

SITE DEVELOPMENT PLAN FOR PUBLIX AT WALLBROOK

Town of Rolesville Project Number: **SP 22-03 REVISED** A

Main St / US 401 Business - Rolesville - Wake County - North Carolina

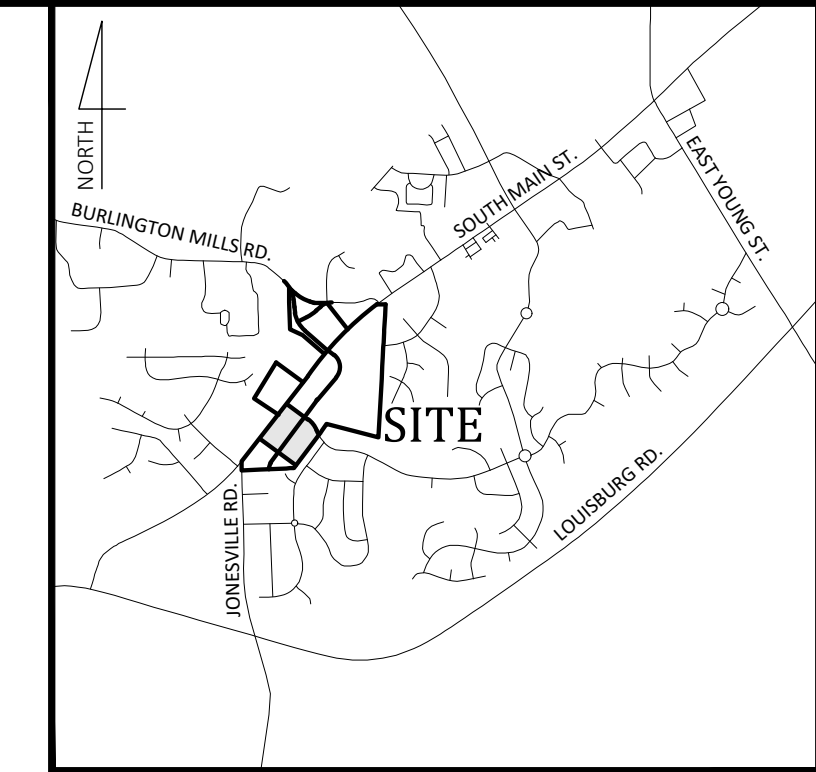
References:
 TAX PARCEL NUMBERS: 1758-56-8976
 1758-45-8905

DEED REFERENCES: D.B. 16981, PG. 670

Owner
 Wallbrook Landco, LLC
 3 Keel St, Ste 2
 Wrightsville Beach, NC 28480

Developer
 Wallbrook PLX, LLC
 121 W Trade St
 Charlotte, NC 28202
 (919) 610-7875

Contact: Michael Isaac
 misaac@csere.com



- Final Drawing -
Issued for Permit
Review Purposes Only

#	DATE	REVISIONS:	DESCRIPTION
1	10-FEB-23		REVISION TO APPROVED SP22-03 PER OWNER REQUEST BUILDING FOOTPRINT

General Notes:

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) 3720175800J, EFFECTIVE DATE: 05/02/2006.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES.
- THIS PROJECT DISTURBS MORE THAN 1/2 ACRE FOR PURPOSES OF A COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE. EROSION & SEDIMENTATION CONTROL PLAN APPROVAL IS REQUIRED.
- NCDOT DRIVEWAY PERMIT APPROVAL IS REQUIRED FOR THIS PROJECT.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE FOR COMMERCIAL DEVELOPMENT.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- SITE SHALL MEET ALL RELATED STATE AND TOWN ACCESSIBILITY CODE REQUIREMENTS.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRIMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED ALTA/NSPS LAND TITLE SURVEY PREPARED FOR C4 INVESTMENTS, LLC DATED 3/10/2020.
- UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM MAPS ON RECORD. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.
- RIPARIAN BUFFERS SHOWN ARE PER PRELIMINARY JURISDICTIONAL DETERMINATION NBRO #17-432. DATED DECEMBER 19, 2017.

Legend

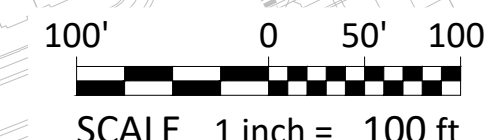
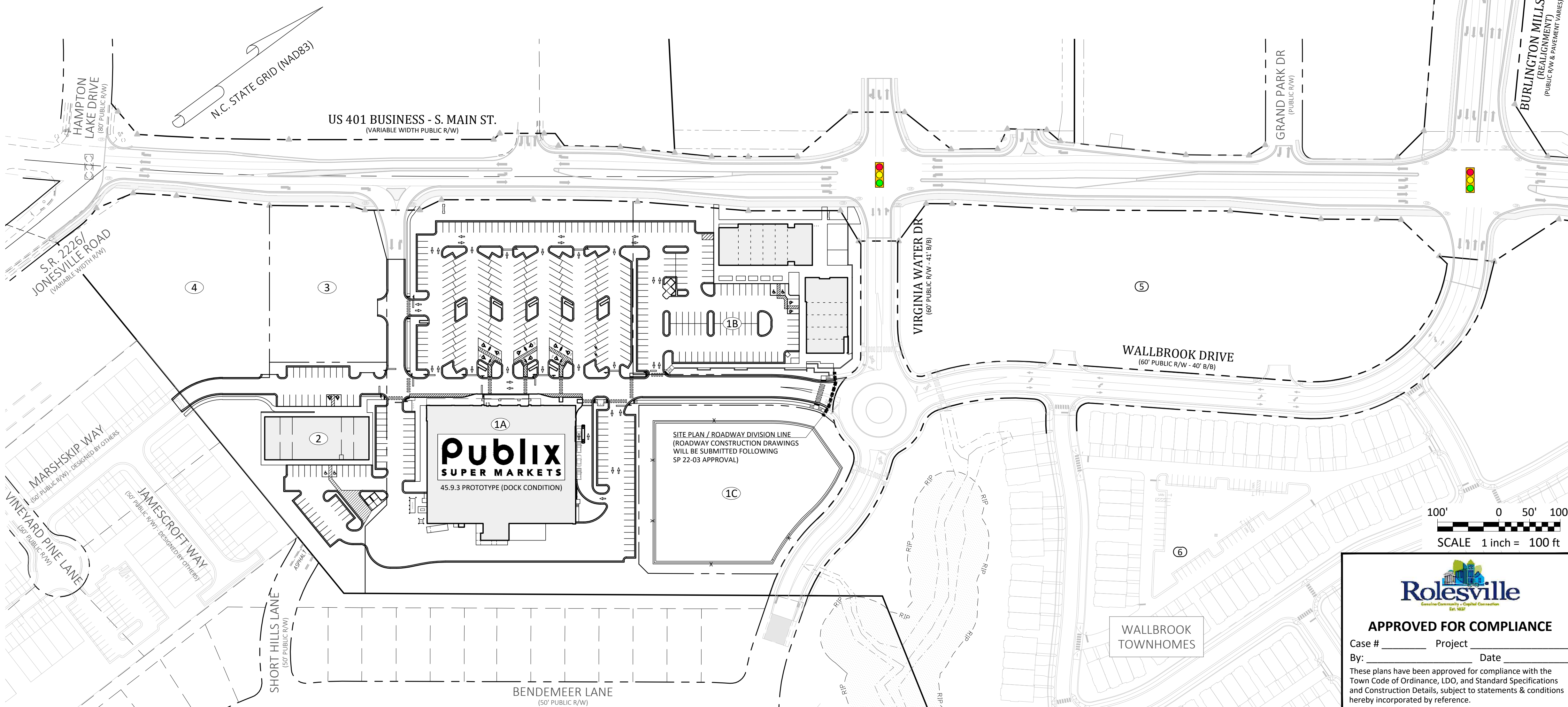
EXISTING	PROPOSED	EXISTING	PROPOSED
○ = FOUND MONUMENT AS NOTED	— W = WATER LINE	— F = FIRE LINE	— W = WATER LINE
△ = SET IRON PIN	— 8" W = 8" WATER LINE	— 12" W = 12" WATER LINE	— 12" W = 12" WATER LINE
△ = NCOS MONUMENT	— S = SPILL CURB	— R = RIPARIAN BUFFER	— R = RIPARIAN BUFFER
△ = DIMENSION POINT (NOTHING SET)	— P = PROPERTY LINE	— T = TREE LINE	— T = TREE LINE
— = RIGHT OF WAY	— C&G = CURB AND GUTTER	— M = MAJOR CONTOUR (5')	— M = MAJOR CONTOUR (5')
— = CABLE TV PEDESTAL	— DI = DROP INLET	— M = MINOR CONTOUR (1')	— M = MINOR CONTOUR (1')
— = ELECTRIC BOX	— EM = ELECTRIC METER	— T = TREE PROTECTION FENCE	— T = TREE PROTECTION FENCE
— = FIBER OPTIC	— F/O = FIBER OPTIC	— S = SILT FENCE	— S = SILT FENCE
— = FIRE HYDRANT	— FH = FIRE HYDRANT	— C = CONCRETE SIDEWALK	— C = CONCRETE SIDEWALK
— = GAS VALVE	— GV = GAS VALVE	— RIP = RIPARIAN BUFFER	— RIP = RIPARIAN BUFFER
— = HAND BOX	— HB = HAND BOX	— A = ACCESS AND UTILITY EASEMENT	— A = ACCESS AND UTILITY EASEMENT
— = LIGHT POLE	— LP = LIGHT POLE	— S = STORMWATER MAINT. EASEMENT	— S = STORMWATER MAINT. EASEMENT
— = POWER POLE	— PP = POWER POLE	— T = TREE PRESERVATION AREA	— T = TREE PRESERVATION AREA
— = GUY WIRE	— RW = RIPARIAN BUFFER	— O = OPEN SPACE AREA	— O = OPEN SPACE AREA
— = REINFORCED CONCRETE PIPE	— RCP = REINFORCED CONCRETE PIPE		
— = SQUARE FEET (AREA)	— S.F. = SQUARE FEET (AREA)		
— = SIGN	— S = SIGN		
— = TRAFFIC SIGNAL POLE	— TSP = TRAFFIC SIGNAL POLE		
— = SANITARY SEWER MANHOLE	— SSM = SANITARY SEWER MANHOLE		
— = SANITARY SEWER FORCE MAIN VALVE	— SSMV = SANITARY SEWER FORCE MAIN VALVE		
— = STORM DRAIN MANHOLE	— SMDM = STORM DRAIN MANHOLE		
— = STORM DRAIN CATCH BASIN	— SDCB = STORM DRAIN CATCH BASIN		
— = TELEPHONE PEDESTAL	— TP = TELEPHONE PEDESTAL		
— = TRAFFIC BOX	— TB = TRAFFIC BOX		
— = WATER BOX	— WB = WATER BOX		
— = WATER METER	— WM = WATER METER		
— = WATER MANHOLE	— WMH = WATER MANHOLE		
— = WATER VALVE	— WV = WATER VALVE		
— = WELL	— W = WELL		
— = PEDESTRIAN X-WALK POLE	— XWP = PEDESTRIAN X-WALK POLE		
— = ELECTRIC LINE	— EL = ELECTRIC LINE		
— = SANITARY SEWER FORCE MAIN	— SSFM = SANITARY SEWER FORCE MAIN		
— = FIBER OPTIC LINE	— FOL = FIBER OPTIC LINE		
— = GAS LINE	— GL = GAS LINE		
— = OVERHEAD ELECTRIC LINE	— OEL = OVERHEAD ELECTRIC LINE		
— = SANITARY SEWER LINE	— SSL = SANITARY SEWER LINE		
— = TELEPHONE LINE	— TL = TELEPHONE LINE		
— = CABLE TV LINE	— CTVL = CABLE TV LINE		

Special Use Plan (SUP 20-02) Conditions:

- USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE OF THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL - TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USE.
- PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.
- IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SITE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM - RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED IMPROVEMENTS.
- NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.
- FINAL ACREAGE OF SITES ARE SUBJECT TO CHANGE AT SITE PLAN AND CONSTRUCTION PLAN BASED ON FINAL SURVEYS AND SITE PLAN REVIEW AND APPROVAL.
- AS SHOWN ON THE CONCEPT PLAN, AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

Site Data A

PIN NUMBERS:	1758-45-8905, 1758-56-8976
REAL ESTATE ID:	76667, 76635
CURRENT ZONING:	GC-CZ
ACREAGE IN LOT:	12.56± ACRES (LOTS 1A, 1B, 1C & 2 AS SHOWN ON PR 21-04 REVISED)
LINEAR FEET IN PUBLIC STREETS:	0 LF
BUILDING HEIGHT:	33'-4" (PUBLIX), 29'-3" (BLDG 2 & 3), 21'-4" (BLDG 4)
BUILDING AREA:	47,239 SF (PUBLIX), 9,800 SF (BLDG 2), 8,067 SF (BLDG 3), 11,947 (SHOP 4)
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE(S):	NON-RESIDENTIAL/COMMERCIAL/RETAIL
CURRENT IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	BUILDING AREAS - 77,757 SF (1.78 AC) TRANSPORTATION AREAS - 272,876 SF (6.26 AC)
DEVELOPMENT STANDARDS:	LDO
OPEN SPACE CALCULATIONS:	REQUIRED NON-RESIDENTIAL - 0.25 ACRES = 5% OF DEVELOPMENT AREA DEVELOPMENT AREA = 12.56 AC 12.56 x 0.05 = 0.63 AC (27,355 SF) MUST INCLUDE 1 SMALL AREA
PROVIDED:	0.25 AC = LOT 1A & 1B - GREENWAY - (SMALL - 10,775 SF) 0.01 AC = LOT 1A - PLAZA (SMALL - 572 SF) 0.30 AC = LOT 1B - PLAZAS (SMALL - 12,974 SF) 0.07 AC = LOT 2 - GREEN (SMALL - 3,141 SF) 0.63 AC = 27,462 SF
PARKING CALCULATIONS:	193 REQUIRED (INCL. 6 H/C SPACES) - SEE SHEET C1.0 FOR DETAILED CALCS 412 PROPOSED (INCL. 17 H/C SPACES)
PLANTING CALCULATIONS:	REFER TO SHEET L7.01



Rolesville
 APPROVED FOR COMPLIANCE

Case # _____ Project _____
 By: _____ Date _____

These plans have been approved for compliance with the Town Code of Ordinance, LDO, and Standard Specifications and Construction Details, subject to statements & conditions hereby incorporated by reference.

Sheet Index

#	Title
C0.1	Cover
C0.2	Existing Conditions - Demolition Plan
C0.3	Tree Preservation Plan
C1.0	Site Plan
C2.0	Utility Plan
C3.0	Grading & Drainage Plan
C5.1	Misc. Details - Site-Storm
C5.2	Misc. Details - Water
C5.3	Misc. Details - Sewer
C5.4	Misc. Details - Site
C5.5	Misc. Details - Site
L7.00	Code Planting Plan - Sheet Layout Plan
L7.01	Code Planting Plan - Calculations
L7.10	Code Planting Plan
L7.11	Code Planting Plan
L7.12	Code Planting Plan
L7.13	Code Planting Plan
L7.14	Code Planting Plan
L7.91	Planting Details
L7.92	Planting Details
REF	Building Elevations Hiscutt & Associates Architecture
REF	Lighting Plan Savant Engineering, PLLC (1 sheet)
REF	Survey Johnson, Mirmiran & Thompson (3 sheets)
REF	Survey Cawthorne, Moss & Panciera, PC Professional Land Surveyors

Survey Note:

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRIMIRAN & THOMPSON, AS SHOWN ON DRAWING ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR WALLBROOK LANDCO, LLC", DATED MARCH 25, 2020.

CARLTON POINT AND MARSHSKIP WAY INFORMATION PROVIDED BY CAWTHORNE, MOSS & PANCIERA, PC PROFESSIONAL LAND SURVEYORS

SIZE, SPECIES AND LOCATION OF TREES WITHIN PRESERVATION AREAS LOCATED AND PROVIDED BY STEWART ENGINEERING, INC.

COVER
WALLBROOK
SITE DEVELOPMENT PLAN REVISION
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
 Rolesville, Wake County, North Carolina

NC License: P-1109
ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS

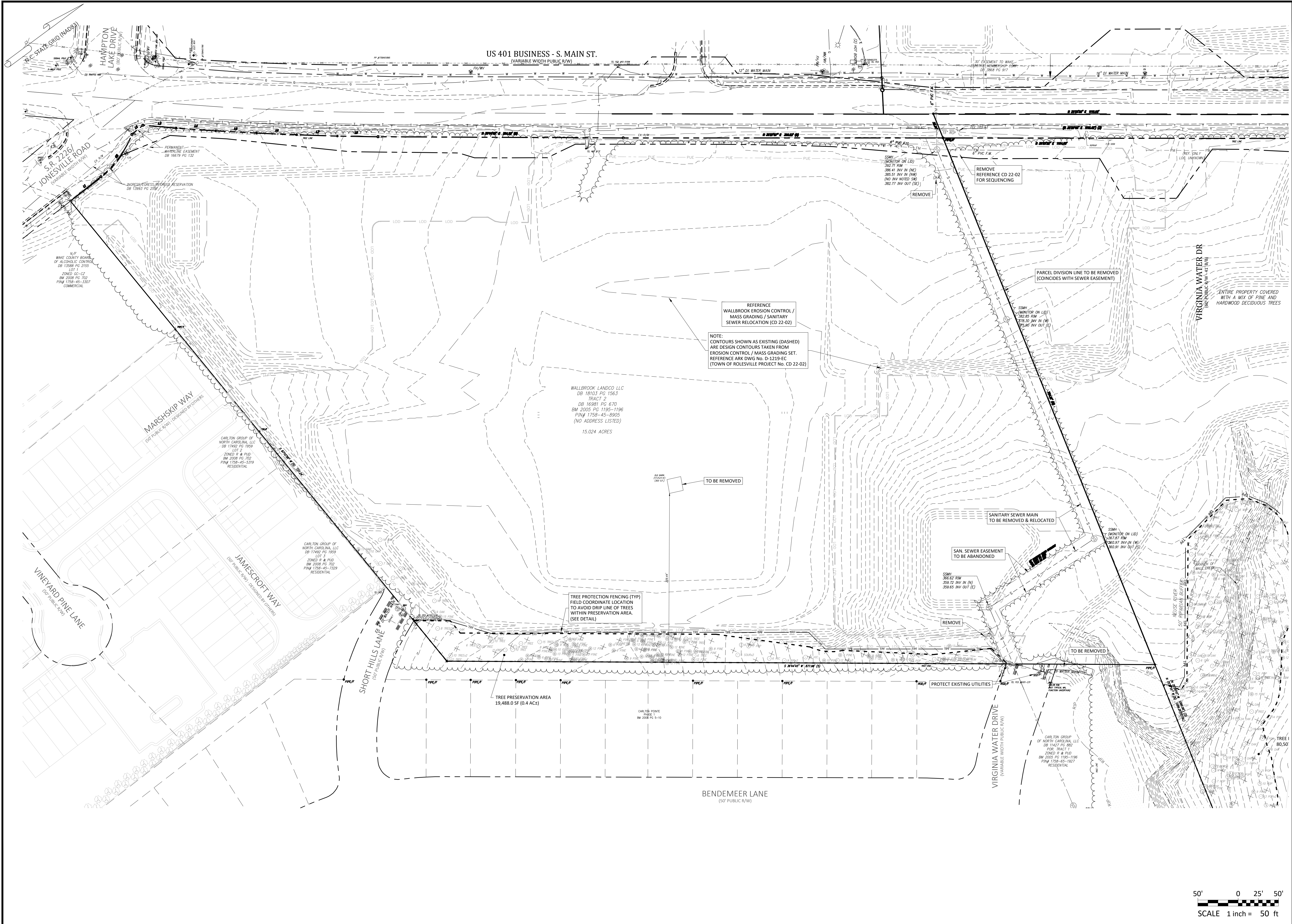
2755-B Charles Blvd
 Charlotte, NC 28208
 (754) 558-0888
 www.arkconsultinggroup.com

