TOP PIPE
- POC POINT OF BEGINNING
- POE POINT OF COMMENCEMENT
- TBM TEMPORARY BENCHMARK
- RCP REINFORCED CONCRETE PIPE
- SS SANITARY SEWER
- OHP OVERHEAD POWER
- EIP IRON PIN FOUND
- NP IRON PIN SET
- WV WATER VALVE
- WM WATER METER
- GV GAS VALVE
- GM GAS METER
- TP TELEPHONE PEDESTAL
- FH FIRE HYDRANT
- LP LIGHT POLE
- PM POWER METER
- BV BACKFLOW VALVE
- EB ELECTRICAL BOX
- PHONE LINE
- GUY WIRE
- GAS LINE
- WATER LINE
- POWER LINE
- UNDERGROUND POWER LINE
- POWER POLE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- CATCH BASIN
- GAS METER
- TRANSFORMER
- PEAR TREE
- PINE TREE
- CREPE MYRTLE

**GENERAL NOTES**

This property is in Zone X based on Flood Insurance Rate Map 3720175800K dated 07/19/2022. This determination was made by graphically determining the position of said site on said FIRM Map.

Contact proper Authorities Before building near utility lines, for easement width and restrictions. Underground Utilities are approximate and should be verified prior to any construction. Locations shown are approximate.

This survey has been prepared for the exclusive use of the person or entities named hereon. No express or implied warranties with respect to the information shown hereon is to be extended to any persons or entities other than those shown hereon.

Elevations based on GPS VRS connected to NC GPS Network. Vertical Datum NAVD 88.

Property Zoned GI-CZ  
 Setbacks to be verified by Engineer prior to development.

I, Michael S. Perdue certify that this plat was drawn under my supervision from an actual survey made under my supervision and is a portion property as shown in (DB. 8438, PG. 1116); that the ratio of precision as calculated 1: 20,000 +/- and was not adjusted; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, registration # and seal this 6th day of June 2023.

That this survey is of an existing parcel of land, existing structures and buildings and does not create a new street or change existing streets.

Michael S. Perdue, PLS# L-4322

All matters shown on recorded plats are shown on survey, if applicable.

There was evidence of recent earth moving work or construction was observed on the property.

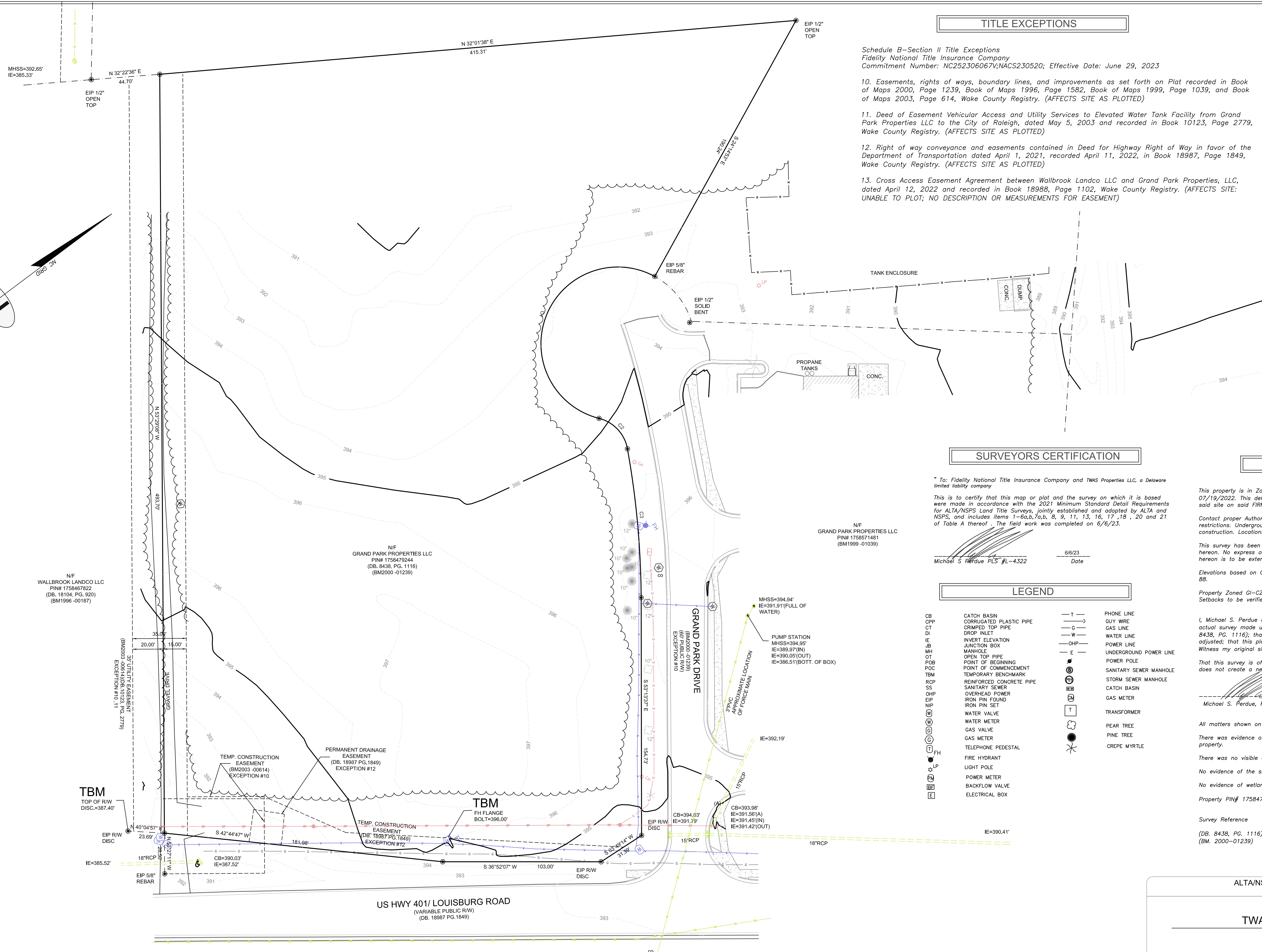
There was no visible evidence of cemeteries or burial grounds found.

No evidence of the site being used as a solid waste dump, sump or sanitary landfill.

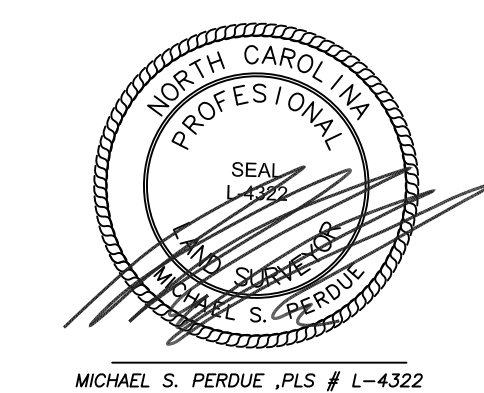
No evidence of wetlands being marked on subject property.

Property PIN# 1758479244

Survey Reference  
 (DB. 8438, PG. 1116)  
 (BM. 2000-01239)



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	50.00'	1.6977'	99.20'	S 31°42'56" E	1194°32'39"	391.83'
C2	25.01'	28.63'	27.05'	N 83°49'48" E	65°34'40"	16.11'
C3	570.00'	197.34'	97.22'	S 58°23'28" E	9°47'04"	48.79'



ALTA/NSPS LAND TITLE SURVEY FOR

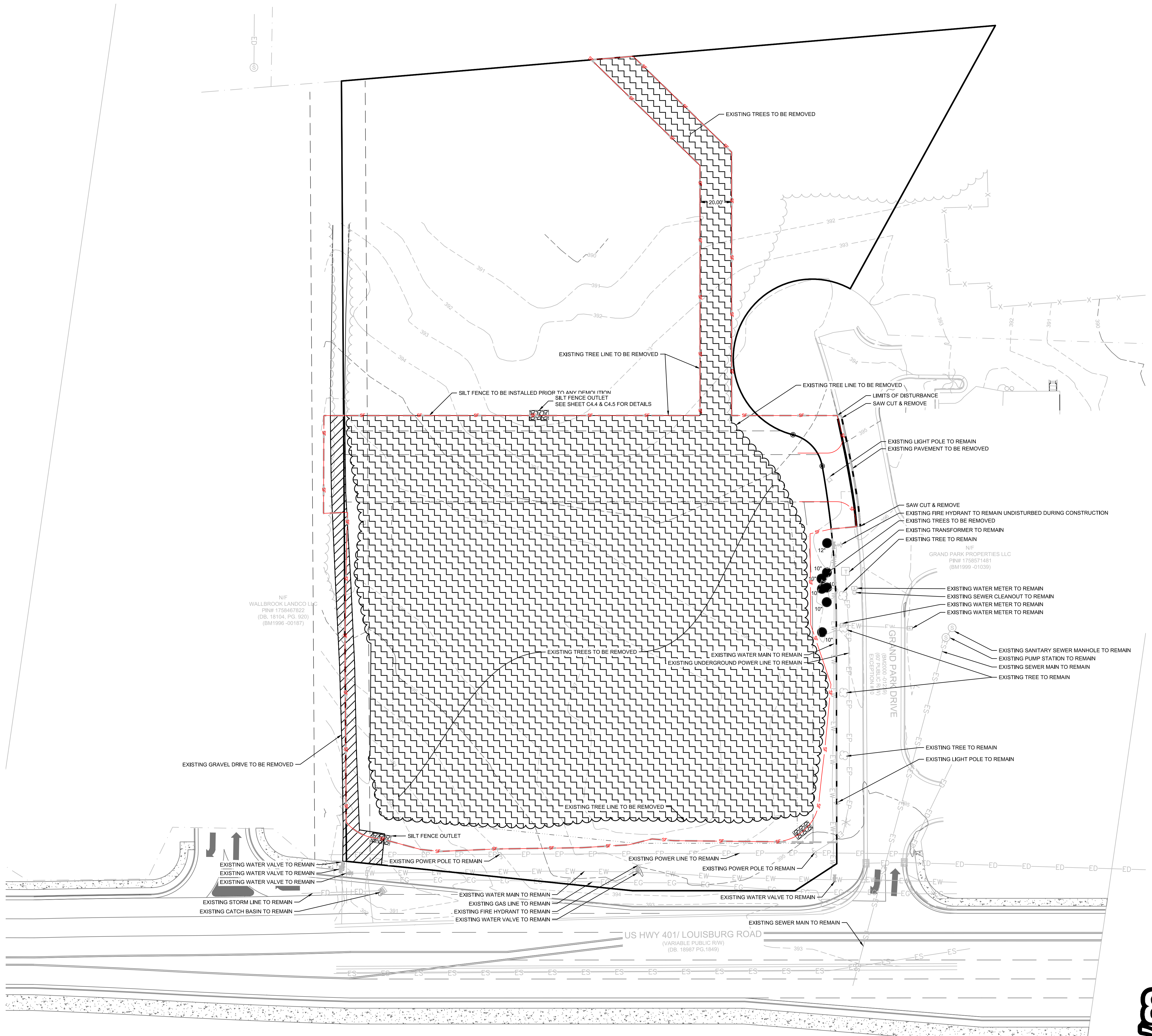
**TWAS Properties LLC**

TOWN: ROLESVILLE COUNTY: WAKE STATE: NORTH CAROLINA

DATE: 6/6/23 SCALE: 1:30

FIELD WORK: MSP DRAWN BY: MSP REVIEWED BY: MSP

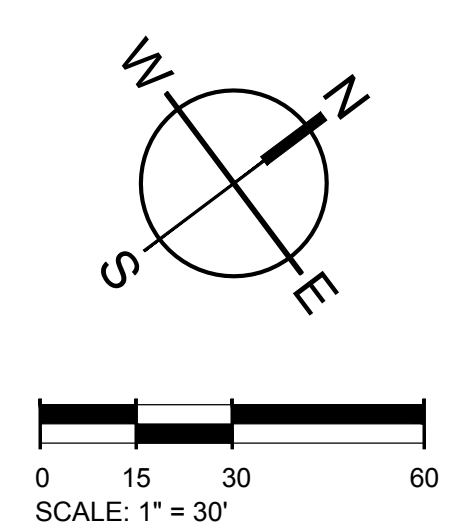
MSP FILE: twrolesville MSP JOB#: 231820



- DEMOLITION NOTES:**
- ALL DEMOLITION DEBRIS IS TO BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE COUNTY, STATE, AND FEDERAL REGULATIONS.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES BEFORE ANY WORK IS STARTED. ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE FIELD MARKINGS AND SURVEY.
  - NO LAND DISTURBING ACTIVITY PRIOR TO APPROVAL OF EROSION AND SEDIMENT CONTROL PLAN AND THE ISSUANCE OF THE LAND-DISTURBING PERMIT AT THE PRECONSTRUCTION MEETING.
  - CONTRACTOR TO REMOVE ALL TREES WITHIN LIMITS OF DISTURBANCE.

**EXISTING UTILITY NOTE:**

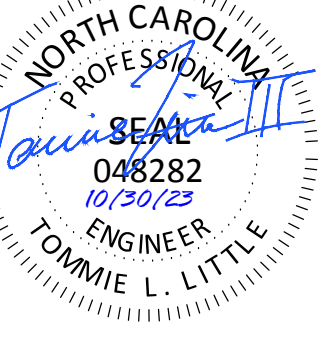
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



DEMOLITION LEGEND		
DEMO EXISTING GRAVEL		LIMITS OF DISTURBANCE
DEMO EXISTING TREES		EXISTING UTILITY TO REMAIN
SILT FENCE OUTLET		EXISTING CURB TO BE REMOVED



50 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BRIDGE RD, SUITE 6000, GREENVILLE, SC 29611 | 230 PETERSON DR., CHARLOTTE, NC 28217 | 713 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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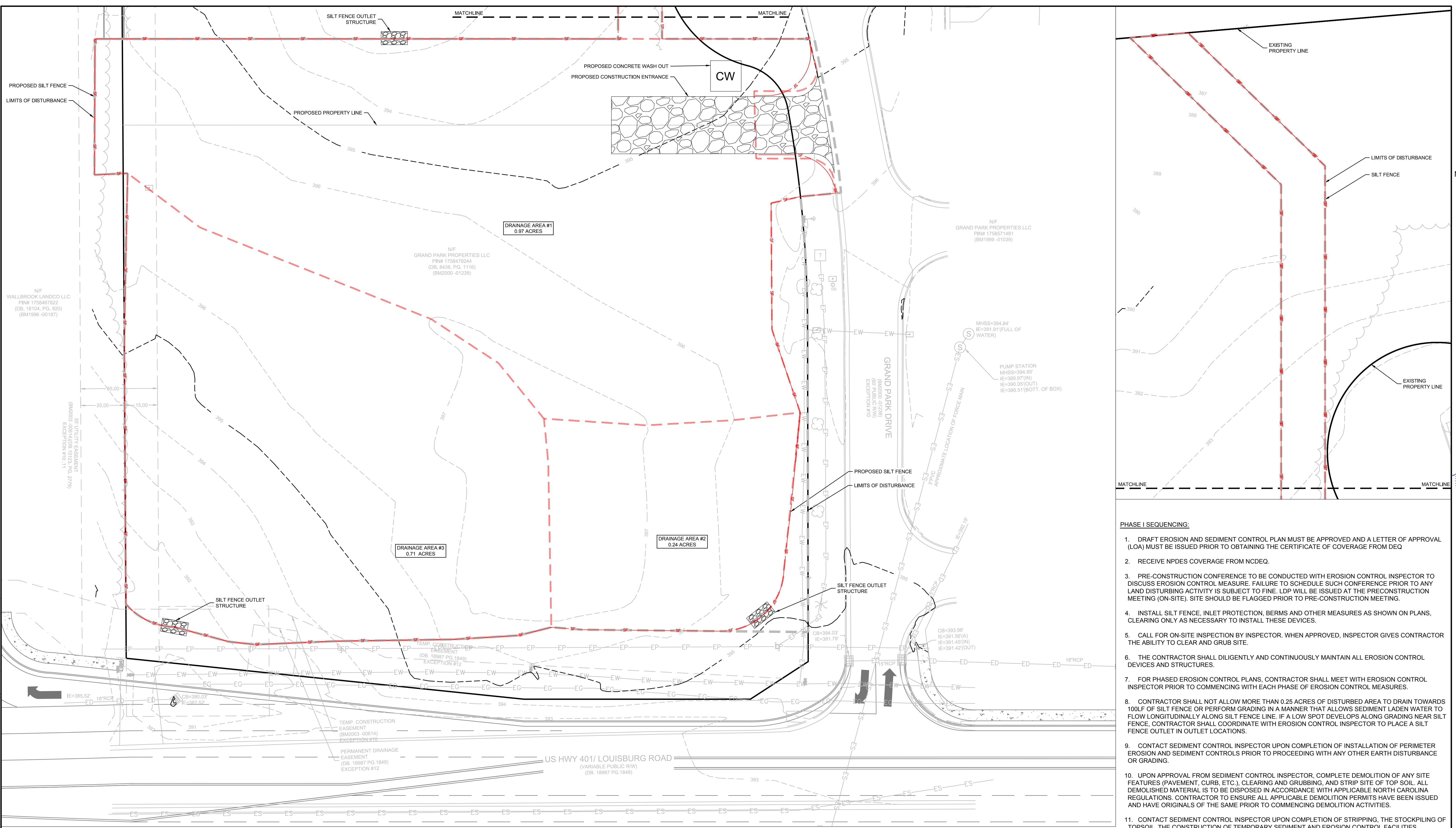
**TIDAL WAVE AUTO SPA**  
ROLESVILLE, NC

SW+ PROJECT: 10772  
DATE: 10/30/23  
DRAWN BY: CPE  
CHECKED BY: DWJ

**REVISION HISTORY**

NO.	DESCRIPTION	DATE

**EROSION CONTROL PH I**



- PHASE I SEQUENCING:**
- DRAFT EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED AND A LETTER OF APPROVAL (LOA) MUST BE ISSUED PRIOR TO OBTAINING THE CERTIFICATE OF COVERAGE FROM DEQ
  - RECEIVE NPDES COVERAGE FROM NCDEQ.
  - PRE-CONSTRUCTION CONFERENCE TO BE CONDUCTED WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURE. FAILURE TO SCHEDULE SUCH CONFERENCE PRIOR TO ANY LAND DISTURBING ACTIVITY IS SUBJECT TO FINE. LDP WILL BE ISSUED AT THE PRECONSTRUCTION MEETING (ON-SITE). SITE SHOULD BE FLAGGED PRIOR TO PRE-CONSTRUCTION MEETING.
  - INSTALL SILT FENCE, INLET PROTECTION, BERMS AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
  - CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR GIVES CONTRACTOR THE ABILITY TO CLEAR AND GRUB SITE.
  - THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
  - FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
  - CONTRACTOR SHALL NOT ALLOW MORE THAN 0.25 ACRES OF DISTURBED AREA TO DRAIN TOWARDS 100LF OF SILT FENCE OR PERFORM GRADING IN A MANNER THAT ALLOWS SEDIMENT LADEN WATER TO FLOW LONGITUDINALLY ALONG SILT FENCE LINE. IF A LOW SPOT DEVELOPS ALONG GRADING NEAR SILT FENCE, CONTRACTOR SHALL COORDINATE WITH EROSION CONTROL INSPECTOR TO PLACE A SILT FENCE OUTLET IN OUTLET LOCATIONS.
  - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
  - UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF ANY SITE FEATURES (PAVEMENT, CURB, ETC.), CLEARING AND GRUBBING, AND STRIP SITE OF TOP SOIL. ALL DEMOLISHED MATERIAL IS TO BE DISPOSED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA REGULATIONS. CONTRACTOR TO ENSURE ALL APPLICABLE DEMOLITION PERMITS HAVE BEEN ISSUED AND HAVE ORIGINALS OF THE SAME PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
  - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF STRIPPING, THE STOCKPILING OF TOPSOIL, THE CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES, DISPOSAL OF ALL WASTE MATERIAL, AND PREPARATION OF THE GROUND.

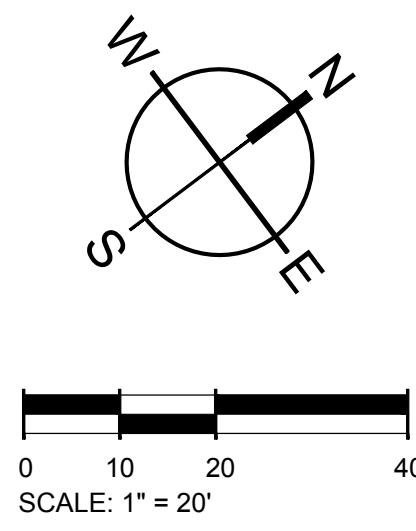
**INLET PROTECTION NOTE:**  
PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION. HARDWARE CLOTH AND GRAVEL PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. WEEP FILTERS SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.

**TOTAL SITE ACREAGE**  
1.82 ACRES

**DISTURBED ACREAGE**  
2.02 ACRES

**EXISTING UTILITY NOTE:**  
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**STABILIZATION NOTE:**  
PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.

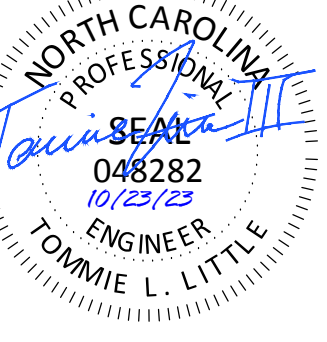


**E&S PLAN LEGEND**

LIMITS OF DISTURBANCE	---	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	—●—	DANDY SACK INLET PROTECTION	⊙
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	⊠	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	⊞
CONSTRUCTION ENTRANCE	⊞	TEMPORARY SEEDING	⊙
PERMANENT SOD	⊙		



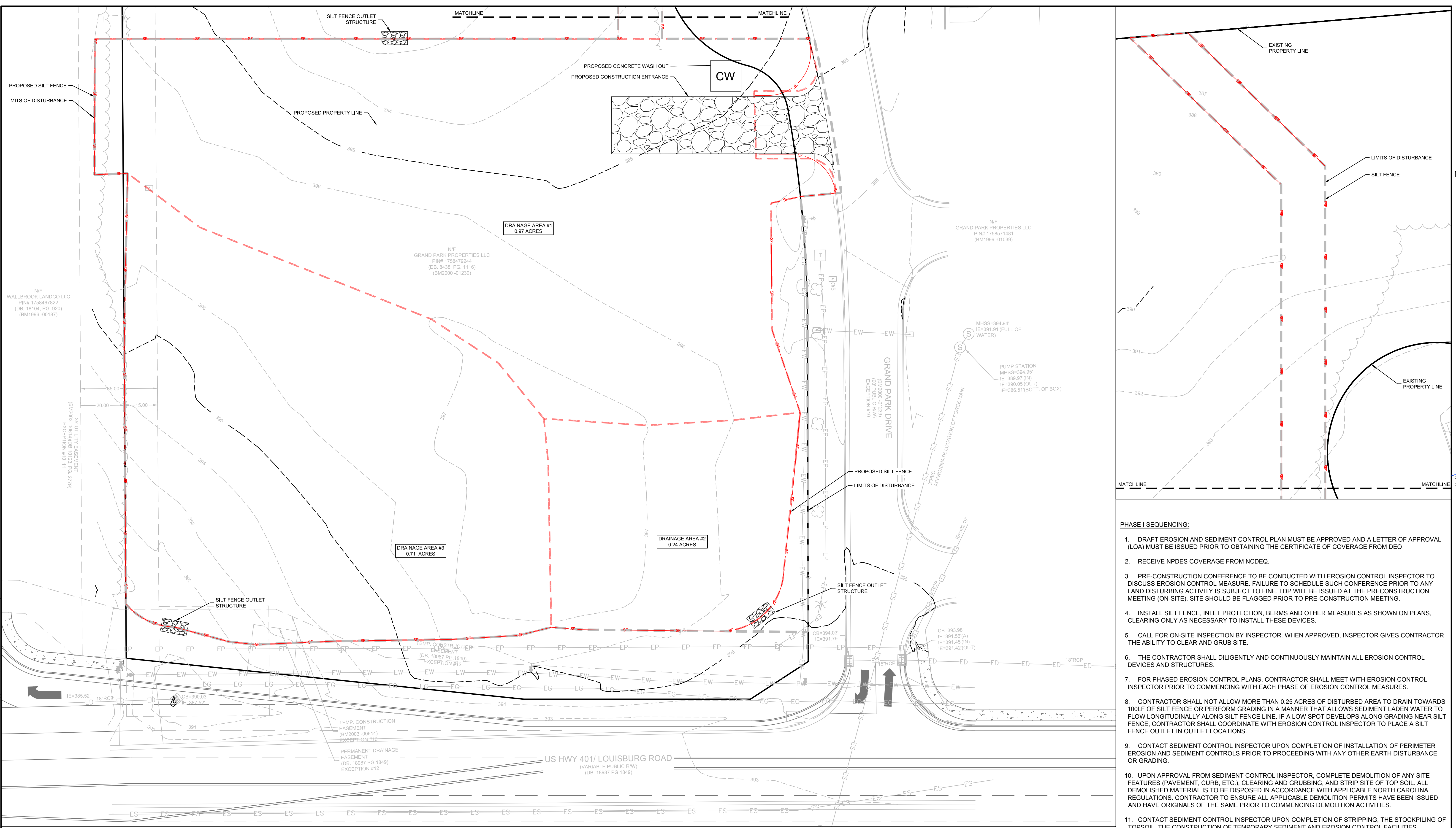
501 WANDOPARKBOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000, GREENVILLE, SC 29611 | 230 PETERSON DR., CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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**REVISION HISTORY**

NO.	DESCRIPTION

**EROSION CONTROL PHASE I**



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- DRAFT EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED AND A LETTER OF APPROVAL (LOA) MUST BE ISSUED PRIOR TO OBTAINING THE CERTIFICATE OF COVERAGE FROM DEQ
  - RECEIVE NPDES COVERAGE FROM NCDEQ.
  - PRE-CONSTRUCTION CONFERENCE TO BE CONDUCTED WITH EROSION CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURE. FAILURE TO SCHEDULE SUCH CONFERENCE PRIOR TO ANY LAND DISTURBING ACTIVITY IS SUBJECT TO FINE. LDP WILL BE ISSUED AT THE PRECONSTRUCTION MEETING (ON-SITE). SITE SHOULD BE FLAGGED PRIOR TO PRE-CONSTRUCTION MEETING.
  - INSTALL SILT FENCE, INLET PROTECTION, BERMS AND OTHER MEASURES AS SHOWN ON PLANS. CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
  - CALL FOR ON-SITE INSPECTION BY INSPECTOR. WHEN APPROVED, INSPECTOR GIVES CONTRACTOR THE ABILITY TO CLEAR AND GRUB SITE.
  - THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
  - FOR PHASED EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
  - CONTRACTOR SHALL NOT ALLOW MORE THAN 0.25 ACRES OF DISTURBED AREA TO DRAIN TOWARDS 100LF OF SILT FENCE OR PERFORM GRADING IN A MANNER THAT ALLOWS SEDIMENT LADEN WATER TO FLOW LONGITUDINALLY ALONG SILT FENCE LINE. IF A LOW SPOT DEVELOPS ALONG GRADING NEAR SILT FENCE, CONTRACTOR SHALL COORDINATE WITH EROSION CONTROL INSPECTOR TO PLACE A SILT FENCE OUTLET IN OUTLET LOCATIONS.
  - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
  - UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF ANY SITE FEATURES (PAVEMENT, CURB, ETC.), CLEARING AND GRUBBING, AND STRIP SITE OF TOP SOIL. ALL DEMOLISHED MATERIAL IS TO BE DISPOSED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA REGULATIONS. CONTRACTOR TO ENSURE ALL APPLICABLE DEMOLITION PERMITS HAVE BEEN ISSUED AND HAVE ORIGINALS OF THE SAME PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
  - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF STRIPPING, THE STOCKPILING OF TOPSOIL, THE CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES, DISPOSAL OF ALL WASTE MATERIAL, AND PREPARATION OF THE GROUND.

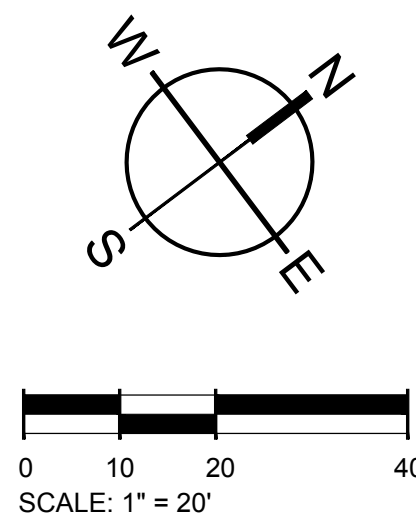
**INLET PROTECTION NOTE:**  
PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION. HARDWARE CLOTH AND GRAVEL PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. WEEP FILTERS SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.

**TOTAL SITE ACREAGE**  
1.82 ACRES

**DISTURBED ACREAGE**  
2.02 ACRES

**EXISTING UTILITY NOTE:**  
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**STABILIZATION NOTE:**  
PROVIDE FINAL STABILIZATION FOR ALL DISTURBED AREAS. REFER TO THE LANDSCAPE PLAN FOR SPECIFIC MATERIALS / PLANTINGS. ANY DISTURBED AREA NOT ADDRESSED IN THE LANDSCAPE PLANS SHALL BE PERMANENT SEEDED.

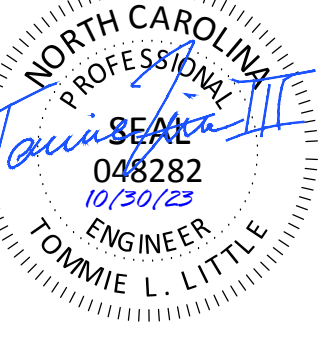


**E&S PLAN LEGEND**

LIMITS OF DISTURBANCE	---	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	—+—	DANDY SACK INLET PROTECTION	⊙
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	⊠	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	⊞
CONSTRUCTION ENTRANCE	⊞	TEMPORARY SEEDING	⊙
PERMANENT SOD	⊙		



501 WANDOPARKBOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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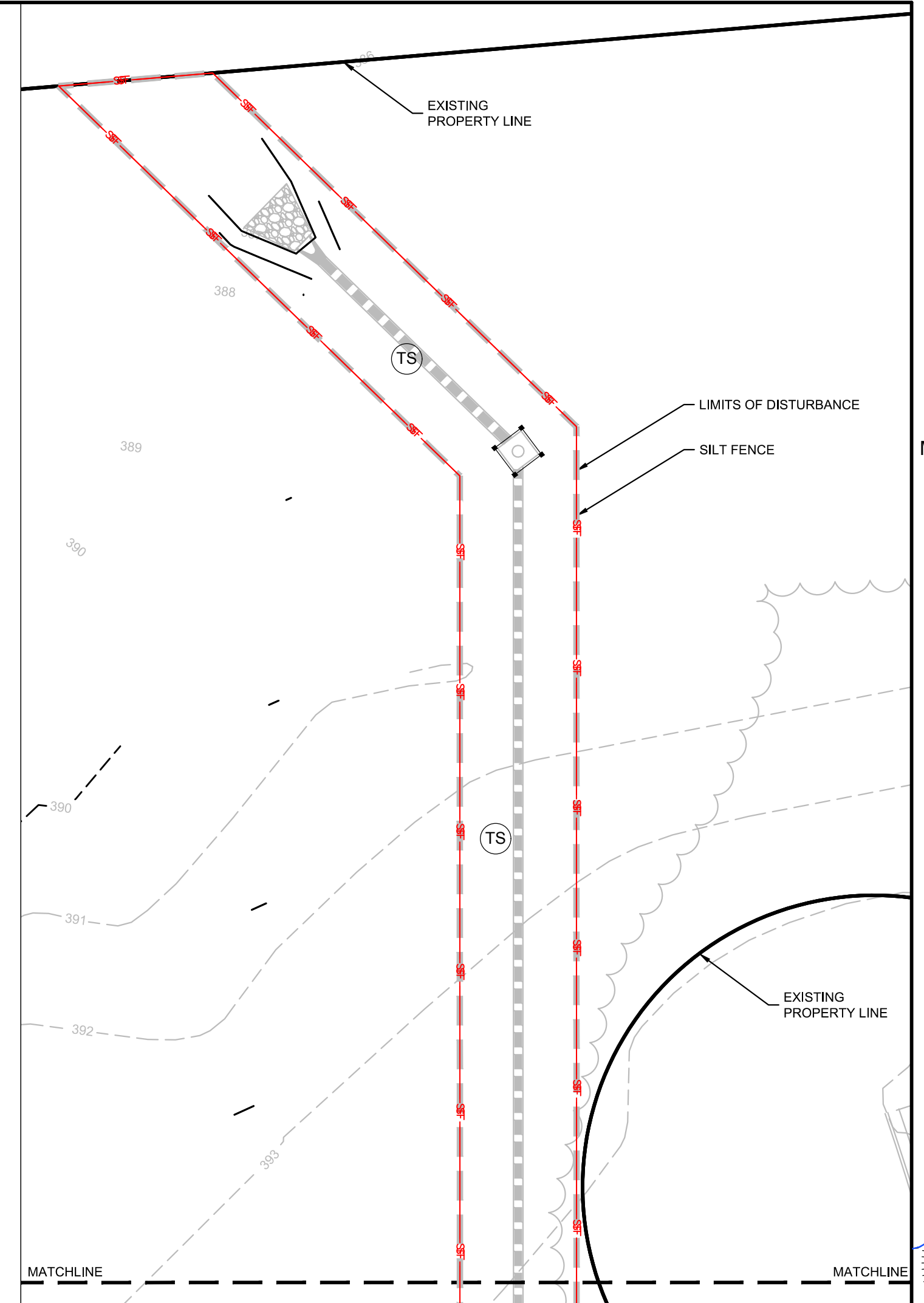
**TIDAL WAVE AUTO SPA**  
ROLESVILLE, NC

SW+ PROJECT: 10772  
DATE: 10/30/23  
DRAWN BY: CPE  
CHECKED BY: DWJ

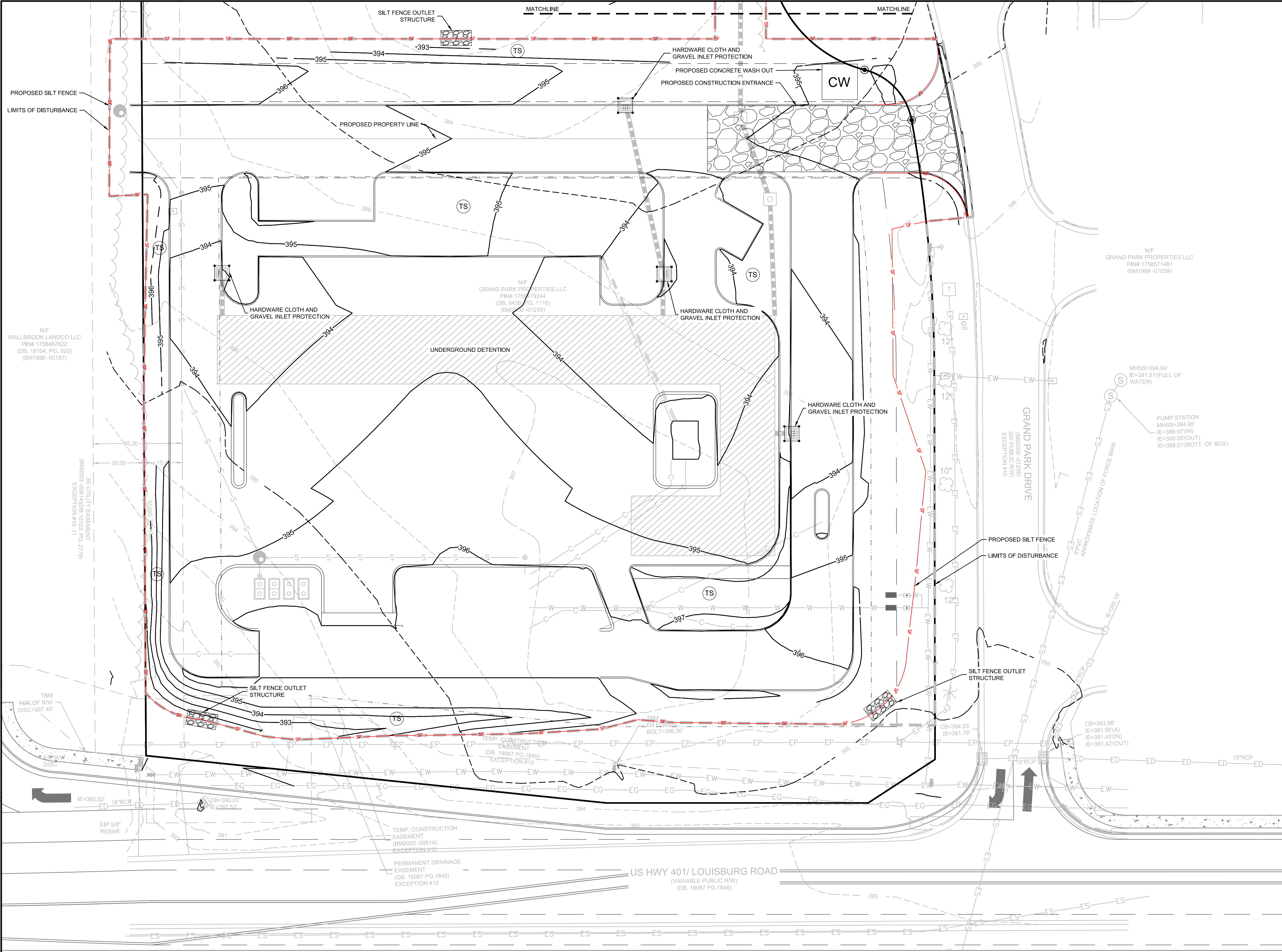
**REVISION HISTORY**

NO.	DESCRIPTION

**EROSION CONTROL PH II**



- PHASE II SEQUENCING:**
- CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED.
  - TEMPORARILY STABILIZE GRADED AREAS (NON-STEEP SLOPES) AS REQUIRED.
  - COMPLETE ROUGH GRADING. COMPLETE THE INSTALLATION OF STORMWATER SYSTEM AND SITE UTILITIES.
  - CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
  - INSTALL CURB ALONG THE PERIMETER OF THE SITE TO AID IN THE PROTECTION OF THE EXISTING ADJACENT PROPERTIES AND THE ADJACENT ROADWAYS.
- INLET PROTECTION NOTE:**
- PROVIDE APPROPRIATE INLET PROTECTION FOR VARIOUS PHASES OF THE CONSTRUCTION. HARDWARE CLOTH AND GRAVEL INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN NON-PAVED AREA. DANDY SACK INLET PROTECTION SHALL BE PROVIDED FOR INLETS IN PAVED AREAS.