Professional Seal:
 Michael Isaac
 P.E., P.L.S.
 2/10/2023

Project Manager: BCF
 Drawn By: DLC
 Checked By: STA
 Project Number: 22012
 Drawing Number: D-1219-SP

C0.1

Date: February 10, 2023



US 401 BUSINESS - S. MAIN ST.
(VARIABLE WIDTH PUBLIC R/W)

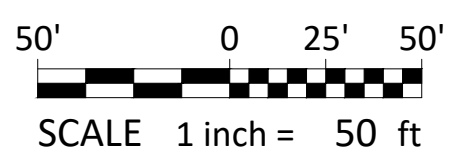
WALLBROOK LANDCO LLC
DB 18103 PG 1563
TRACT 2
DB 16381 PG 670
EM 2005 PG 1195-1196
PIN# 1758-45-8905
(NO ADDRESS LISTED)
15.024 ACRES

TREE PROTECTION FENCING (TYP)
FIELD COORDINATE LOCATION
TO AVOID DRIP LINE OF TREES
WITHIN PRESERVATION AREA.
(SEE DETAIL)

TREE PRESERVATION AREA
19,488.0 SF (0.4 AC)

BENEMEER LANE
(50' PUBLIC R/W)

CARLTON GROUP OF NORTH CAROLINA, LLC
DB 11427 PG 500
FOR TRACT 1
ZONED R & PUD
EM 2005 PG 1195-1196
PIN# 1758-65-1927
RESIDENTIAL



- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:
CROSLAND
SOUTHEAST

EXISTING CONDITIONS - DEMOLITION PLAN
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

NC License: P-1109
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Lenoir, NC 27558
(252) 558-0888
www.arkconsultinggroup.com

2/10/2025

Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C0.2

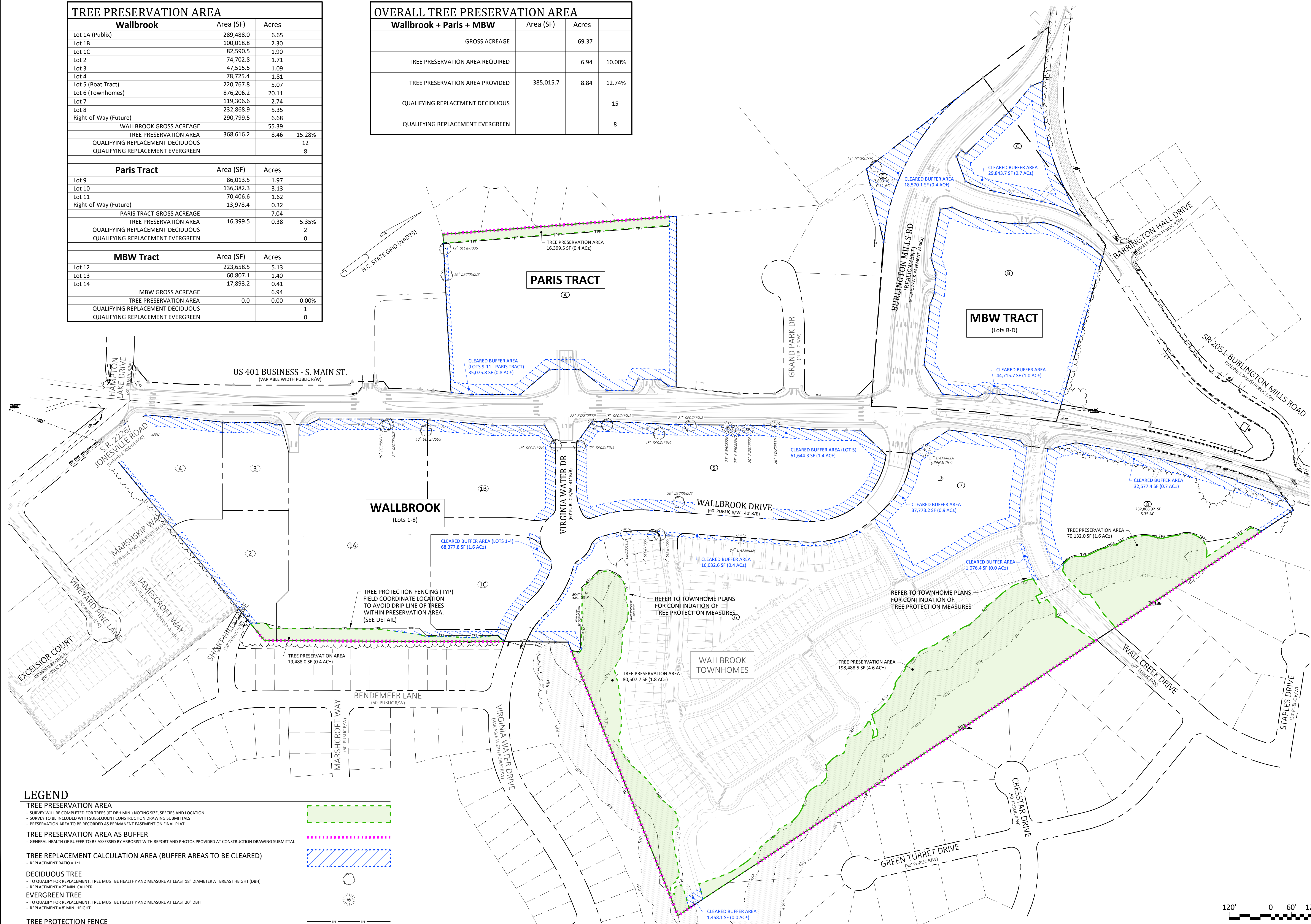
Date: February 10, 2023

TREE PRESERVATION AREA			
Wallbrook	Area (SF)	Acres	
Lot 1A (Publix)	289,488.0	6.65	
Lot 1B	100,018.8	2.30	
Lot 1C	82,590.5	1.90	
Lot 2	74,702.8	1.71	
Lot 3	47,515.5	1.09	
Lot 4	78,725.4	1.81	
Lot 5 (Boat Tract)	220,767.8	5.07	
Lot 6 (Townhomes)	876,206.2	20.11	
Lot 7	119,306.6	2.74	
Lot 8	232,868.9	5.35	
Right-of-Way (Future)	290,799.5	6.68	
WALLBROOK GROSS ACREAGE		55.39	
TREE PRESERVATION AREA	368,616.2	8.46	15.28%
QUALIFYING REPLACEMENT DECIDUOUS			12
QUALIFYING REPLACEMENT EVERGREEN			8

Paris Tract			
Paris Tract	Area (SF)	Acres	
Lot 9	86,013.5	1.97	
Lot 10	136,382.3	3.13	
Lot 11	70,406.6	1.62	
Right-of-Way (Future)	13,978.4	0.32	
PARIS TRACT GROSS ACREAGE		7.04	
TREE PRESERVATION AREA	16,399.5	0.38	5.35%
QUALIFYING REPLACEMENT DECIDUOUS			2
QUALIFYING REPLACEMENT EVERGREEN			0

MBW Tract			
MBW Tract	Area (SF)	Acres	
Lot 12	223,658.5	5.13	
Lot 13	60,807.1	1.40	
Lot 14	17,893.2	0.41	
MBW GROSS ACREAGE		6.94	
TREE PRESERVATION AREA	0.0	0.00	0.00%
QUALIFYING REPLACEMENT DECIDUOUS			1
QUALIFYING REPLACEMENT EVERGREEN			0

OVERALL TREE PRESERVATION AREA			
Wallbrook + Paris + MBW	Area (SF)	Acres	
GROSS ACREAGE		69.37	
TREE PRESERVATION AREA REQUIRED		6.94	10.00%
TREE PRESERVATION AREA PROVIDED	385,015.7	8.84	12.74%
QUALIFYING REPLACEMENT DECIDUOUS			15
QUALIFYING REPLACEMENT EVERGREEN			8



LEGEND

TREE PRESERVATION AREA

- SURVEY WILL BE COMPLETED FOR TREES (6" DBH MIN.) NOTING SIZE, SPECIES AND LOCATION
- SURVEY TO BE INCLUDED WITH SUBSEQUENT CONSTRUCTION DRAWING SUBMITTALS
- PRESERVATION AREA TO BE RECORDED AS PERMANENT EASEMENT ON FINAL PLAN

TREE PRESERVATION AREA AS BUFFER

- GENERAL HEALTH OF BUFFER TO BE ASSESSED BY ARBORIST WITH REPORT AND PHOTOS PROVIDED AT CONSTRUCTION DRAWING SUBMITTAL

TREE REPLACEMENT CALCULATION AREA (BUFFER AREAS TO BE CLEARED)

- REPLACEMENT RATIO = 1:1

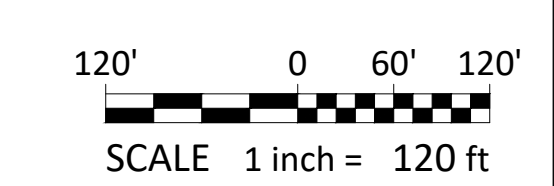
DECIDUOUS TREE

- TO QUALIFY FOR REPLACEMENT, TREE MUST BE HEALTHY AND MEASURE AT LEAST 18" DIAMETER AT BREAST HEIGHT (DBH)
- REPLACEMENT = 2" MIN. CALIPER

EVERGREEN TREE

- TO QUALIFY FOR REPLACEMENT, TREE MUST BE HEALTHY AND MEASURE AT LEAST 20" DBH
- REPLACEMENT = 8" MIN. HEIGHT

TREE PROTECTION FENCE



- Final Drawing -
Issued for Permit
Review Purposes Only

CROSLAND SOUTHEAST

TREE PRESERVATION PLAN
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

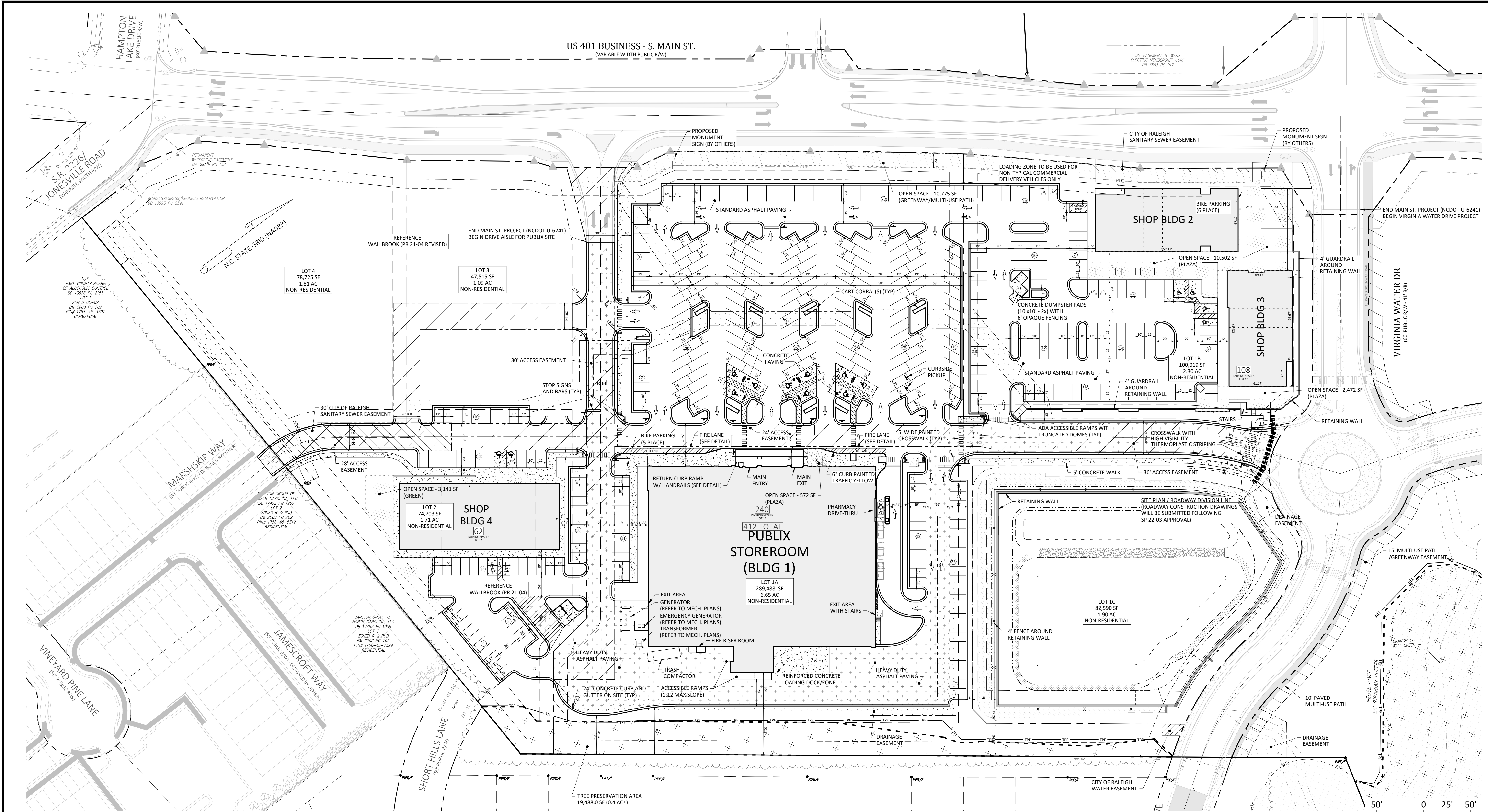
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Raleigh, NC 27658
(919) 558-0888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C0.3

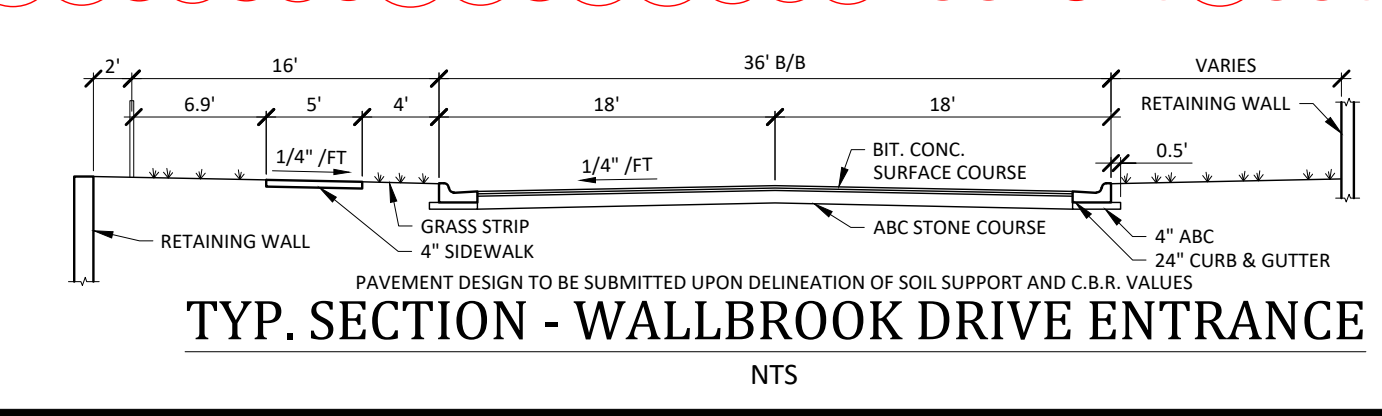
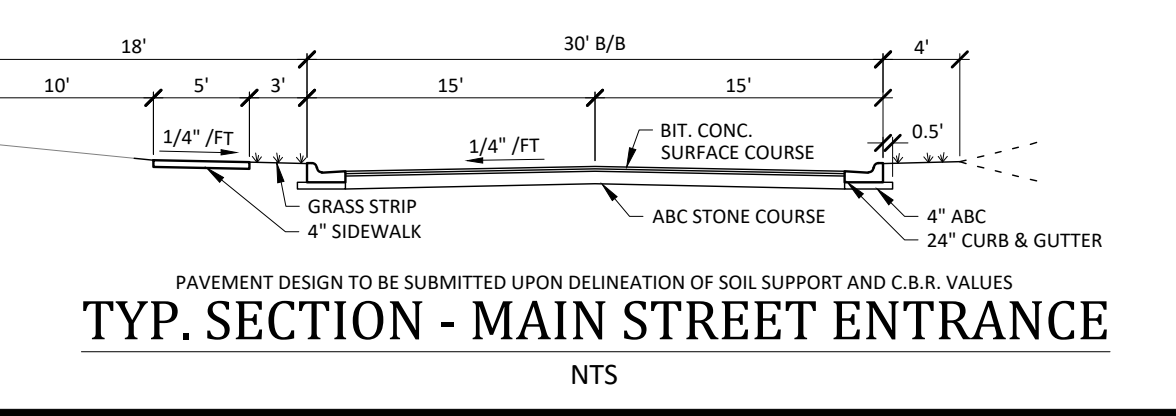
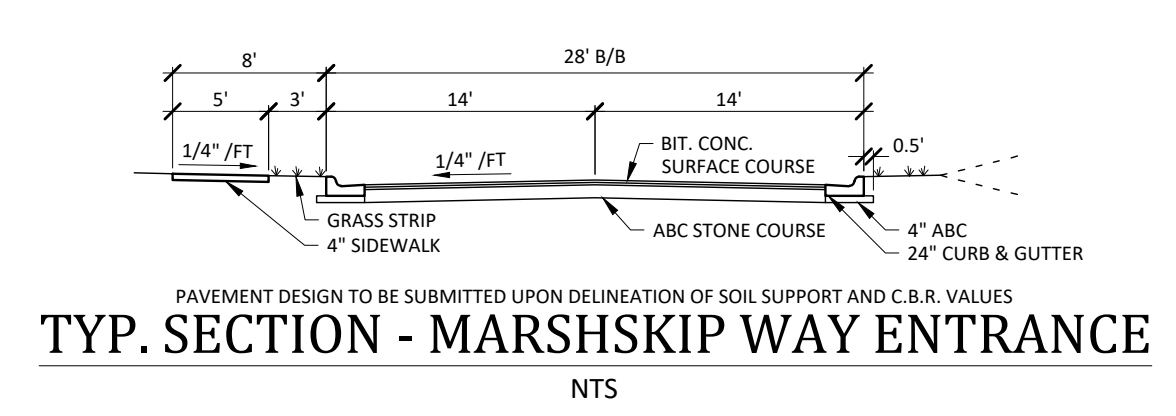
Date: February 10, 2023



Parking Requirements:

PARKING REQUIRED: (LDO SECTION 6.4.3) RETAIL SALES AND SERVICES (SHOPPING CENTER) 2.5 SPACES / 1,000 SF (MAX 7.5 / 1,000 SF)	BICYCLE PARKING: (LDO SECTION 6.4.7) 1 SPACE / 5,000 SF	
AGGREGATE BUILDING AREA: 68,915 SF	AGGREGATE BUILDING AREA: 77,053 77,053 / 5,000 X 1 =	15 SPACES REQUIRED 16 SPACES PROVIDED
TOTAL REQUIRED PARKING: 193 SPACES	REQUIRED LOADING AREAS: (LDO SECTION 6.4.5) COMMERCIAL USE = 1 SPACE / 20,000 SF GROSS FLOOR AREA	
REQUIRED HANDICAP PARKING: 6 SPACES (INCLUDING 1 VAN ACCESSIBLE)	AGGREGATE BUILDING AREA: 77,053 SF 77,053 / 20,000 X 1 =	4 LOADING SPACES REQUIRED 4 LOADING SPACES PROVIDED (2 - LOADING DOCKS FOR PUBLIX) (1 - 9'x19' FOR SHOP BLDGS 2 & 3) (1 - 22'x40' FOR SHOP BLDG 4)
PARKING PROVIDED:		
TOTAL PARKING SPACES: 412 SPACES (INCLUDES 17 H/C SPACES)		

- General Notes:**
- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - ALTA/NPS/LAND TITLE SURVEY, PREPARED BY JOHNSON, MIRMIRAN & THOMPSON FOR C4 INVESTMENTS, LLC, LAST REVISED
 - REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION PREPARED BY TERRATECH ENGINEERS, INC., DATED NOVEMBER 26, 2018
 - REPORT OF PHASE I ENVIRONMENTAL SITE ASSESSMENT PREPARED BY TERRATECH ENGINEERS, INC., DATED NOVEMBER 26, 2018; ECS PROJECT NUMBER: 121-18-18193
 - TRAFFIC IMPACT ANALYSIS PREPARED BY STANTEC
 - ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
 - THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800, EFFECTIVE DATE: MAY 2, 2006.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
 - THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
 - THESE PLANS ARE BASED ON INFORMATION PROVIDED TO ARK CONSULTING GROUP, PLLC BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARK CONSULTING GROUP, PLLC IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER ON-SITE FEATURES.
 - ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS AND GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB & GUTTER. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL, INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONNECTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
 - THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR IS THE ENGINEER RESPONSIBLE FOR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

CROSLAND SOUTHEAST

WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

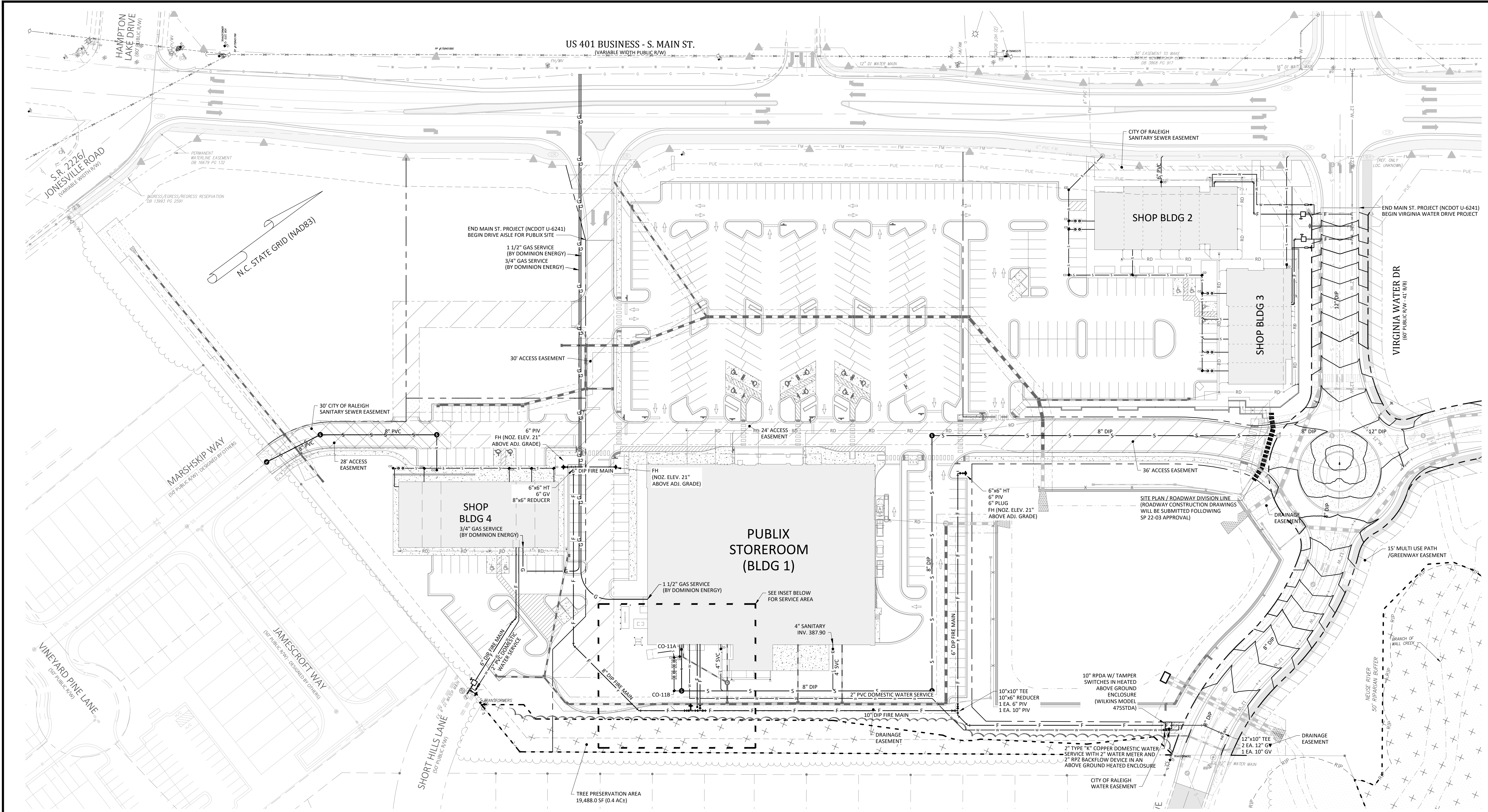
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP, PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Charlotte, NC 28205
(704) 375-8888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C1.0

Date: February 10, 2023



Public Water Distribution / Extension System

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

Private Water Distribution / Extension System

The City of Raleigh consents to the connection to its public water system and extension of the private water distribution system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

Public Sewer Collection / Extension System

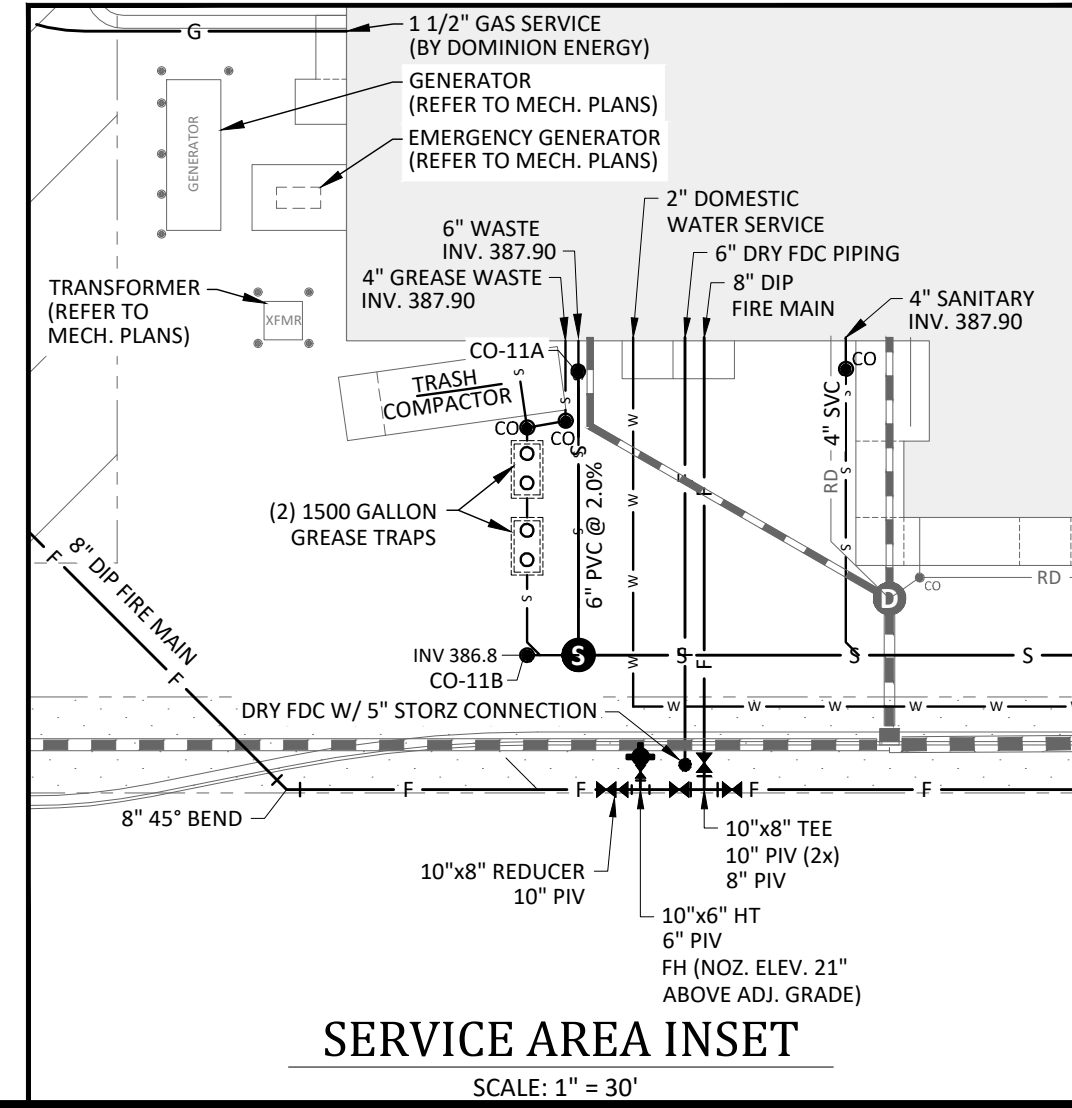
The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____

Private Sewer Collection / Extension System

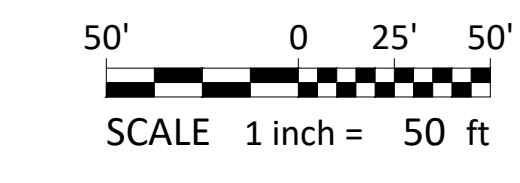
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____
Authorization to Construct _____
Date _____



CORPUD Standard Utility Notes:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVIC FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
8. INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.



- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SP22-03 PER OWNER REQUEST

CROSLAND SOUTHEAST

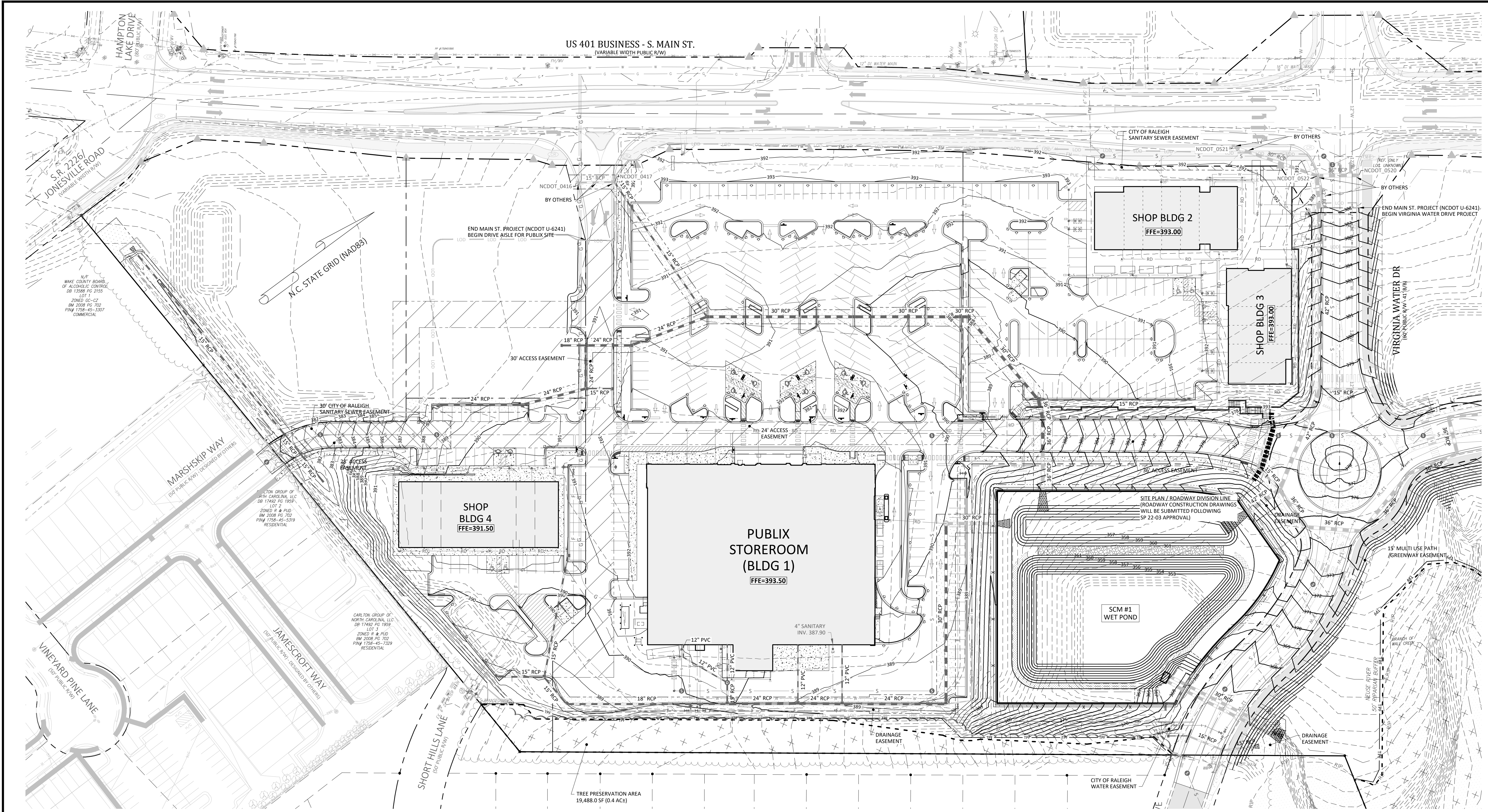
UTILITY PLAN
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

NC License: P-1199
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd
Raleigh, NC 27608
(919) 558-0888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C2.0

Date: February 10, 2023



US 401 BUSINESS - S. MAIN ST.
(VARIABLE WIDTH PUBLIC R/W)

SHOP BLDG 2
FFE=393.00

SHOP BLDG 3
FFE=393.00

SHOP BLDG 4
FFE=391.50

PUBlix
STOREROOM
(BLDG 1)
FFE=393.50

SCM #1
WET POND

NUT WAKE COUNTY BOARD OF ALCOHOLIC CONTROL DB 13589 PG 2150 LOT 1 ZONED CC-CZ BM 2008 PG 702 PNM 17261-45-3107 COMMERCIAL

N.C. STATE GRID (MAD83)

MARSHKIP WAY (SP PUBLIC R/W) DESIGNED BY OTHERS

LOTION GROUP OF FTH CAROLINA, LLC DB 17482 PG 1559 LOT 2 ZONED R & PLO BM 2008 PG 702 PNM 17261-45-3119 RESIDENTIAL

CARLTON GROUP OF NORTH CAROLINA, LLC DB 17482 PG 1559 LOT 3 ZONED R & PLO BM 2008 PG 702 PNM 17261-45-3129 RESIDENTIAL

JAMESCROFT WAY (SP PUBLIC R/W) DESIGNED BY OTHERS

VINEYARD PINE LANE (SP PUBLIC R/W)

SHORT HILLS LANE (SP PUBLIC R/W)

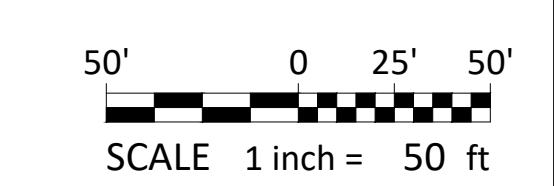
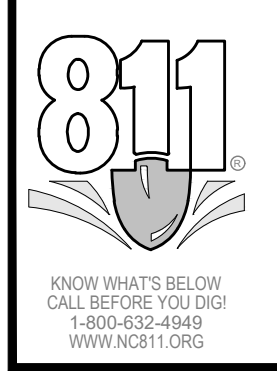
TREE PRESERVATION AREA
19,488.0 SF (0.4 AC±)

CITY OF RALEIGH WATER EASEMENT

SITE PLAN / ROADWAY DIVISION LINE - ROADWAY CONSTRUCTION DRAWINGS WILL BE SUBMITTED FOLLOWING SP 22-03 APPROVAL

15' MULTI USE PATH / GREENWAY EASEMENT

MELOUSE RIVER 150' PROTECTION ZONE



- Final Drawing -
Issued for Permit
Review Purposes Only

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SP22-03 PER OWNER REQUEST
		BUILDING FOOTPRINTS

REVISIONS:
CROSLAND SOUTHEAST

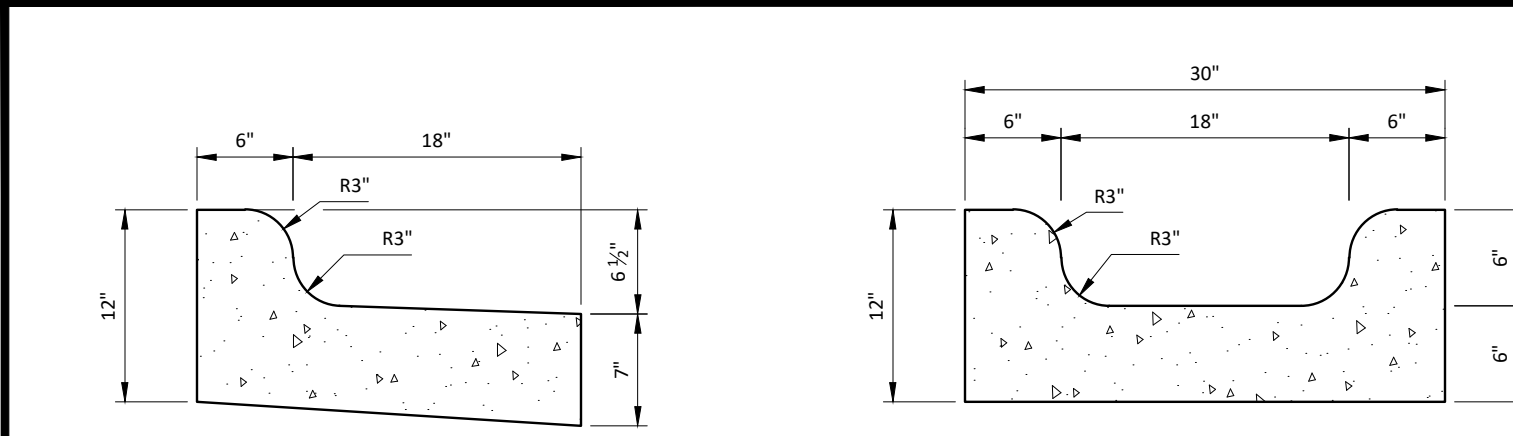
GRADING & DRAINAGE PLAN
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

NC License: P-1109
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd
Raleigh, NC 27604
(757) 558-0888
www.arkconsultinggroup.com