**TOTAL SITE ACREAGE**  
1.82 ACRES

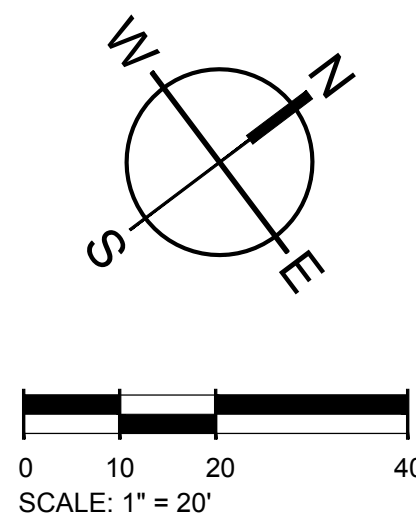
**DISTURBED ACREAGE**  
2.02 ACRES

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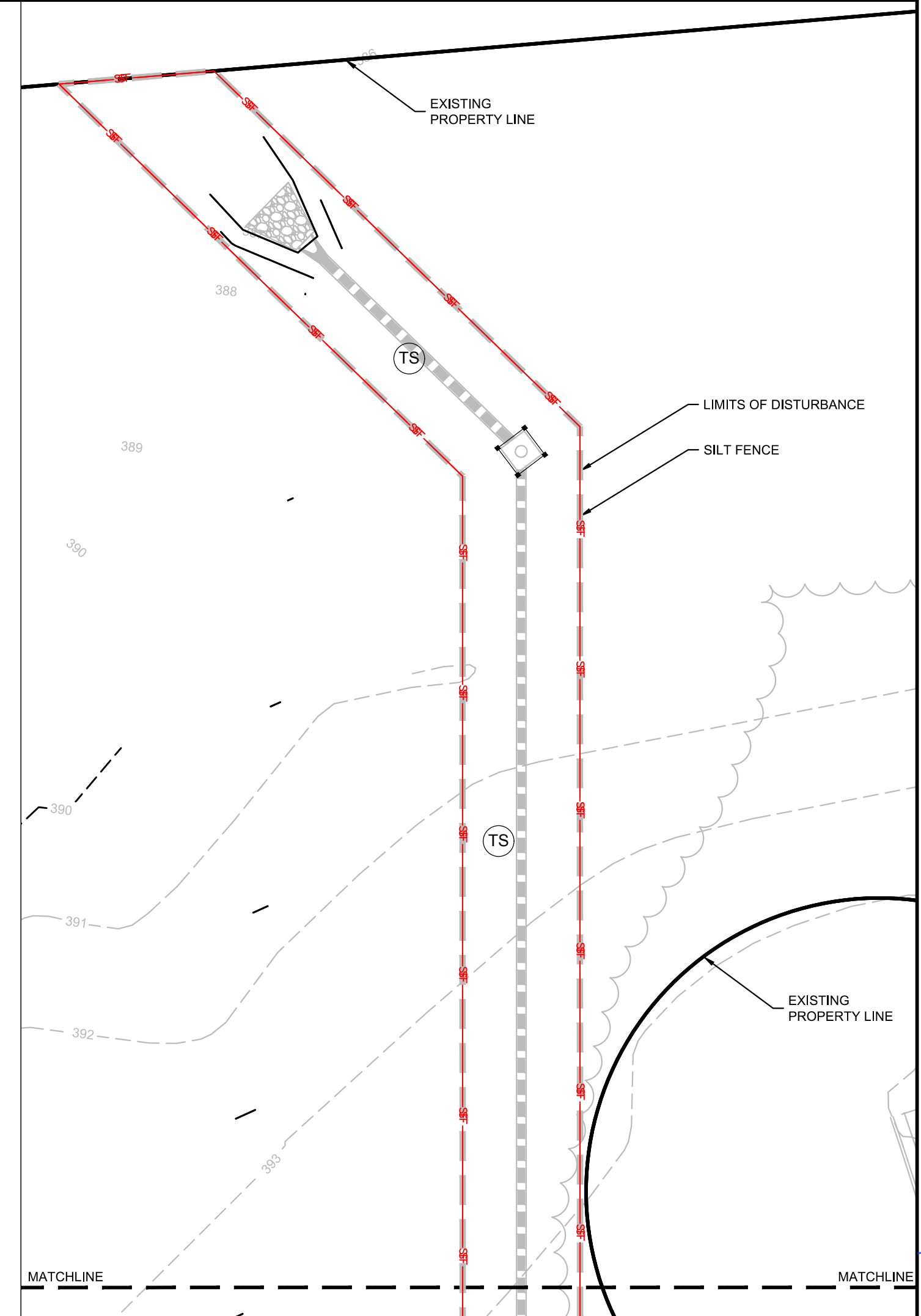


**E&S PLAN LEGEND**

LIMITS OF DISTURBANCE	---	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	---	DANDY SACK INLET PROTECTION	⊙
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	⊙	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	⊙
CONSTRUCTION ENTRANCE	⊙	TEMPORARY SEEDING	⊙
PERMANENT SOD	⊙		

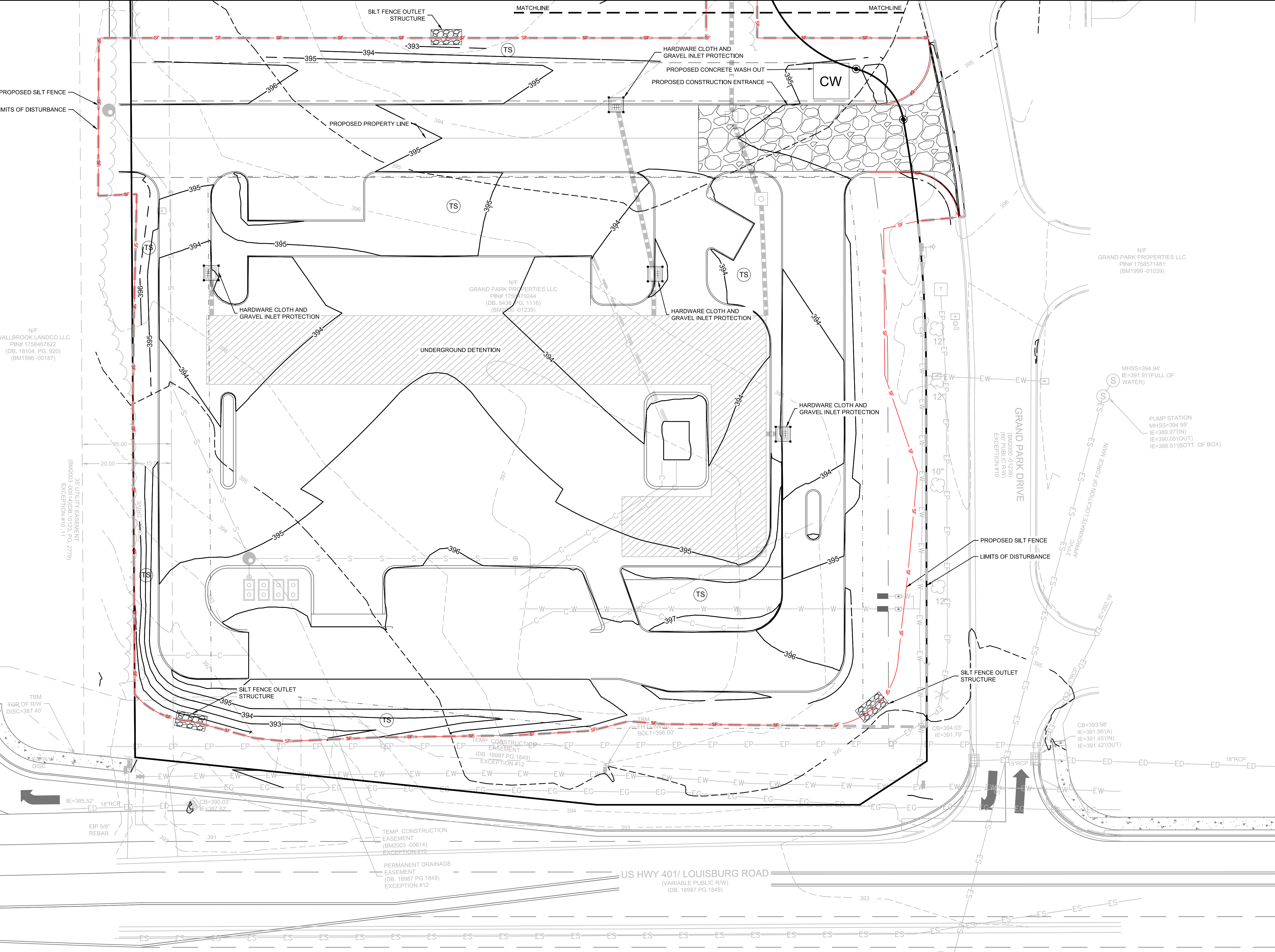


501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 713 N. CEDAR STREET | SUMMERVILLE, SC 29587 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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  - INSTALL CURB ALONG THE PERIMETER OF THE SITE TO AID IN THE PROTECTION OF THE EXISTING ADJACENT PROPERTIES AND THE ADJACENT ROADWAYS.

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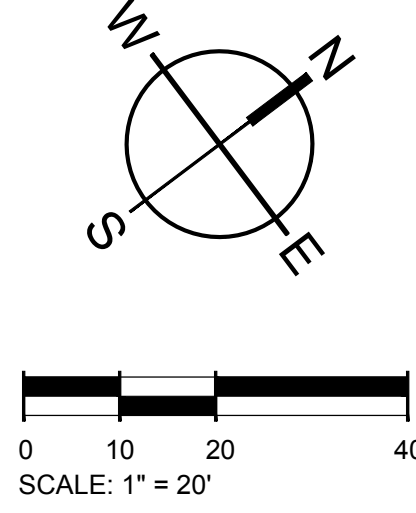


**TOTAL SITE ACREAGE**  
 1.82 ACRES

**DISTURBED ACREAGE**  
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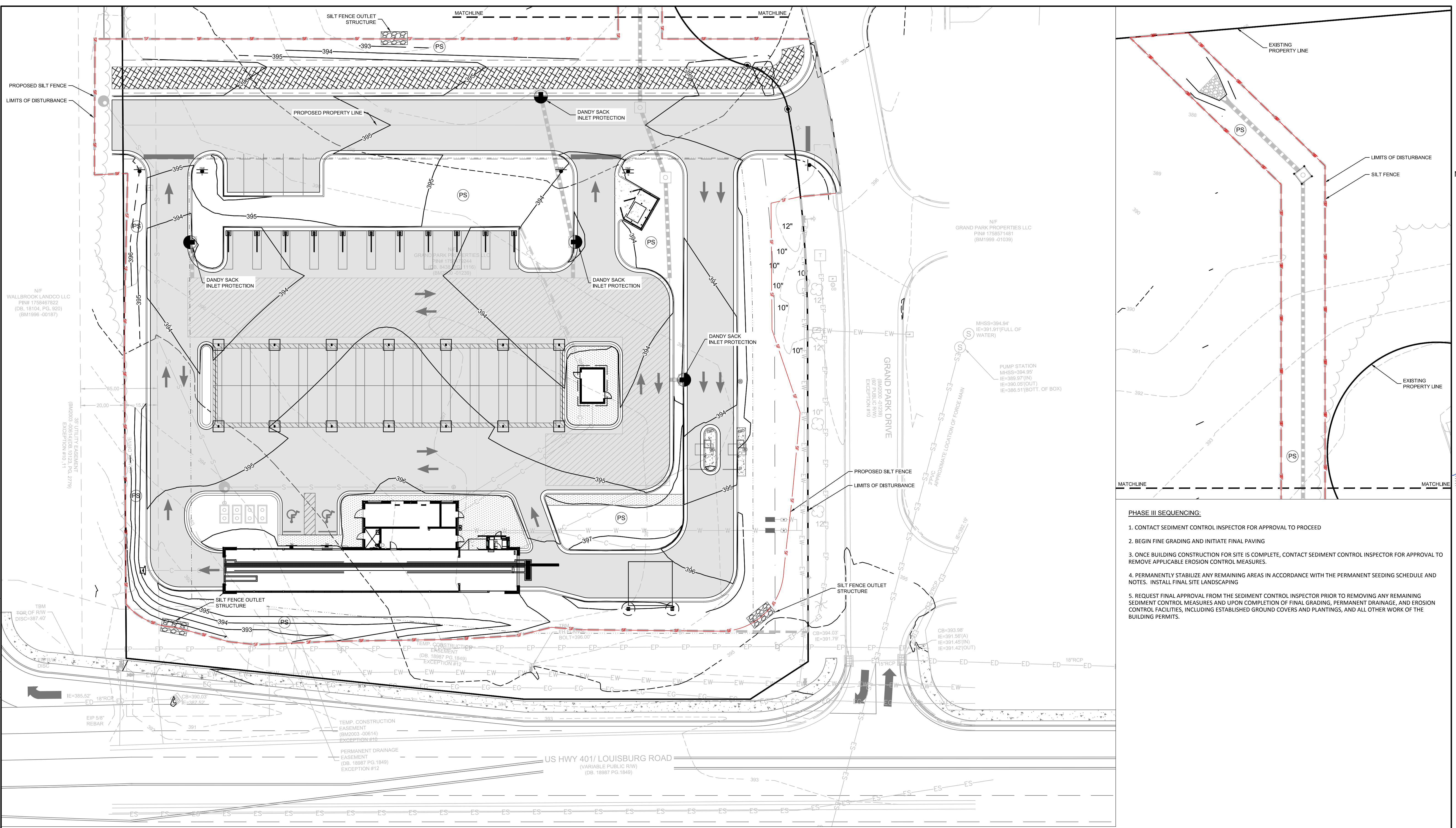
**STABILIZATION NOTE:**  
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E&S PLAN LEGEND	
LIMITS OF DISTURBANCE	CONCRETE WASHOUT BASIN (SEE DETAIL) CW
SILT FENCE, STANDARD	DANDY SACK INLET PROTECTION
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	HARDWARE CLOTH AND GRAVEL INLET PROTECTION
CONSTRUCTION ENTRANCE	TEMPORARY SEEDING TS
PERMANENT SOD PS	

501 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 712 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
 501 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 712 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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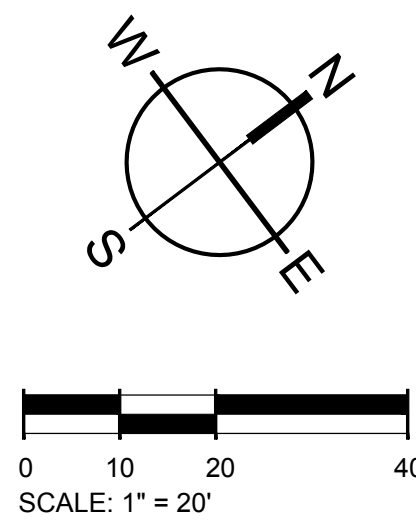
- PHASE III SEQUENCING:**
1. CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED
  2. BEGIN FINE GRADING AND INITIATE FINAL PAVING
  3. ONCE BUILDING CONSTRUCTION FOR SITE IS COMPLETE, CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO REMOVE APPLICABLE EROSION CONTROL MEASURES.
  4. PERMANENTLY STABILIZE ANY REMAINING AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING SCHEDULE AND NOTES. INSTALL FINAL SITE LANDSCAPING
  5. REQUEST FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY REMAINING SEDIMENT CONTROL MEASURES AND UPON COMPLETION OF FINAL GRADING, PERMANENT DRAINAGE, AND EROSION CONTROL FACILITIES, INCLUDING ESTABLISHED GROUND COVERS AND PLANTINGS, AND ALL OTHER WORK OF THE BUILDING PERMITS.

**TOTAL SITE ACREAGE**  
1.82 ACRES

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2.02 ACRES

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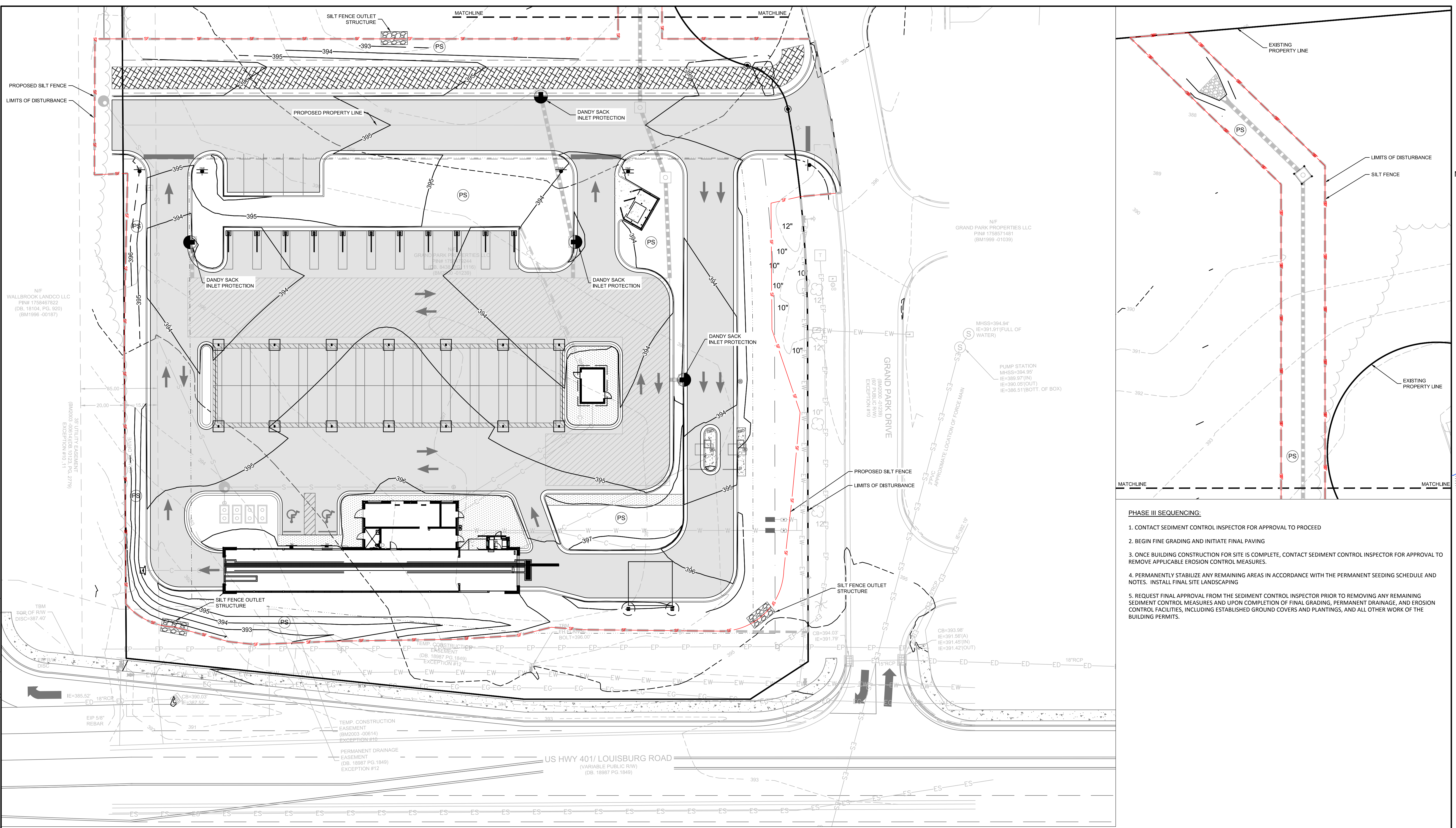


**E&S PLAN LEGEND**

LIMITS OF DISTURBANCE	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	DANDY SACK INLET PROTECTION	DS
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	HC
CONSTRUCTION ENTRANCE	TEMPORARY SEEDING	TS
PERMANENT SOD		PS



501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING, 6000 TOY EASLEY DRIVE, SUITE 600 | GREENVILLE, SC 29611 | 230 PERSIMMON DRIVE, SUITE 100 | CHARLOTTE, NC 28217 | 7124 CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301



- PHASE III SEQUENCING:**
1. CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED
  2. BEGIN FINE GRADING AND INITIATE FINAL PAVING
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  5. REQUEST FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY REMAINING SEDIMENT CONTROL MEASURES AND UPON COMPLETION OF FINAL GRADING, PERMANENT DRAINAGE, AND EROSION CONTROL FACILITIES, INCLUDING ESTABLISHED GROUND COVERS AND PLANTINGS, AND ALL OTHER WORK OF THE BUILDING PERMITS.

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1.82 ACRES

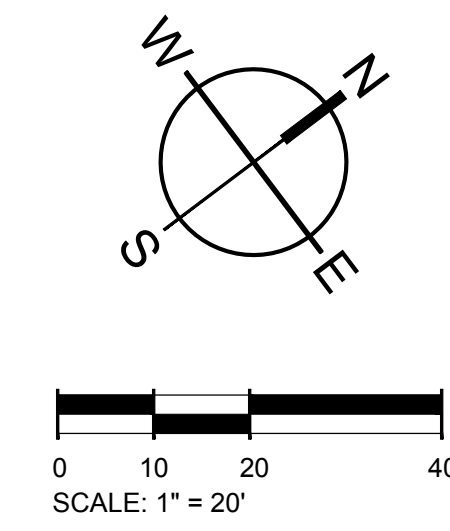
**DISTURBED ACREAGE**  
2.02 ACRES

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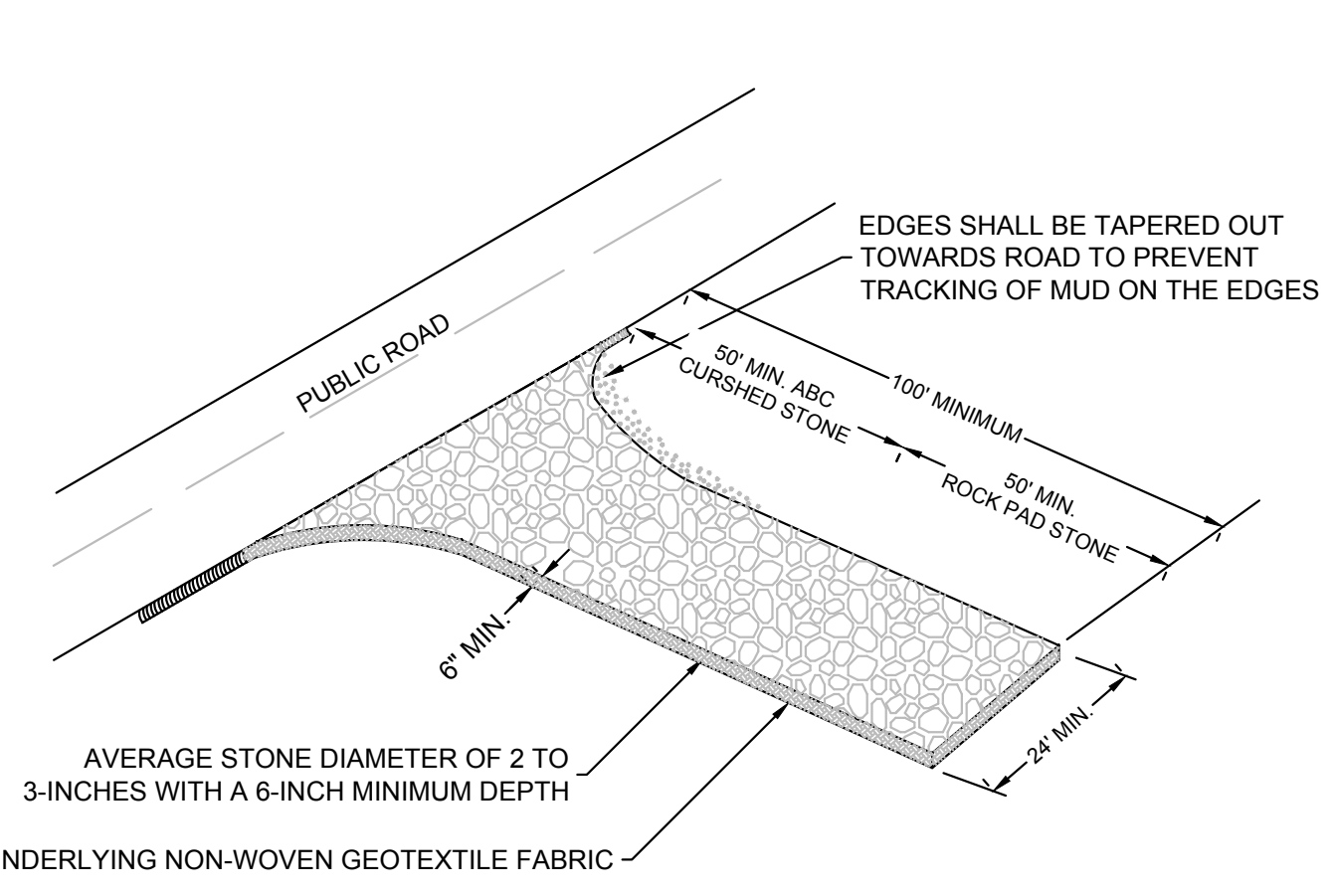


**E&S PLAN LEGEND**

LIMITS OF DISTURBANCE	---	CONCRETE WASHOUT BASIN (SEE DETAIL)	CW
SILT FENCE, STANDARD	—+—	DANDY SACK INLET PROTECTION	⊙
SILT FENCE OUTLET/RIP RAP APRON/RIP RAP BASIN & ROCK SEDIMENT TRAP	⊞	HARDWARE CLOTH AND GRAVEL INLET PROTECTION	⊞
CONSTRUCTION ENTRANCE	⊞	TEMPORARY SEEDING	⊙
PERMANENT SOD	⊙		



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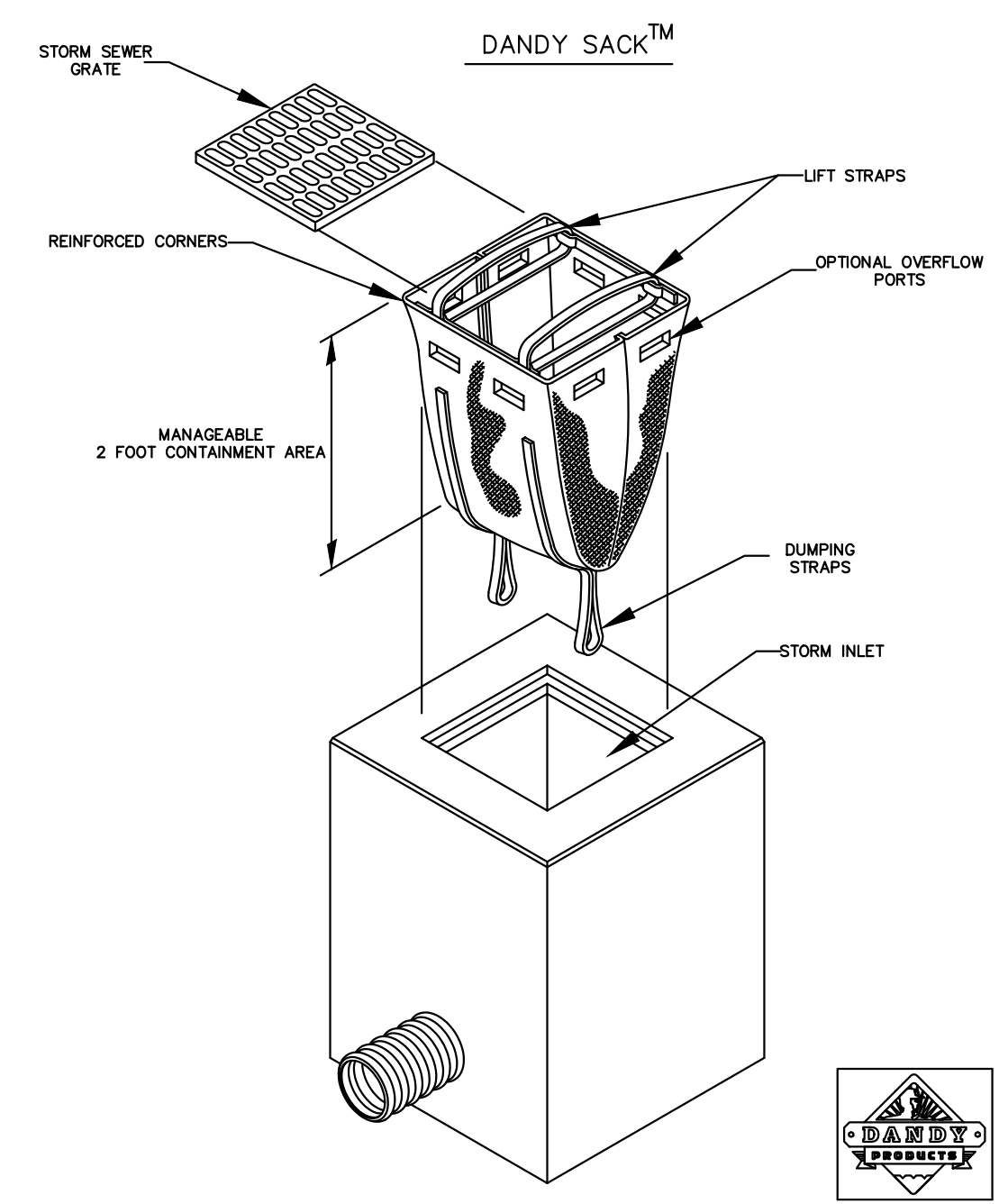


SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	D = 2-3 INCHES
ABC STONE SIZE	D = 1-1.5 INCHES

**1 Temporary Construction Entrance**  
SCALE: NOT TO SCALE

- CONSTRUCTION ENTRANCE - INSPECTION & MAINTENANCE**
- THE KEY TO FUNCTIONAL CONSTRUCTION ENTRANCES IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.
  - AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK, WITH NO TIME PERIOD BETWEEN INSPECTIONS EXCEEDING 9 DAYS, AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE. IT IS RECOMMENDED THAT BMPs BE ASSESSED BY THE CONTRACTOR WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 1.0 INCH OR GREATER, AS WELL AS DURING THE FIRST RAIN EVENT AFTER THE INITIATION OF CONSTRUCTION ACTIVITIES, AFTER THE INSTALLATION OF BMPs.
  - DURING REGULAR INSPECTIONS, CHECK FOR MUD AND SEDIMENT BUILDUP AND PAD INTEGRITY. INSPECTION FREQUENCIES MAY NEED TO BE MORE FREQUENT DURING LONG PERIODS OF WET WEATHER.
  - RESHAPE THE STONE PAD AS NECESSARY FOR DRAINAGE AND RUNOFF CONTROL.
  - WASH OR REPLACE STONES AS NEEDED AND AS DIRECTED BY SITE INSPECTOR. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE THE AMOUNT OF MUD BEING CARRIED OFF-SITE BY VEHICLES. FREQUENT WASHING WILL EXTEND THE USEFUL LIFE OF STONE PAD.
  - IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO ADJACENT IMPERVIOUS SURFACES BY BRUSHING OR SWEEPING. FLUSHING SHOULD ONLY BE USED WHEN THE WATER CAN BE DISCHARGED TO A SEDIMENT TRAP OR BASIN.
  - DURING MAINTENANCE ACTIVITIES, ANY BROKEN PAVEMENT SHOULD BE REPAIRED IMMEDIATELY.
  - CONSTRUCTION ENTRANCES SHOULD BE REMOVED AFTER THE SITE HAS REACHED FINAL STABILIZATION. PERMANENT VEGETATION SHOULD REPLACE AREAS FROM WHICH CONSTRUCTION ENTRANCES HAVE BEEN REMOVED, UNLESS AREA WILL BE CONVERTED TO AN IMPERVIOUS SURFACE TO SERVE POST-CONSTRUCTION.

- CONSTRUCTION ENTRANCE - GENERAL NOTES**
- STABILIZED CONSTRUCTION ENTRANCES SHOULD BE USED AT ALL POINTS WHERE TRAFFIC WILL EGRESS/INGRESS A CONSTRUCTION SITE ONTO A PUBLIC ROAD OR ANY IMPERVIOUS SURFACES, SUCH AS PARKING LOTS.
  - INSTALL A NON-WOVEN GEOTEXTILE FABRIC PRIOR TO PLACING ANY STONE.
  - INSTALL A CULVERT PIPE ACROSS THE ENTRANCE WHEN NEEDED TO PROVIDE POSITIVE DRAINAGE.
  - THE ENTRANCE SHALL CONSIST OF 2-INCH TO 3-INCH D50 STONE PLACED AT A MINIMUM DEPTH OF 6-INCHES.
  - MINIMUM DIMENSIONS OF THE ENTRANCE SHALL BE 24-FEET WIDE BY 100-FEET LONG, AND MAY BE MODIFIED AS NECESSARY TO ACCOMMODATE SITE CONSTRAINTS.
  - THE EDGES OF THE ENTRANCE SHALL BE TAPERED OUT TOWARDS THE ROAD TO PREVENT TRACKING AT THE EDGE OF THE ENTRANCE.
  - DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN OR OTHER SEDIMENT TRAPPING STRUCTURE. LIMESTONE MAY NOT BE USED FOR THE STONE PAD.



**DANDY SACK™ SPECIFICATIONS**

NOTE: THE DANDY SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

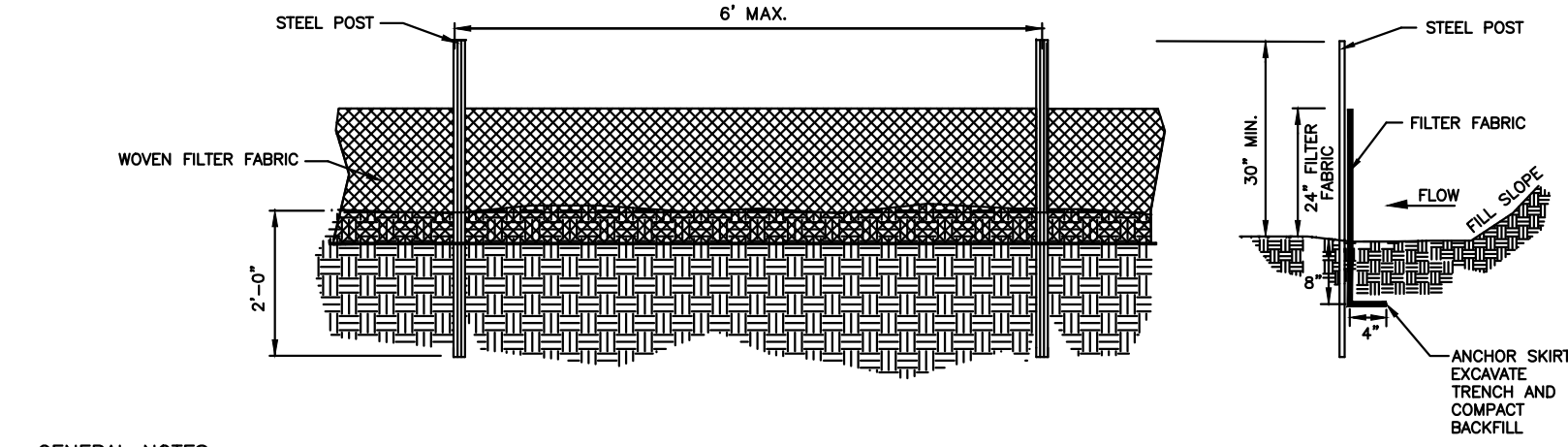
Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kn (lbf)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	15 x 15
Puncture Strength	ASTM D 4833	kn (lbf)	0.67 (150)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	5064 (800)
Trapezoid Tear Strength	ASTM D 4533	kn (lbf)	0.67 (150) x 0.73 (165)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m <sup>2</sup>	2852 (70)
Permittivity	ASTM D 4491	(gs/min/ft <sup>2</sup> )	0.90

**HI-FLOW DANDY SACK™ (SAFETY ORANGE)**

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kn (lbf)	1.62 (365) X 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 X 10
Puncture Strength	ASTM D 4833	kn (lbf)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (psi)	3097 (450)
Trapezoid Tear Strength	ASTM D 4533	kn (lbf)	0.51 (115) X 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m <sup>2</sup>	5907 (145)
Permittivity	ASTM D 4491	(gs/min/ft <sup>2</sup> )	2.1

\*Note: All Dandy Sack™ can be ordered with our optional oil absorbent pillows

**8 Dandy Bags**  
SCALE: NOT TO SCALE

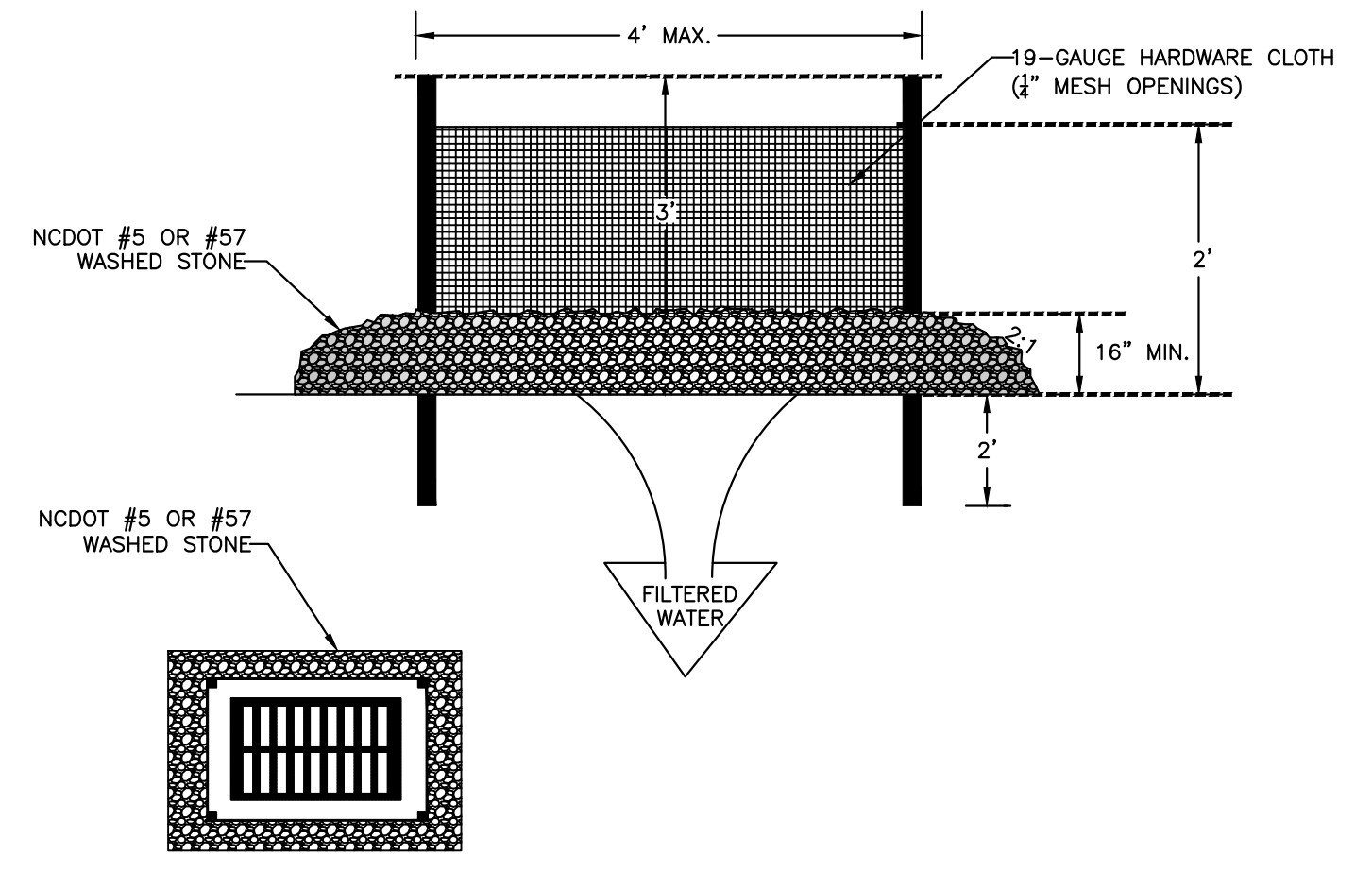


- GENERAL NOTES:**
- WOVEN FILTER FABRIC BE USED WHERE SILT FENCE IS TO REMAIN FOR A PERIOD OF MORE THAN 30 DAYS.
  - STEEL POSTS SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
  - TURN SILT FENCE UP SLOPE AT ENDS.
  - DRAINAGE AREA CAN NOT BE GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
  - SLOPE LENGTHS CAN NOT EXCEED CRITERIA SHOWN IN TABLE 6.62A NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL.
  - DO NOT INSTALL SEDIMENT FENCE ACROSS STREAMS, DITCHES, WATERWAYS OR OTHER AREAS OF CONCENTRATED FLOW.
- MAINTENANCE NOTES:**
- FILTER BARRIERS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
  - SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH APPROX. HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

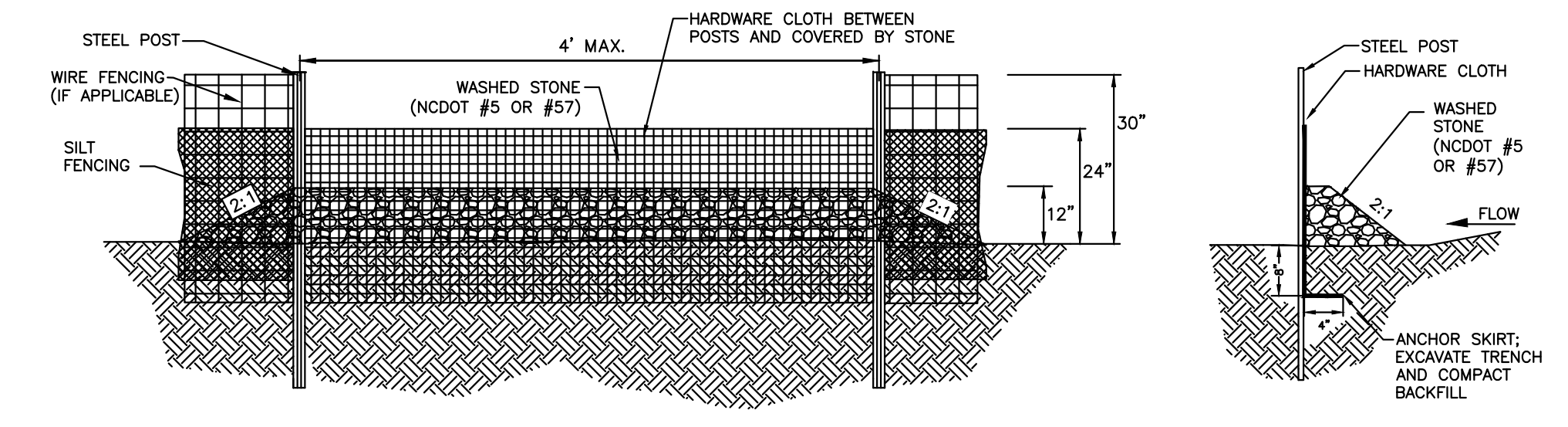
**4 Temporary Silt Fence**  
SCALE: NOT TO SCALE

**GENERAL NOTES:**

- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
- DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
- SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
- PLACE CLEAN GRAVEL (NO DOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
- ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT AND ESTABLISH FINAL GRADING ELEVATIONS.
- COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.



**5 Hardware Cloth and Gravel Inlet Protection**  
SCALE: NOT TO SCALE



- GENERAL NOTES:**
- SEDIMENT FILTER OUTLET HARDWARE CLOTH SHALL BE 24" HIGH AND STONE SHALL BE A MINIMUM OF 12" HIGH.
  - HARDWARE CLOTH SHALL BE ANCHORED TO THE STEEL POSTS SECURELY USING APPROPRIATE ANCHORS. HARDWARE CLOTH SHALL BE KEYED IN A MINIMUM OF 12 INCHES IN LENGTH AND BACKFILLED PROPERLY AS SHOWN IN ABOVE DETAIL. HARDWARE CLOTH TO BE SAME AS REINFORCED/HIGH HAZARD SILT FENCE (19 GAUGE, 1/4" SPACING).
  - POSTS SHALL BE NO MORE THAN 4 FEET APART.
  - SITE OUTLETS AT LOW AREAS IN CONJUNCTION WITH AND ALONG LONG RUNS OF SILT FENCE AT INTERVALS NO CLOSER THAN 100 FEET. DRAINAGE AREA TO OUTLETS SHALL NOT EXCEED 1/4 ACRE.
  - EQUIVALENT ALTERNATIVES MAY BE USED WITH PRIOR CITY APPROVAL.
- MAINTENANCE NOTES:**
- FILTER OUTLETS SHALL BE INSPECTED BY THE FINANCIALLY RESPONSIBLE PARTY OR HIS AGENT IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS NEEDED SHALL BE MADE IMMEDIATELY.
  - THE STONE SHALL BE REPLACED PROMPTLY AFTER ANY EVENT THAT HAS CLOGGED OR REMOVED IT.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OUTLET IS REMOVED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

**6 Silt Fence Outlet**  
SCALE: NOT TO SCALE

**FOR LATE WINTER AND EARLY SPRING:**

**SEEDING MIXTURE:**  
RYE (GRAIN) – 120 LB/ACRE  
ANNUAL LESPEDEZA (KOBE) – 50 LB/ACRE (OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IS NOT TO EXTEND BEYOND JUNE)

**SEEDING DATES:**  
JAN. 1 – MAY 1

**SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**MULCH:**  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE:**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

---

**FOR SUMMER:**

**SEEDING MIXTURE:**  
GERMAN MILLET – 40 LB/ACRE (A SMALL-STEMMED SUDANGRASS MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE)

**SEEDING DATES:**  
MAY 1 – AUG. 15

**SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

**MULCH:**  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE:**  
REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

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**FOR FALL:**

**SEEDING MIXTURE:**  
RYE (GRAIN) – 120 LB/ACRE

**SEEDING DATES:**  
AUG. 15 – DEC 30

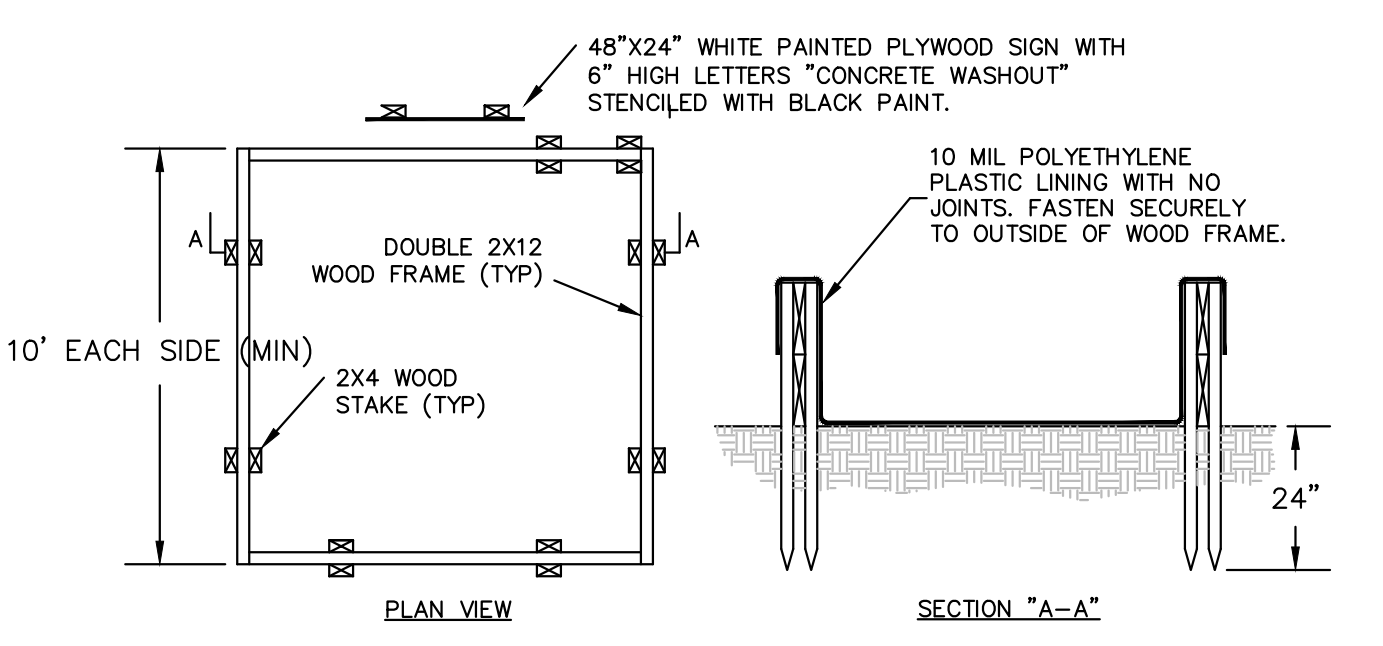
**SOIL AMENDMENTS:**  
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

**MULCH:**  
APPLY 4,000 LB/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

**MAINTENANCE:**  
REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOPDRESS WITH 50 LB/ACRE OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/ACRE KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

FOR ADDITIONAL INFORMATION, REFER TO NCDENR EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL (ESCPDM), SECTION 6.10. FOR PERMANENT SEEDING SPECIFICATIONS, INCLUDING SEED BED PREP, SEASONAL LIMITATIONS FOR SEEDING OPERATIONS, THE KINDS OF GRADES OF FERTILIZERS, THE KINDS OF SEED, AND THE RATES OF APPLICATION OF LIMESTONE, FERTILIZER, AND SEED, REFER TO NCDENR ESCPDM SECTION 6.11.

**7 Temporary Seeding Schedule**  
SCALE: NOT TO SCALE

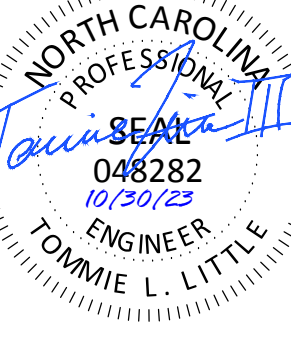


- NOTES:**
- PREPARE GROUND & FRAME SUCH THAT SHARP OBJECTS/CORNERS DO NOT DAMAGE THE LINER. PROMPTLY REMOVE CONTENTS (AS NOTED BELOW) & REPLACE LINER IF LEAKAGE IS OBSERVED.
  - LIQUID & CONCRETE DEBRIS SHALL BE REMOVED BY VACUUM TRUCK & LEGALLY DISPOSED UPON COMPLETION OF PROJECT OR ANYTIME WHEN LIQUID REACHES A LEVEL 6" BELOW THE TOP.

**3 Concrete Washout Basin**  
SCALE: NOT TO SCALE

501 WINDY PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29564 | JUDSON MILLS BUILDING #600, 701 EASLEY BRIDGE RD, SUITE #600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | SPARTANBURG, SC 29684 | 104 N. DANIEL MCGRAW AVENUE, SUITE 300 | SPARTANBURG, SC 29681





**TIDAL WAVE AUTO SPA**  
ROLESVILLE, NC

SW+ PROJECT: 10772  
DATE: 10/30/23  
DRAWN BY: CPE  
CHECKED BY: DWJ

**REVISION HISTORY**

NO.	DESCRIPTION

**SITE PLAN**

**SITE INFORMATION:**  
ADDRESS: ROLESVILLE, NC  
PROPERTY AREA: 1.82 ACRES  
PARCEL: 1758479244  
EXISTING USE: UNDEVELOPED  
PROPOSED USE: CAR WASH

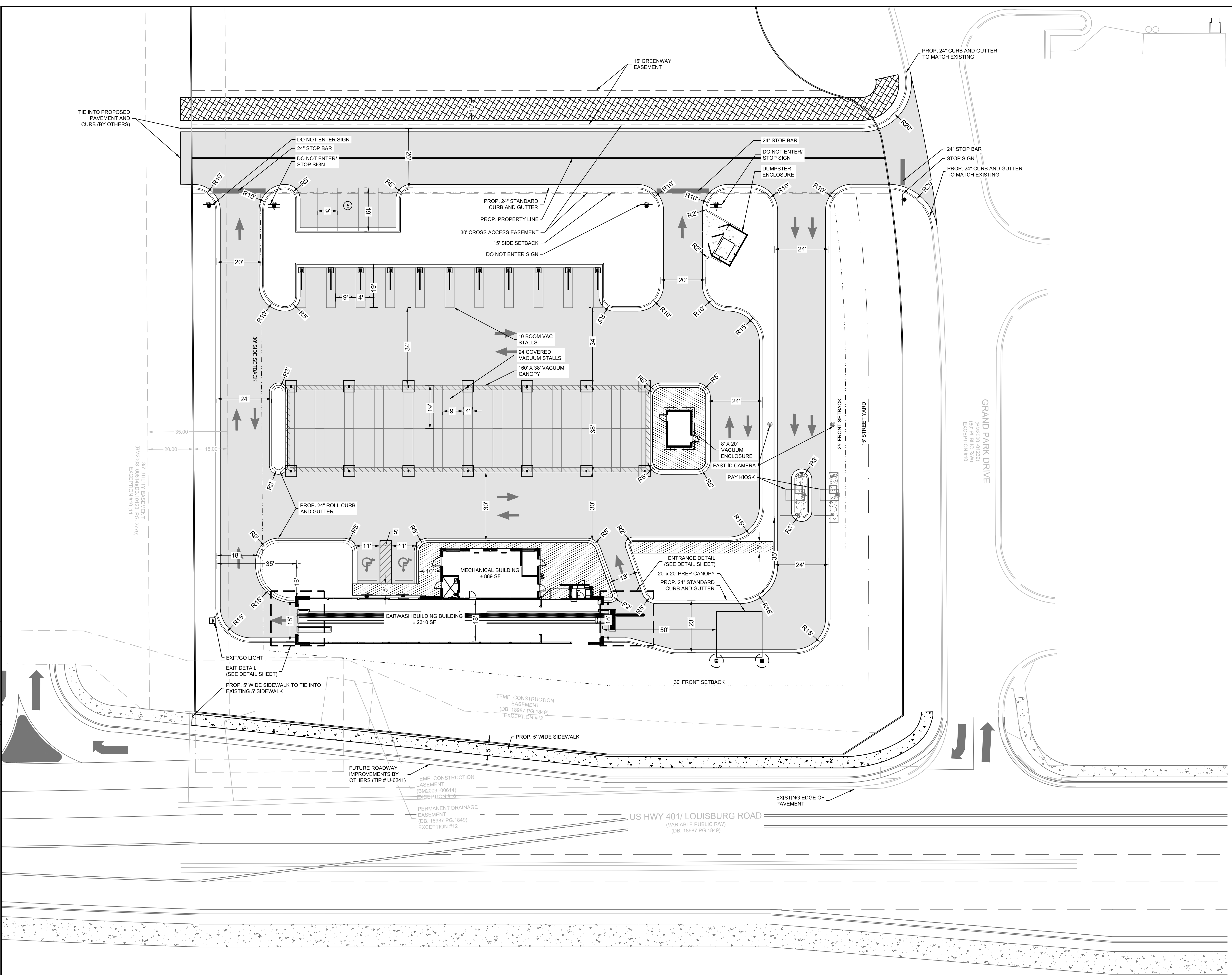
PROPERTY ZONING: GI-CZ (GENERAL INDUSTRIAL - CONDITIONAL ZONING)  
BUILDING SETBACKS:  
FRONT (SE): 30'  
FRONT (NE): 25'  
SIDE (NW): 15'  
SIDE (SW): 30'

PERIMETER LANDSCAPE YARDS:  
NORTHEAST: 15'

PRE VS. POST DEVELOPMENT AREA:  
SITE AREA: 1.82 AC  
PRE-IMPERVIOUS AREA: 0.04 AC (2.20%)  
POST-IMPERVIOUS AREA: 1.29 AC (70.88%)

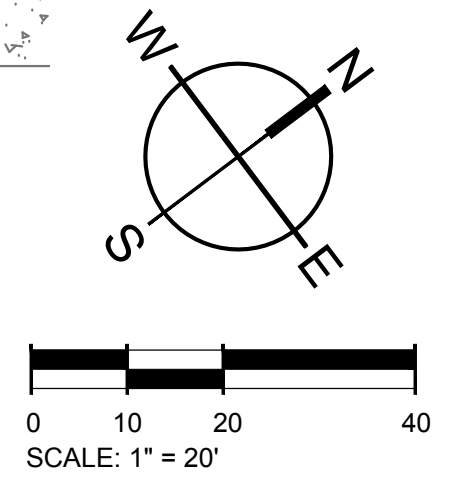
**PARKING NOTE:**  
PARKING REQUIRED: 1 SPACE PER 400 SF GFA OR 5 SPACES MINIMUM = 5 SPACES  
PARKING PROVIDED:  
EMPLOYEE SPACES: 5 SPACES (1 ADA)  
(4 MAX ON SHIFT)  
VACUUM STALLS: 34 STALLS

**SITE LAYOUT AND STAKING NOTES:**  
1. CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.  
2. ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.  
3. ALL STRIPING AND SIGNS SHALL CONFORM WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. PARKING STALL STRIPING TO BE WHITE WITH BLUE HANDICAPPED STRIPING.  
4. ALL HANDICAP PARKING SPACED AND ACCESSIBLE ROUTE SHALL CONFORM WITH THE AMERICAN WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS LATEST EDITION.  
5. DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS.



**SITE LEGEND**

[Pattern]	PROPOSED SIDEWALK
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	ASPHALT GREENWAY
[Symbol]	STOP SIGN
[Symbol]	DO NOT ENTER SIGN
[Symbol]	HANDICAP PARKING SIGN



501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000, GREENVILLE, SC 29611 | 230 PETERSON DR., CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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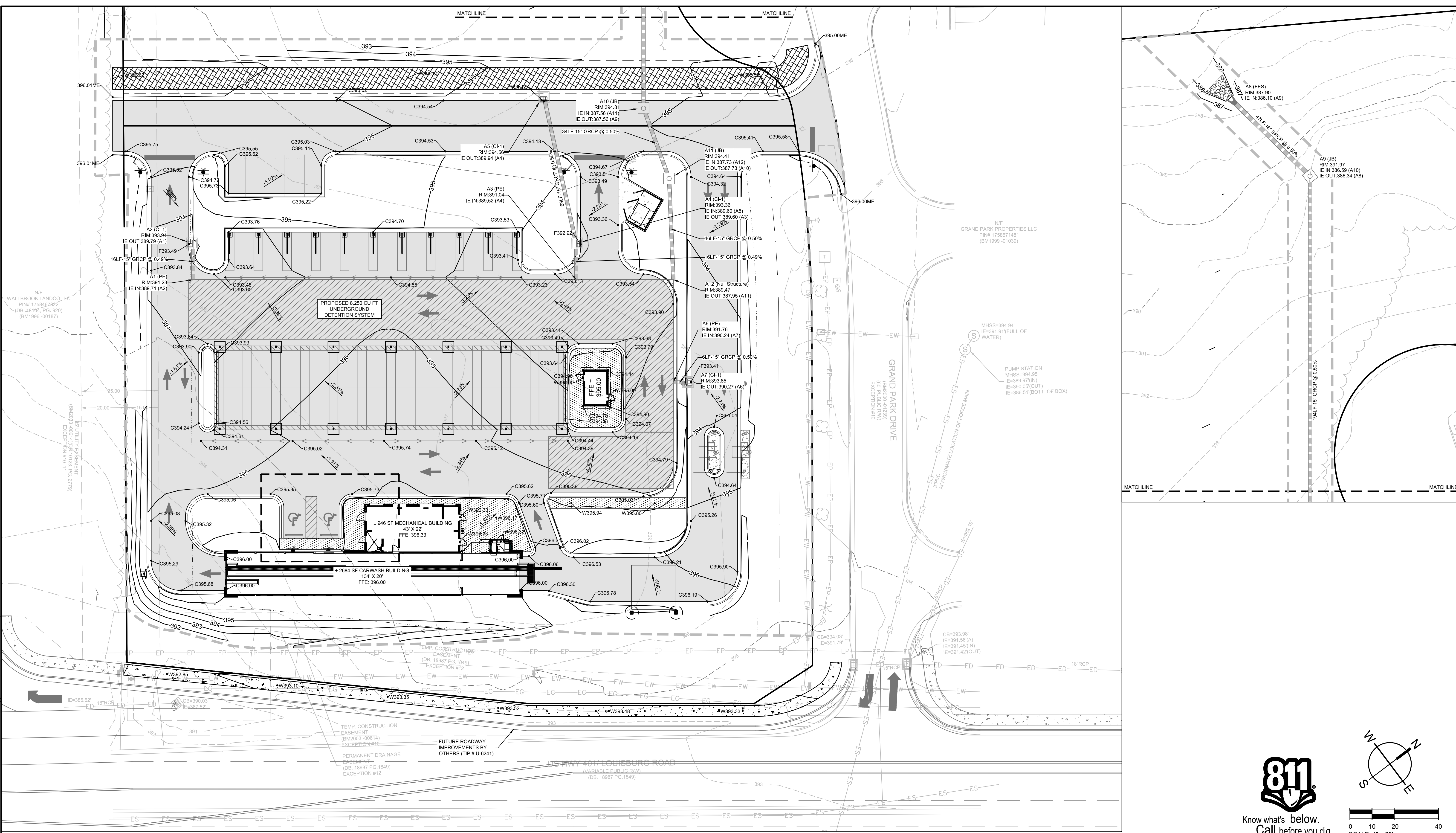
**TIDAL WAVE AUTO SPA**  
ROLESVILLE, NC

SW+ PROJECT: 10772  
DATE: 10/30/23  
DRAWN BY: CPE  
CHECKED BY: DWJ

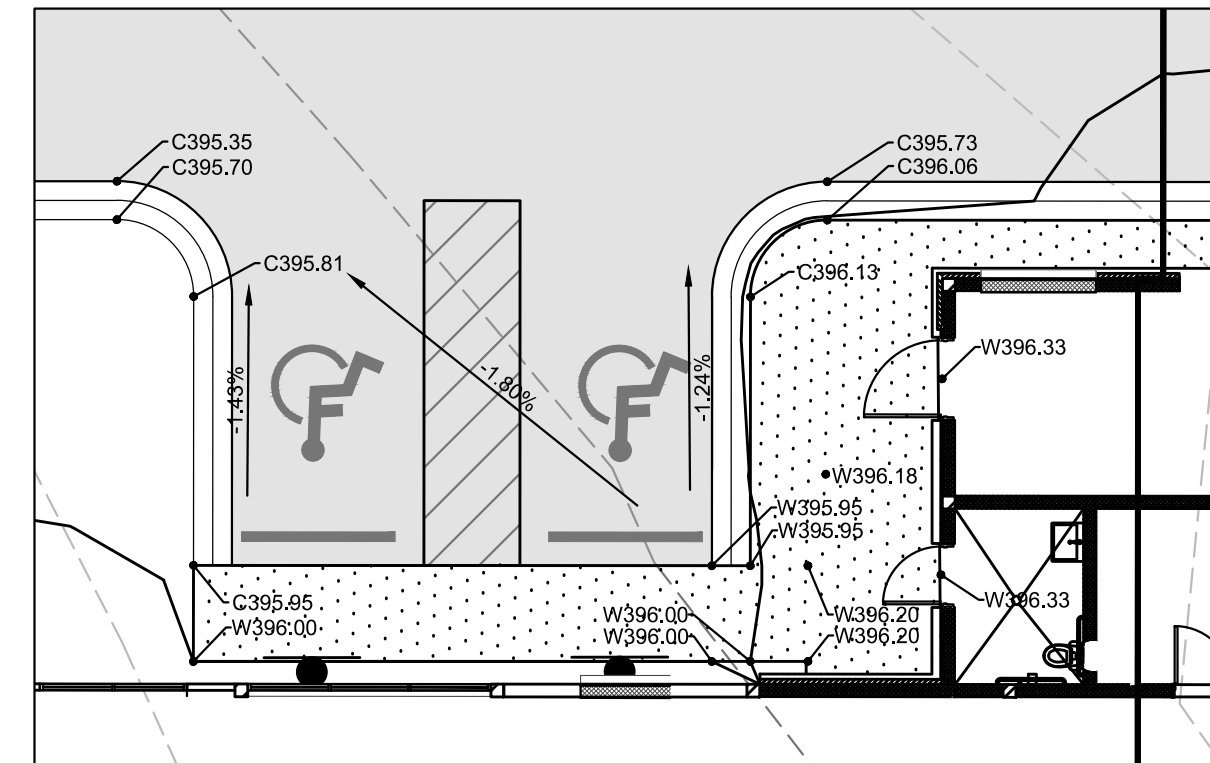
**REVISION HISTORY**

NO.	DESCRIPTION

**OVERALL GRADING AND DRAINAGE PLAN**



**811**  
Know what's below.  
Call before you dig.



**NOTES:**  
1. THE LONGITUDINAL SLOPE OF ALL SURFACES ALONG THE ADA ACCESSIBLE ROUTE, WHICH ARE NOT SPECIFICALLY NOTED AS BEING A RAMP, SHALL NOT EXCEED 1:20. RAMPS SHALL NOT EXCEED A SLOPE OF 1:12. TRANSVERSE SLOPES SHALL NOT EXCEED 1:50. CONTRACTOR SHALL FIELD VERIFY SLOPES BEFORE INSTALLATION AND NOTIFY ENGINEER IMMEDIATELY IF MAX. SLOPES ARE EXCEEDED.  
2. AT PARKING SPACES AND ASSOCIATED ACCESS AISLES, SLOPE SHALL NOT EXCEED 1:50 IN ANY DIRECTION.