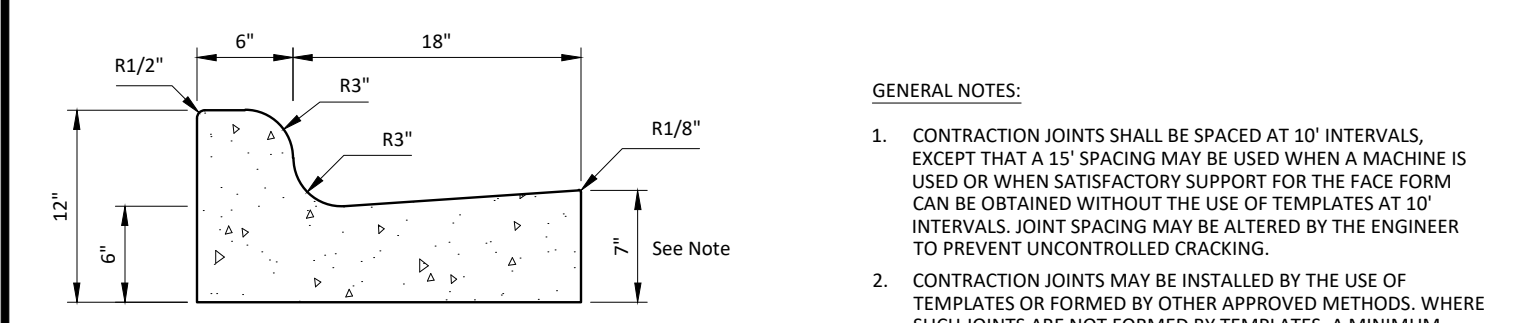
Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C3.0