**LEGEND**

RCP DRAINAGE PIPE	
GRADING LIMITS	
HOODED CATCH BASIN (HCB)	
JUNCTION BOX (JB)	

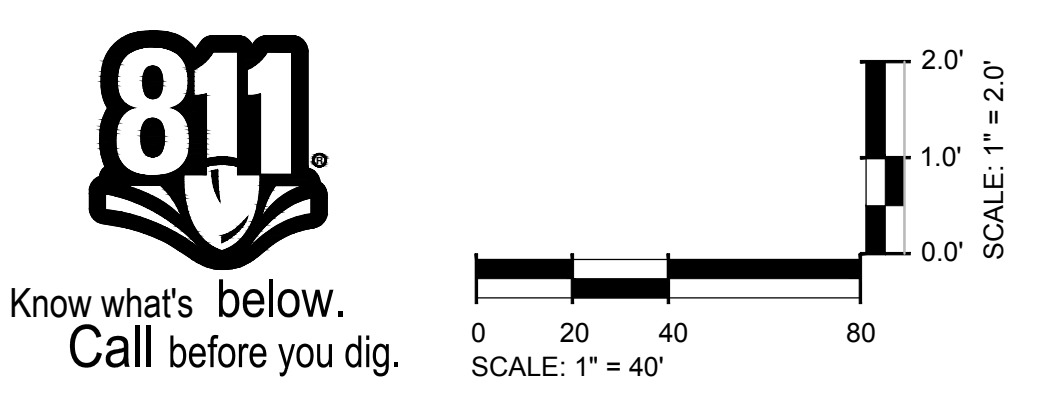
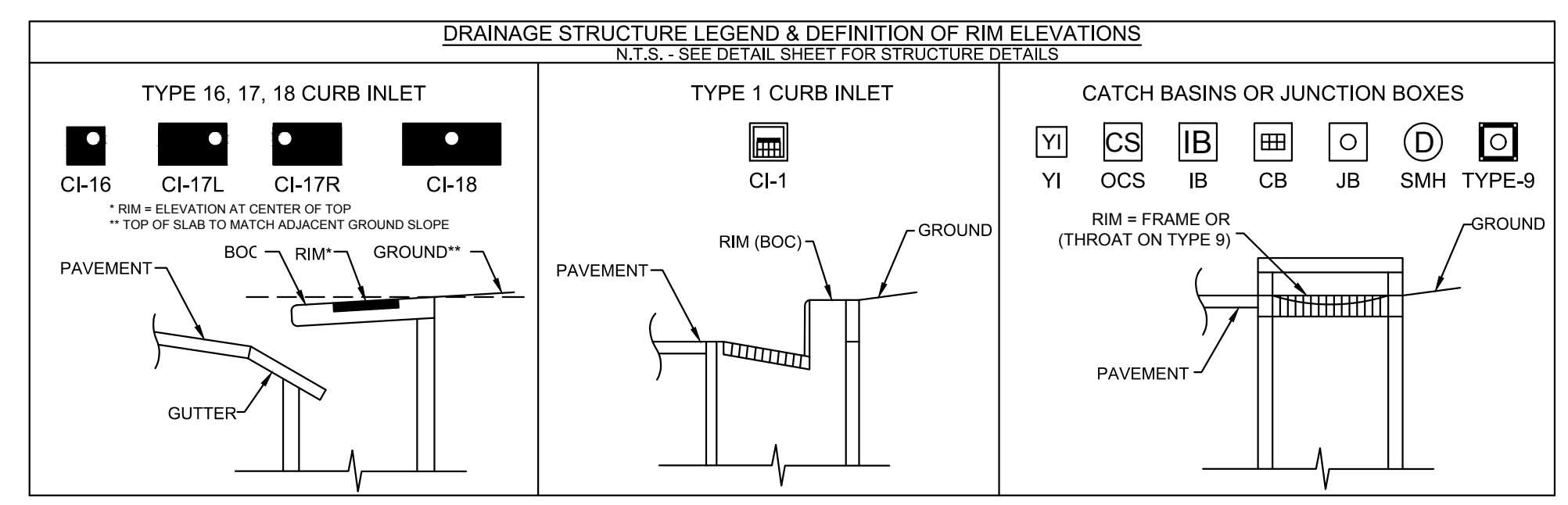
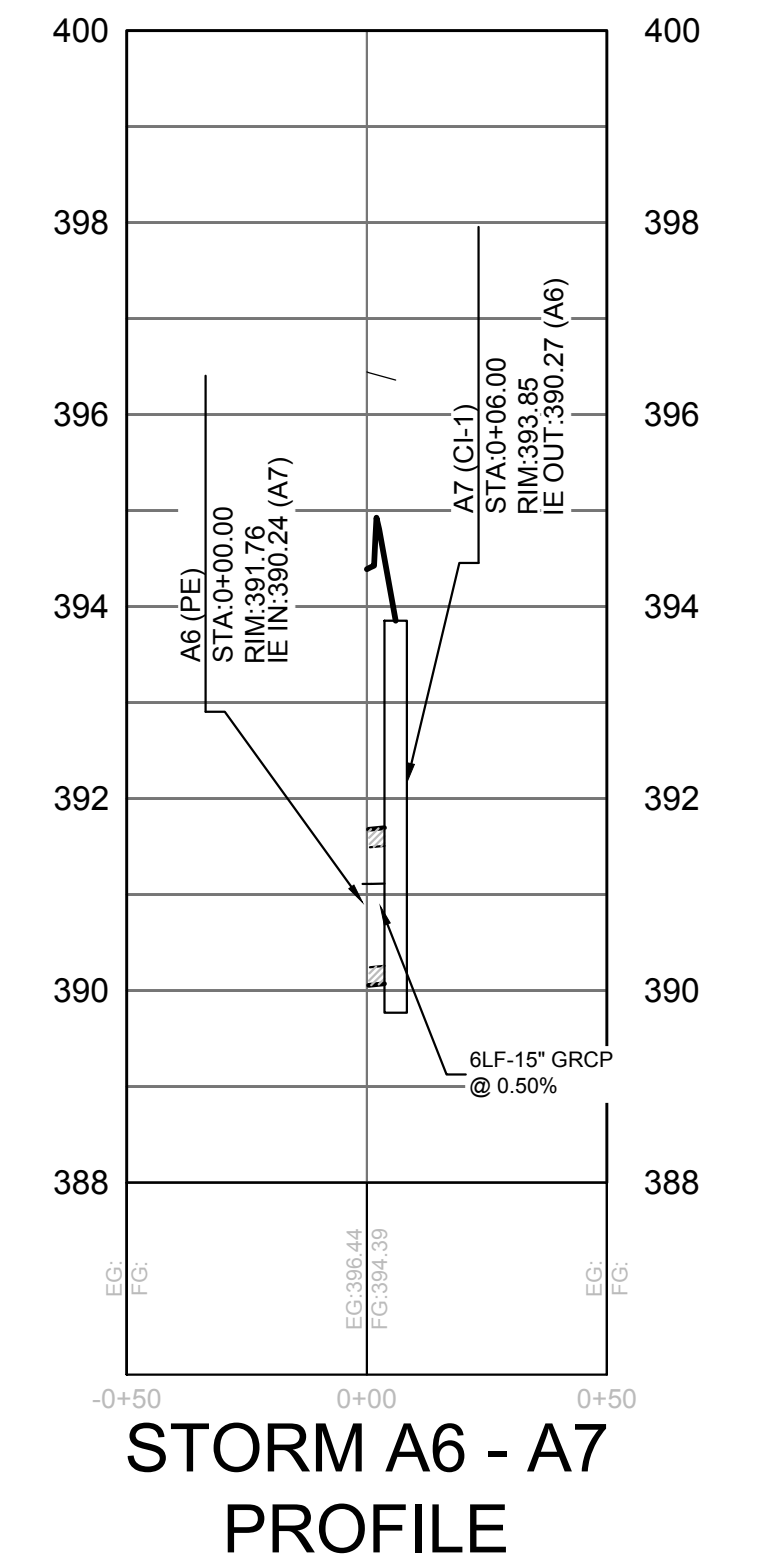
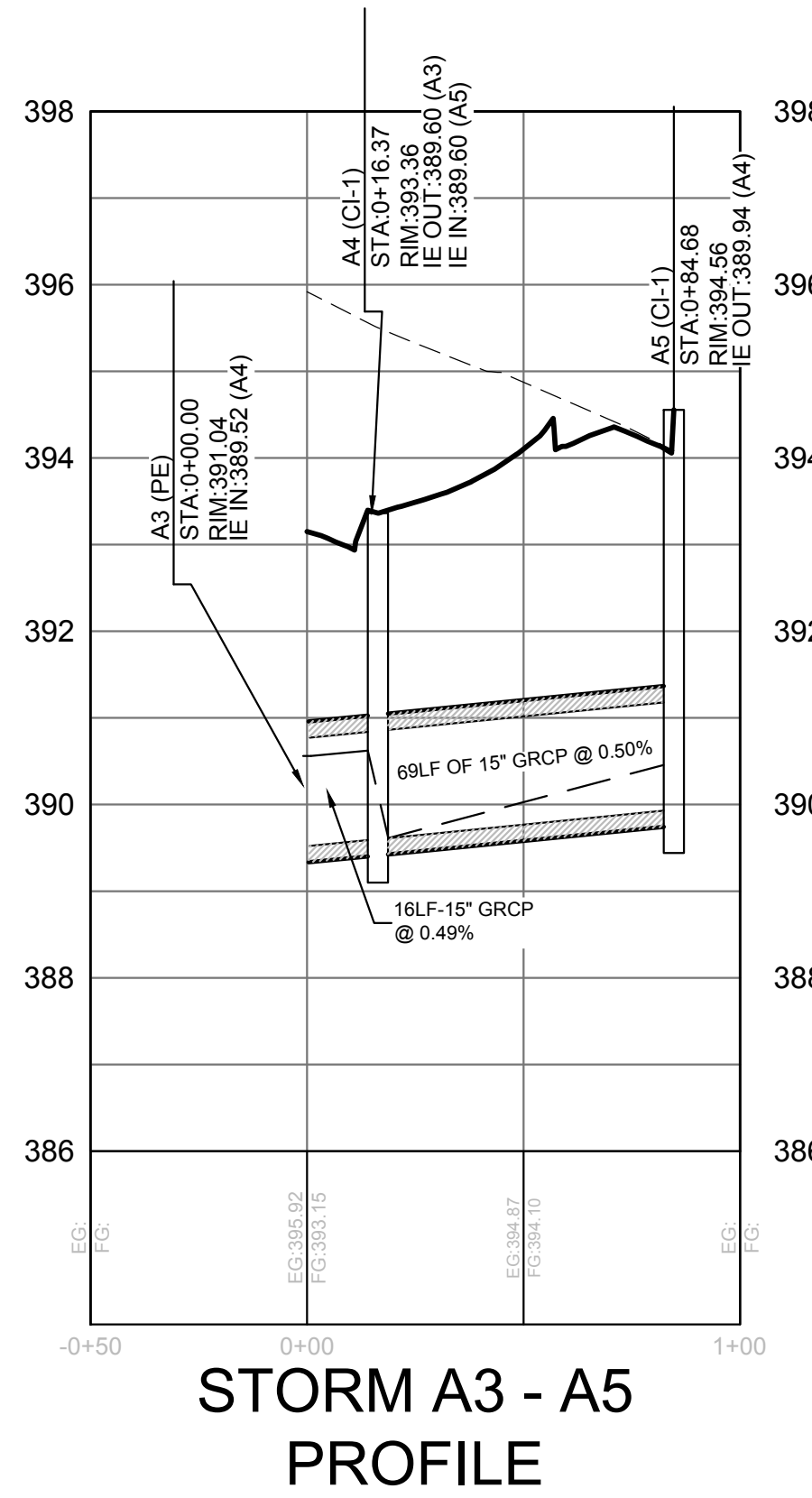
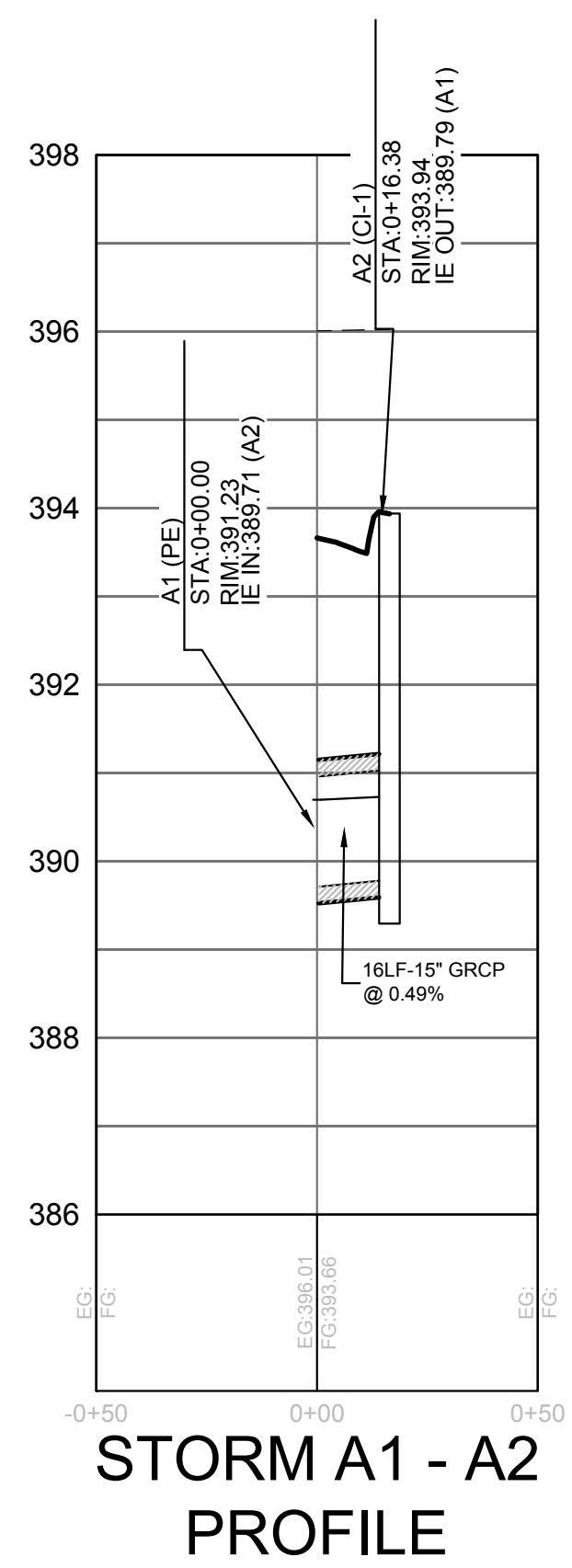
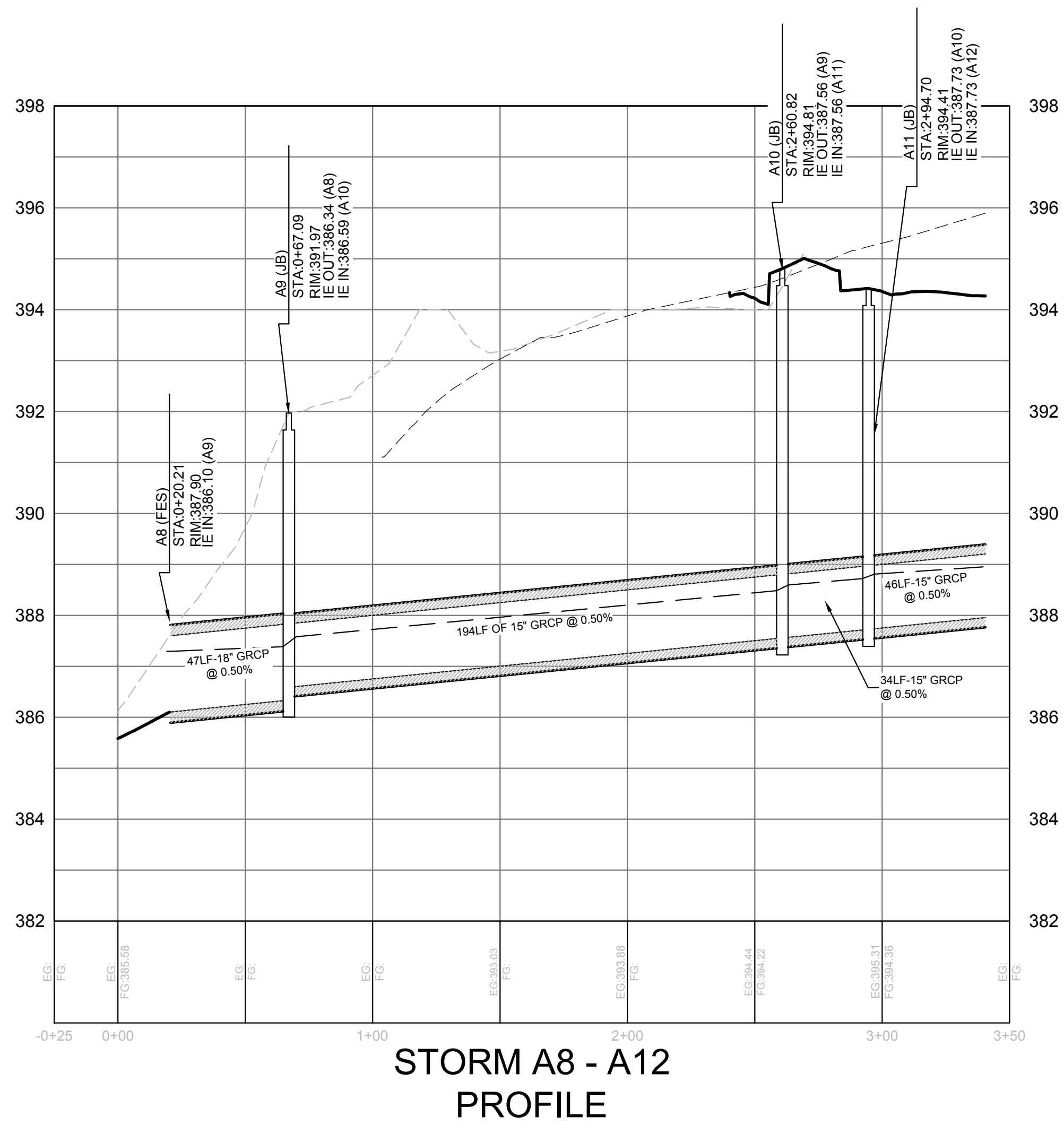
**SPOT ELEV KEY (FINISHED GRADING)**

A-(ASPHALT) SURFACE OF FINISHED ASPHALT ROADWAY OR WALKING PATH
C-(CONCRETE) CONCRETE PAVING
D-(DIRT) FINISHED GROUND ELEVATION
F-(FLOW) ELEVATION AT WHICH SURFACE WATER FLOWS INTO DRAINAGE STRUCTURE
-SURFACE OF ASPHALT ADJACENT TO THROAT OR GRATE AT CURB INLET
-SURFACE OF ACCESS COVER FOR JUNCTION OR ISOLATION BOX
-SURFACE OF GRATE AT OUTSIDE EDGE FOR CATCH BASIN, GUTTER INLET, OR GRATED POND STRUCTURE
FFE - FINISHED FLOOR ELEVATION
G-(GUTTER) SURFACE OF FINISHED GUTTER AT LOWEST POINT (ALONG WATER FLOW PATH)
W-(WALK) SURFACE OF FINISHED CONCRETE OR INTERLOCKING PAVEMENT SIDEWALK, PATIO, PLAZA, OR SLAB
TC - TOP OF CURB ELEVATION
BC - BOTTOM OF CURB ELEVATION
TS - TOP OF STAIRS ELEVATION
BS - BOTTOM OF STAIRS ELEVATION
TW - FINISHED GRADE ELEVATION AT TOP OF WALL
BW - FINISHED GRADE ELEVATION AT BOTTOM OF WALL
ME-(MATCH EXISTING) FOLLOWING ELEVATION NUMBER - INDICATES TO MATCH ELEVATION OF EXISTING SURFACE AT POINT OF CONNECTION

EXAMPLE: A12.56ME MEANS THAT THE SURFACE OF NEW ASPHALT IS TO BE AT ELEVATION 12.56 WHICH SHOULD MATCH THE ELEVATION OF THE EXISTING ASPHALT SURFACE AT THE JOINT

501 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 TOY EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 7124 CEDAR STREET | SUMMERVILLE, SC 29585 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
 WALLBROOK LANDCO LLC PIN# 175857222 (DB: 48193, PG. 920) (BM1998-00187)  
 GRAND PARK PROPERTIES LLC PIN# 1758571481 (BM1999-01039)  
 MHS# 394.94 IE=391.91(FULL OF WATER)  
 PUMP STATION MHS# 394.96 IE=389.97(IN) IE=390.05(OUT) IE=386.51(BOTT. OF BOX)  
 GRAND PARK DRIVE (BROADWAY 01238) (FOR PUBLIC ROW) EXEMPTION #18  
 TEMP. CONSTRUCTION EASEMENT (BMD203-10514) EXEMPTION #10  
 FUTURE ROADWAY IMPROVEMENTS BY OTHERS (TIP # U-6241)  
 PERMANENT DRAINAGE EASEMENT (DB: 18987 PG. 1849) EXEMPTION #12  
 US HWY 401 LOUISBURG ROAD (WALKABLE PUBLIC ROW) (DB: 18987 PG. 1849)  
 501 WINDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 TOY EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 7124 CEDAR STREET | SUMMERVILLE, SC 29585 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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NO.	DESCRIPTION



501 WINDY PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 723 N. CENAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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**BACKFLOW PREVENTION NOTES**

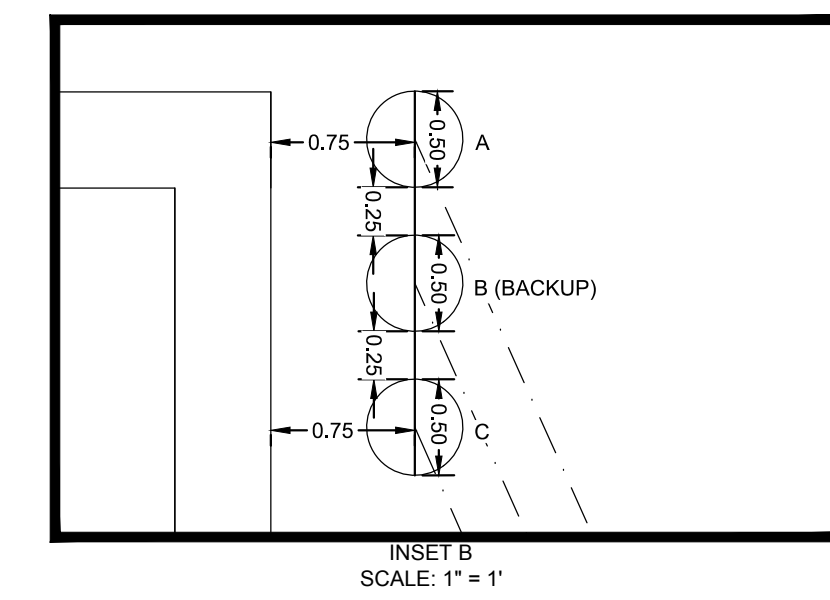
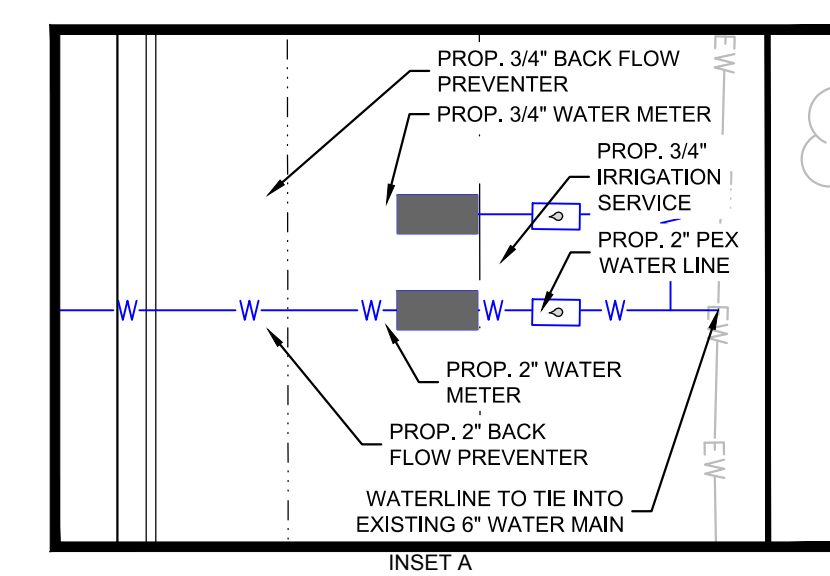
1. REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY AS APPROVED BY TOWN OF ROLESVILLE AND INSTALLED BY CONTRACTOR DURING CONSTRUCTION. ASSEMBLY TO BE INSTALLED ABOVE GROUND WITHIN INSULATED ENCLOSURE PER TOWN OF ROLESVILLE REQUIREMENTS. ENCLOSURE TO BE LOCATED OUT OF SETBACK.
2. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPT. CONNECTION POINTS OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS REQUIRED BACKFLOW PREVENTER.
3. EACH REQUIRED BACKFLOW PREVENTION ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE AND YEARLY THEREAFTER. SUBMIT PASSING TEST REPORTS TO TOWN OF ROLESVILLE.
4. DUCTILE IRON, COPPER, OR OTHER METALLIC PIPING (NO PVC) IS TO BE USED WITHIN 5 FEET OF ALL BACKFLOW PREVENTION DEVICES.
5. TAMPER SWITCHES SHALL BE INSTALLED ON THE FIRE LINE BACKFLOW PREVENTION. INSTALL 3/4" CONDUIT FROM FIRE LINE BACKFLOW ENCLOSURE/WALL TO BUILDING ALARM SYSTEM INSIDE BUILDING. COORDINATE WITH ELECTRICAL DRAWINGS AND ALARM SYSTEM MANUFACTURER.

**WATER SERVICE NOTES**

1. 2" WATER METER FOR DOMESTIC SERVICE FURNISHED AND INSTALLED BY (CONTRACTOR/UTILITY) IN BELOW GRADE CONCRETE VAULT PREPARED BY CONTRACTOR IN ACCORDANCE WITH UTILITY DEPARTMENT STANDARDS. SEE DETAILS.
2. 3/4" WATER METER FOR IRRIGATION SERVICE FURNISHED AND INSTALLED BY (CONTRACTOR/UTILITY) IN BELOW GRADE CONCRETE VAULT PREPARED BY CONTRACTOR IN ACCORDANCE WITH UTILITY DEPARTMENT STANDARDS. SEE DETAILS.

**STANDARD SEWER PLAN NOTES**

1. FOR PROJECT SURVEY INFORMATION INCLUDING VERTICAL DATUM AND BENCHMARK LOCATIONS, SEE "PROJECT SURVEY INFORMATION AND CONTRACTOR VERIFICATION REQUIREMENTS" ON SHEET C1.0.
2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO TOPOGRAPHIC, TREE, STORM DRAINAGE FACILITIES, AND ALL UTILITIES. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THEREFORE, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES. ANY DISCREPANCIES OR CONFLICTS IDENTIFIED DURING VERIFICATION OF EXISTING CONDITIONS AND UTILITIES SHALL BE REPORTED TO THE OWNER AND ENGINEER. ANY COSTS ASSOCIATED WITH CORRECTIVE WORK OR DAMAGES THAT ARE A RESULT OF THE CONTRACTOR NOT VERIFYING EXISTING CONDITIONS AND THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WILL BE THE CONTRACTOR'S RESPONSIBILITY.
3. MANHOLE COVERS ARE NOT ALLOWED WITHIN CURB AND GUTTER AND ARE TO BE INSTALLED COMPLETELY WITHIN OR COMPLETELY OUT OF PAVED AREAS (INCLUDING SIDEWALKS).
4. SEWER MANHOLE CONES ADJACENT TO CURB AND/OR SIDEWALK RAMP SHALL BE ROTATED TO LOCATE MANHOLE FRAME AND COVER AWAY FROM THE SIDEWALK RAMP AND CURBS.
5. REFER TO THE SEWER AUTHORITY'S STANDARD NOTES, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND PROCEDURES, INCLUDING WATERTIGHT MANHOLE LOCATIONS.
6. REFER TO SEWER DETAIL SHEETS AND SEWER PROFILE SHEETS FOR DETAILS AND ANY ADDITIONAL SEWER SYSTEM INFORMATION.

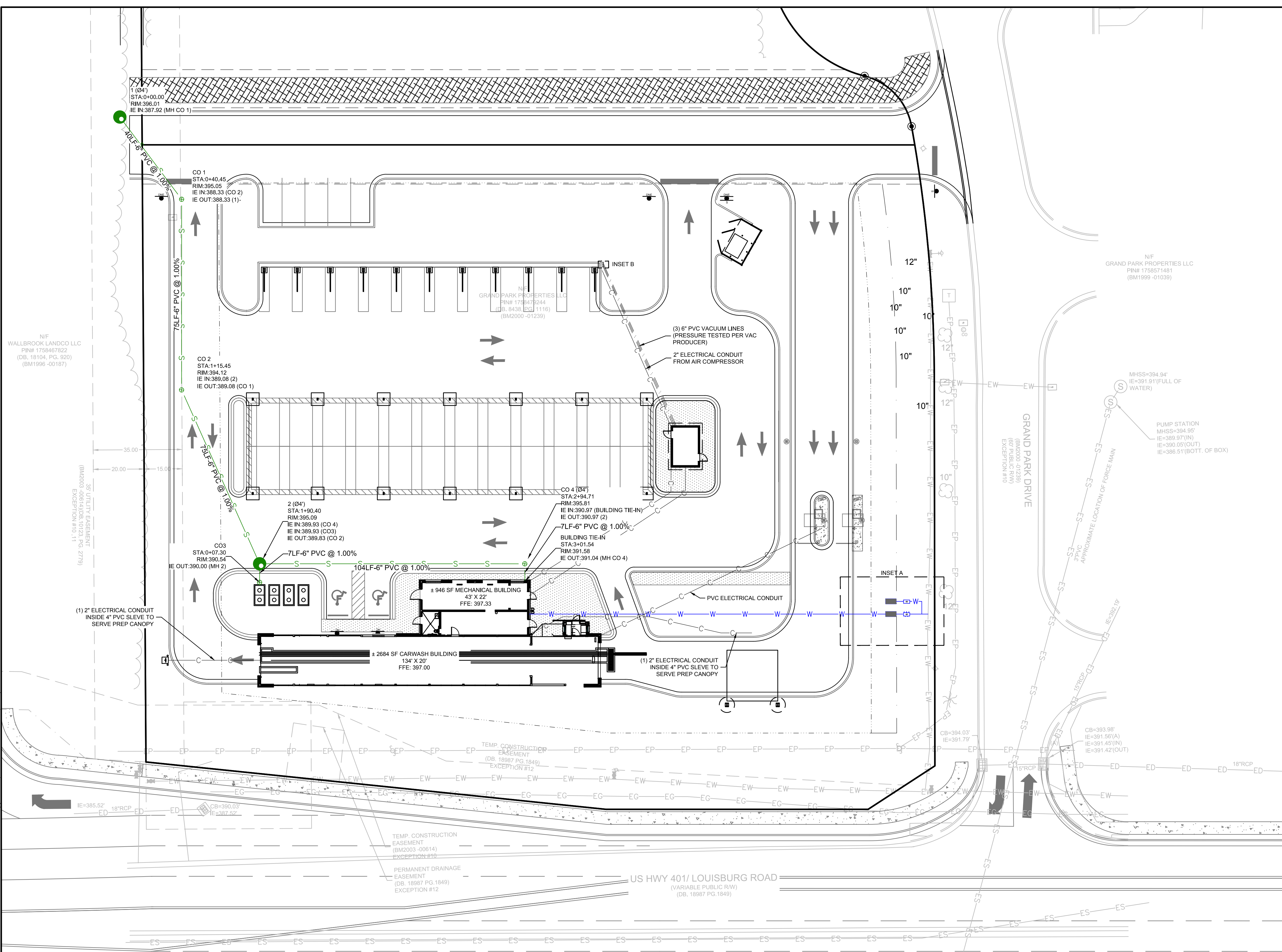
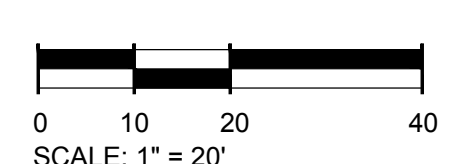
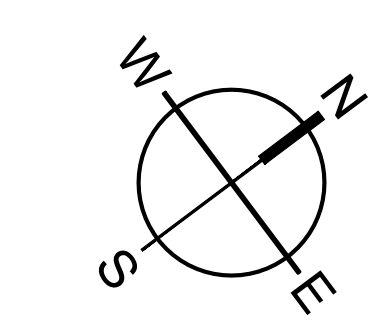


**EXISTING UTILITY NOTE:**

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



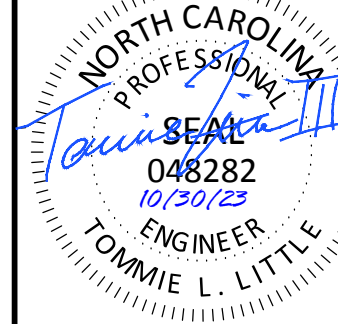
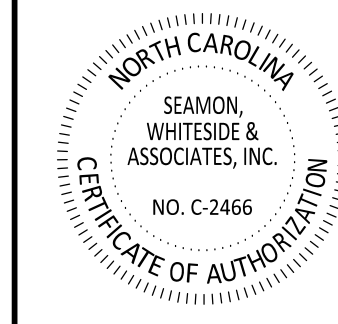
Know what's below.  
Call before you dig.