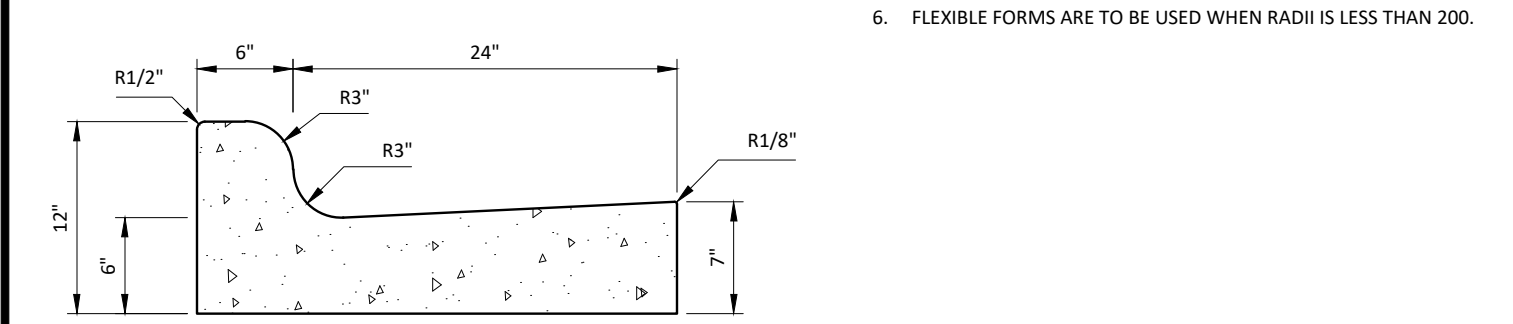
Date: February 10, 2023



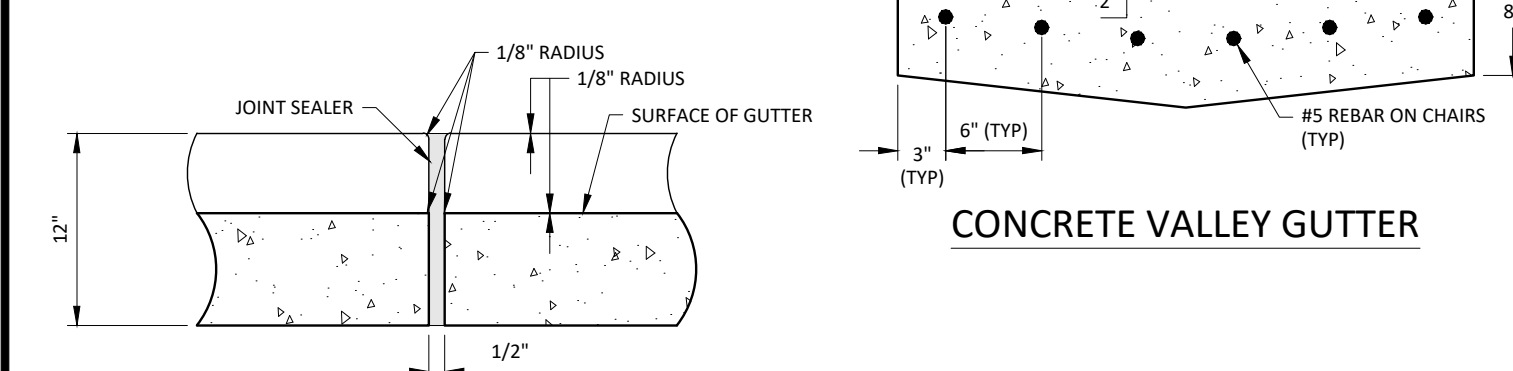
24" CONCRETE CURB AND GUTTER - SPILL SPECIAL GUTTER



24" CONCRETE CURB AND GUTTER

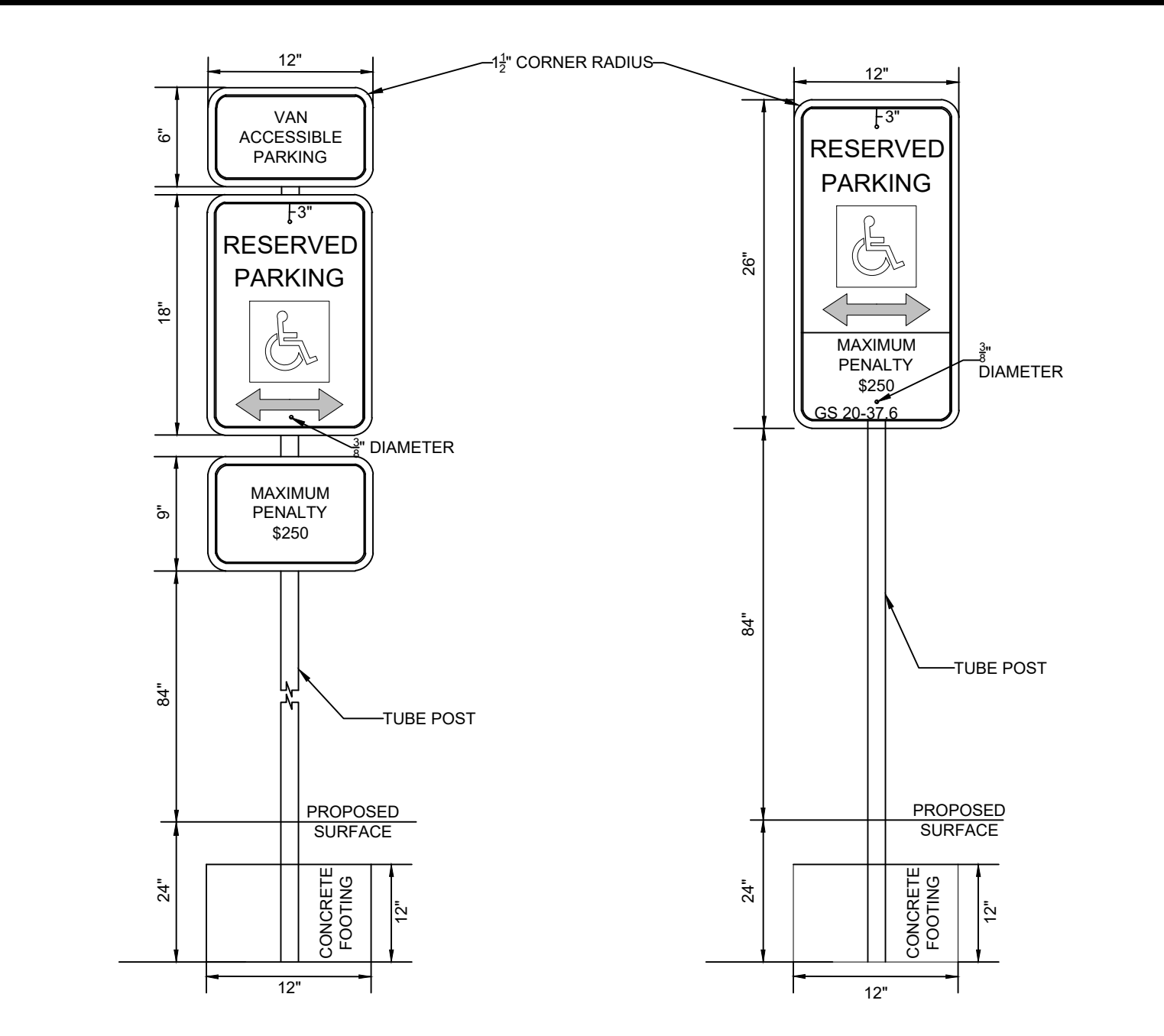


30" CONCRETE CURB AND GUTTER

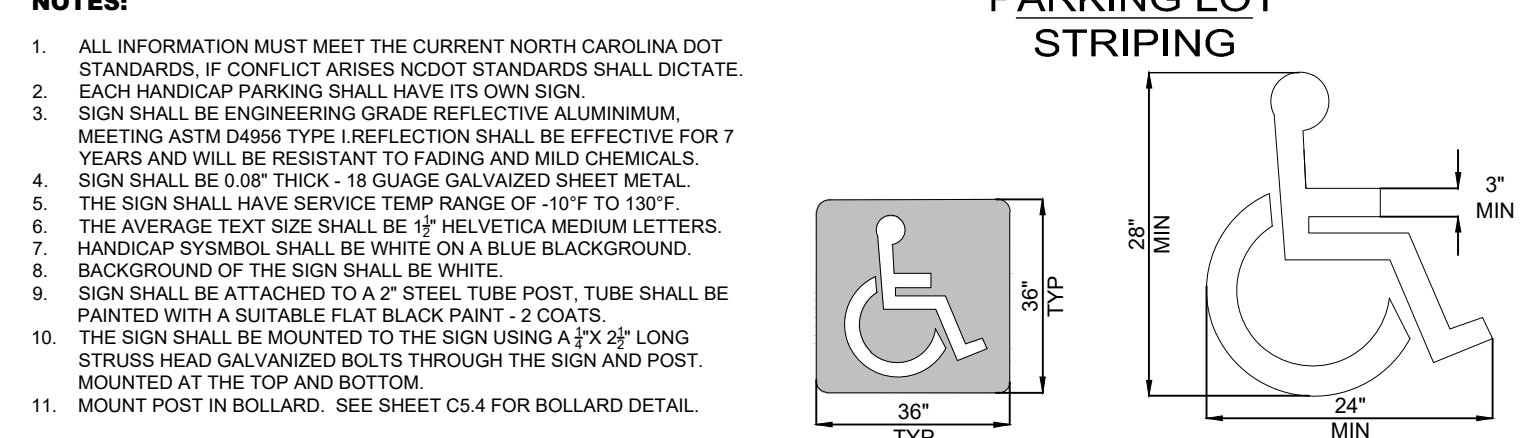


CONCRETE VALLEY GUTTER

CURB AND GUTTER DETAIL NOT TO SCALE

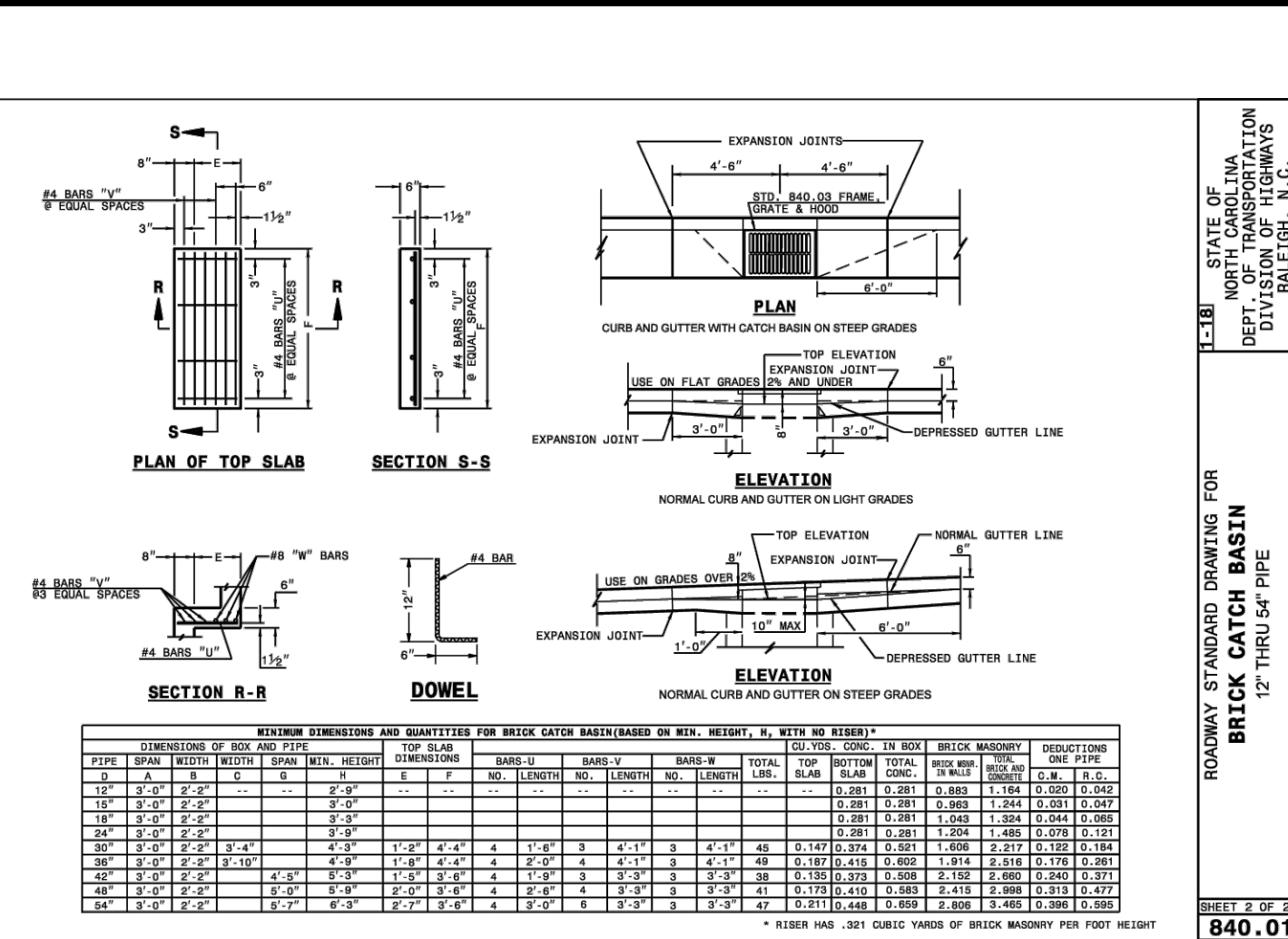


ACCESSIBLE PARKING SIGN

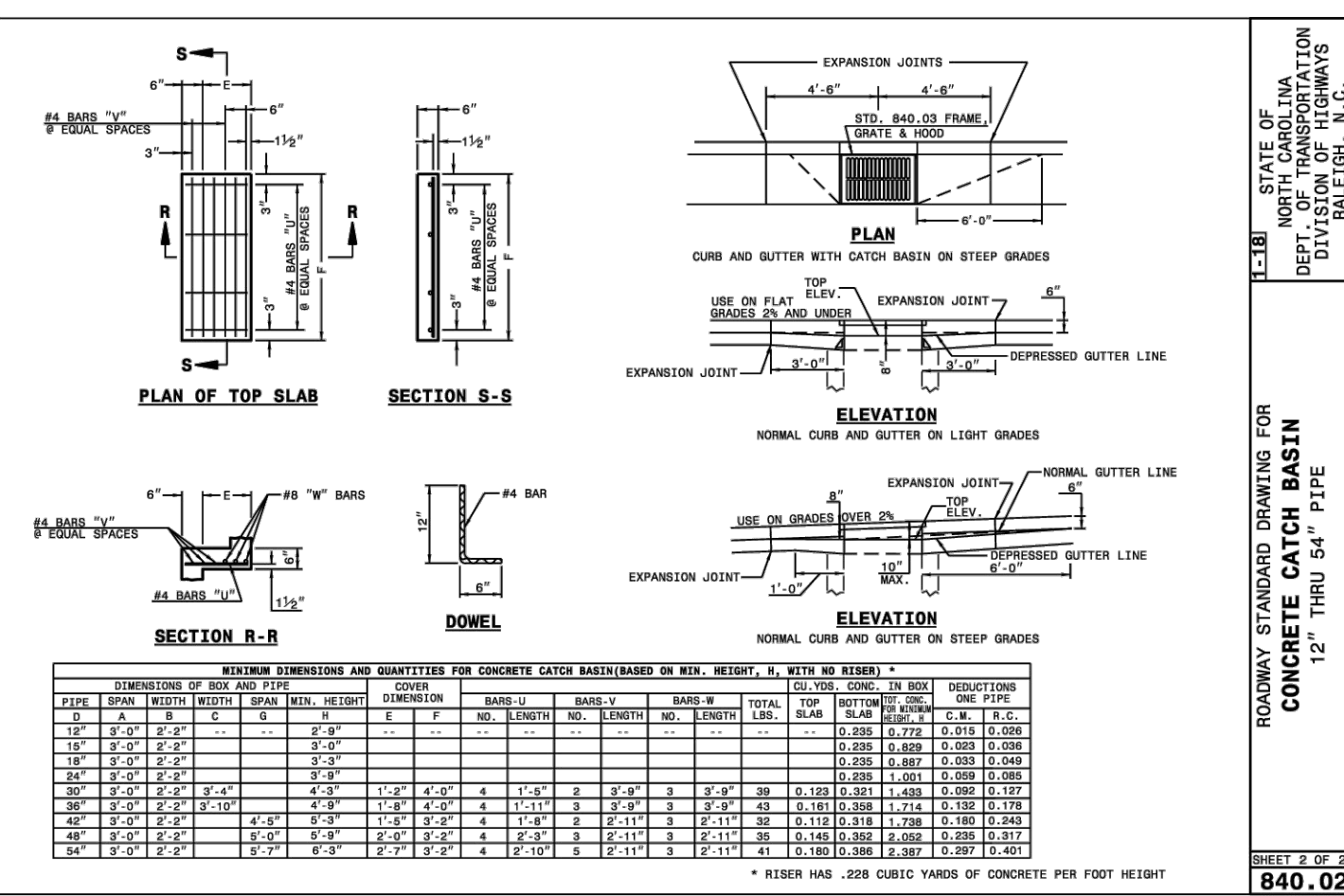


PARKING LOT STRIPING

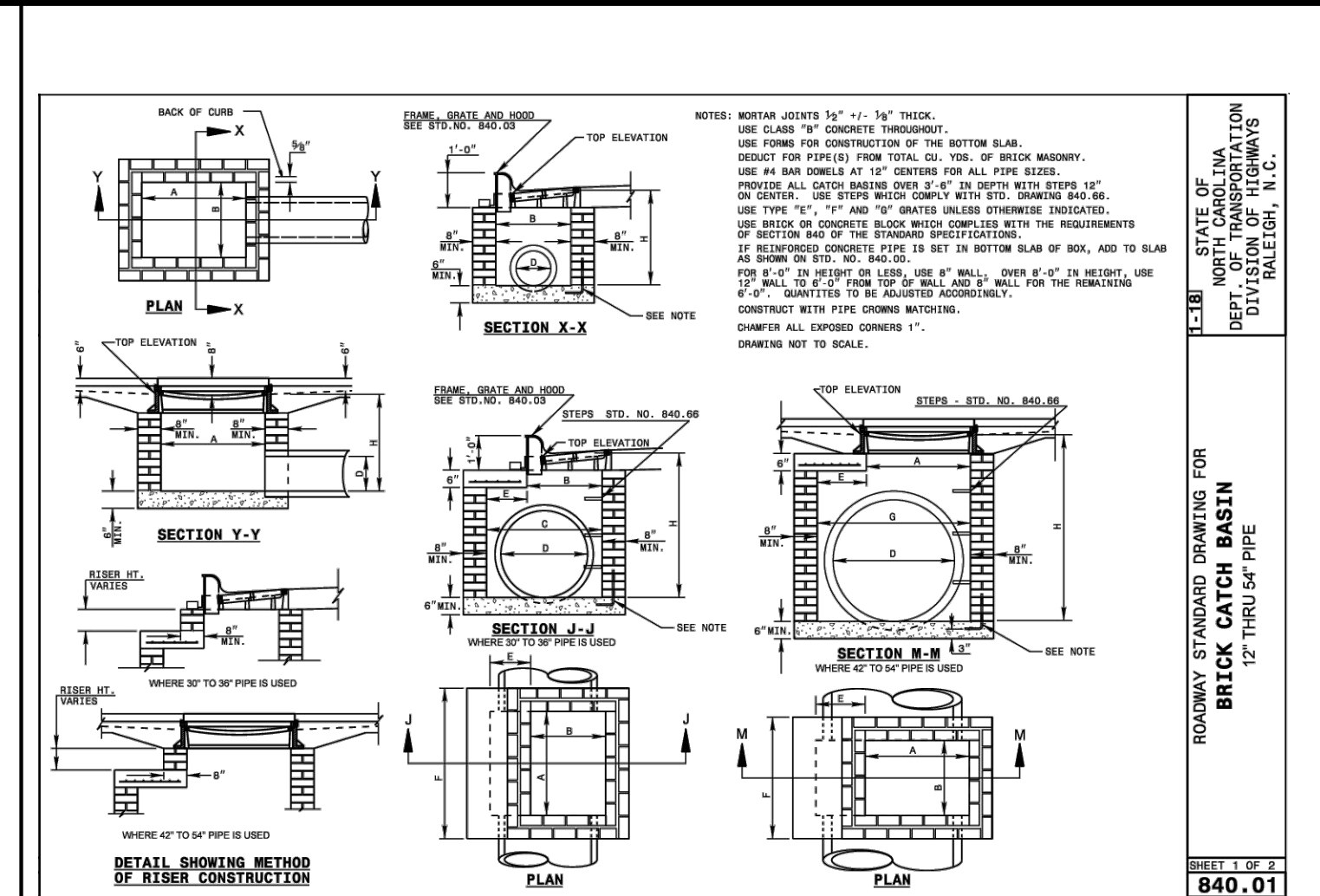
ACCESSIBLE PARKING SIGN NOT TO SCALE



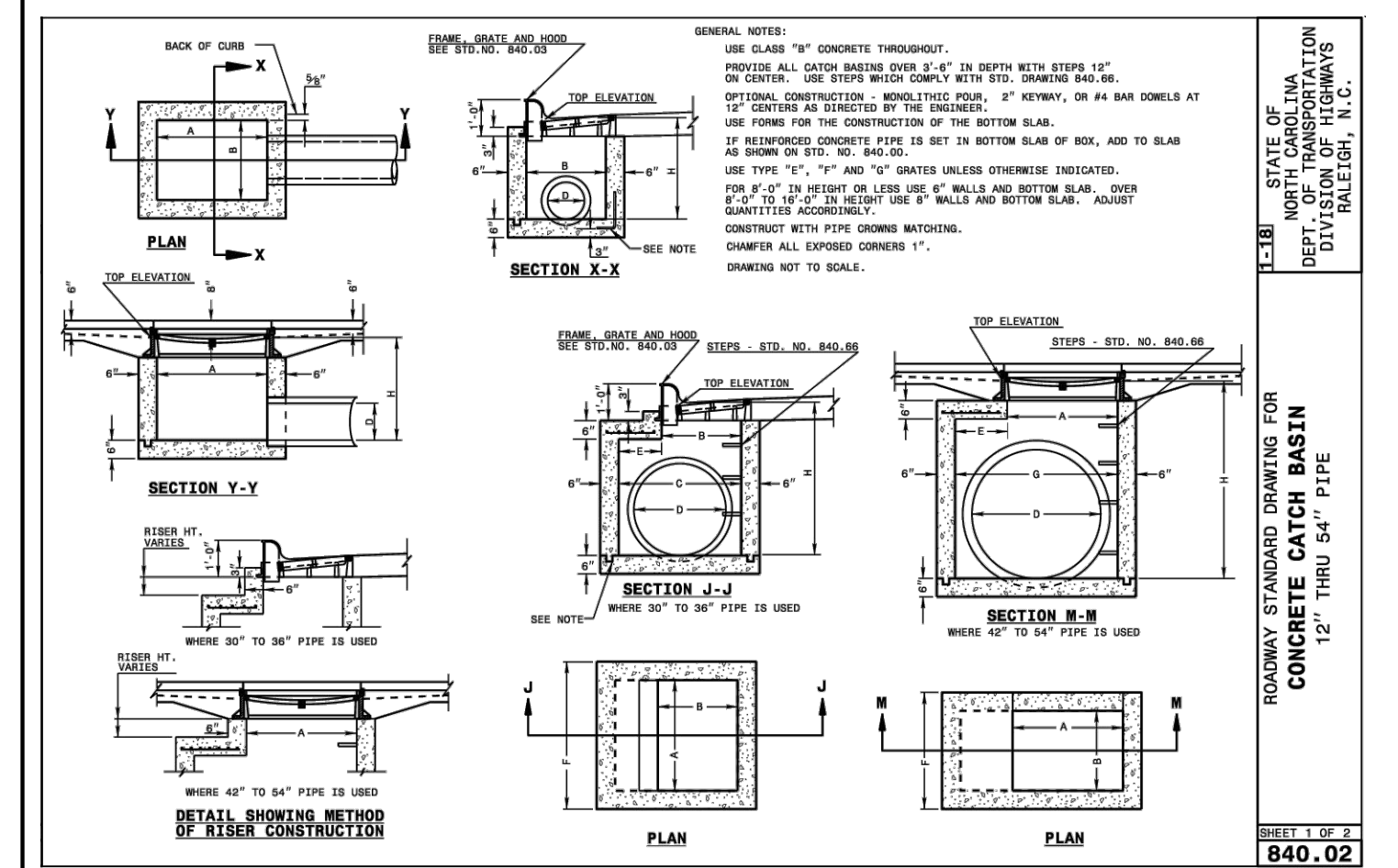
BRICK CATCH BASIN 12" THRU 5/4" PIPE



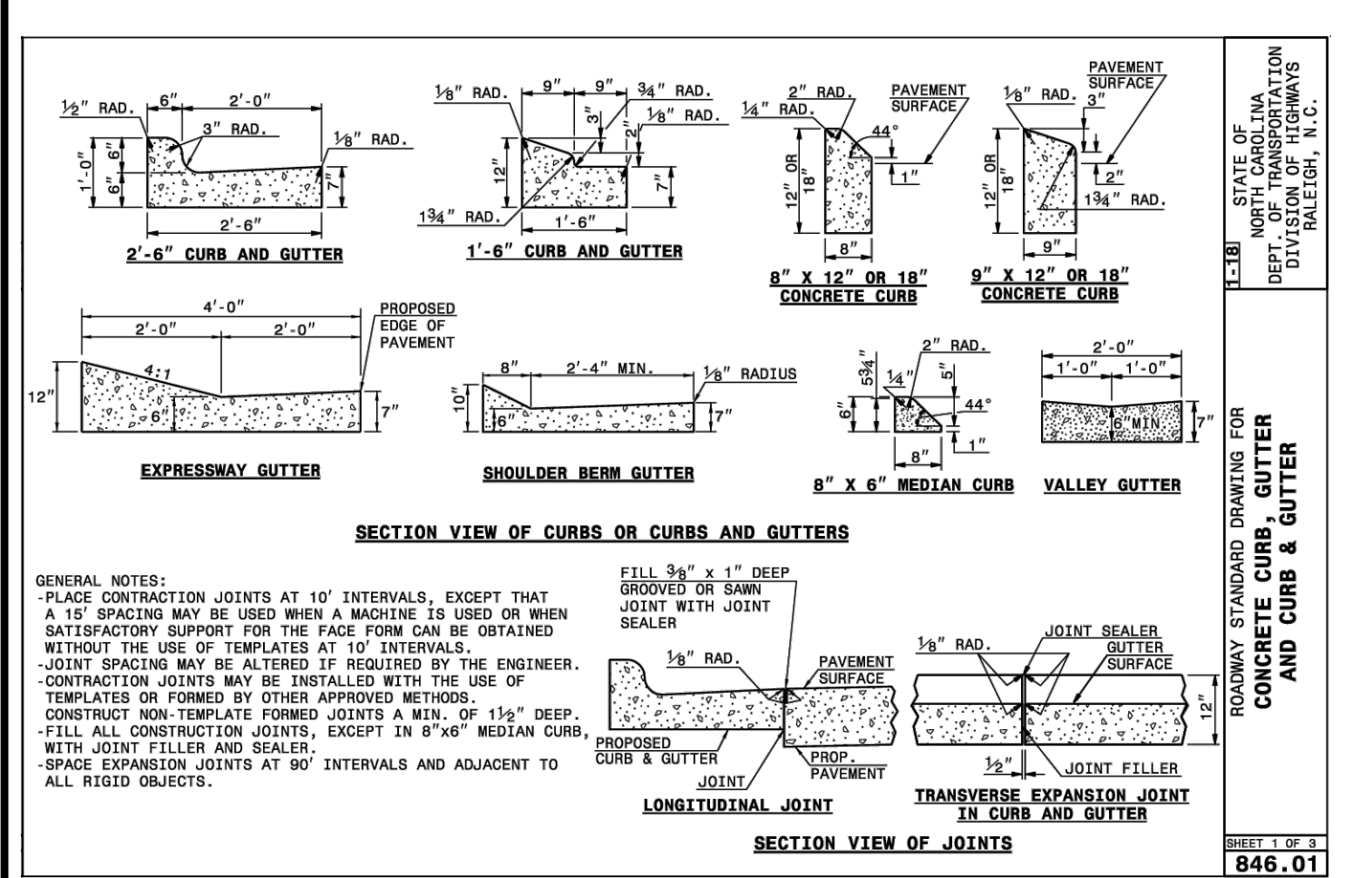
CONCRETE CATCH BASIN 12" THRU 5/4" PIPE



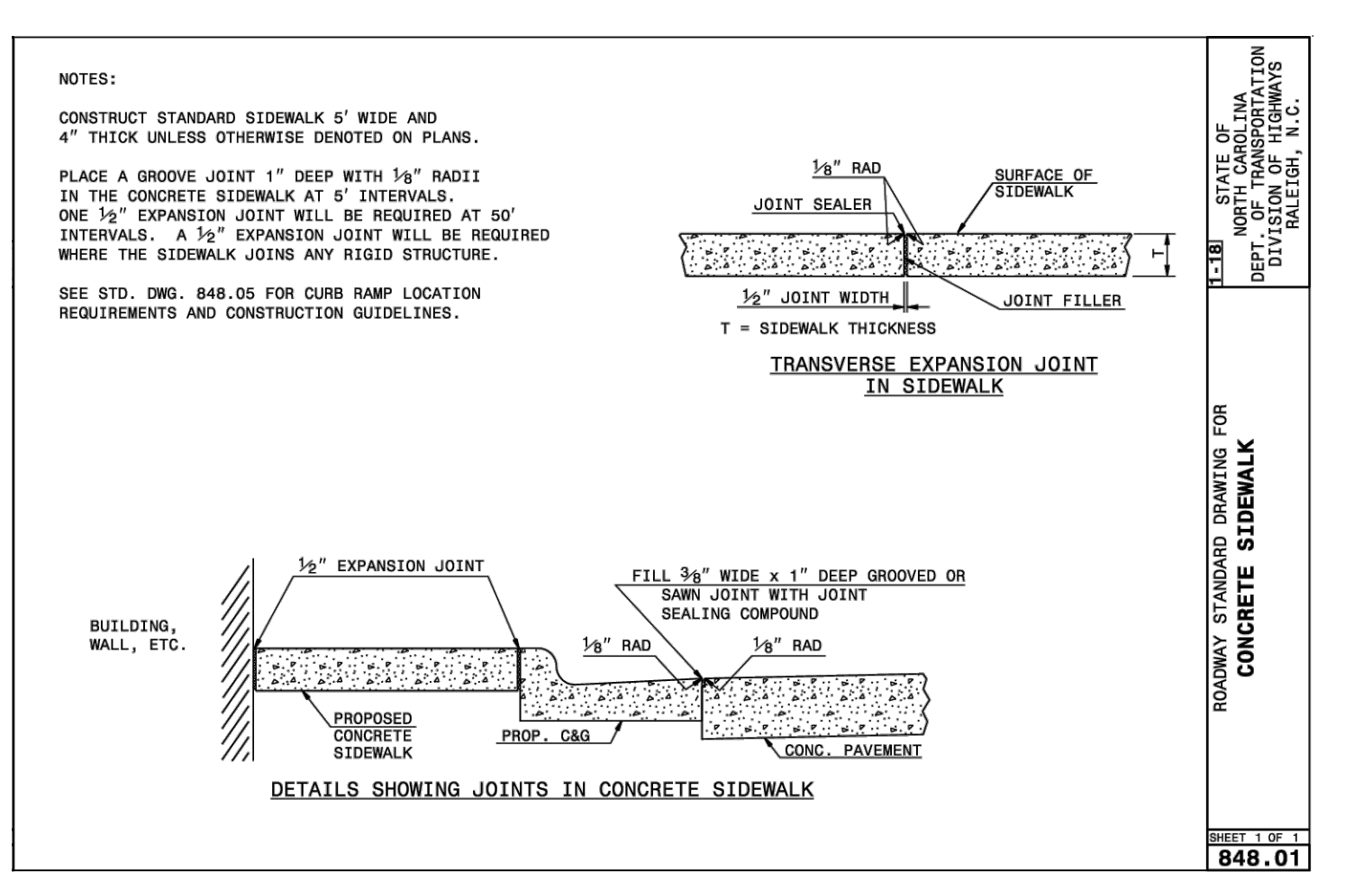
BRICK CATCH BASIN 12" THRU 5/4" PIPE



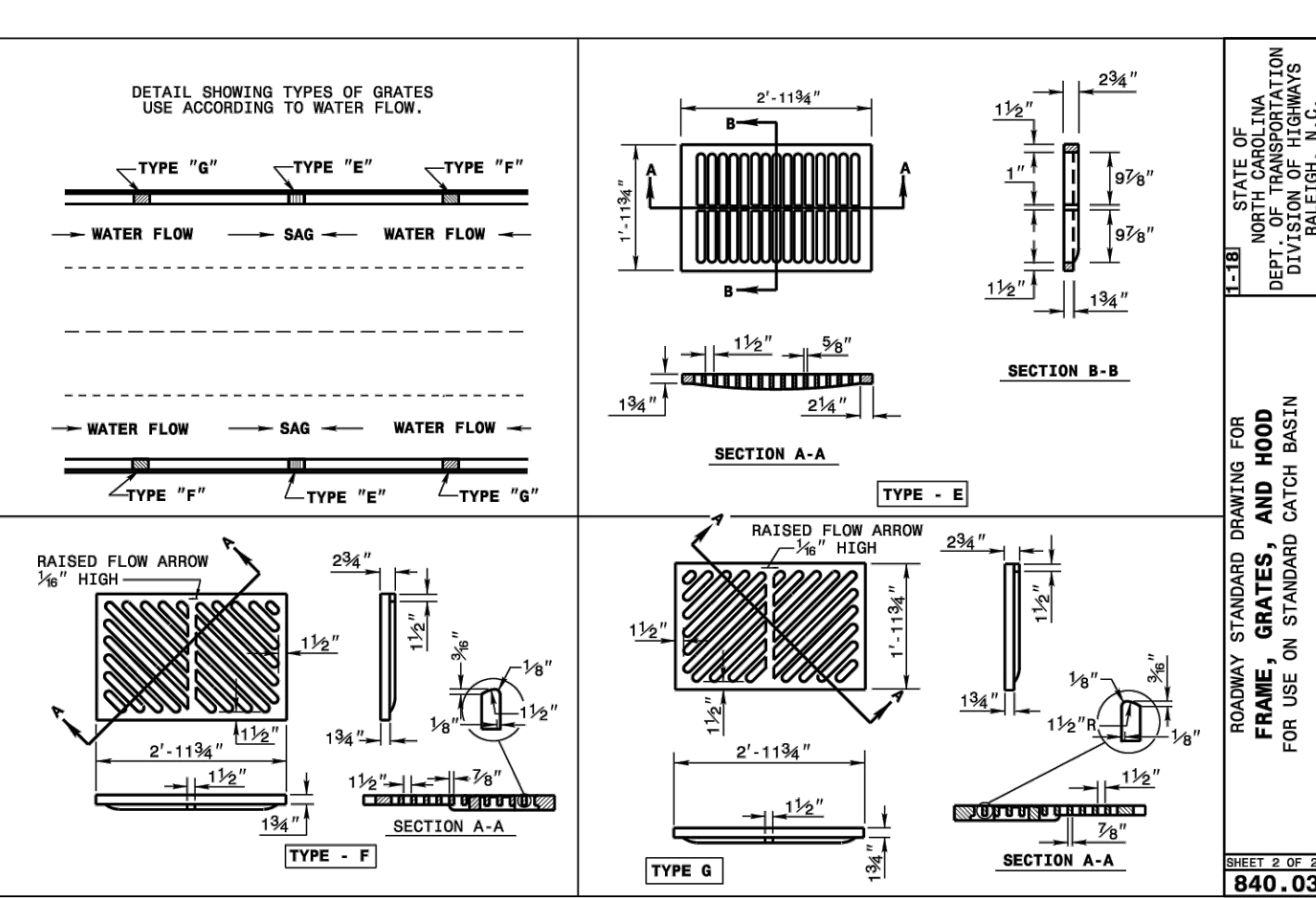
CONCRETE CATCH BASIN 12" THRU 5/4" PIPE



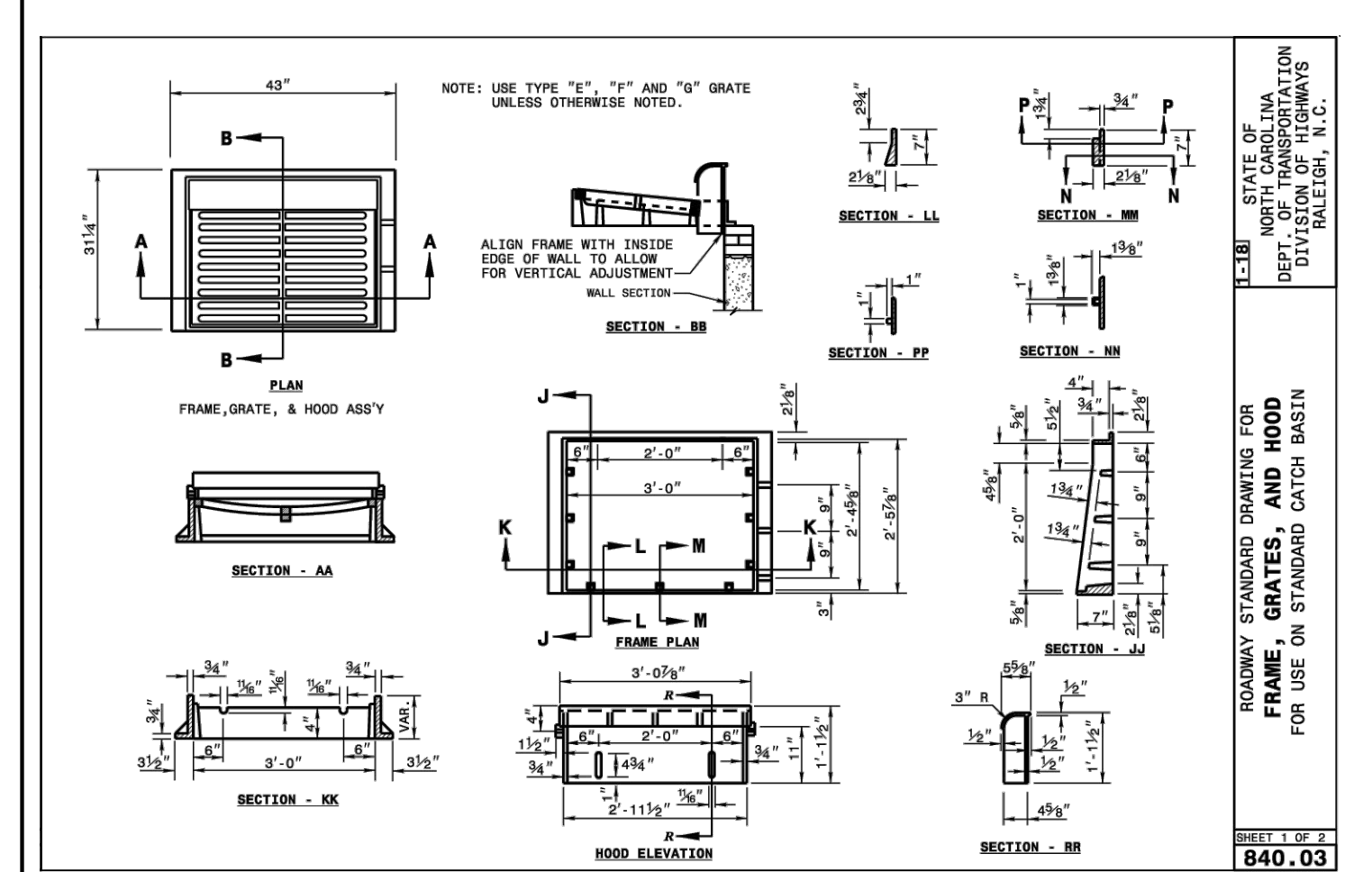