501 WANDOR BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000 TOY EASLEY BRIDGE RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR., SUITE 200 | SPARTANBURG, SC 29448 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301

©2023 10/30/23 2:16 PM BY Power Users in \\0072\proj\10772\proj\10772\plan\C7.1\UTILITY PLAN AND PROFILES.dwg





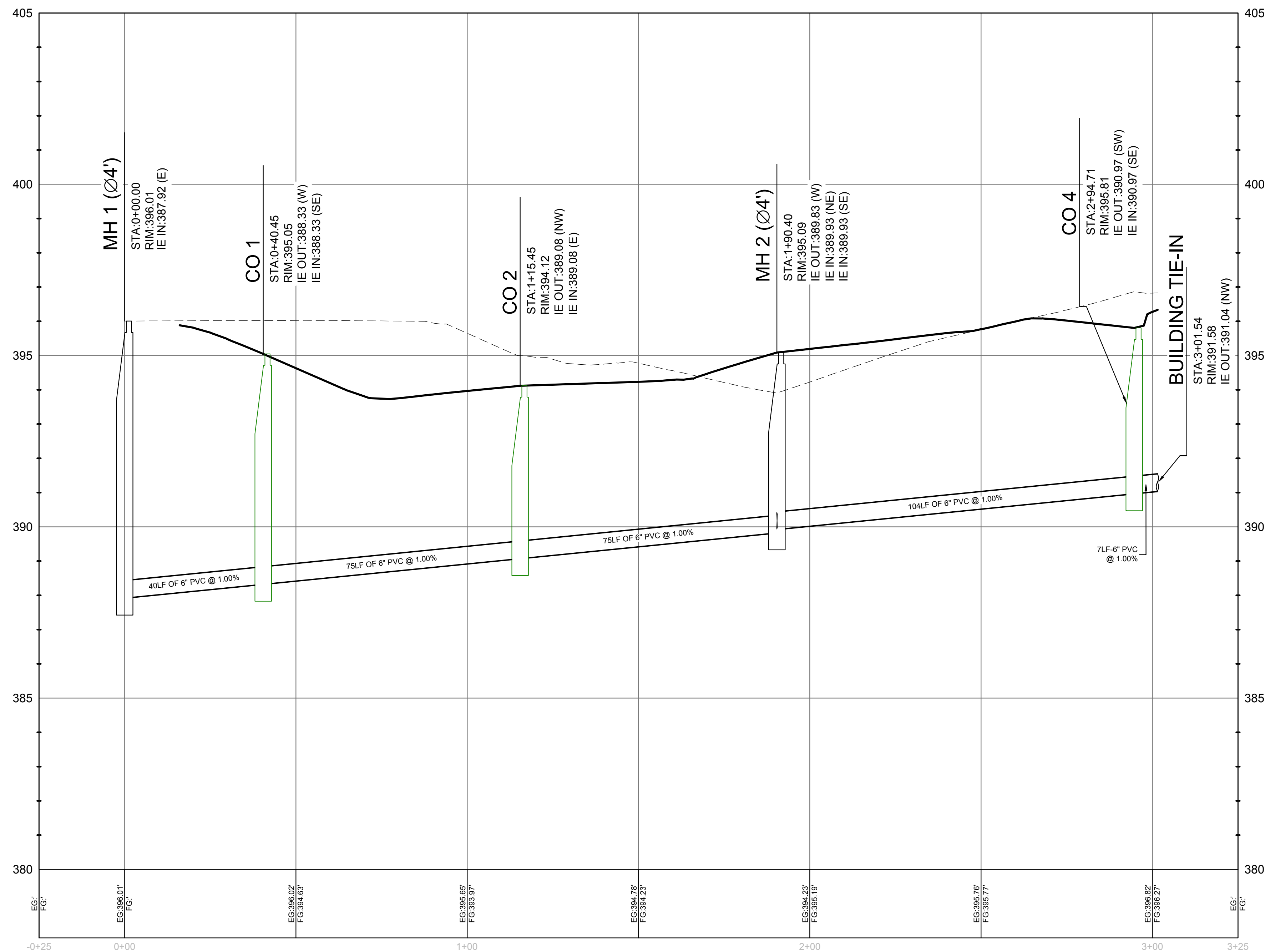
**TIDAL WAVE AUTO SPA**  
ROLESVILLE, NC

SW+ PROJECT: 10772  
DATE: 10/30/23  
DRAWN BY: CPE  
CHECKED BY: DWJ

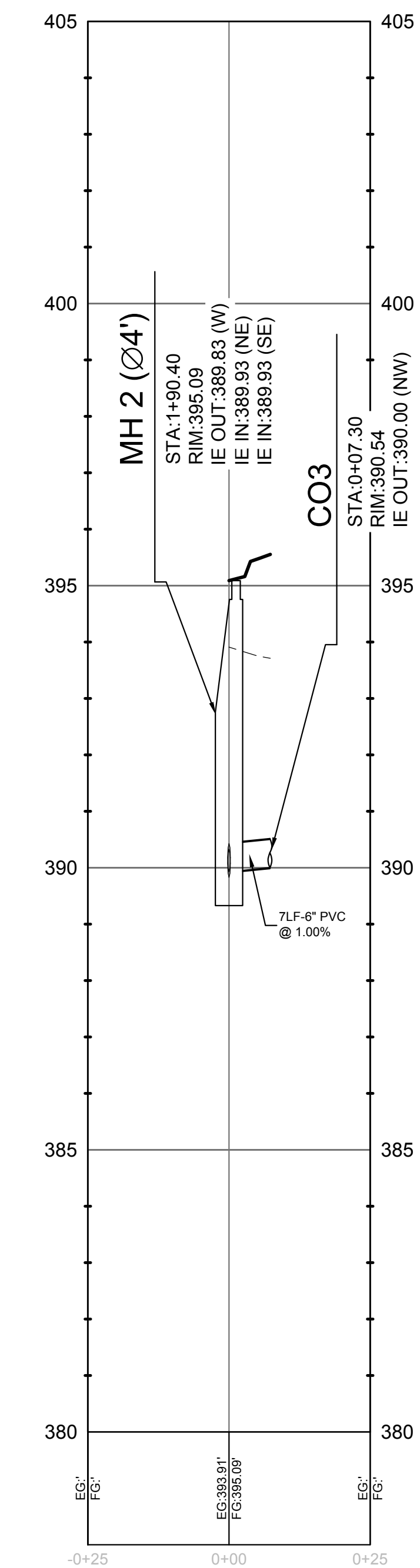
**REVISION HISTORY**

NO.	DESCRIPTION

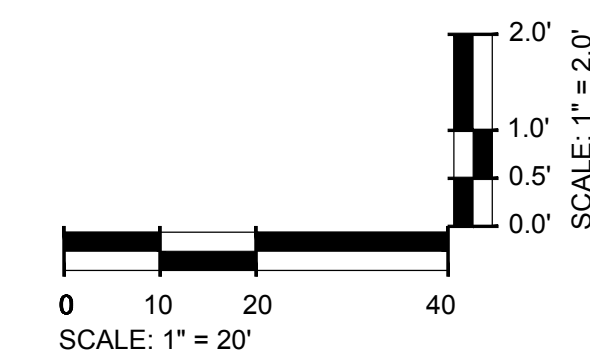
**UTILITY PROFILES**



MH 1 - BUILDING TIE-IN PROFILE



MH 2 - CO3 PROFILE



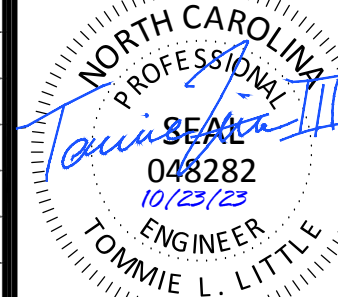
**EXISTING UTILITY NOTE:**  
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



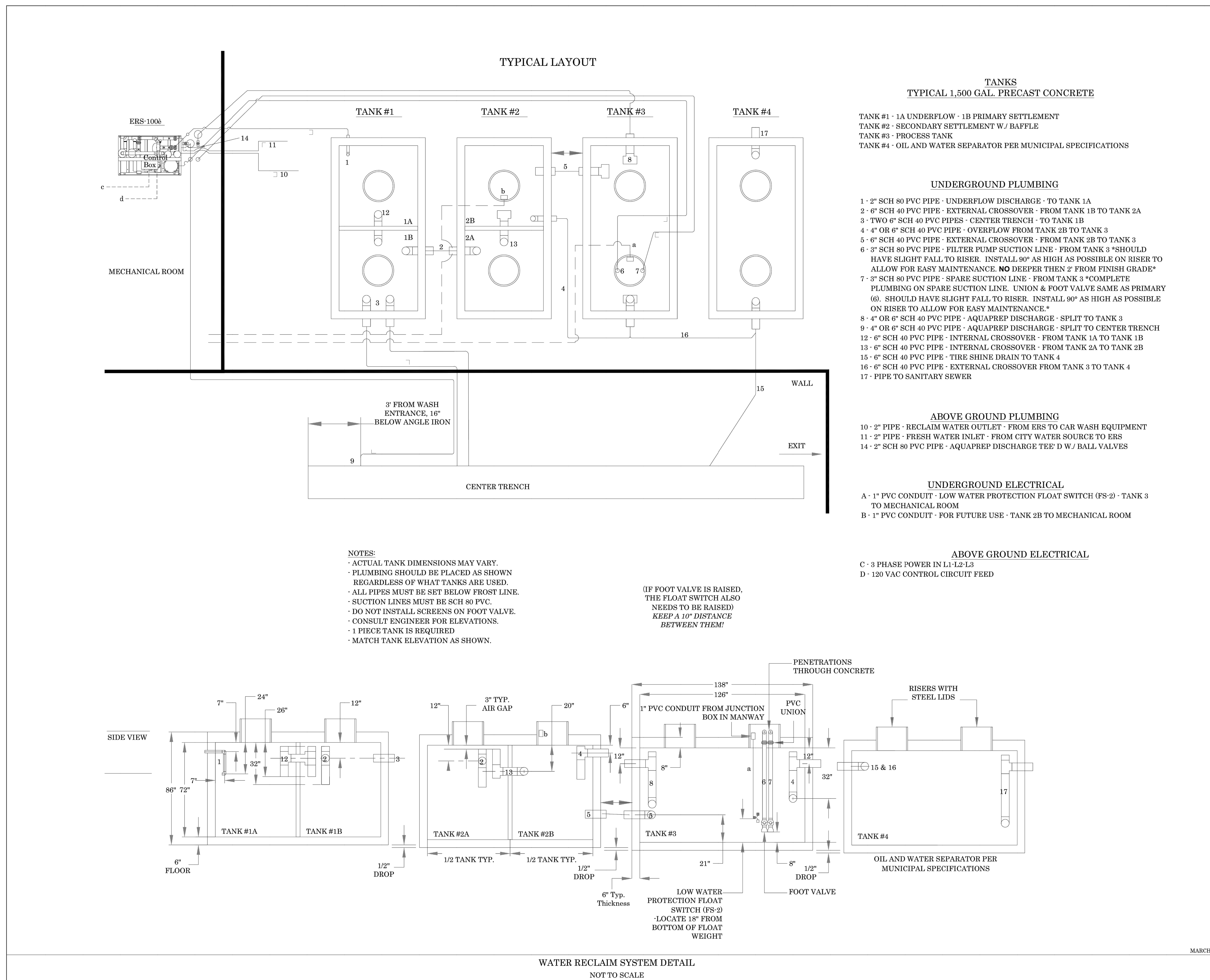
Know what's below.  
Call before you dig.



MOUNT PLEASANT, SC  
843.884.1667  
GREENVILLE, SC  
864.298.0534  
SUMMERVILLE, SC  
843.972.0710  
SPARTANBURG, SC  
864.272.1272  
CHARLOTTE, NC  
980.312.5450  
WWW.SEAMONWHITESIDE.COM



DATE OF PLANS		
03/31/2023		
REVISIONS		
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-



TECHNICAL CRITERIA  
SHJ CONSTRUCTION GROUP  
WATER RECLAIM SYSTEM DETAIL

TIDAL WAVE AUTO SPA  
ROLESVILLE, NC

SW+ PROJECT: 10772  
DATE: 10/26/23  
DRAWN BY: CPE  
CHECKED BY: DWJ

REVISION HISTORY

NO.	DATE	DESCRIPTION

NOT TO SCALE

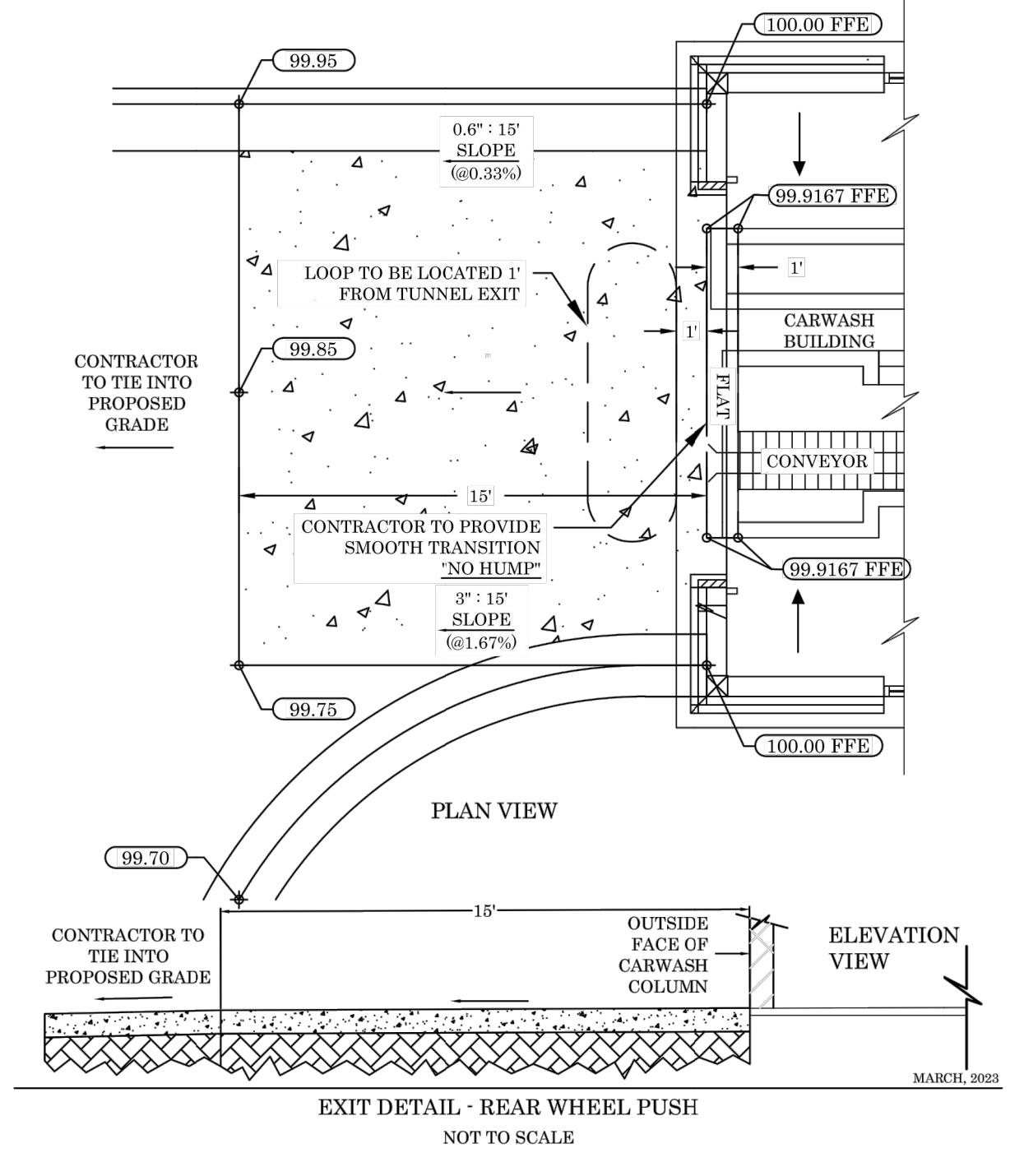
SHEET

1 OF 1

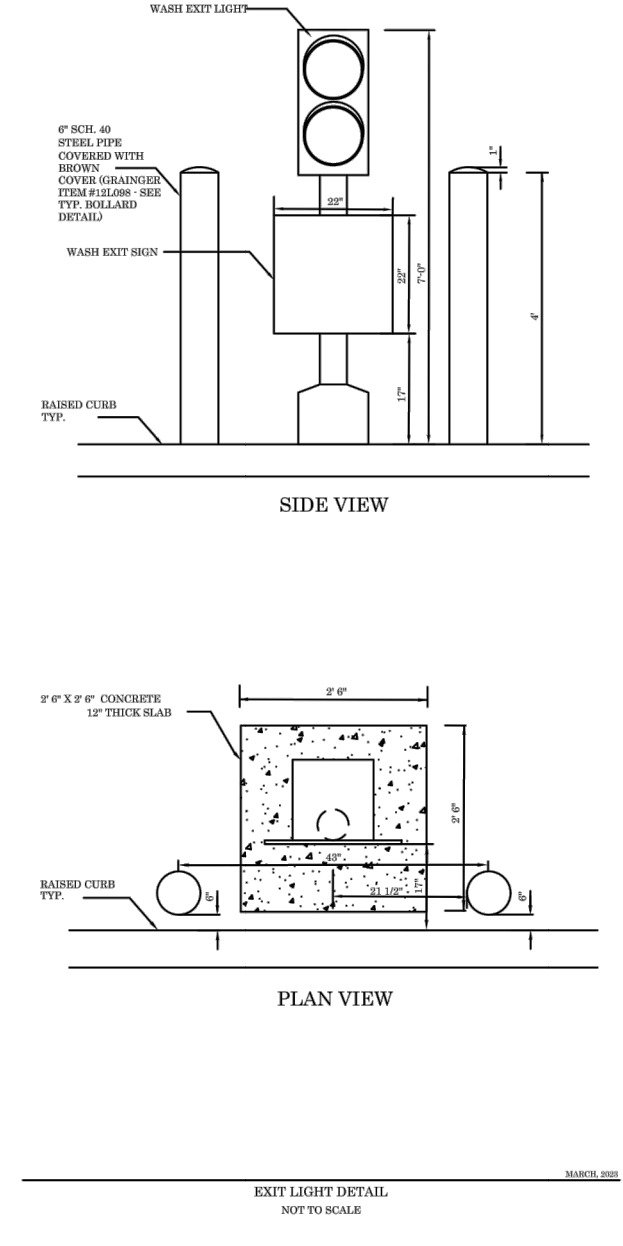
CONSTRUCTION DETAILS

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29564 | JUDSON MILLS BUILDING 6000 TOY EASLEY BROOK RD, SUITE 600 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
COPYRIGHT © SEAMON WHITESIDE & ASSOCIATES, INC. | THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION.

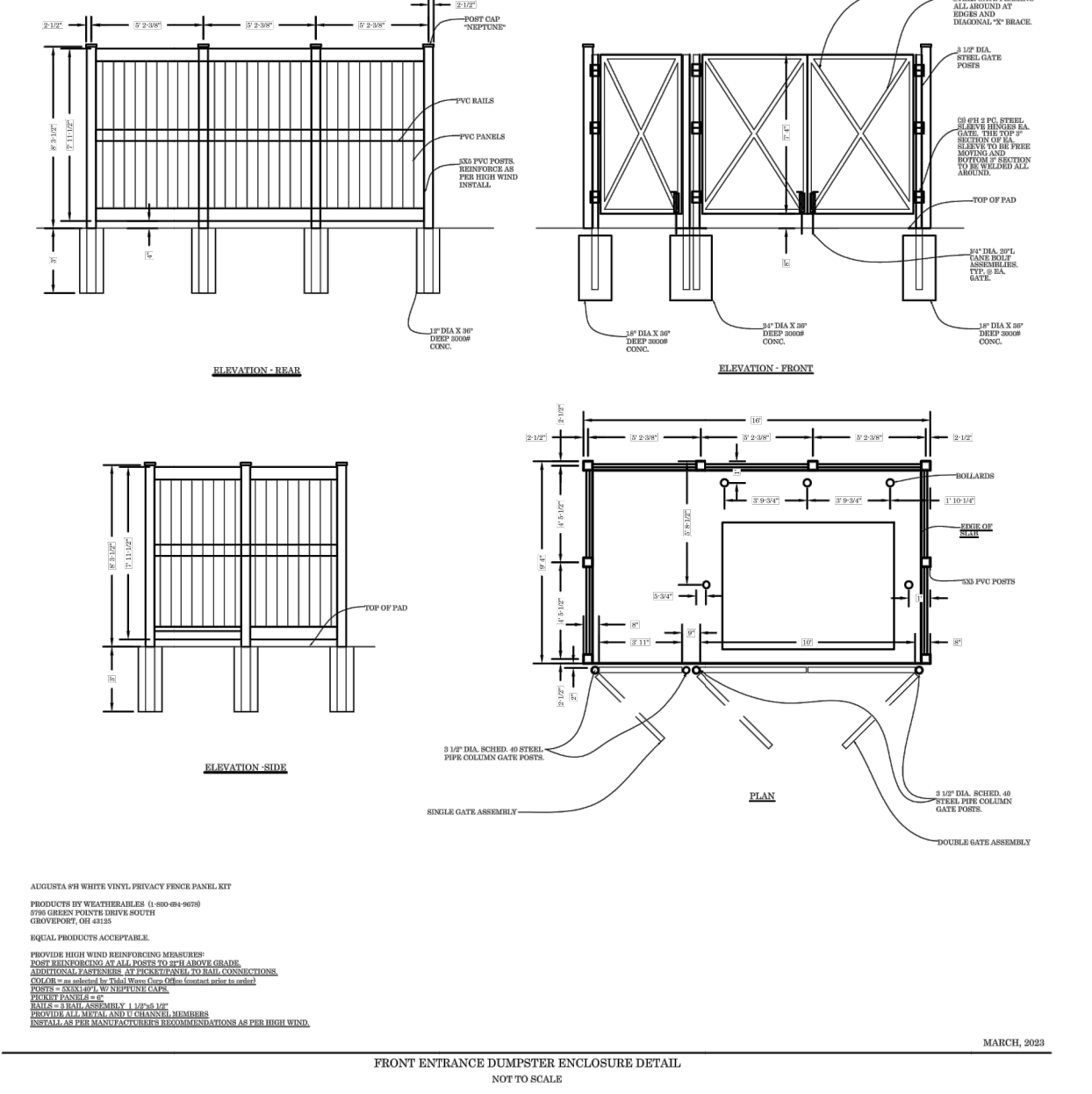
REVISION HISTORY



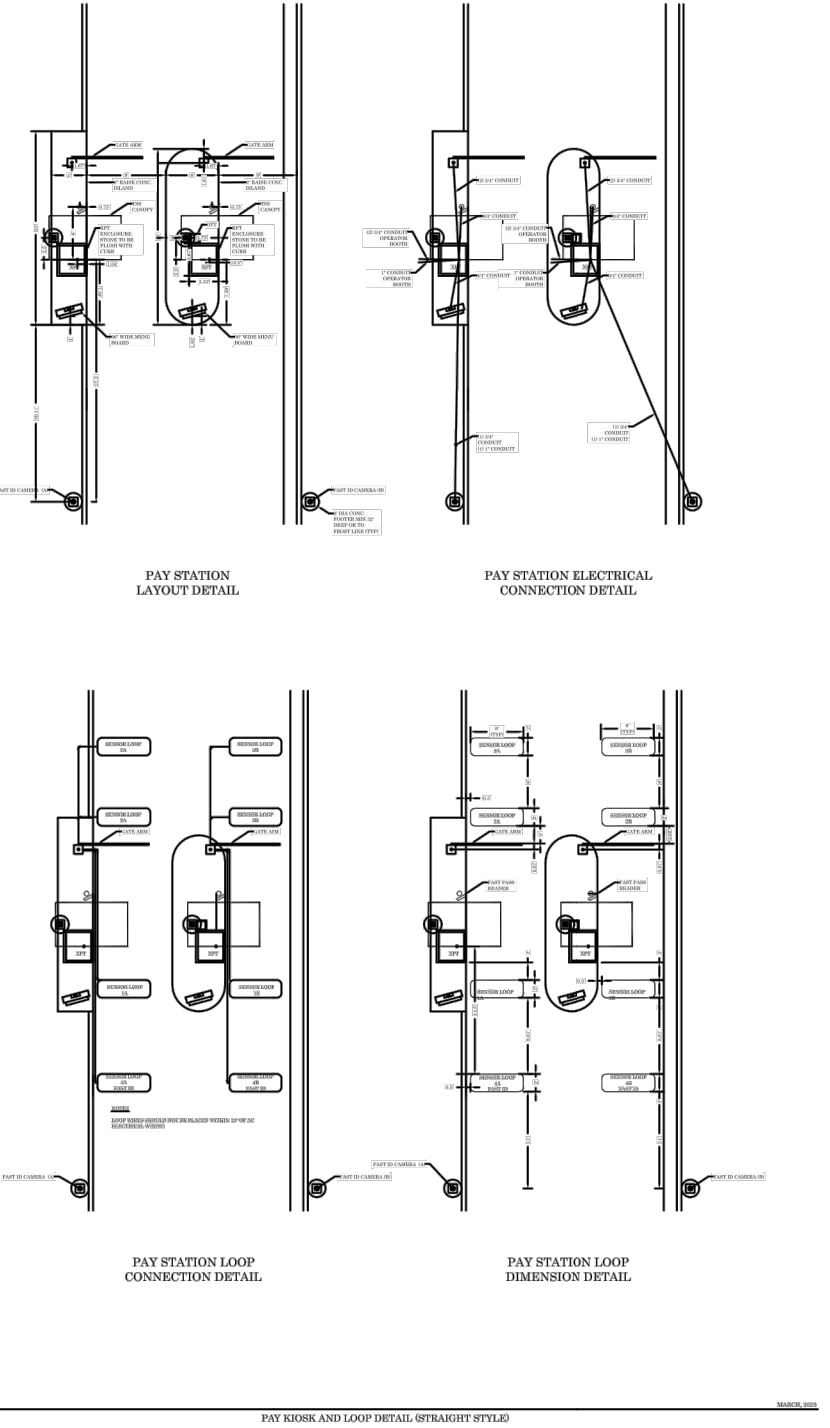
TECHNICAL CRITERIA		TIDAL WAVE	
DATE OF PLANS	03/15/2023	TIDAL WAVE	SHJ CONSTRUCTION GROUP
NOT TO SCALE	NOT TO SCALE		
REAR-WHEEL PUSH - EXIT			



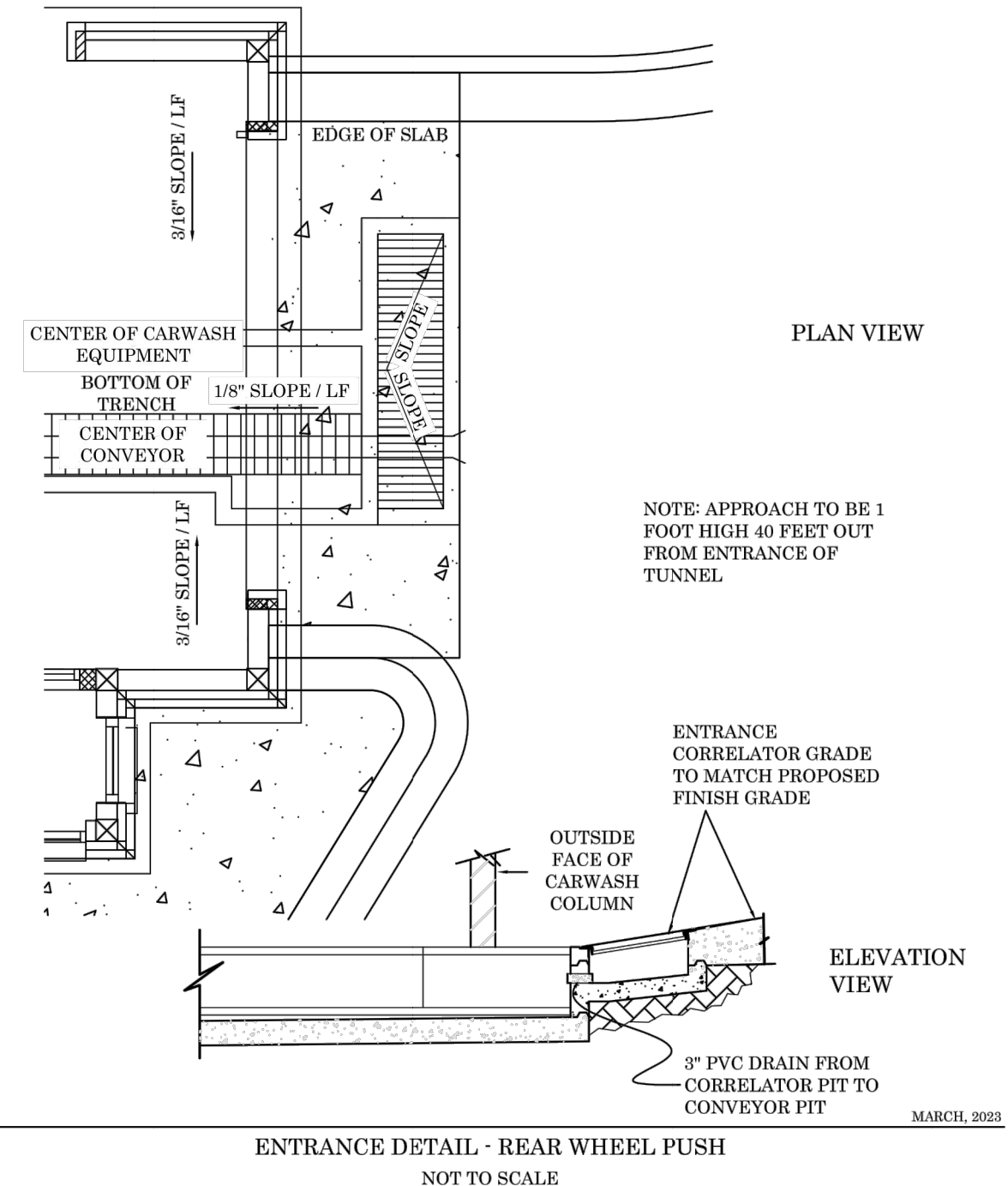
TECHNICAL CRITERIA		TIDAL WAVE	
DATE OF PLANS	03/15/2023	TIDAL WAVE	SHJ CONSTRUCTION GROUP
NOT TO SCALE	NOT TO SCALE		
EXIT LIGHT DETAIL			



TECHNICAL CRITERIA		TIDAL WAVE	
DATE OF PLANS	03/15/2023	TIDAL WAVE	SHJ CONSTRUCTION GROUP
NOT TO SCALE	NOT TO SCALE		
FRONT ENTRANCE DUMPSTER DETAIL			



TECHNICAL CRITERIA		TIDAL WAVE	
DATE OF PLANS	03/31/2023	TIDAL WAVE	SHJ CONSTRUCTION GROUP
NOT TO SCALE	NOT TO SCALE		
PAY KIOSK (STRAIGHT) DETAIL			



TECHNICAL CRITERIA		TIDAL WAVE	
DATE OF PLANS	03/15/2023	TIDAL WAVE	SHJ CONSTRUCTION GROUP
NOT TO SCALE	NOT TO SCALE		
REAL-WHEEL PUSH - ENTRANCE			

MODEL NO.	CAPACITY US (GAL)	OIL CAP. (LBS)	GRIT CAP. (GPM)	FLOW RATE (GPM)	EMPTY WT (LBS)	LENGTH L1	WIDTH W1	HEIGHT HI	INLET FL1	OUTLET FL2
GO-500	500	250	2950	50	9,500	7'-10"	4'-4"	4'-6"	3'-3"	3'-0"
GO-750	750	375	2950	75	9,900	7'-10"	4'-4"	6'-0"	4'-5"	4'-2"
GO-1000	1,000	500	3950	100	13,350	8'-8"	5'-0"	6'-0"	4'-9"	4'-6"
GO-1500	1,500	750	4600	150	16,050	9'-2"	5'-8"	7'-0"	5'-9"	5'-6"
GO-2000	2,000	1,000	4600	200	21,250	9'-0"	6'-0"	8'-0"	6'-9"	6'-6"

**APPLICATIONS**

- PARKING GARAGE PRESSURE WASHING
- GENERAL INDUSTRY
- EQUIPMENT & TRANSPORTATION WASHDOWN FACILITIES
- CARWASHES
- FIRE STATION WASHDOWN
- SERVICE STATION FUEL DEPOSITS
- MANUFACTURING FACILITY EFFLUENT WATER
- CITY MAINTENANCE WASHDOWN

**GUARANTEED PERFORMANCE**  
 A certified performance analysis utilizing a proprietary computer program will accurately model systems to ensure that their effluent qualities meet the required discharge criteria (EPA and Local Codes)

Influent oily water contains oil droplets of many different sizes. These droplets rise at different rates. Park utilizes a statistical program that divides the droplets into ranges of sizes and calculates the rise rates of each range. This calculation determines which droplets the separator can capture.

Contact our Engineering Dept. @ 888-611-PARK for a free performance evaluation.

PROJECT:	CUSTOMER:	ENGINEER:	ORDER #:	PROJ #:	DATE:
888.611.PARK	www.parkusa.com	<b>GO Trooper</b>	Grit Oil Interceptor	Grit Oil Interceptor Model GO	Sizes 500 thru 2000
PM	DRN	ENG	DWG. NO.	REV.	DATE
			GO-1	A	2018

**Specifications**  
 CONCRETE: Class III concrete with design strength of 4500 psi at 28 days. Unit is of monolithic construction at floor and first stage of wall with sectional riser to required depth.

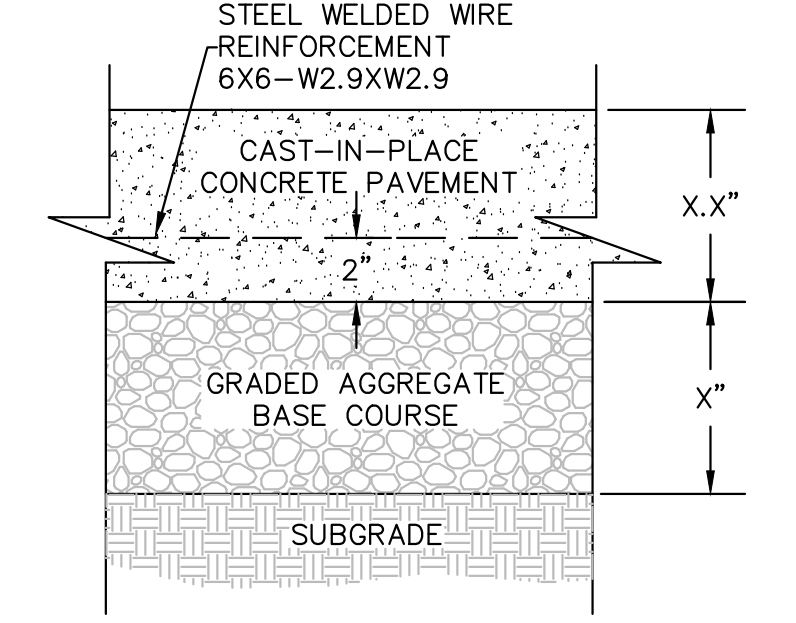
**REINFORCEMENT:** Grade 60 reinforced with steel rebar conforming to ASTM A615 on required centers or equal.

**MATERIALS:** Access frame & cover shall be fabricated with min. 1/4" thick nonskid floor plate, balldown, & lifting handles. All materials to be corrosion resistant.

**Engineering Data**  
 Interceptor is structurally and hydraulically engineered conforming to Uniform Plumbing Code. Nominal total liquid capacity and oil holding capacity as indicated. Recommended for flow rates of 5 to 180 GPM (consult Park for proper sizing). Manufacturer shall submit performance calculations for oil & water separation certified by a licensed professional engineer. Field excavation and preparation shall be completed prior to delivery of interceptor.

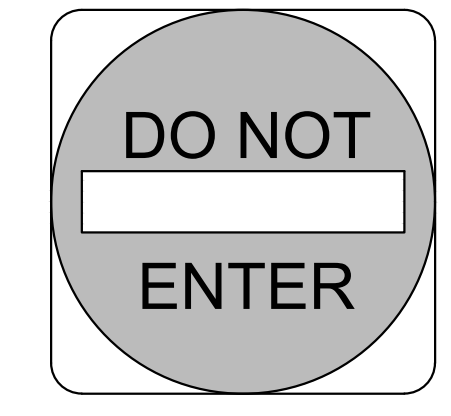
501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000 | GREENVILLE, SC 29611 | 230 PETERSON DR. | CHARLOTTE, NC 28217 | 7124 CEDAR STREET | SUMMERVILLE, SC 29585 | 104 N. DANIEL MCGREGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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ITEM:	MATERIAL:
SUBGRADE	PREPARED IN-SITU SUBSOIL OR STRUCTURAL FILL
BASE COURSE	GRADED AGGREGATE BASE COURSE
CONCRETE PAVEMENT	CAST-IN-PLACE CONCRETE



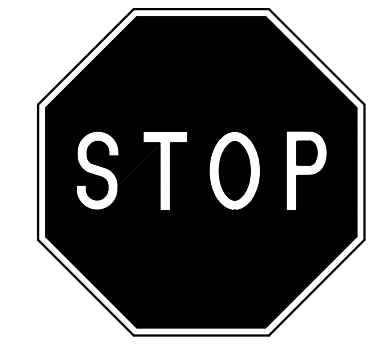
**NOTES:**  
 1. WHERE SHOWN, SEE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS. OTHERWISE, SEE SPECS FOR REQUIRED LOCATION AND SPACING.  
 2. CONTRACTOR IS ADVISED THAT PAVING DESIGN RECOMMENDED BY GEOTECHNICAL ENGINEER IS BASED ON PREDICTED TRAFFIC LOADING AND ESTABLISHED STRENGTHS FOR PROPERLY INSTALLED PAVEMENTS. CONTRACTOR MUST COORDINATE REQUIRED GEOTECHNICAL TESTING & INSPECTION TO ENSURE THAT SUBGRADE AND PAVEMENT STRENGTH REQUIREMENTS ARE MET.

**1 CONCRETE PAVEMENT - HEAVY DUTY**  
 SCALE: NOT TO SCALE



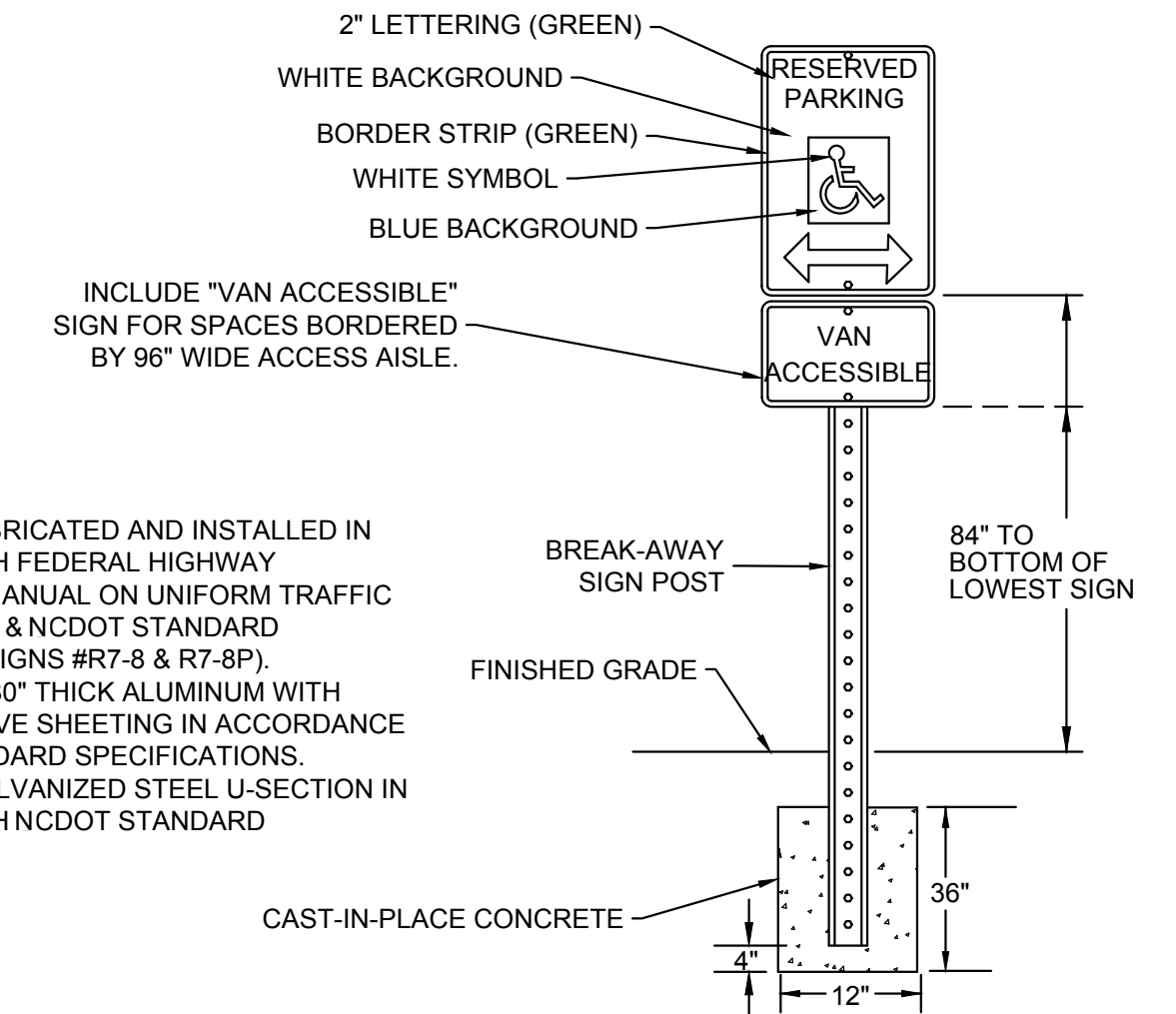
DO NOT ENTER SIGN AND INSTALLATION TO CONFORM WITH M.U.T.C.D. SPECIFICATIONS.  
 NUMBER: R5-1-30  
 SIZE: 30" X 30"  
 CLASS: STANDARD  
 LEGEND AND BACKGROUND: WHITE-REFLECTORIZED  
 CIRCLE: RED-REFLECTORIZED  
 SIGN POST: GALVANIZED U-CHANNEL PER NCDOT SPECIFICATIONS

**2 SIGN - DO NOT ENTER**  
 SCALE: NOT TO SCALE



STOP SIGN AND INSTALLATION TO CONFORM WITH M.U.T.C.D. SPECIFICATIONS.  
 NUMBER: R1-1-30  
 SIZE: 30" X 30"  
 CLASS: STANDARD  
 BACKGROUND: RED-REFLECTORIZED  
 LEGEND AND BORDER: WHITE-REFLECTORIZED  
 SIGN POST: GALVANIZED U-CHANNEL PER NCDOT SPECIFICATIONS

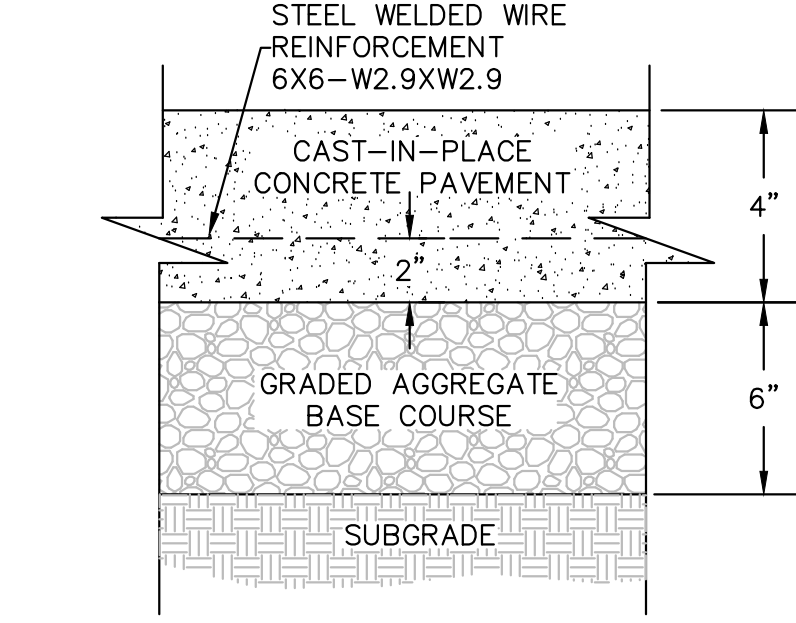
**3 SIGN - STOP**  
 SCALE: NOT TO SCALE



**NOTES:**  
 1. SIGN SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & NCDOT STANDARD SPECIFICATIONS (SIGNS #R7-8 & R7-8P).  
 2. SIGN SHALL BE 0.080" THICK ALUMINUM WITH APPLIED REFLECTIVE SHEETING IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.  
 3. POST SHALL BE GALVANIZED STEEL U-SECTION IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.

**4 ADA PARKING SIGN**  
 SCALE: NOT TO SCALE

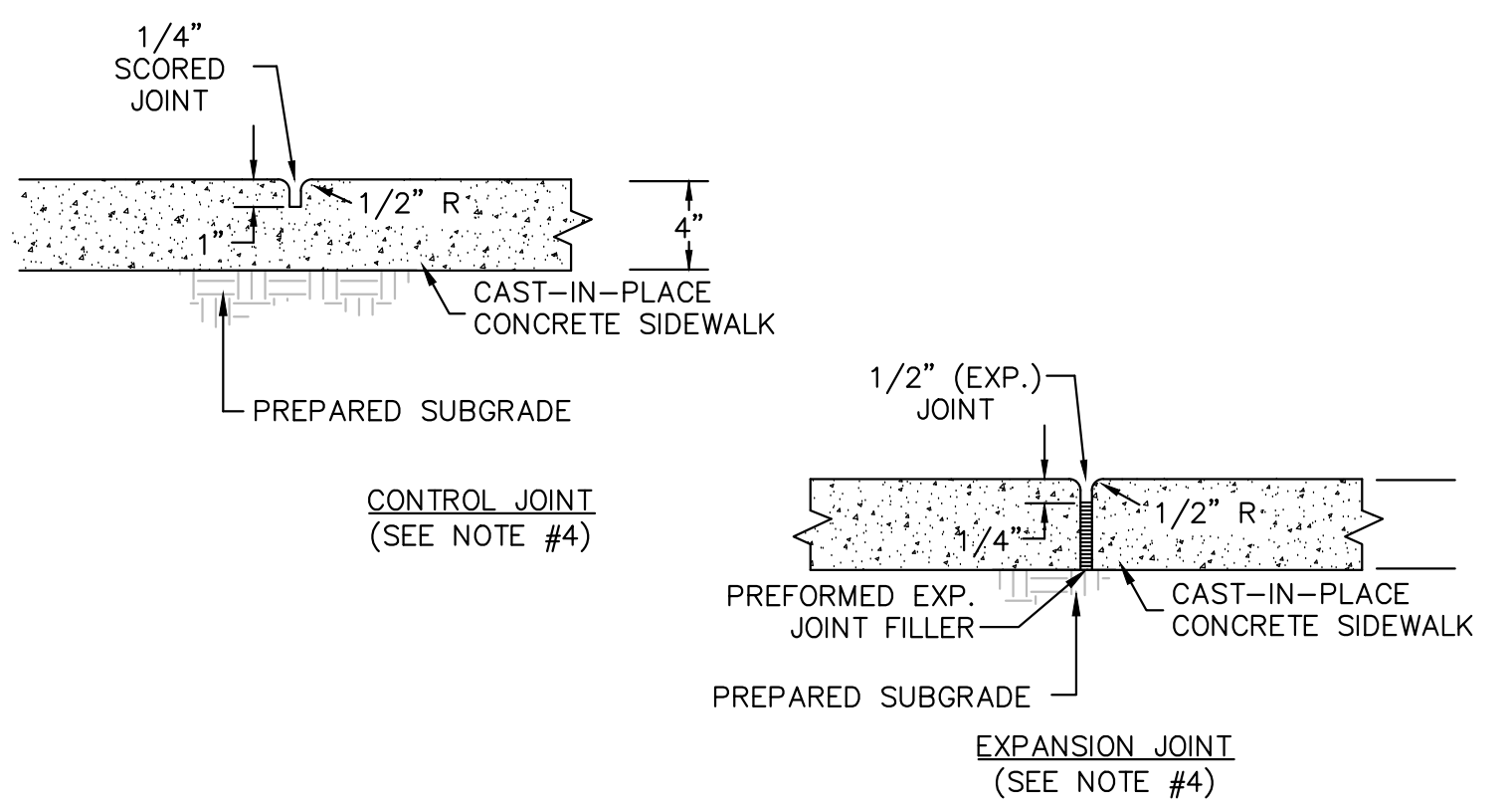
ITEM:	MATERIAL:
SUBGRADE	PREPARED IN-SITU SUBSOIL OR STRUCTURAL FILL
BASE COURSE	GRADED AGGREGATE BASE COURSE
CONCRETE PAVEMENT	CAST-IN-PLACE CONCRETE



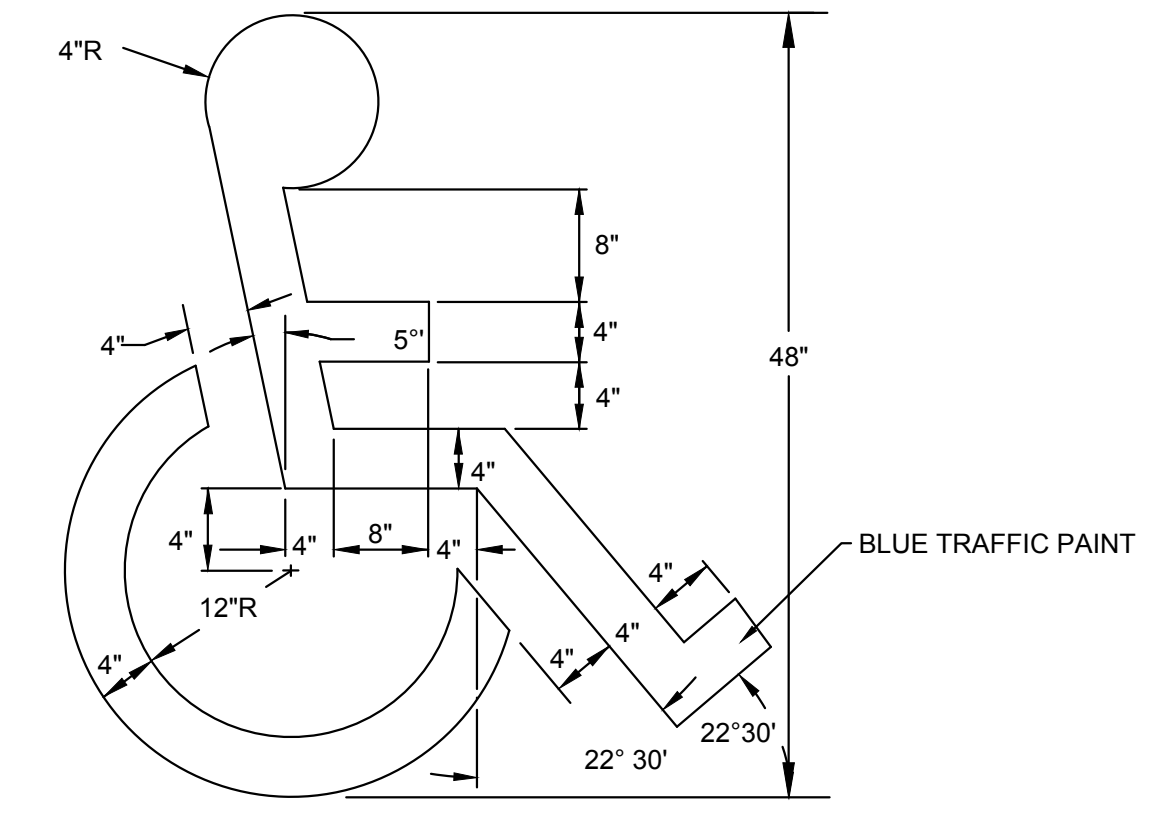
**NOTES:**  
 1. WHERE SHOWN, SEE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS. OTHERWISE, SEE SPECS FOR REQUIRED LOCATION AND SPACING.  
 2. CONTRACTOR IS ADVISED THAT PAVING DESIGN RECOMMENDED BY GEOTECHNICAL ENGINEER IS BASED ON PREDICTED TRAFFIC LOADING AND ESTABLISHED STRENGTHS FOR PROPERLY INSTALLED PAVEMENTS. CONTRACTOR MUST COORDINATE REQUIRED GEOTECHNICAL TESTING & INSPECTION TO ENSURE THAT SUBGRADE AND PAVEMENT STRENGTH REQUIREMENTS ARE MET.

**5 CONCRETE PAVEMENT - STANDARD DUTY**  
 SCALE: NOT TO SCALE

**NOTES:**  
 1. SIDEWALK CROSS SLOPE NOT TO EXCEED 2% AND LONGITUDINAL SLOPE NOT TO EXCEED 5%.  
 2. SIDEWALK TO HAVE LIGHT BROOM FINISH, PERPENDICULAR TO DIRECTION OF TRAVEL.  
 3. SEE PLAN FOR SIDEWALK WIDTH.  
 4. UNLESS OTHERWISE SHOWN ON DRAWINGS, SPACE CONTROL JOINTS NOT TO EXCEED 5'. SPACE EXPANSION JOINTS TO COINCIDE WITH CONTROL JOINTS, NOT TO EXCEED 50'. WHERE CURB IS ADJACENT TO CONCRETE WALK, JOINTS SHALL COINCIDE. SEE SPECIFICATIONS FOR ADDITIONAL INFO.

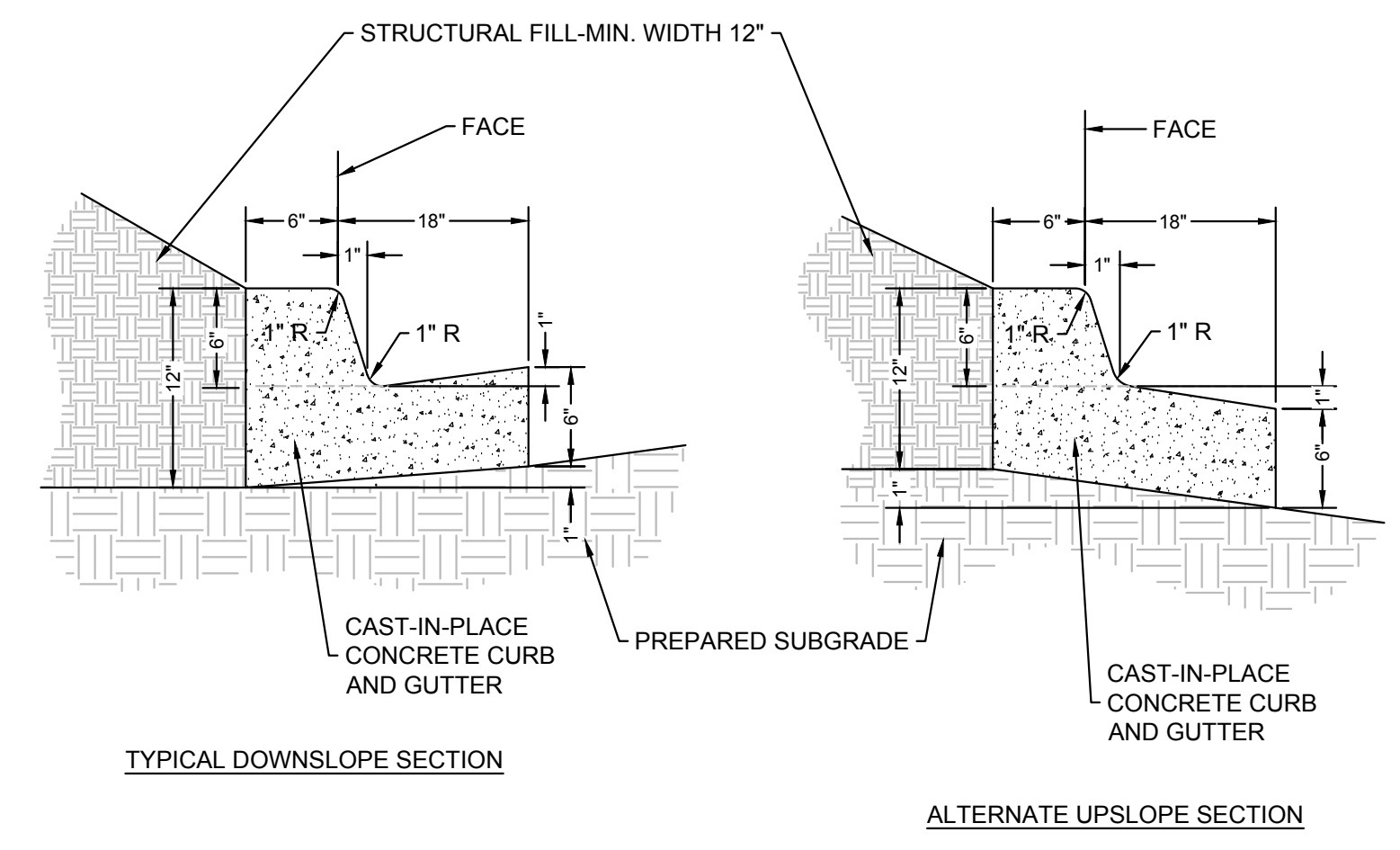


**6 SIDEWALK-SECTION**

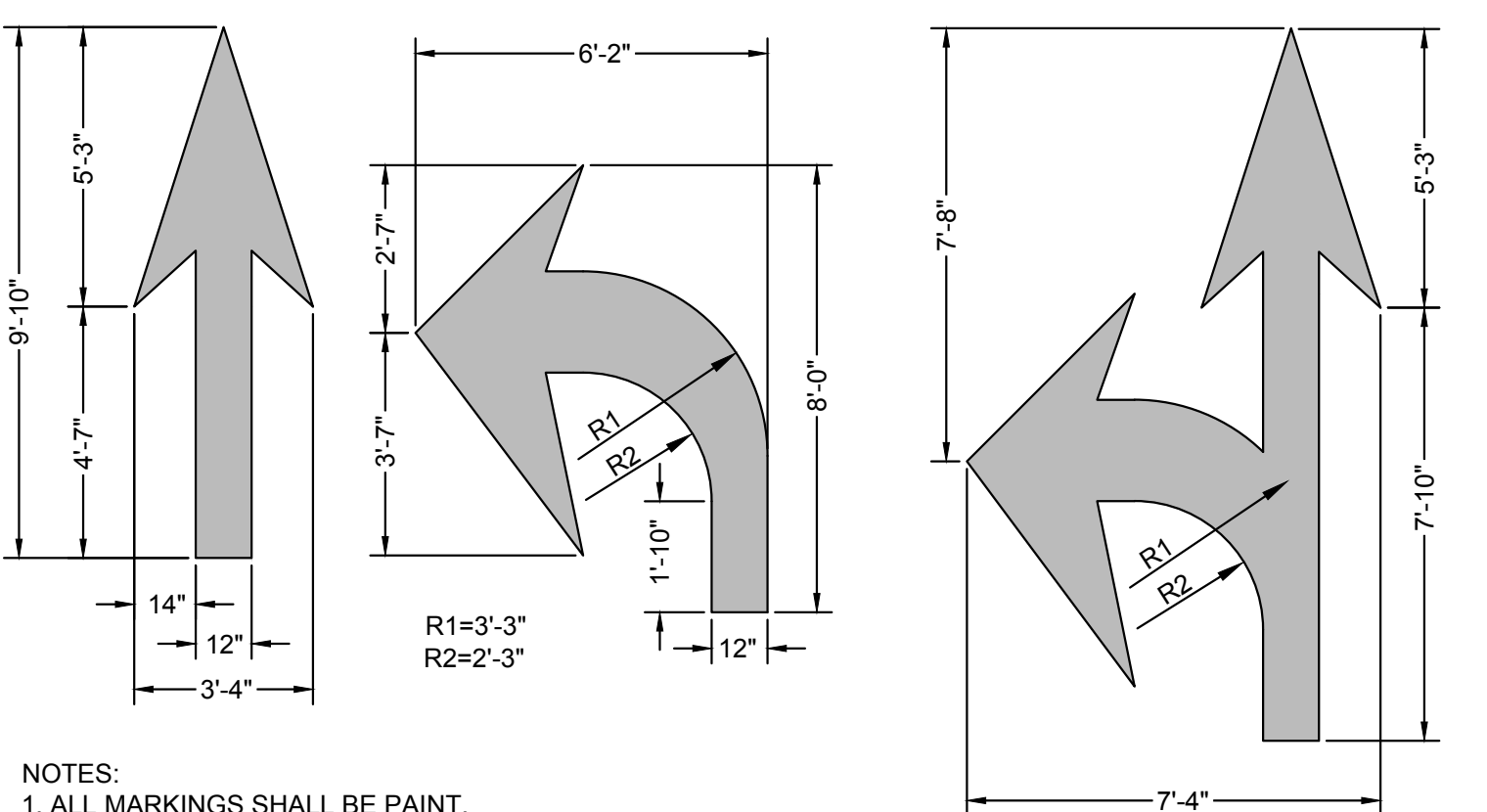


**7 PAINTED ADA PARKING SYMBOL**

**NOTES:**  
 1. ALTERNATE UPSLOPE SECTION TO BE USED ONLY WHEN DRAINING AWAY FROM CURB.  
 2. UNLESS OTHERWISE SHOWN ON DRAWINGS, LOCATE CONTROL JOINTS AT 10' INTERVALS AND EXPANSION JOINTS AT 50' INTERVALS. WHERE CURB IS ADJACENT TO CONCRETE WALK, JOINTS SHALL COINCIDE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



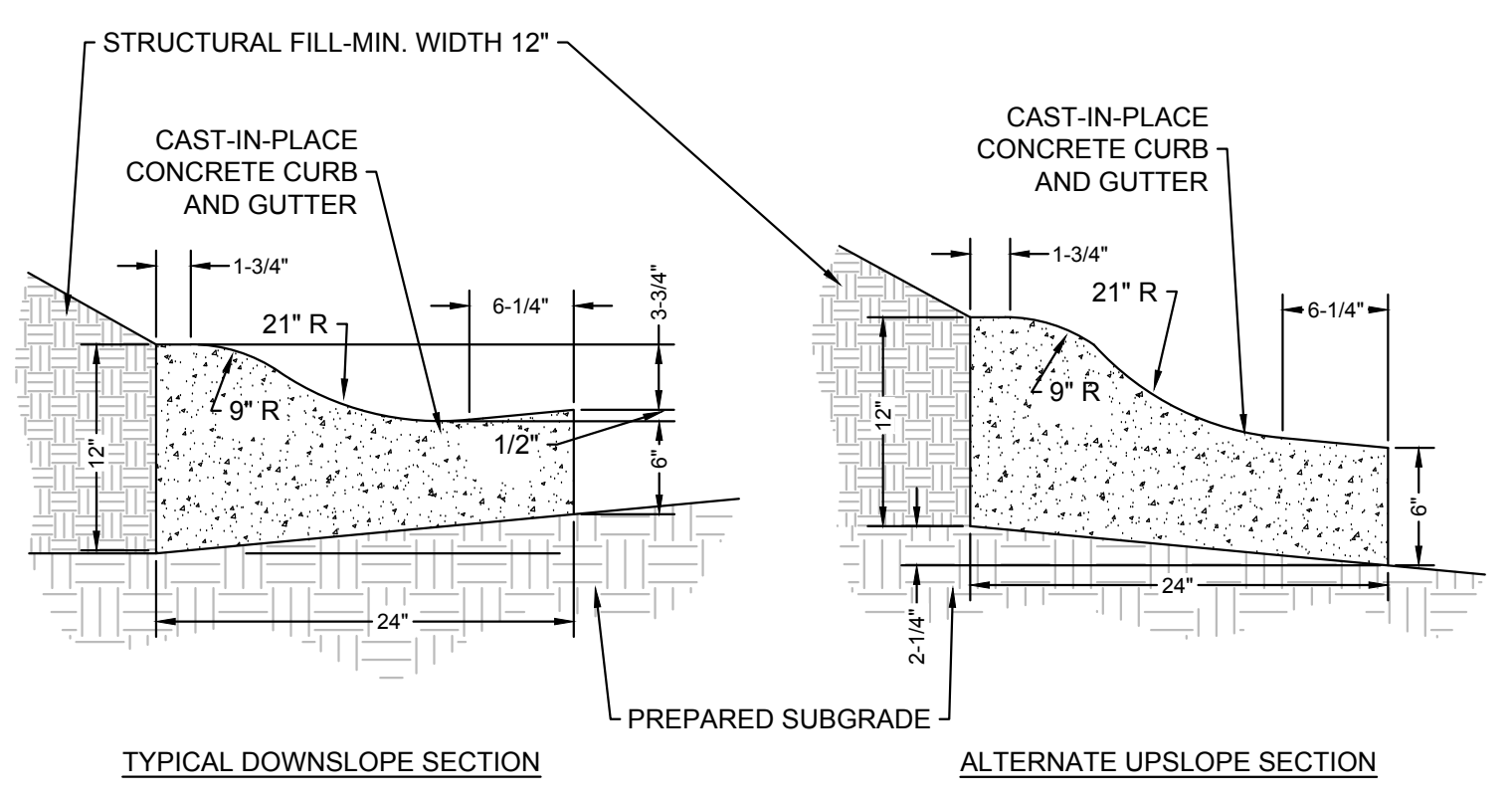
**8 24" STRAIGHT CURB AND GUTTER**  
 SCALE: NOT TO SCALE



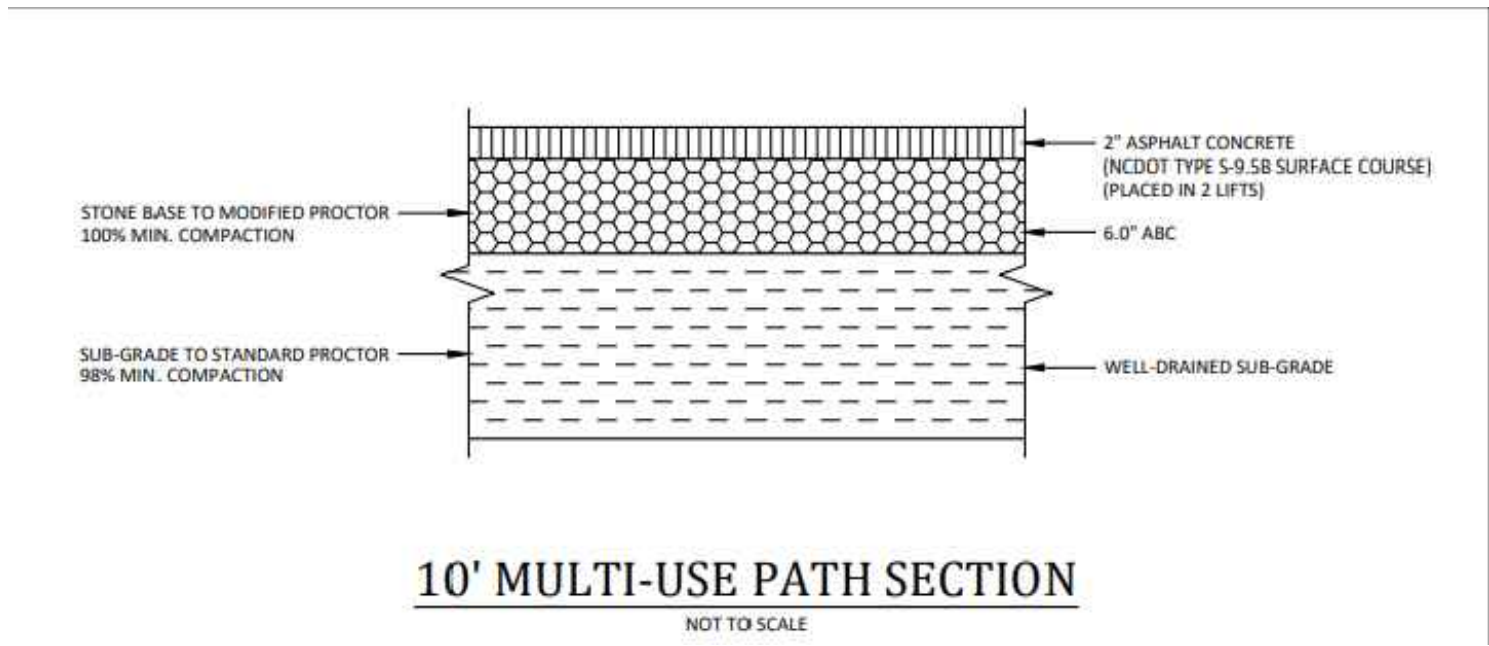
**NOTES:**  
 1. ALL MARKINGS SHALL BE PAINT.  
 2. ALL MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH N.C.D.O.T. STANDARD SPECIFICATIONS AND NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**9 PAVEMENT-MARKING**  
 SCALE: NOT TO SCALE