SECTION VIEW OF JOINTS IN CURB AND GUTTER



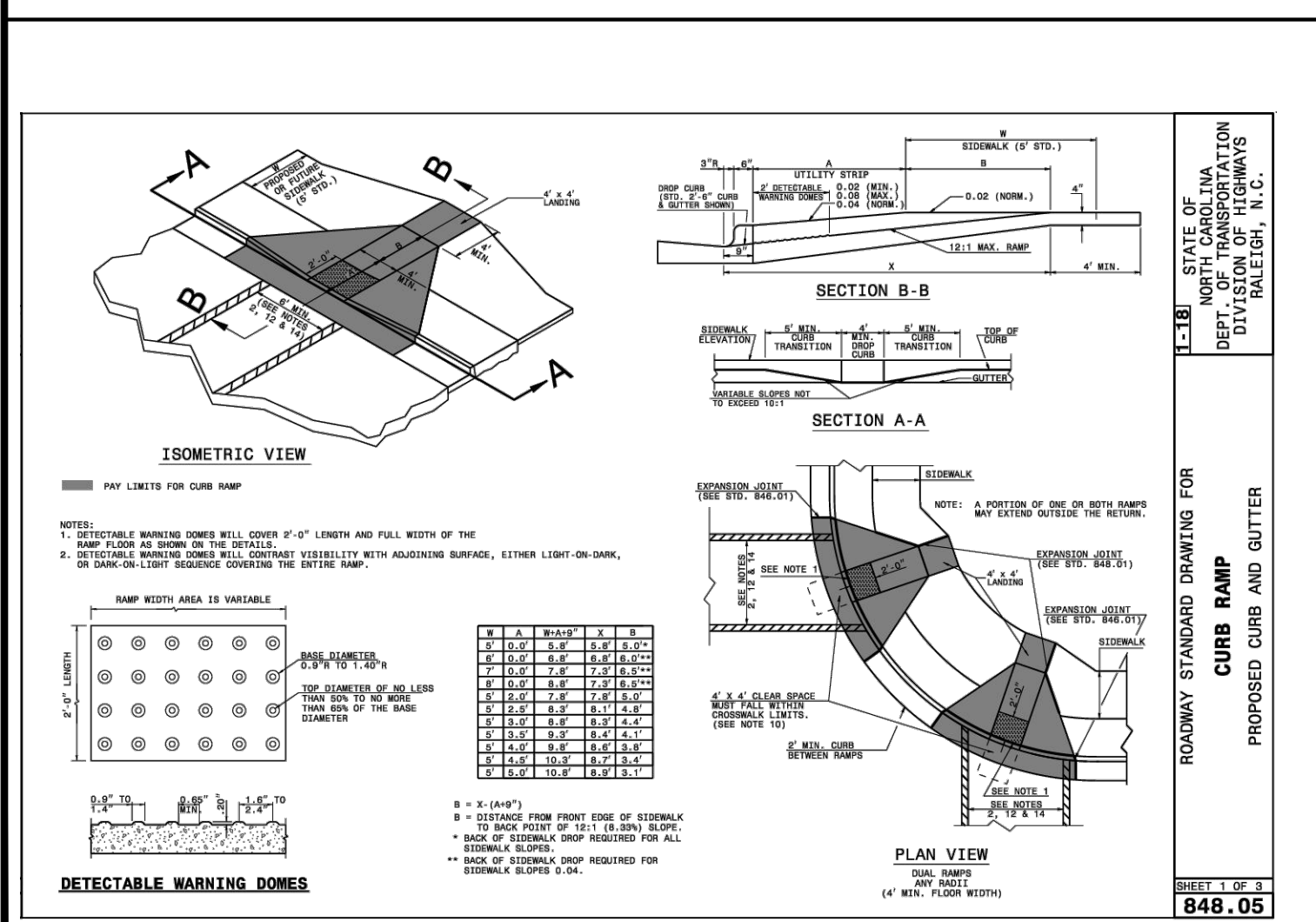
DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK



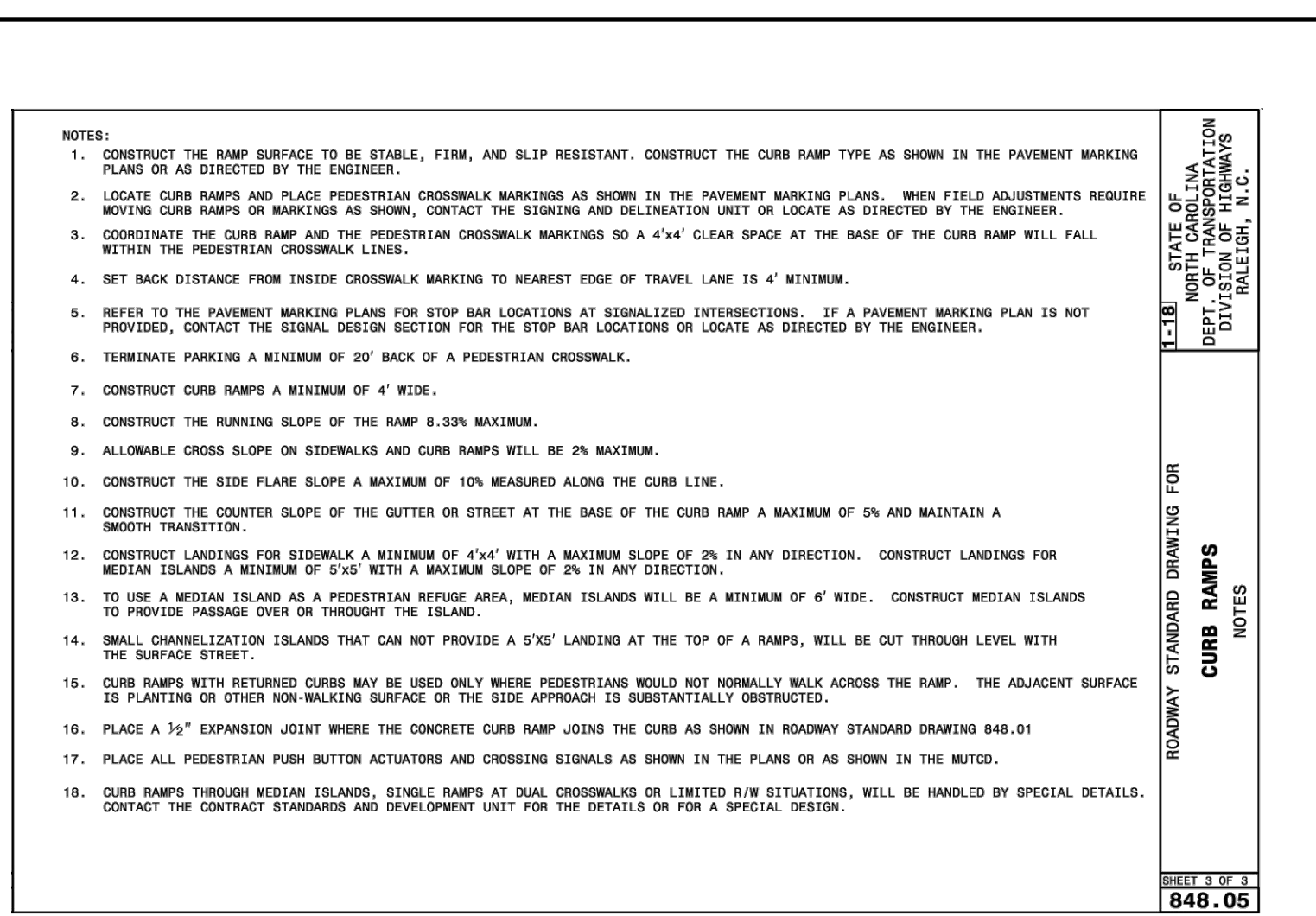
FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN



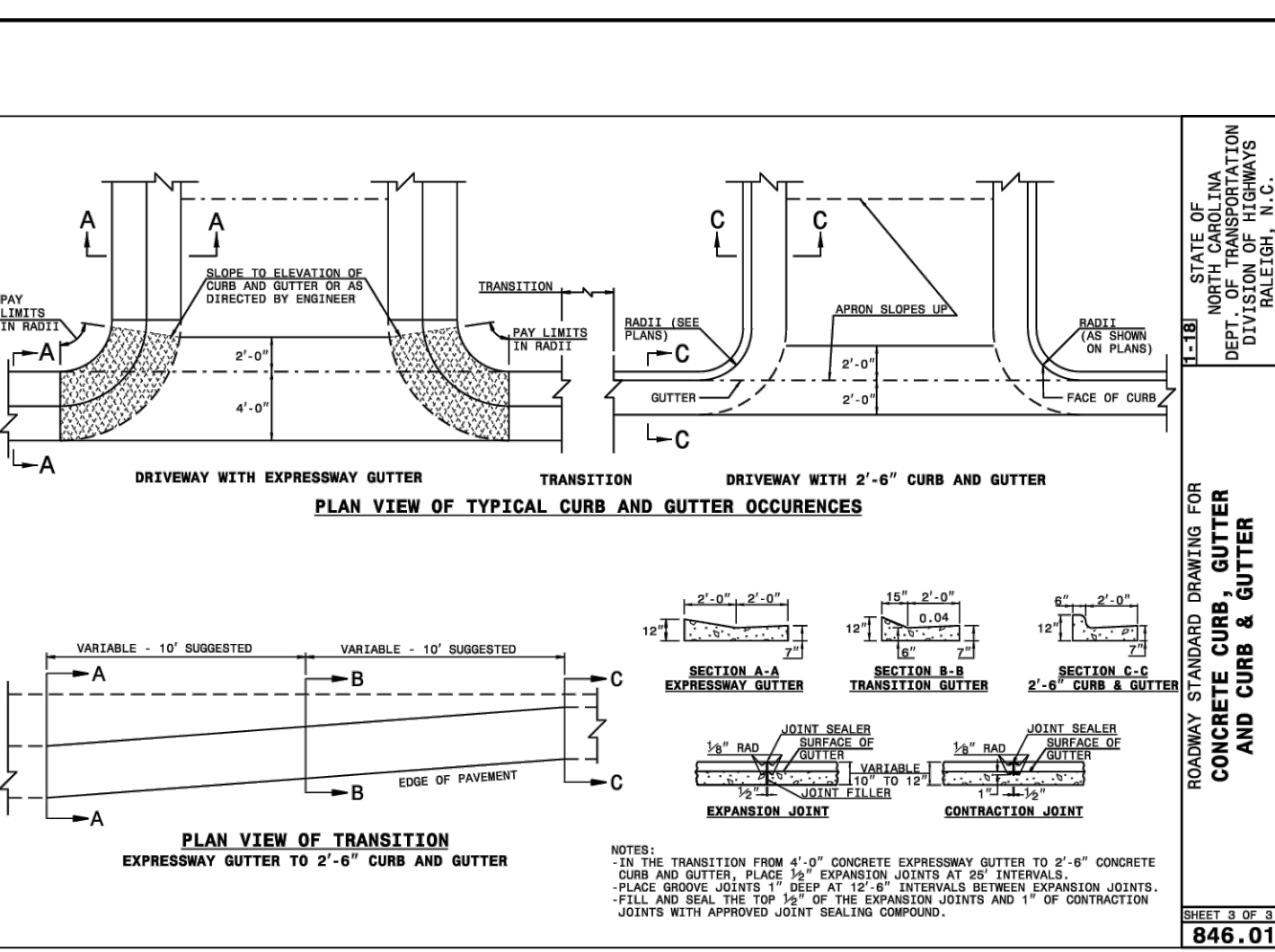
FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN



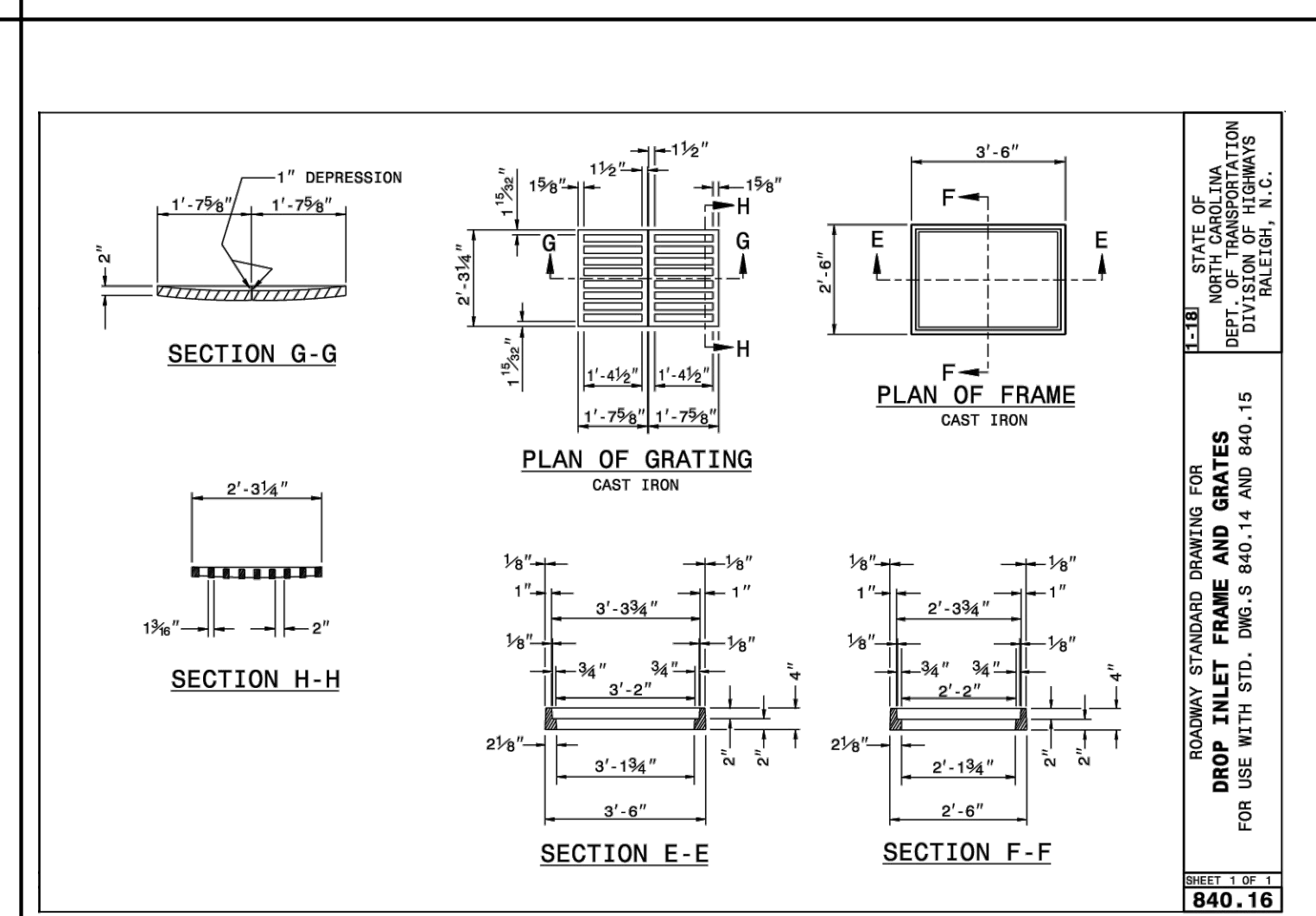
CURB RAMP PROPOSED CURB AND GUTTER



CURB RAMP PROPOSED CURB AND GUTTER



PLAN VIEW OF TRANSITION CURB AND GUTTER OCCURRENCES



DROP INLET FRAME AND GRATES FOR USE WITH STD. DWG. S 840-14 AND 840-15

- Final Drawing -
Issued for Permit
Review Purposes Only

CROSLAND SOUTHEAST

WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)

Rolesville, Wake County, North Carolina

MISC. DETAILS - SITE-STORM

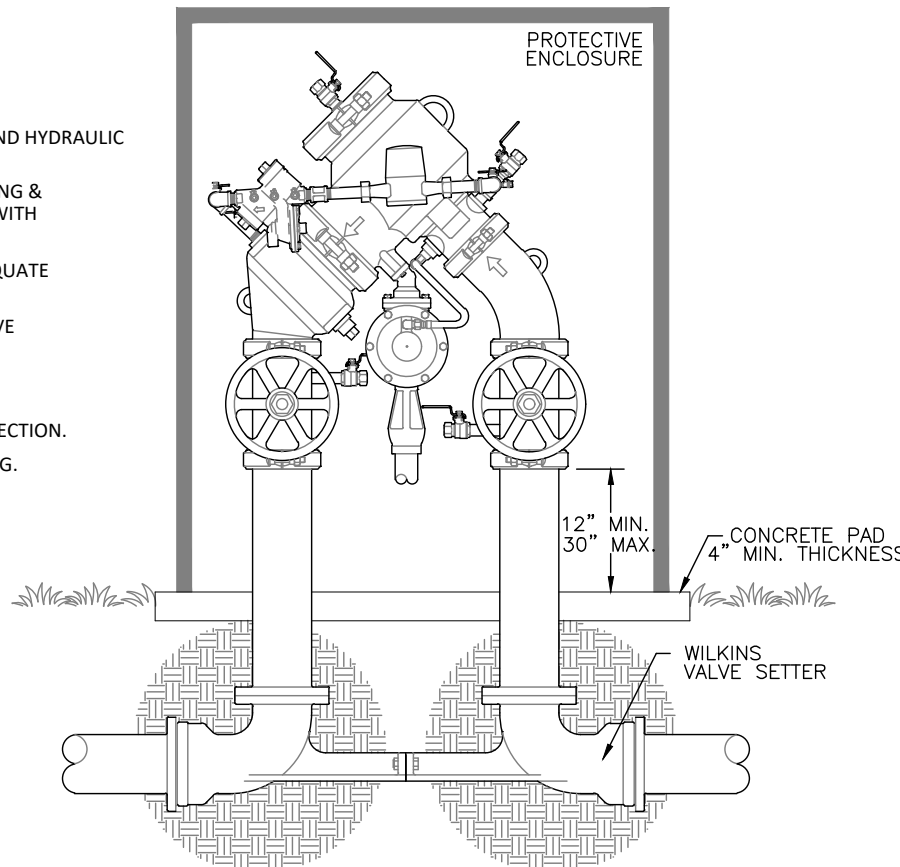
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Raleigh, NC 27608
(919) 877-0000
www.arkconsultinggroup.com

Project Manager: BCL
Drawn By: DFC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C5.1

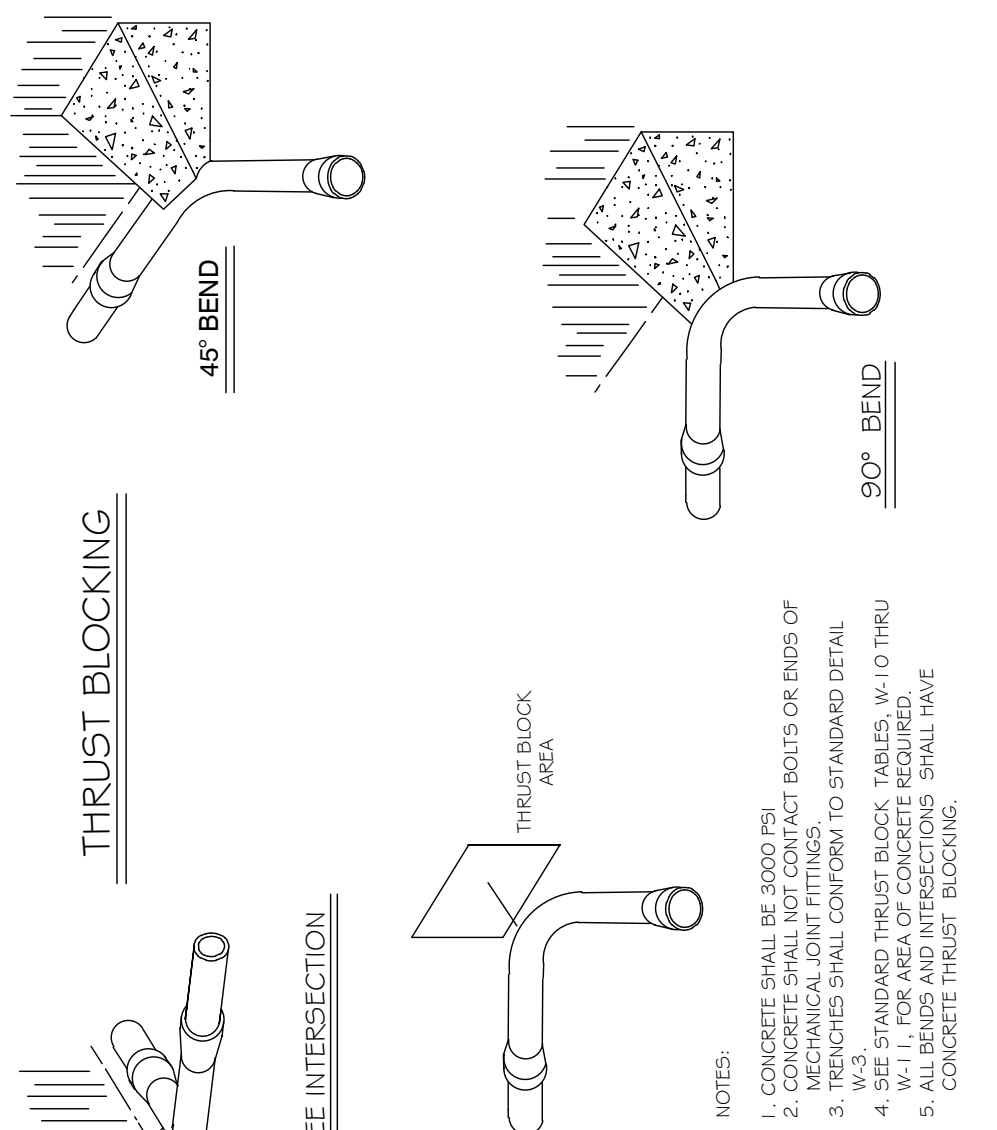
Date: February 10, 2023

- ALL FLANGE BOLTS SHALL BE GALVANIZED
- USE ONLY CONTROL DEVICES APPROVED BY GUC AND THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, UNIVERSITY OF SOUTHERN CALIFORNIA
- PROVIDE SHOP DRAWING SUBMITTAL SHOWING ALL PIPING & APPURTENANCES WITHIN THE PROTECTIVE ENCLOSURE WITH MEASUREMENTS & CLEARANCES CLEARLY LABELED
- PROVIDE ALUMINUM ENCLOSURE SIZED TO ALLOW ADEQUATE ROOM FOR TESTING, MAINTENANCE AND OPERATION.
- DRAIN OPENINGS SHALL BE SIZED TO ADEQUATELY RELIEVE MAXIMUM DISCHARGE OF APPROPRIATE DEVICE.
- REDUCED PRESSURE PRINCIPLE ASSEMBLIES (RPZ) SHALL REQUIRE AN ABOVE GROUND INSTALLATION.
- PROVIDE ELECTRIC HEATER FOR ADEQUATE FREEZE PROTECTION.
- REFER TO DETAIL ON THIS SHEET FOR REACTION BLOCKING.



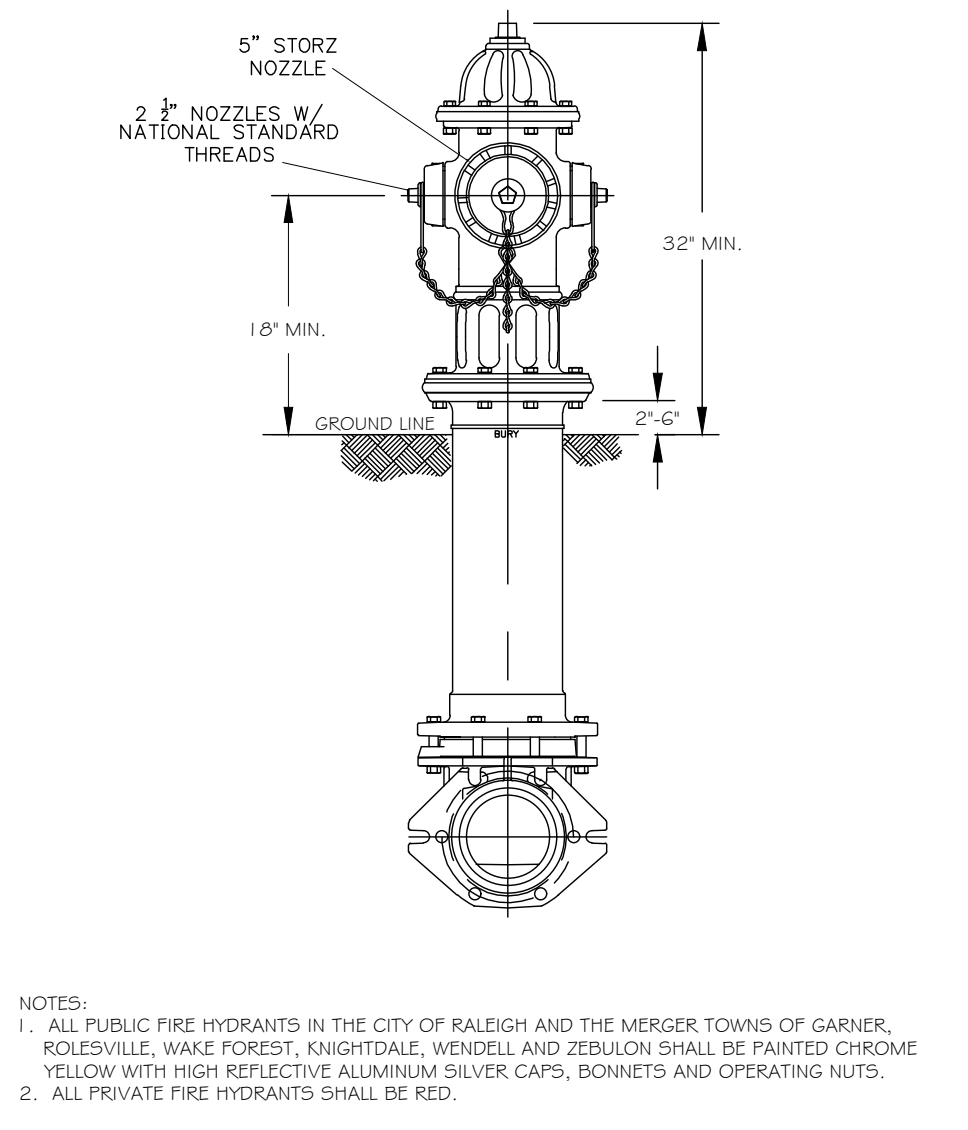
WILKINS MODEL 475DA
REDUCED PRESSURE DETECTOR ASSEMBLY
OUTDOOR INSTALLATION

REDUCED PRESSURE DETECTOR ASSEMBLY
NOT TO SCALE



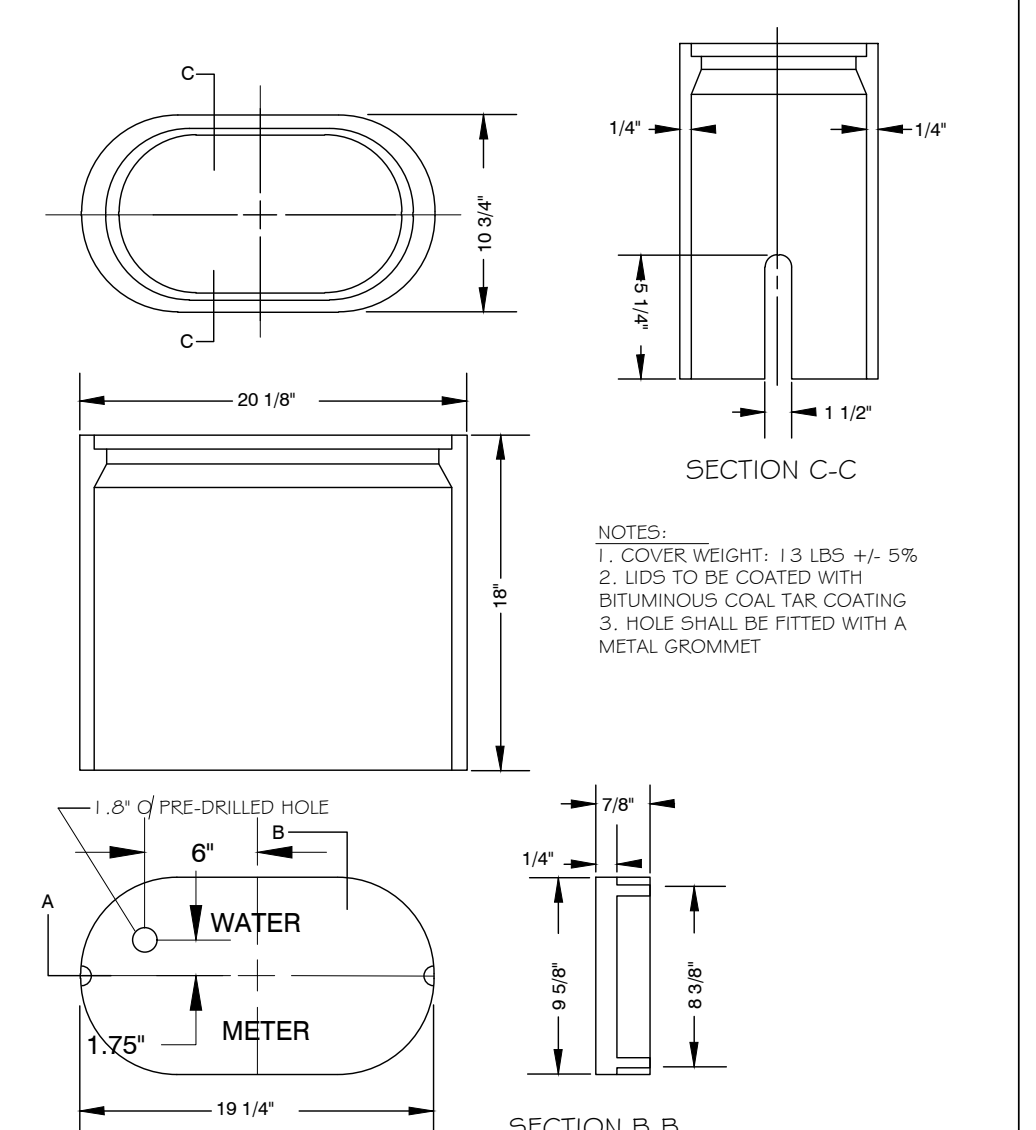
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD THRUST BLOCKING VIEWS

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-9	D.W.C.	3-1-97	RRH	3-31-00
		9-7-99	D.H.L.	6-16-08



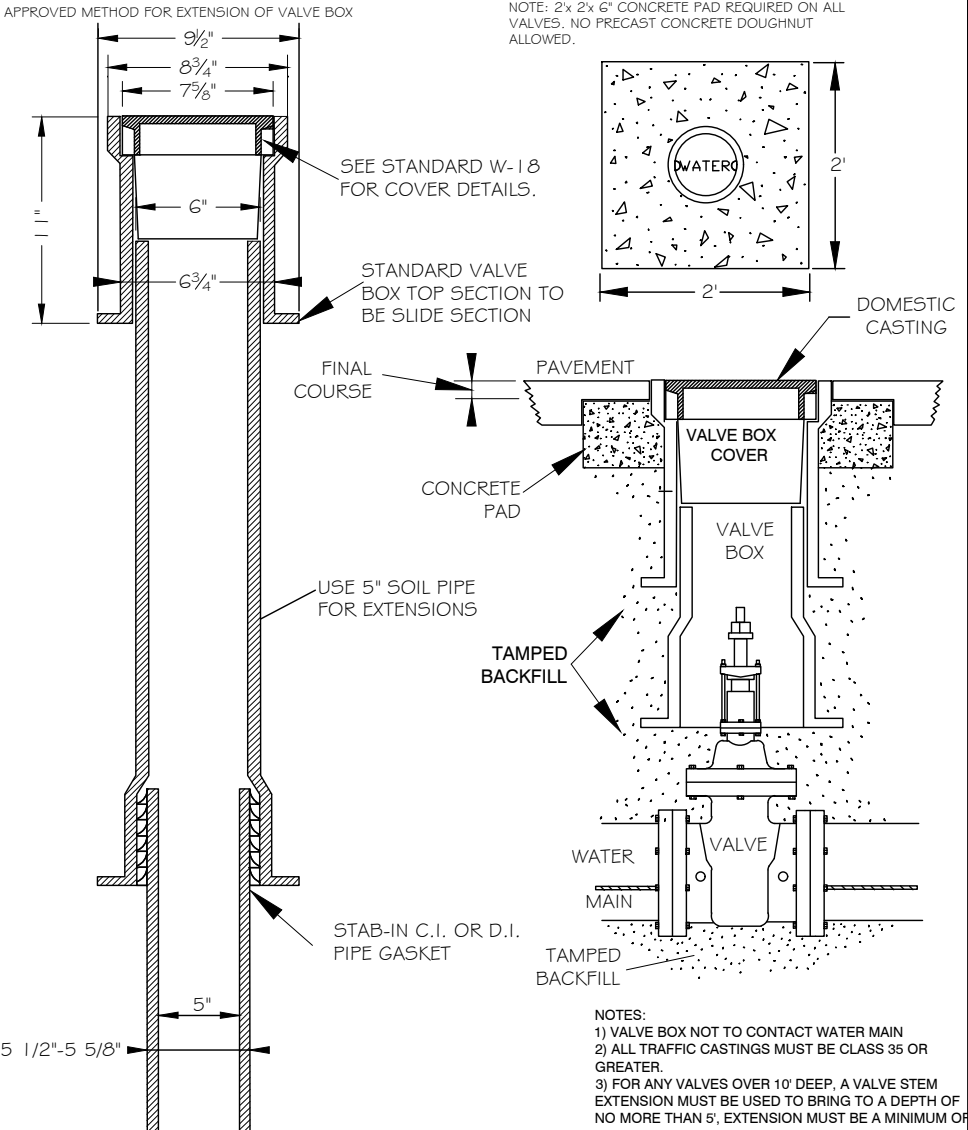
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-3	MAB	4-30-16		
	KAT	9-15-17		



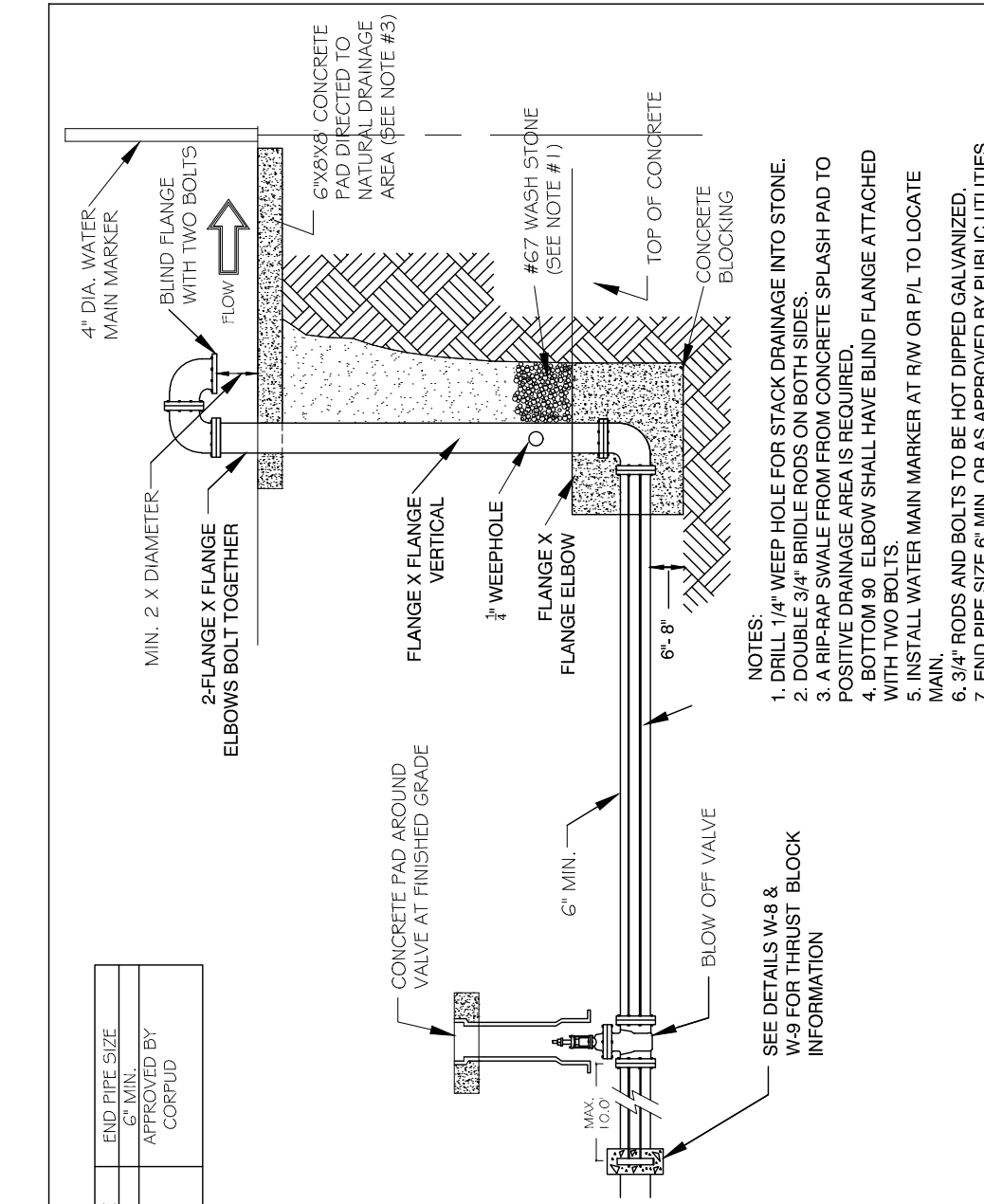
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
WATER METER BOX DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	D.W.C.	11-3-99	ABB	1-20-05
	RRH	3-31-00	J.P.S.	11-4-10