**NOTES:**  
 1. ALTERNATE SECTION TO BE USED ONLY WHEN DRAINING AWAY FROM CURB.  
 2. UNLESS OTHERWISE SHOWN ON DRAWINGS, LOCATE CONTROL JOINTS AT 10' INTERVALS AND EXPANSION JOINTS AT 50' INTERVALS. WHERE CURB IS ADJACENT TO CONCRETE WALK, JOINTS SHALL COINCIDE. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



**10 24" ROLL CURB AND GUTTER**  
 SCALE: NOT TO SCALE



**11 10' MULTI-USE PATH SECTION**  
 SCALE: NOT TO SCALE

**SW SEAMONWHITESIDE**  
 MOUNT PLEASANT, SC 843.884.1667  
 GREENVILLE, SC 864.298.0534  
 SUMMERVILLE, SC 843.972.0710  
 SPARTANBURG, SC 864.272.1272  
 CHARLOTTE, NC 980.312.5450  
 WWW.SEAMONWHITESIDE.COM



**TIDAL WAVE AUTO SPA**  
 ROLESVILLE, NC

SW+ PROJECT:	10772
DATE:	10/30/23
DRAWN BY:	CPE
CHECKED BY:	DWJ

REVISION HISTORY	

CONSTRUCTION DETAILS

REVISION HISTORY	

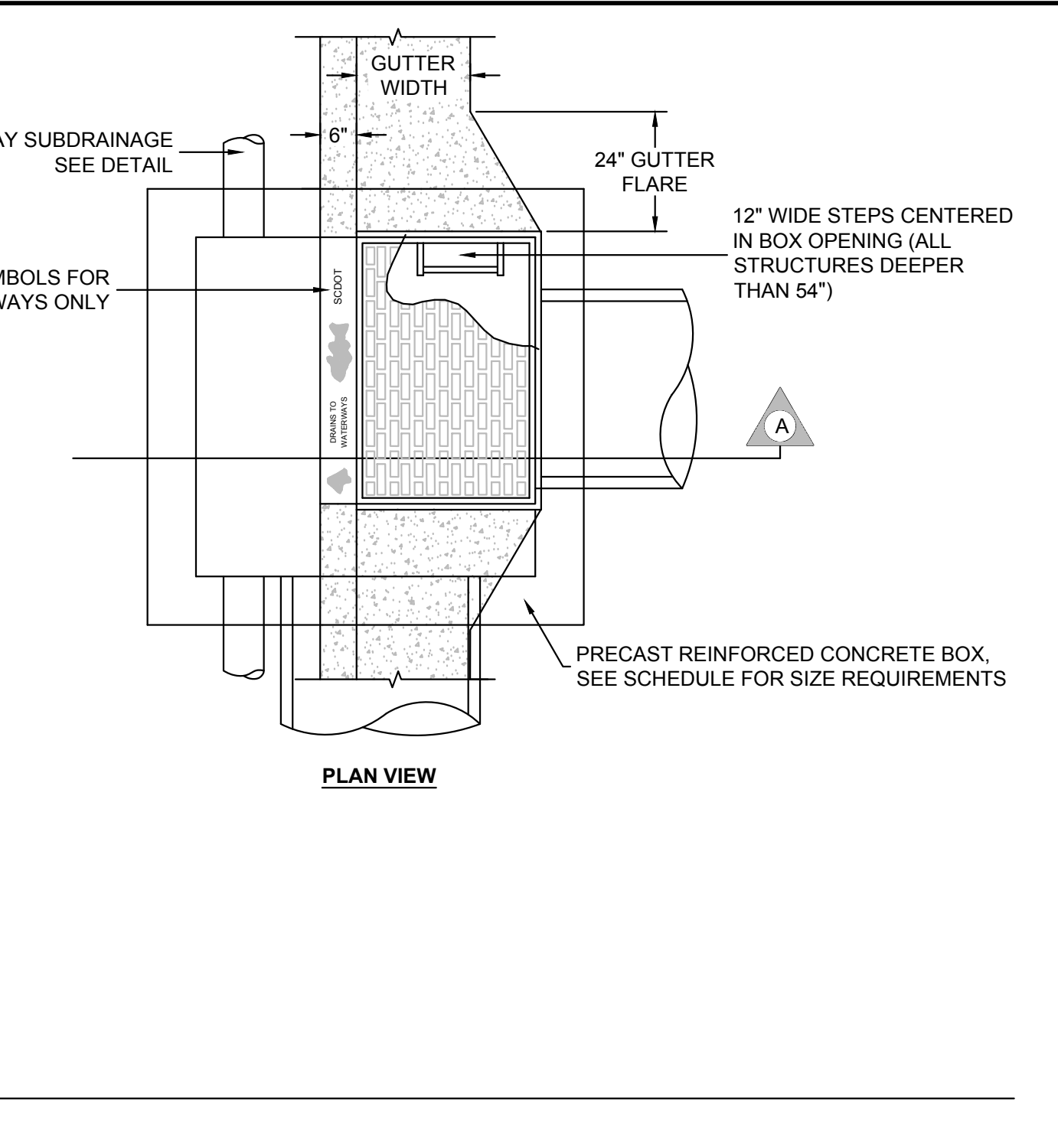
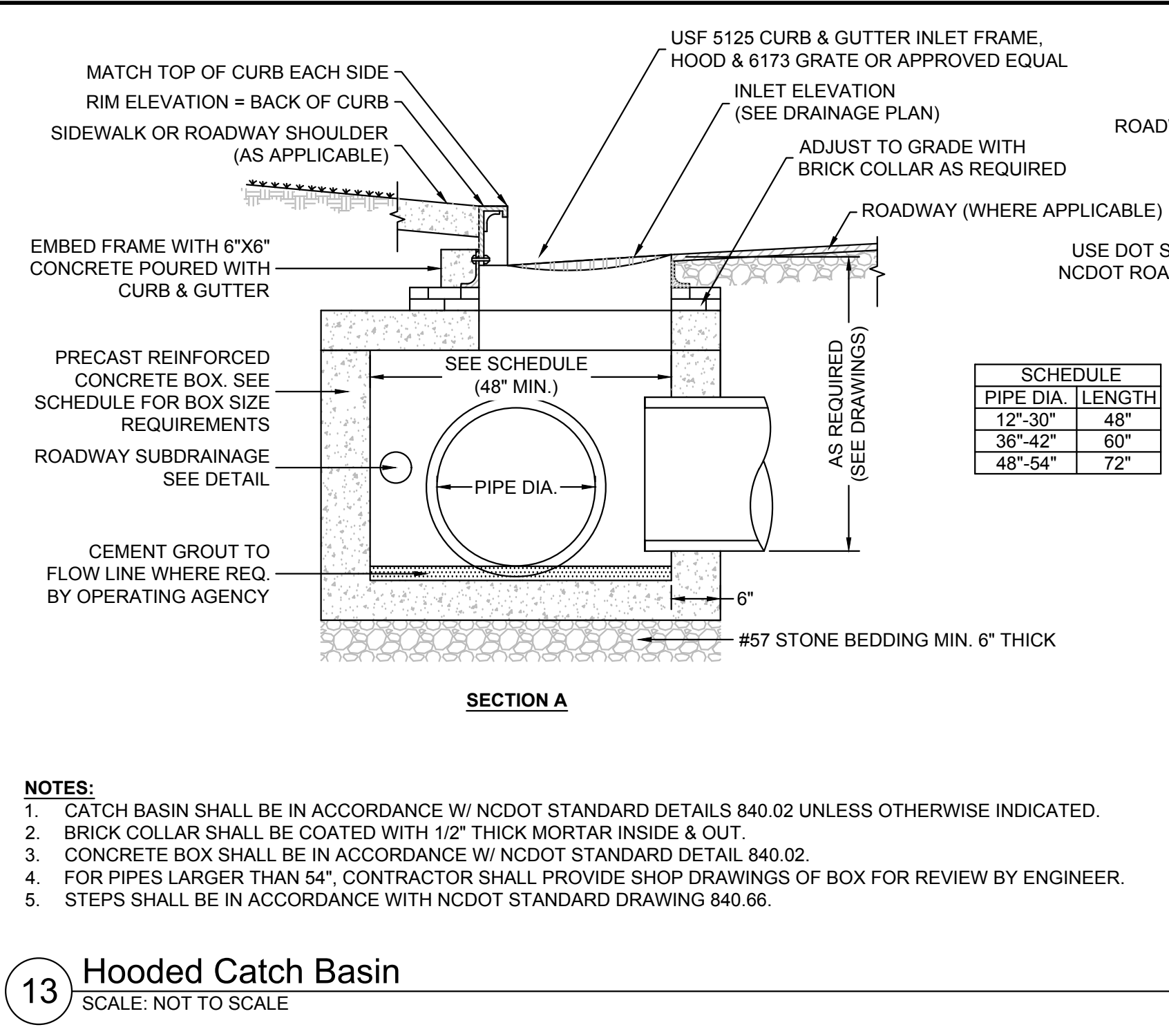
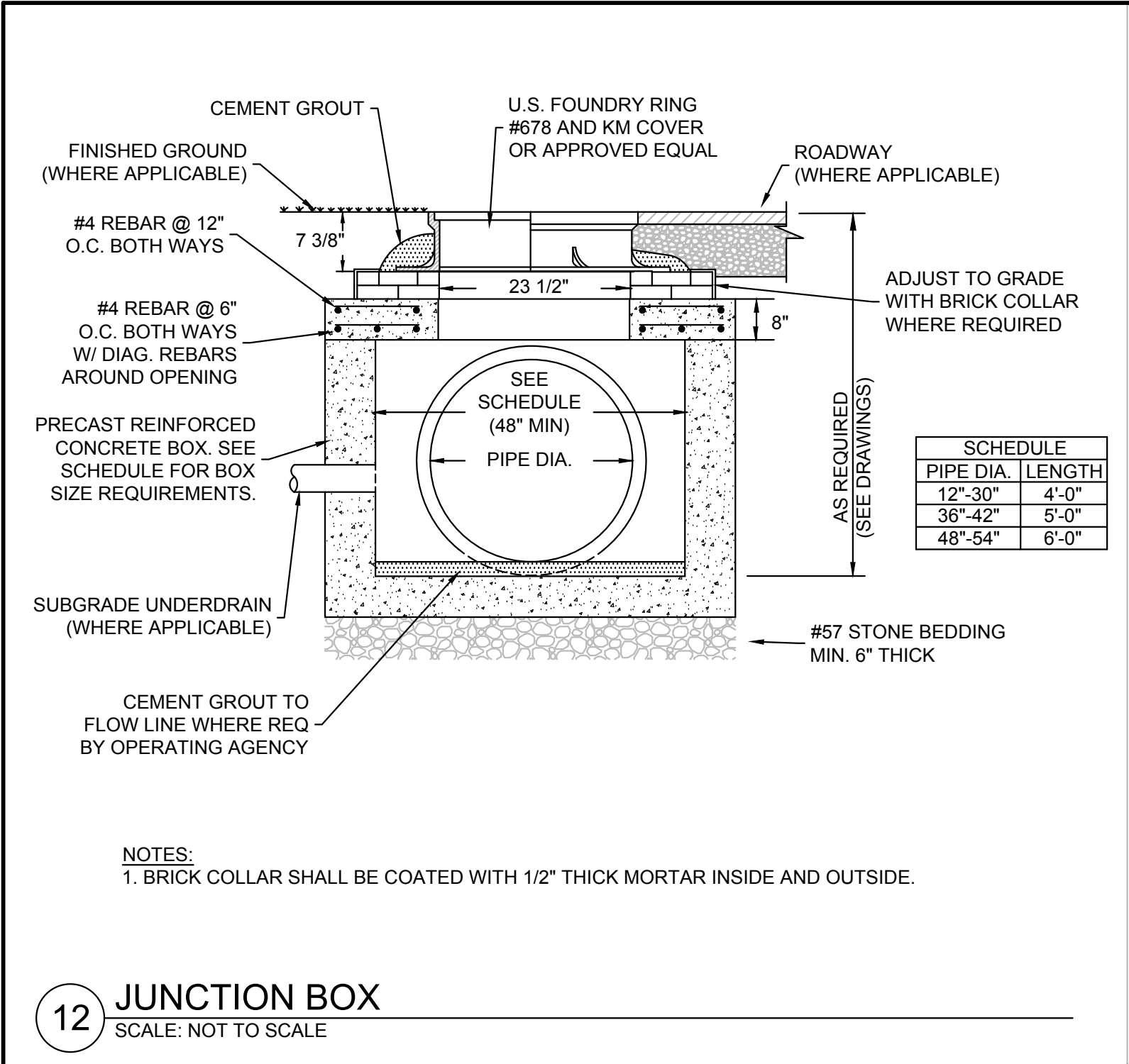
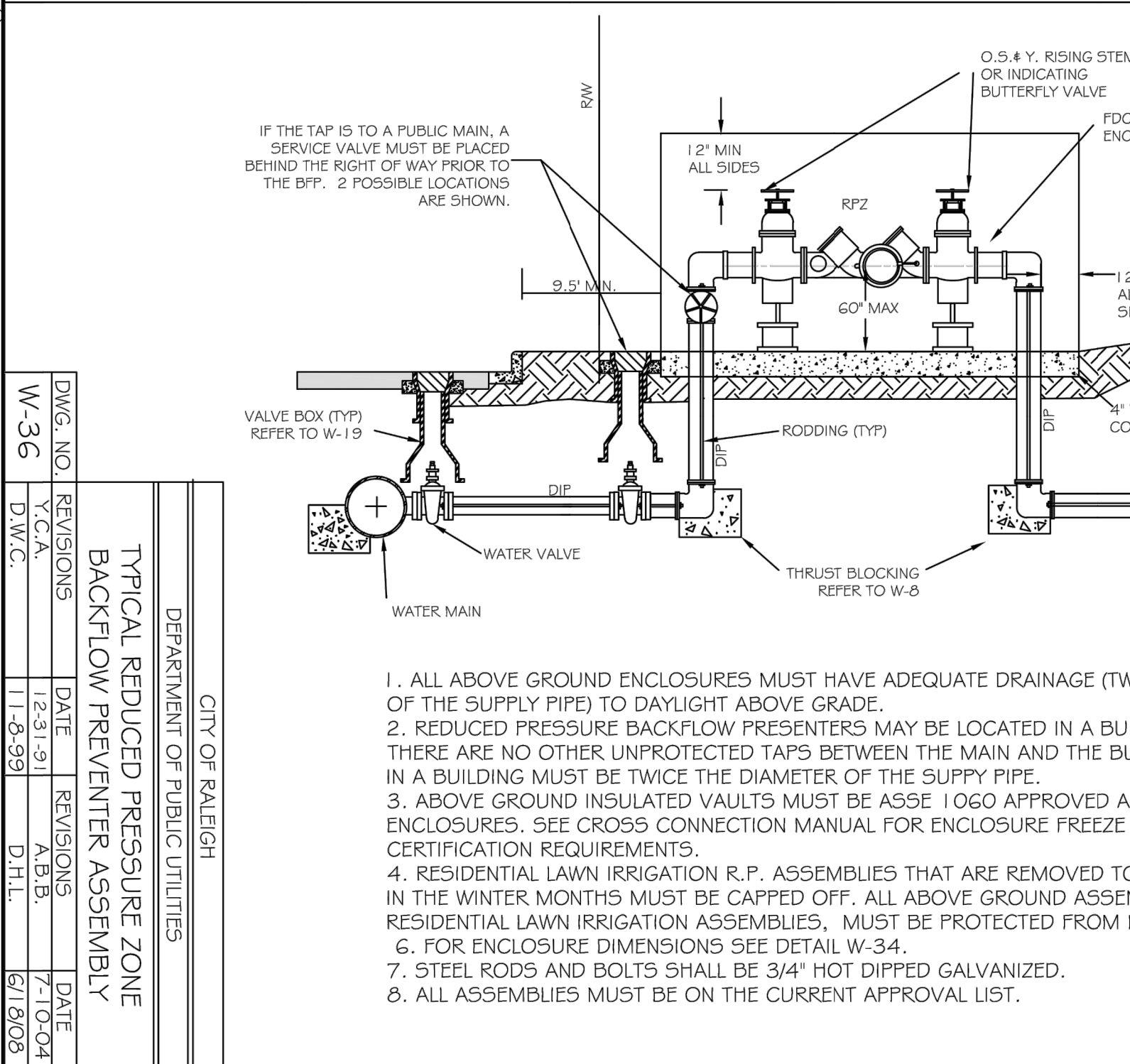
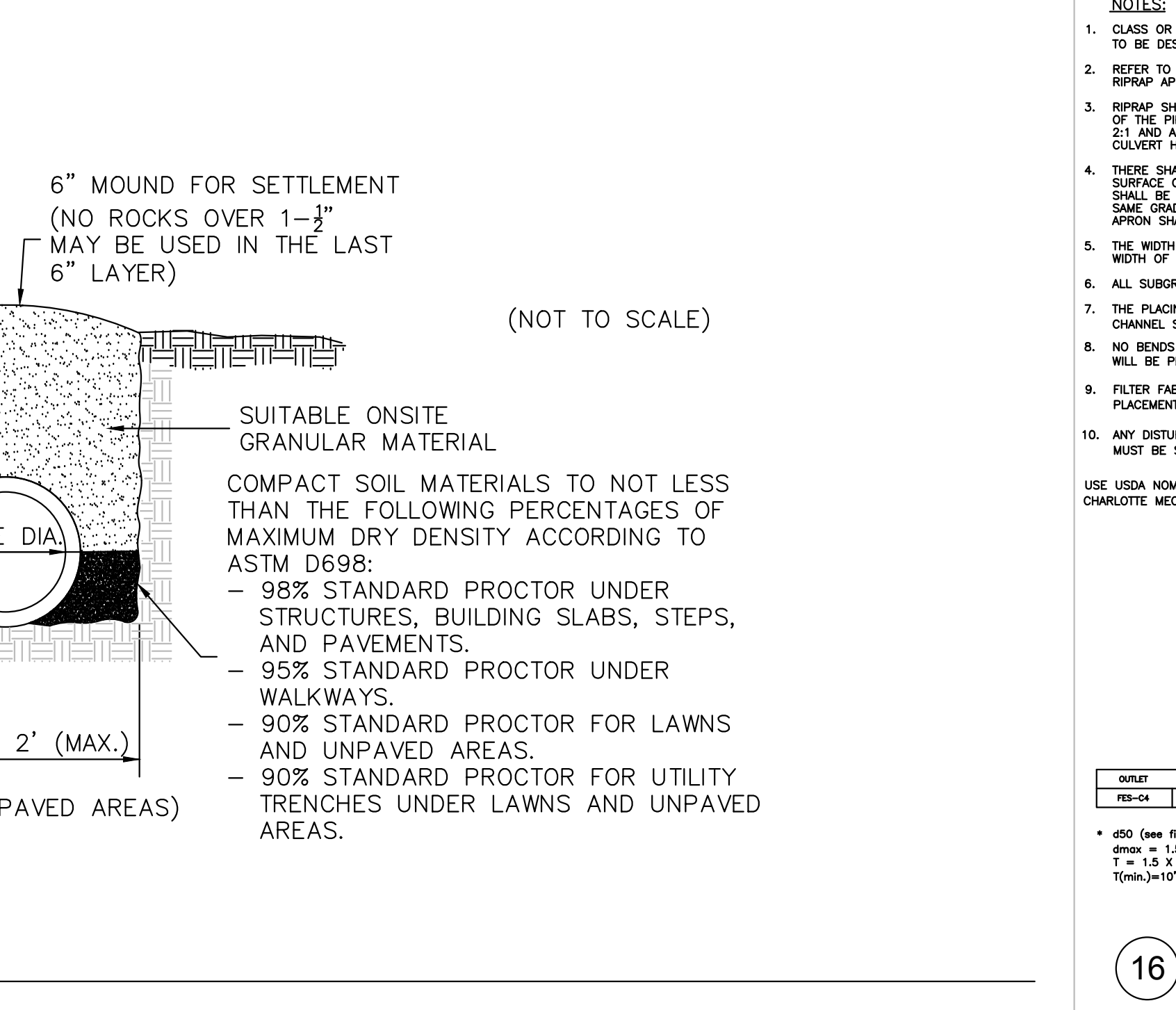
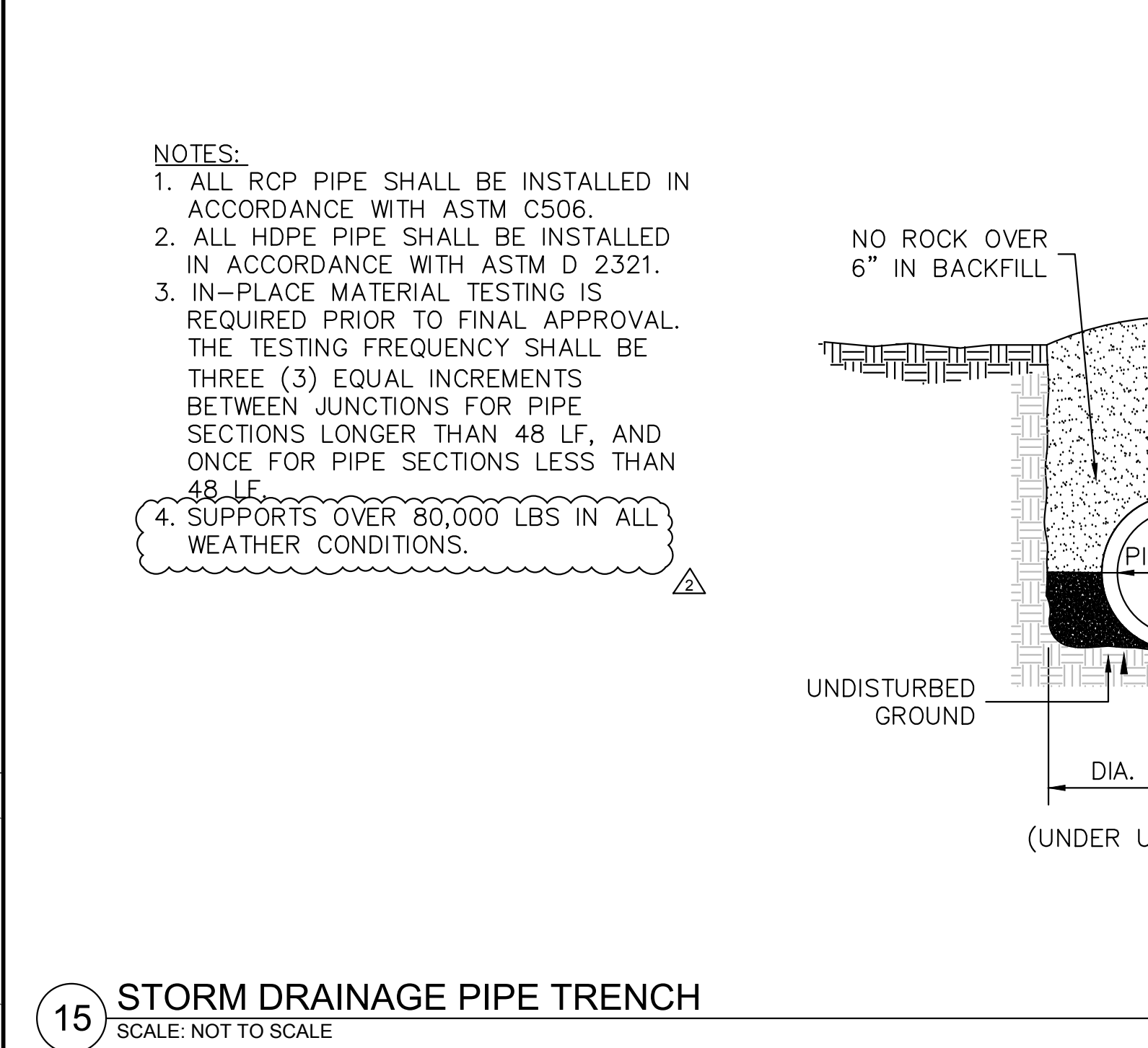


TABLE OF DIMENSIONS

D	T	A	B	C	E	L	WT.
12"	2-1/4"	4"	2'-0"	4'-1"	2'-0"	6'-1"	730
15"	2-1/4"	6"	2'-3"	3'-10"	2'-0"	6'-1"	730
18"	2-1/2"	9"	2'-3"	3'-10"	3'-0"	6'-1"	1160
24"	3"	10"	3'-8"	2'-0"	4'-0"	6'-2"	1770
30"	3-1/2"	1'-0"	4'-6"	1'-8"	5'-0"	6'-2"	2380
36"	4"	1'-3"	5'-3"	2'-11"	6'-0"	6'-2"	5320
42"	4-1/2"	1'-9"	5'-3"	2'-11"	6'-0"	6'-2"	5900
48"	5"	2'-0"	6'-0"	2'-2"	7'-0"	6'-2"	7470
54"	5-1/2"	2'-3"	5'-6"	2'-10"	7'-6"	6'-4"	8810
60"	6"	2'-6"	5'-0"	3'-3"	8'-0"	6'-3"	11180
66"	6-1/2"	3'-0"	6'-0"	2'-3"	8'-6"	6'-3"	12530
72"	7"	3'-0"	6'-6"	1'-8"	9'-0"	6'-3"	13980

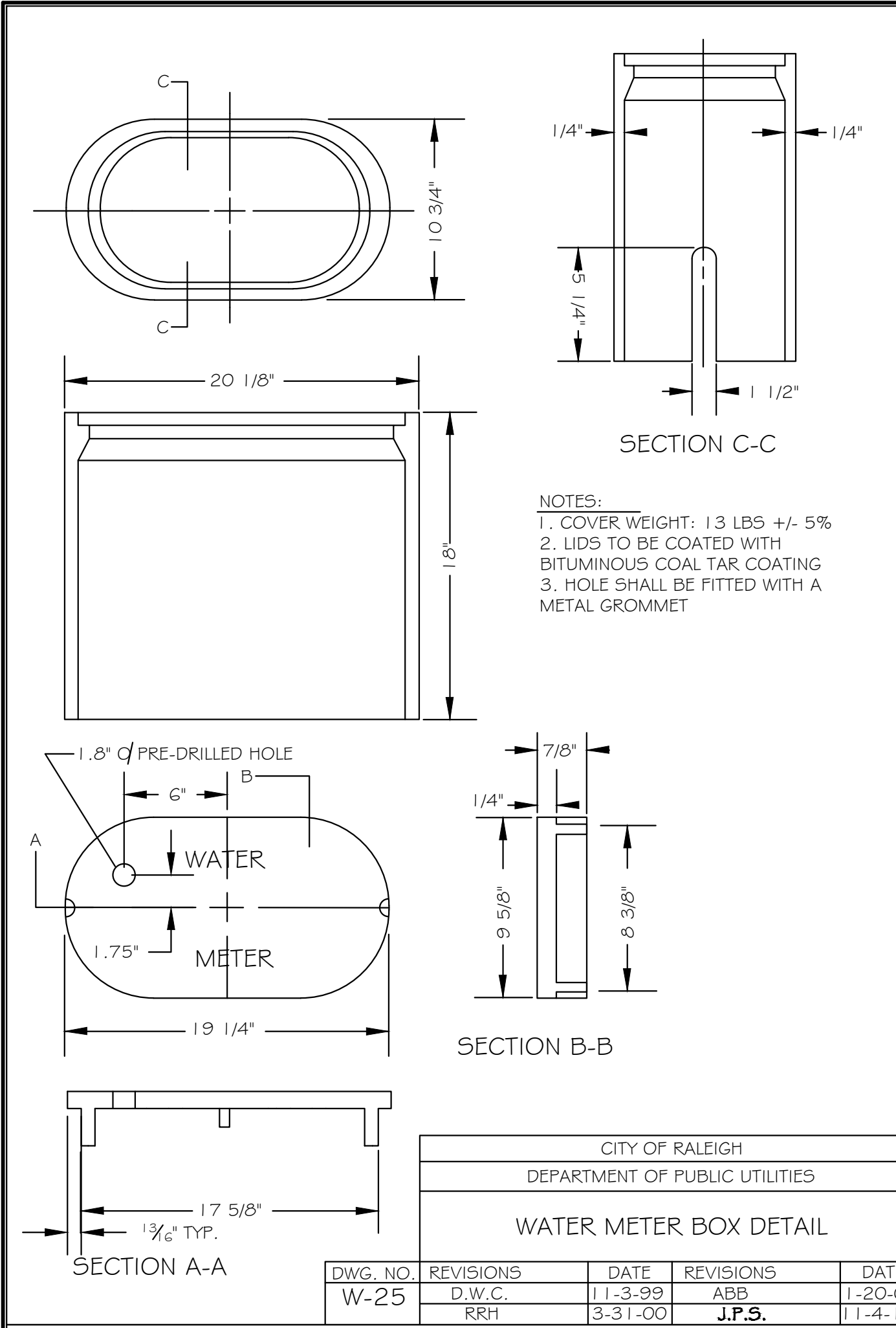
GENERAL NOTES:  
 1. SEE FORMER NCDOT STANDARD 310.01 FOR DETAILS.  
 2. REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF REINFORCED CONCRETE PIPE OF LIKE DIAMETER PER AASHTO M170, TABLE 2, WALL B.  
 3. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.  
 4. PROVIDE TONGUE OR SPIGOT JOINT AT INLET END SECTION.  
 5. PROVIDE GROOVE OR BELL JOINT AT OUTLET END SECTION.  
 6. THE DIMENSIONS FOR END SECTIONS SHALL SUBSTANTIALLY AGREE WITH THE TABLE. MINOR VARIATIONS WILL BE PERMITTED BASED ON THE MANUFACTURER'S STANDARD FORMS AND TEMPLATES.  
 7. NOT TO BE USED IN NCDOT MAINTAINED RIGHT OF WAY.



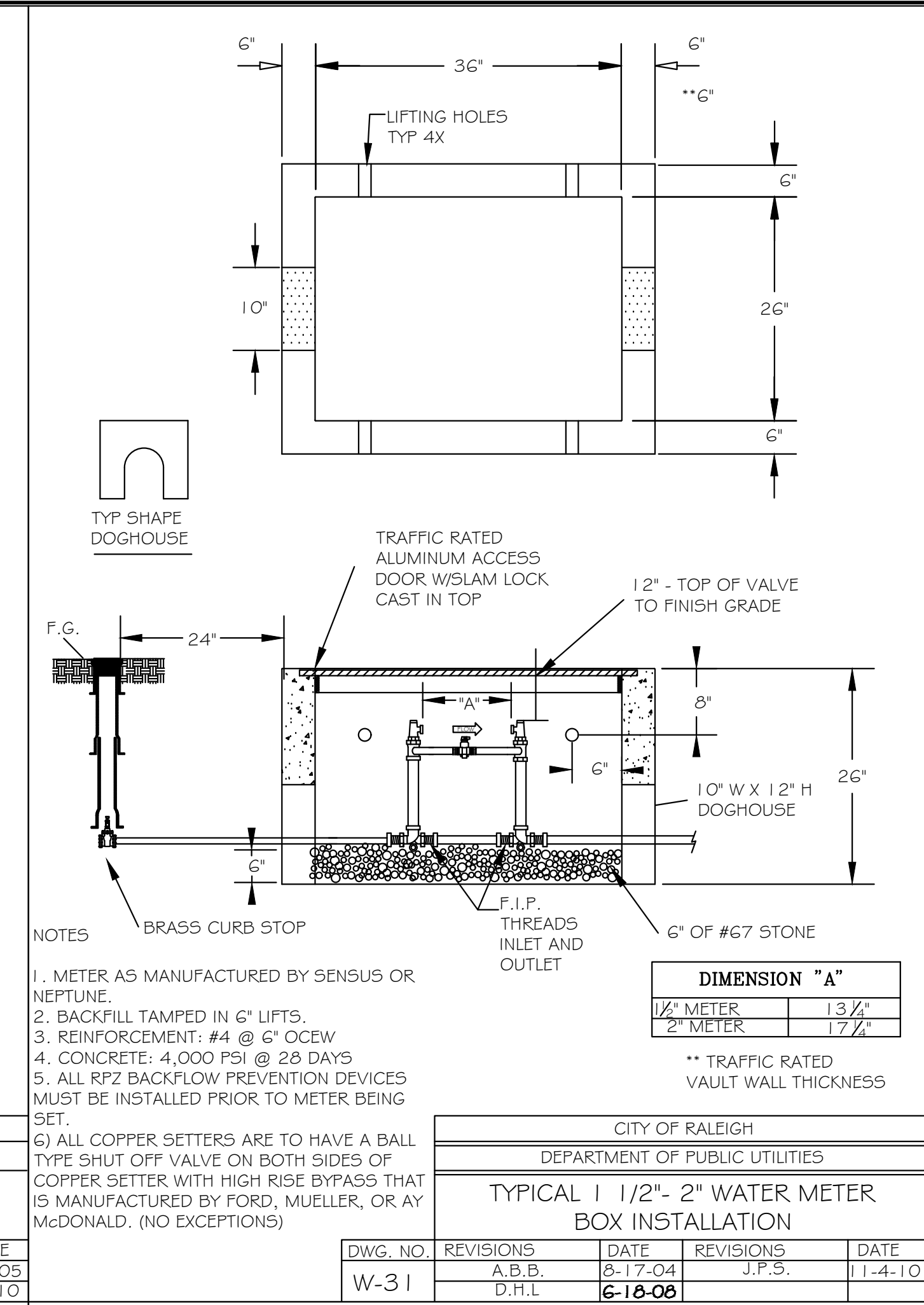
1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DAYLIGHT ABOVE GRADE.  
 2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING. DRAINAGE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.  
 3. ABOVE GROUND INSULATED VAULTS MUST BE ASSIGNED 1060 APPROVED ABOVE GROUND ENCLOSURES. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.  
 4. RESIDENTIAL LAWN IRRIGATION R.P. ASSEMBLIES THAT ARE REMOVED TO PREVENT FREEZING IN THE WINTER MONTHS MUST BE CAPPED OFF. ALL ABOVE GROUND ASSEMBLIES, EXCEPT RESIDENTIAL LAWN IRRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FROST.  
 5. FOR ENCLOSURE DIMENSIONS SEE DETAIL W-34.  
 6. STEEL RODS AND BOLTS SHALL BE 3/4\"/>

NO.	DATE	BY	REVISIONS
1	11-23-21	A.B.B.	REVISED
2	1-6-23	D.H.L.	REVISED

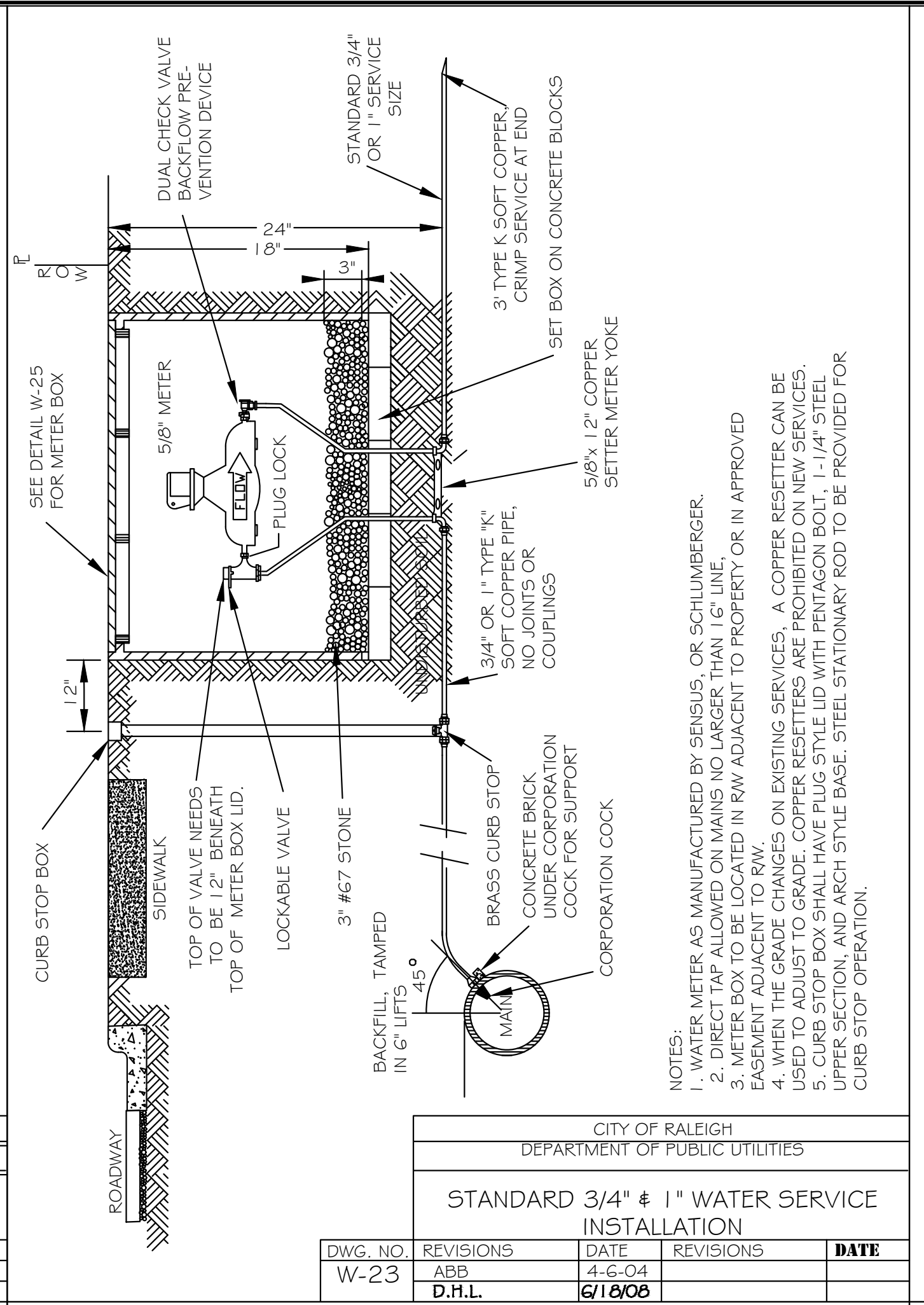
50 WINDY PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29566 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000, GREENVILLE, SC 29611 | 230 PERSONNEL DR. | CHARLOTTE, NC 28217 | 710 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301



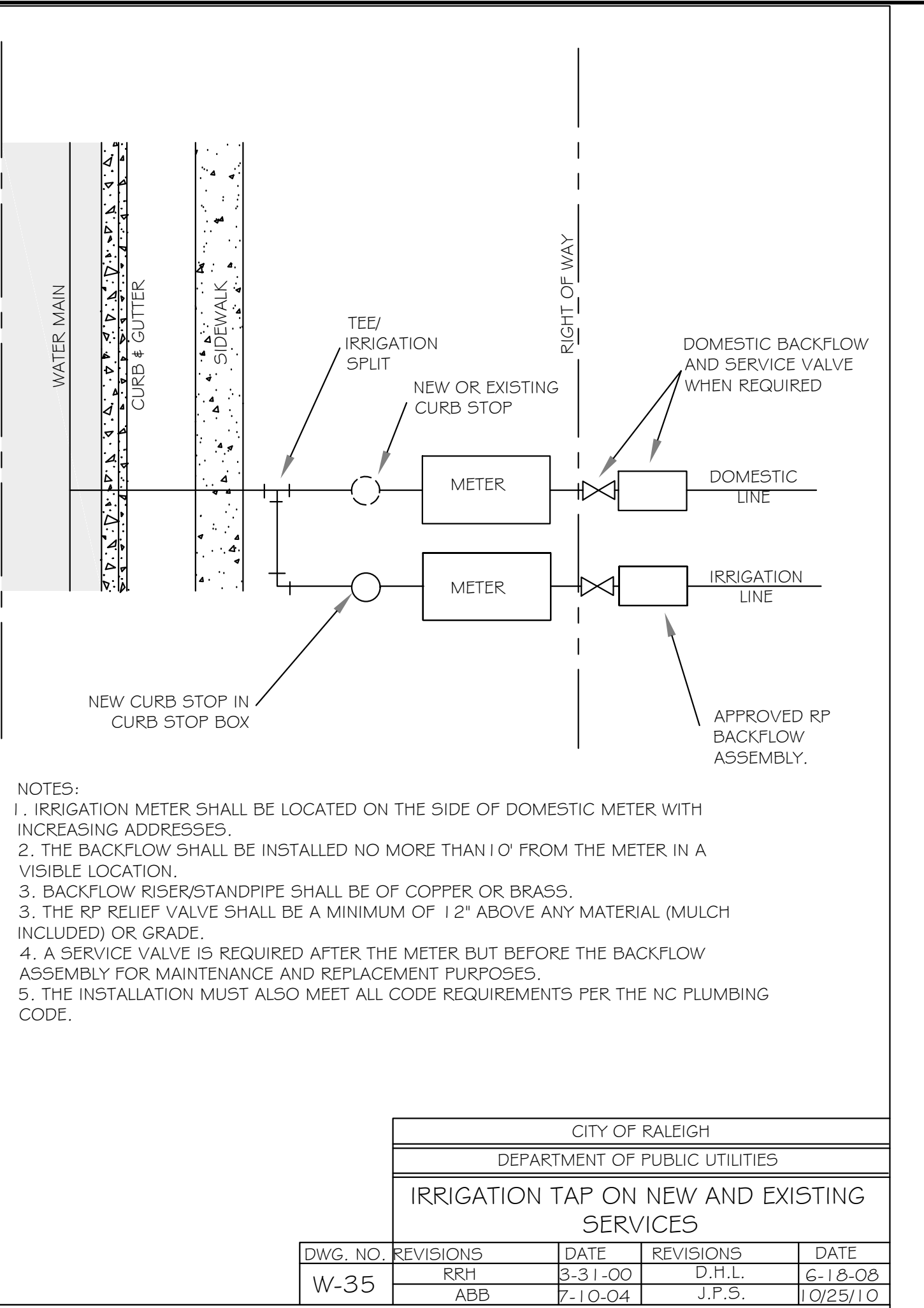
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
WATER METER BOX DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	D.W.C.	1-13-99	ABB	1-20-05
	RRH	3-31-00	J.P.S.	1-1-4-10



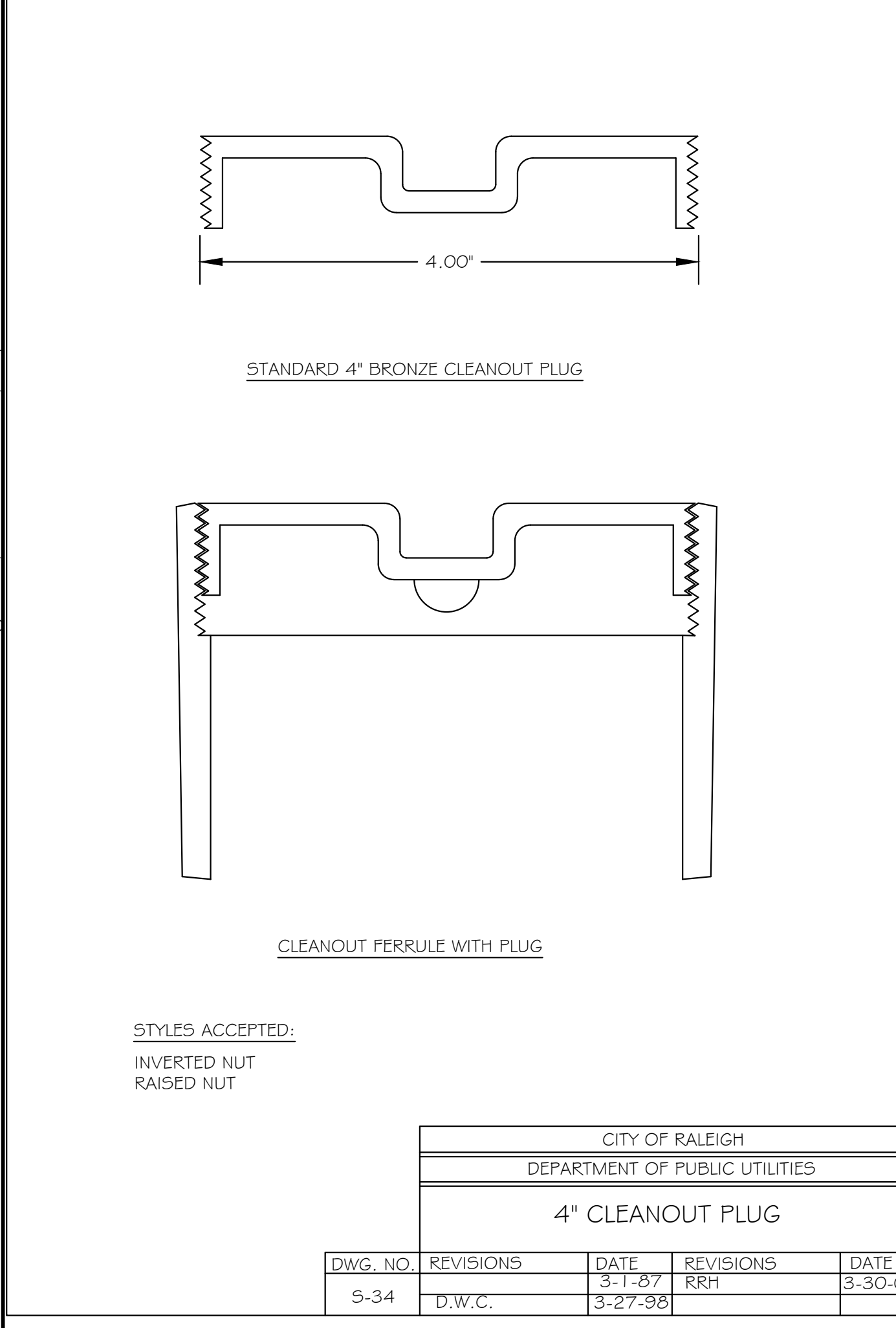
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL 1 1/2" - 2" WATER METER BOX INSTALLATION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-31	A.B.B.	8-17-04	J.P.S.	1-1-4-10
	D.H.L.	6-18-08		



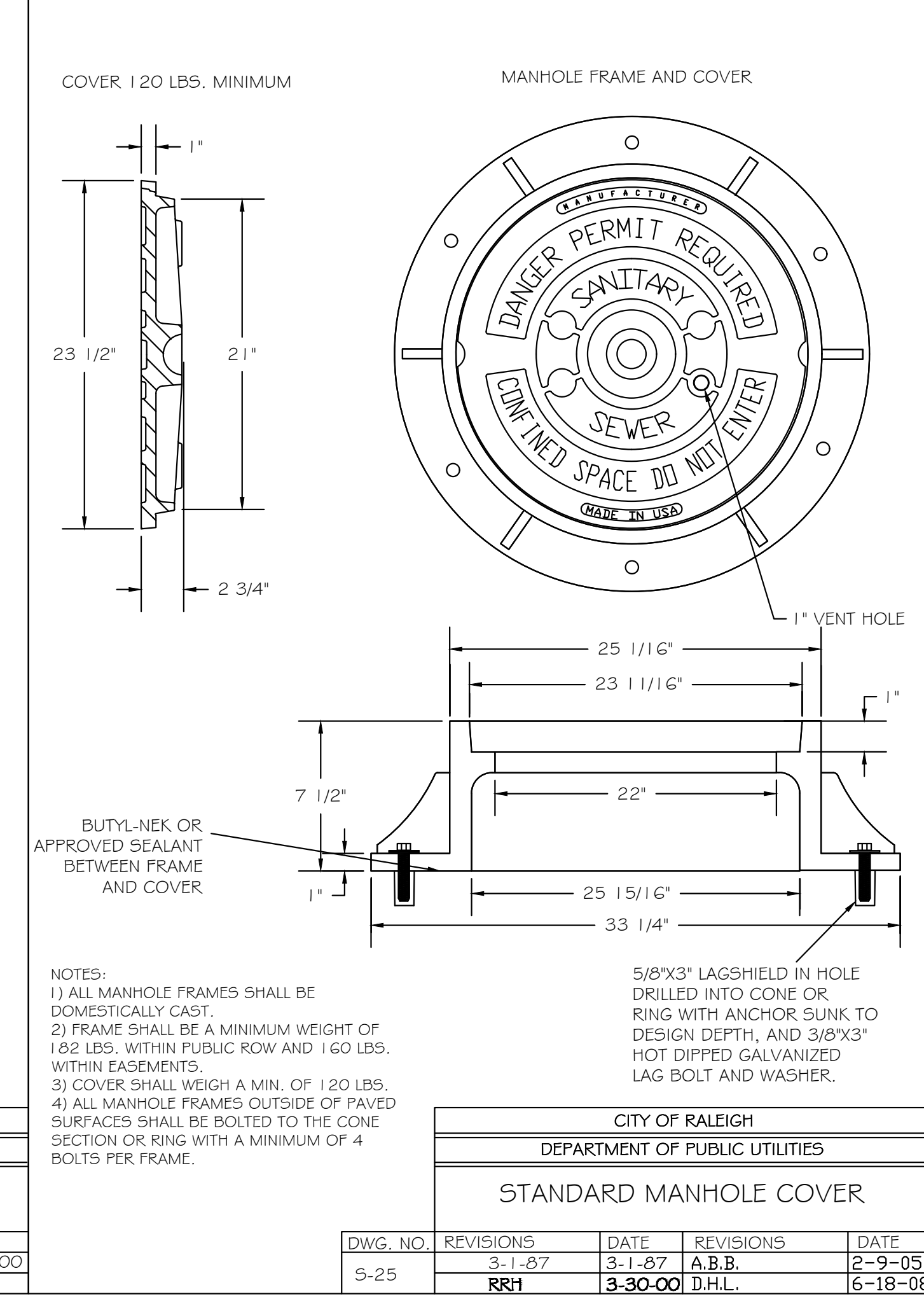
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD 3/4" & 1" WATER SERVICE INSTALLATION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23	ABB	4-6-04		
	D.H.L.	6-18-08		



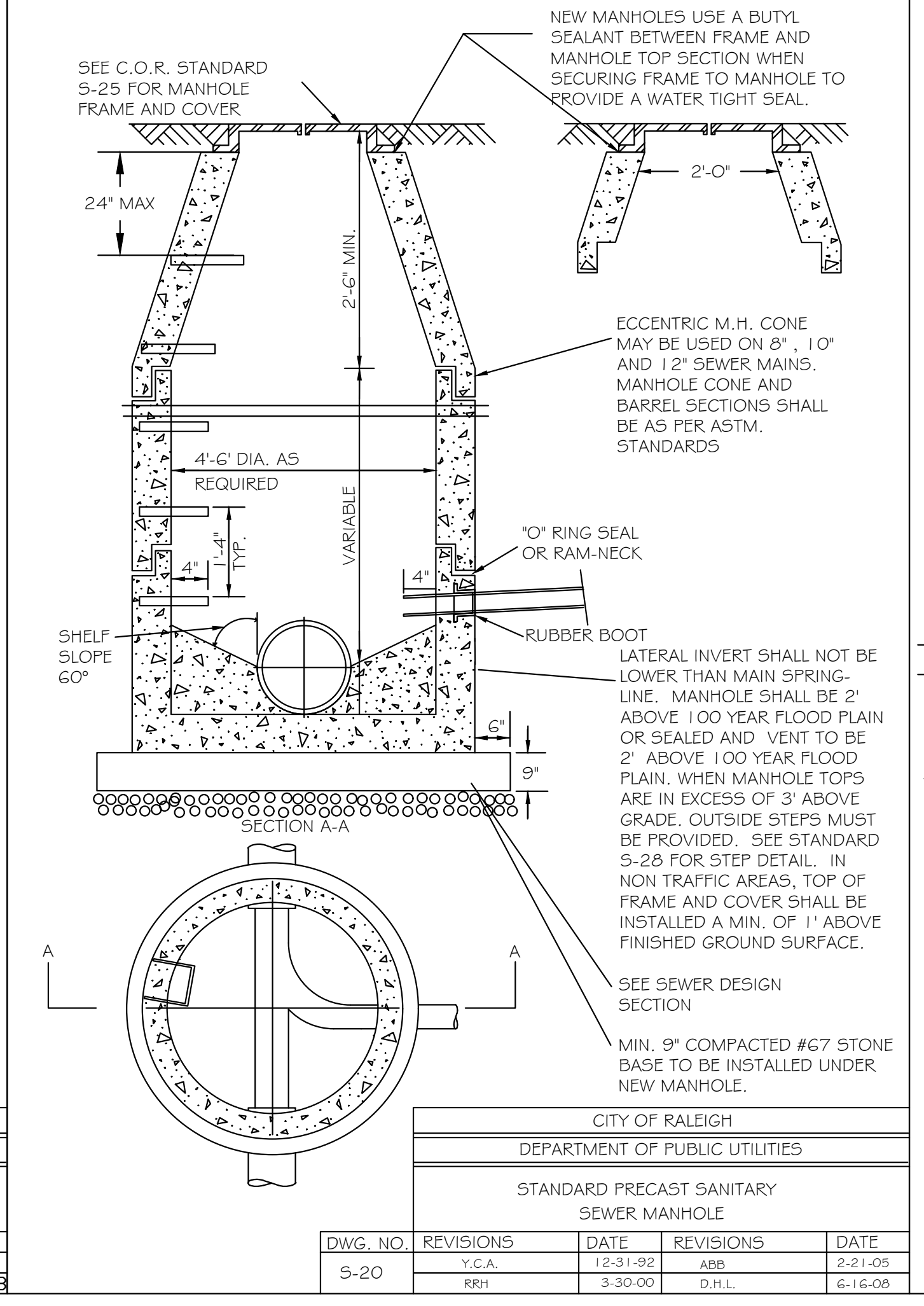
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
IRRIGATION TAP ON NEW AND EXISTING SERVICES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-35	RRH	3-31-00	D.H.L.	6-12-08
	ABB	7-10-04	J.P.S.	1-02/5-10



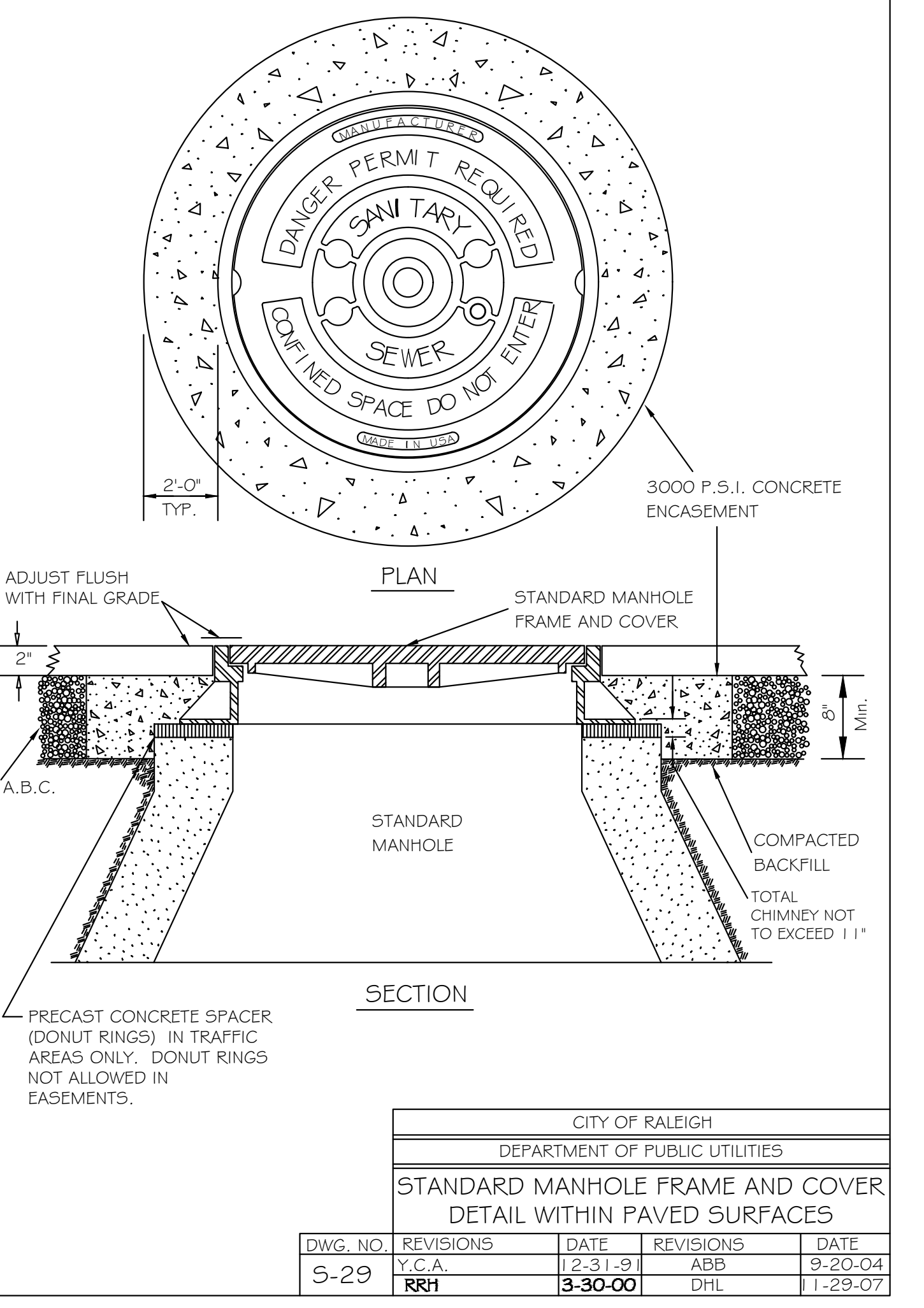
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	3-1-87	RRH	3-30-00
		3-27-98		



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25		3-1-87	A.B.B.	2-9-05
	RRH	3-30-00	D.H.L.	6-18-08



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	Y.C.A.	12-31-92	ABB	2-21-05
	RRH	3-30-00	D.H.L.	6-18-08



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-29	Y.C.A.	12-31-92	ABB	9-20-04
	RRH	3-30-00	DHL	1-29-07

**SW SEAMONWHITESIDE**

MOUNT PLEASANT, SC 843.884.1667  
 GREENVILLE, SC 864.298.0534  
 SUMMERVILLE, SC 843.972.0710  
 SPARTANBURG, SC 864.272.1272  
 CHARLOTTE, NC 980.312.5450  
 WWW.SEAMONWHITESIDE.COM

**SEAMON WHITESIDE & ASSOCIATES, INC.**  
 NO. C-2466  
 CERTIFICATE OF AUTHORITY

**PROFESSIONAL SEAL**  
 048282  
 10/30/23  
 ENGINEER  
 JOYMMIE L. LITTLE

**TIDAL WAVE AUTO SPA**  
 ROLESVILLE, NC

SW+ PROJECT: 10772  
 DATE: 10/30/23  
 DRAWN BY: CPE  
 CHECKED BY: DWJ

REVISION HISTORY				
NO.	DATE	BY	DESCRIPTION	APPROVED

CONSTRUCTION DETAILS



**TIDAL WAVE AUTO SPA**  
 ROLESVILLE, NC

SW+ PROJECT: 10772  
 DATE: 10/30/23  
 DRAWN BY: CPE  
 CHECKED BY: DWJ

**REVISION HISTORY**

NO.	DESCRIPTION

**LANDSCAPE PLAN**

**GENERAL NOTES:**

- SEE EROSION CONTROL PLANS (SHEETS C4.1 - C4.3) FOR SILT FENCE LOCATIONS, TREE PROTECTION ZONES AND BARRICADES, AND ADDITIONAL NOTES AND DETAILS.
- FOR TREE REMOVALS, PLEASE REFER TO SHEETS C3.1.
- FOR REQUIRED TREE MITIGATION AND DEVELOPMENT INCHES PER THE TOWN OF ROLESVILLE ZONING ORDINANCE, PLEASE REFER TO SHEET L1.1 FOR PLANT SCHEDULE QUANTITY AND SIZES. THE OVERALL PLANT QUANTITY FOR THE ENTIRE SITE CAN BE FOUND ON THE MASTER PLAN SCHEDULE, SHEET L1.1.
- SEE SITE PLAN [C5.1] FOR SITE LABELS, INFORMATION AND DETAILS.
- CONTRACTOR TO CONTACT CIVIL ENGINEER OR LANDSCAPE ARCHITECT REGARDING ANY SITE WORK MODIFICATIONS FROM THESE PLANS PRIOR TO CHANGES IN THE FIELD.  
**CONTACT: 980-312-5450**

US HWY 401 / LOUISBURG ROAD (317 LF)			
	STREET BUFFER	PLANTINGS REQUIRED	PLANTINGS PROVIDED
MINIMUM BUFFER WIDTH	30' MIN.		
CANOPY TREE	1"	1	1
UNDERSTORY TREE	2"	14	14

\*ALL PLANT COUNTS ARE FOR 40' SECTION.

GRAND PARK DRIVE (275 LF)			
	STREET BUFFER	PLANTINGS REQUIRED	PLANTINGS PROVIDED
MINIMUM BUFFER WIDTH	10' MIN.		
CANOPY TREE	1"	5	5**

\*ALL PLANT COUNTS ARE FOR 60' SECTION.  
 \*\*SOME EXISTING TREES USED TO MEET REQUIREMENTS.

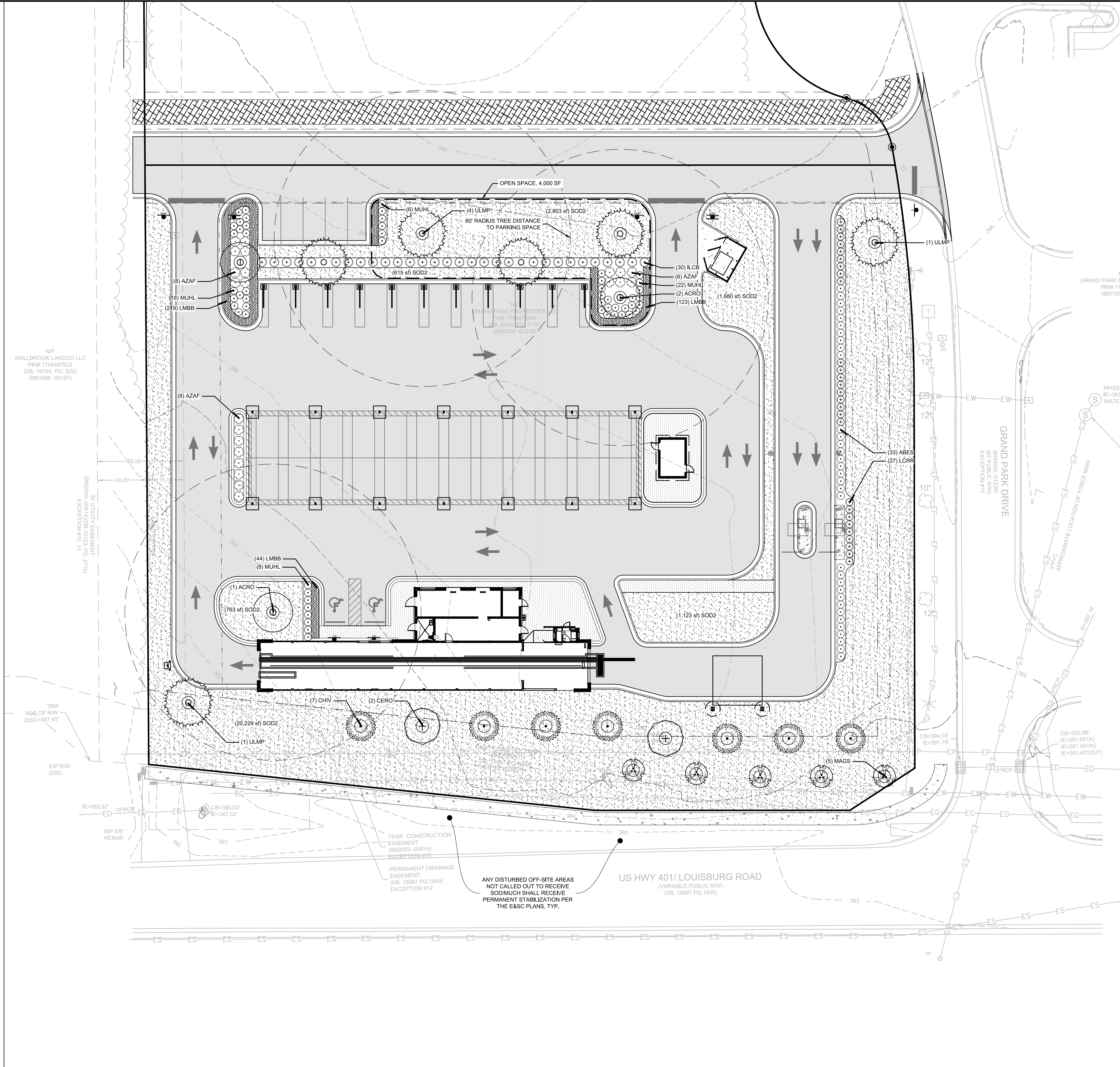
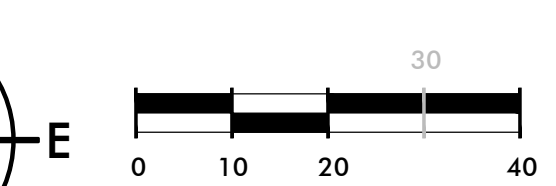
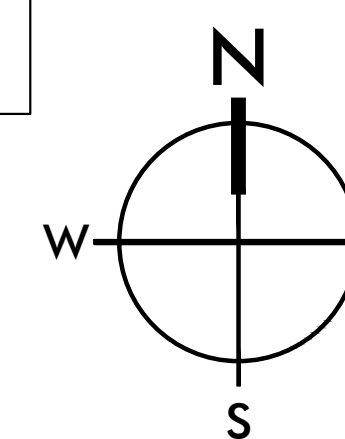
**OPEN SPACE**

SITE AREA = 79,279.2 SF  
 OPEN SPACE REQUIREMENTS = 5% OF TOTAL SITE AREA  
 OPEN SPACE REQUIRED = 3,964 SF  
 OPEN SPACE PROVIDED = 4,000 SF

PLANT SCHEDULE			
TREES	CODE	QTY	BOTANICAL / COMMON NAME
	ACRO	3	ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE
	ULMP	6	ULMUS PARVIFOLIA / CHINESE ELM
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CERO	2	CERCIS CANADENSIS 'OKLAHOMA' / OKLAHOMA REDBUD
	CHIV	7	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE
	MAGS	5	MAGNOLIA X SOULANGIANA / SAUCER MAGNOLIA
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	ABES	33	ABELIA X GRANDIFLORA 'SHERWOODII' / DWARF ABELIA
	AZAF	22	AZALEA INDICA 'FORMOSA' / FORMOSA AZALEA
	ILCB	30	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY
	LCRR	27	LOROPETALUM CHINENSE RUBRUM 'RUBY' / DWARF RUBY FRINGE FLOWER
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	MUHL	54	MUHLENBERGIA FILIPES / SWEETGRASS
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	LMBB	422	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME
	SOD2	27,213 SF	CYNODON DACTYLON 'TIFTUF' / TIFTUF BERMUDA GRASS

**TIDAL WAVE LANDSCAPE NOTES**

- ALL DISTURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR LANDSCAPING SHALL BE SODDED. NO SEEDING SHALL BE USED.
- ALL PLANT BEDS SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC AND HAVE 3" OF DYED BROWN OR BLACK WOOD MULCH WITH EDGING AS REQUIRED. NO PINE STRAW MULCH WILL BE ALLOWED.
- ALL RIVER ROCK SHALL BE 4"-6" MINIMUM IN DIAMETER AND SHALL BE UNDERLAIN WITH LANDSCAPING FABRIC.
- AN UNDERGROUND IRRIGATION SYSTEM, SHALL BE INSTALLED AND SHALL COMPLY WITH ALL LOCAL MUNICIPAL CODES AND REGULATIONS AND ALSO COMPLY WITH THE LATEST NATIONAL ELECTRIC CODE RULES FOR ALL ELECTRIC WORKS AND MATERIALS.
- IF THERE IS NO PLANT BED AGAINST THE CAR WASH TUNNEL, VAC HOUSE(S), OR DUMPSTER ENCLOSURE, THEN THERE SHALL BE A 18 INCH MINIMUM STRIP OF RIVER ROCK INSTALLED.



501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29546 | JUDSON MILLS BUILDING 6000, 701 EASLEY BROOK RD, SUITE 6000, GREENVILLE, SC 29611 | 230 PETERSON DR., CHARLOTTE, NC 28217 | 710 N. CEDAR STREET | SUMMERVILLE, SC 29586 | 104 N. DANIEL MORGAN AVENUE, SUITE 300 | SPARTANBURG, SC 29301  
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