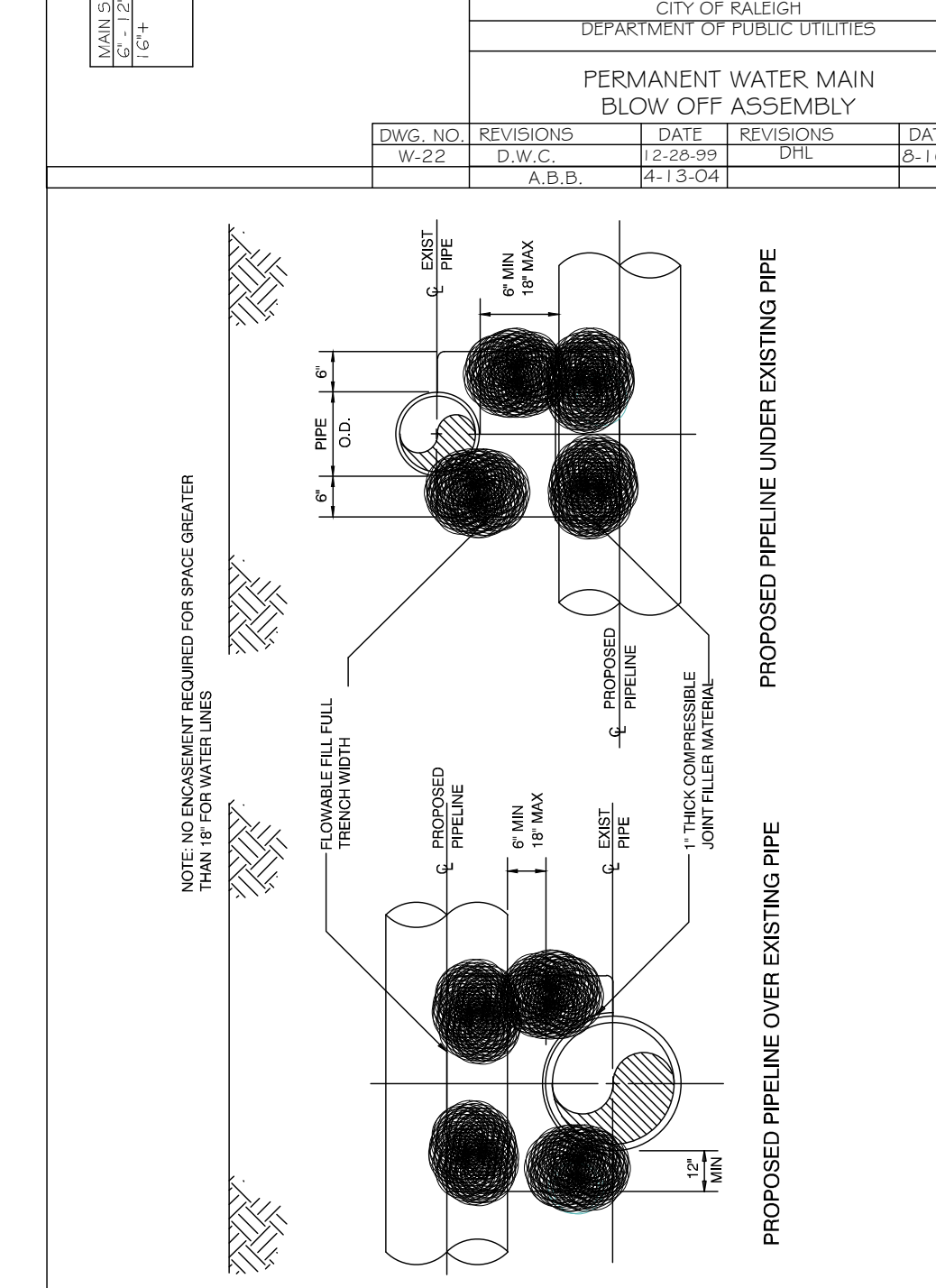
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
VALVE BOX INSTALLATION AND EXTENSION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-17	D.W.C.	3-7-99	A.B.B.	4-15-04
	RRH	3-31-00	D.H.L.	9-16-07



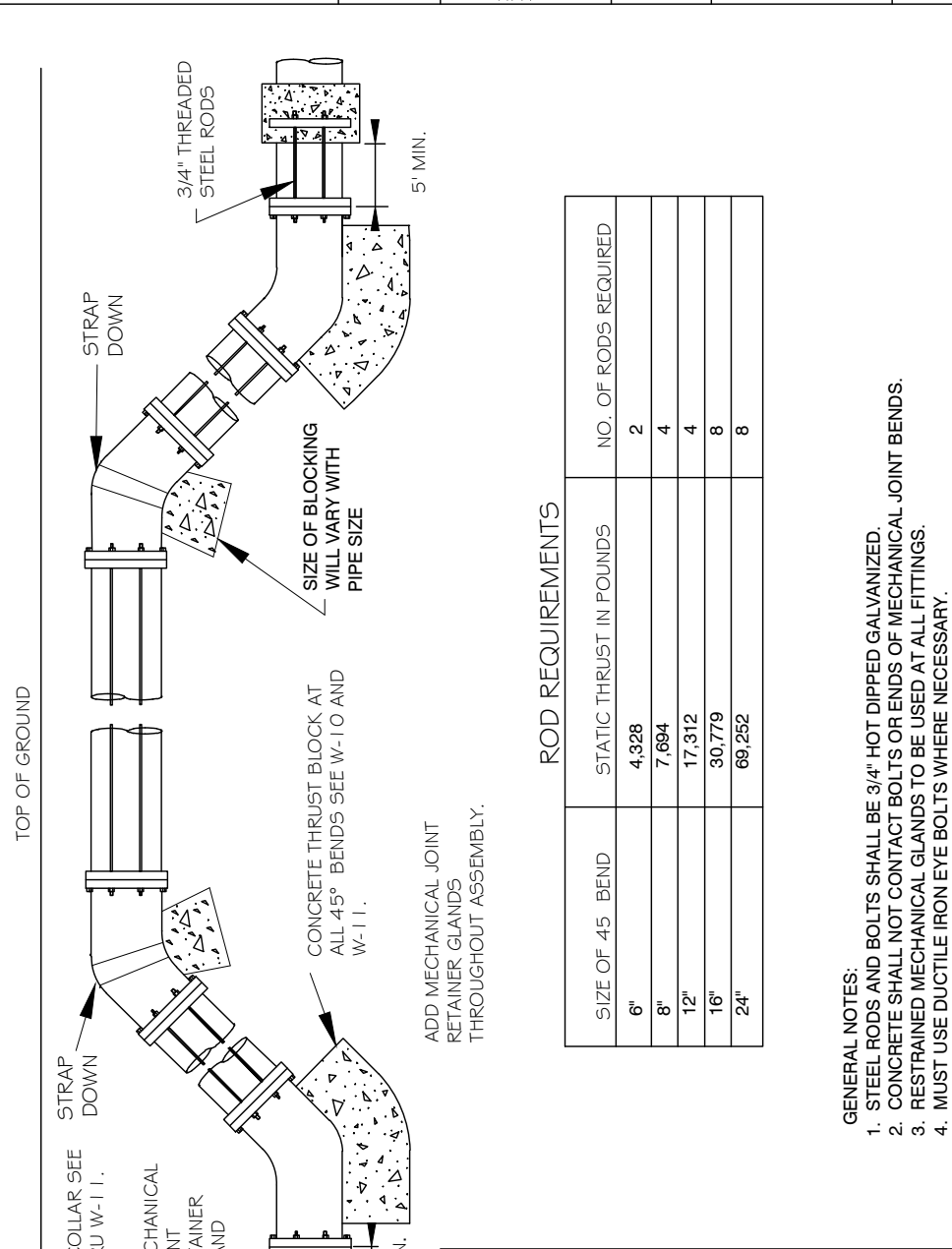
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS
BASED ON TEST PRESSURE OF 200 P.S.I.

SIZE AND DEGREE OF BEND	BACKLASH TRUST IN PLAN (MIN. LB/FT)	MOMENTARY BENT CLAY (MIN. LB/FT)	SOFT CLAY (MIN. LB/FT)	WEEDS (MIN. LB/FT)	POSSIBLE BENT (MIN. LB/FT)	ADDED WEIGHT (MIN. LB/FT)	SAND (MIN. LB/FT)	SAND COMPACT FIRM (MIN. LB/FT)	GRAVEL (MIN. LB/FT)	GRAVEL CLEAN (MIN. LB/FT)	ROCK (MIN. LB/FT)	ROCK (MIN. LB/FT)
6"												
11 1/4"	1,108	1	1	1	1	1	1	1	1	1	1	1
22 1/2"	2,207	1	2	2	2	1	1	1	1	1	3	1
45°	4,328	2	3	3	1	1	1	2	5	1		
90°	7,996	2	4	5	1	1	1	2	8	1		
FLUG	5,655	2	3	4	1	1	1	2	6	1		
8"												
11 1/4"	1,970	1	1	2	1	1	1	1	2	1		
22 1/2"	3,922	1	2	3	1	1	1	1	4	1		
45°	7,684	2	4	5	1	1	1	2	8	1		
90°	14,215	4	6	9	2	2	4	15	2			
FLUG	10,653	3	5	6	2	2	3	10	1			
12"												
11 1/4"	4,433	2	3	3	1	1	1	2	5	1		
22 1/2"	8,826	3	5	6	2	2	3	9	1			
45°	17,312	5	9	11	3	3	5	18	2			
90°	31,983	8	16	19	4	4	8	32	4			
FLUG	22,619	6	12	14	3	3	6	23	3			
16"												
11 1/4"	7,981	2	4	5	1	1	1	2	8	1		
22 1/2"	15,691	4	8	10	2	2	4	16	2			
45°	30,779	8	16	19	4	4	8	31	4			
90°	56,661	15	29	35	8	8	15	57	6			
FLUG	40,213	10	21	25	5	5	10	41	5			



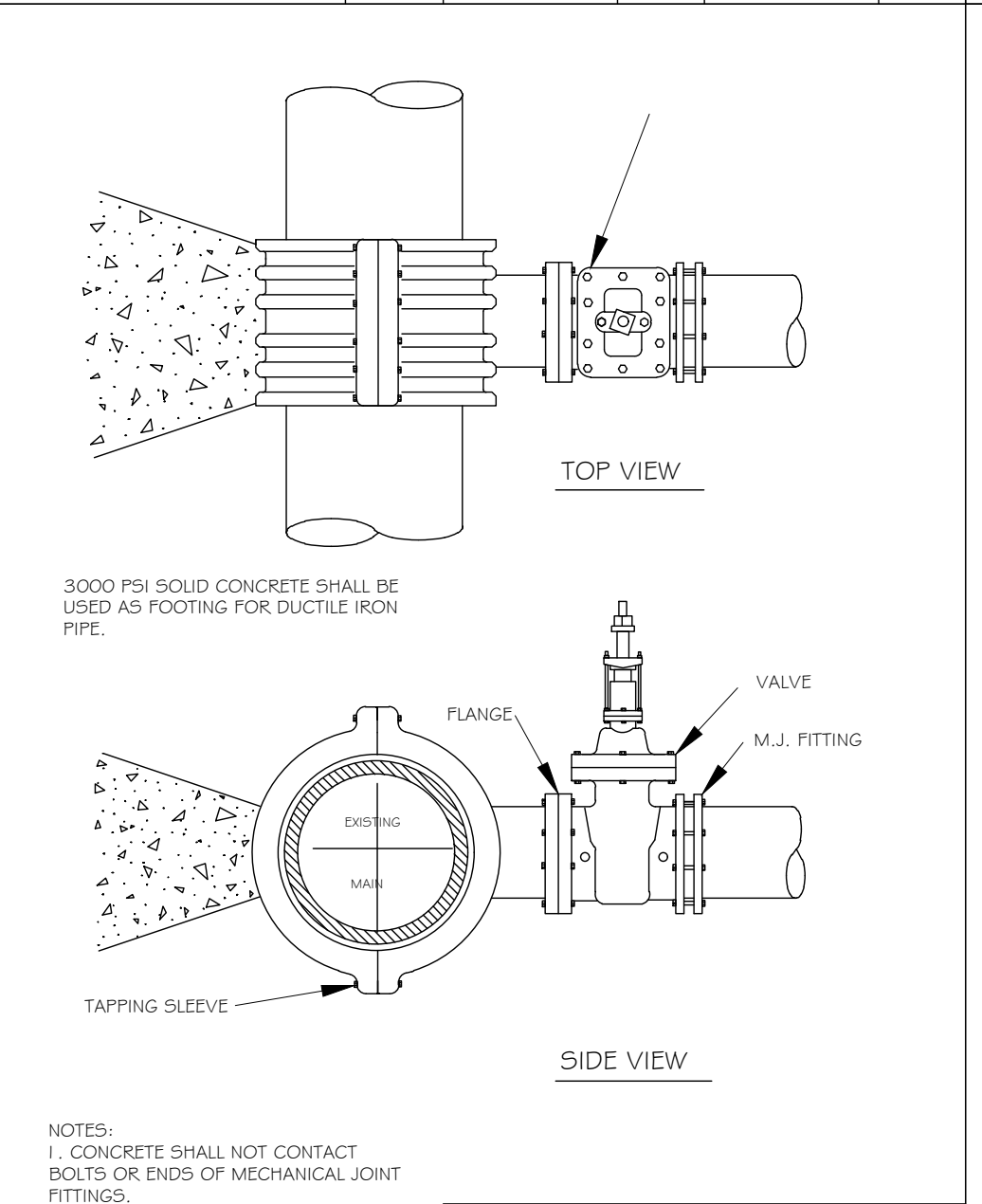
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
THRUST BLOCKING DESIGN QUANTITY TABLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-10	D.W.C.	6-23-99		



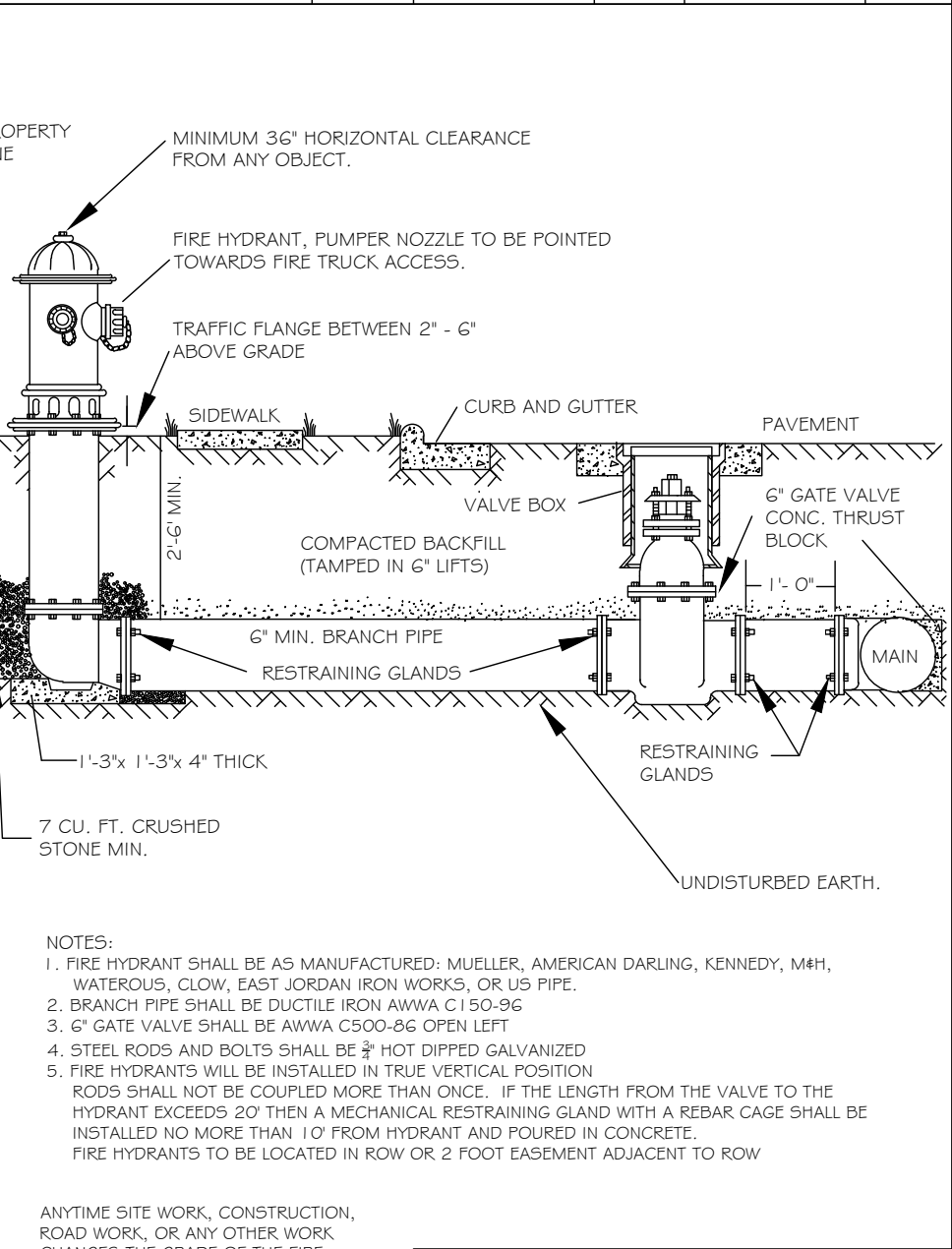
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD VERTICAL BEND

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-12	Y.C.A.	4-6-04	J.P.S.	11-1-10
	D.H.L.	6-18-06		



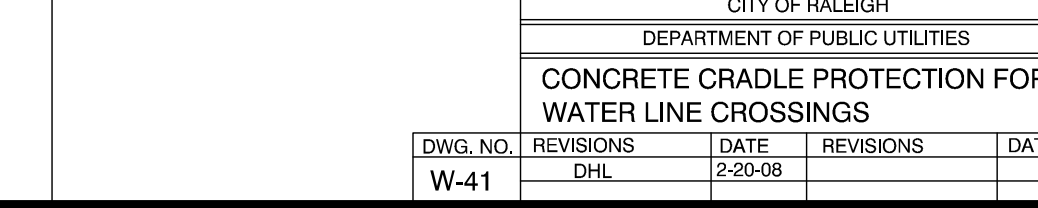
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-14	Y.C.A.	12-31-91	RRH	3-31-00
	D.W.C.	9-7-99	J.P.S.	11-1-10



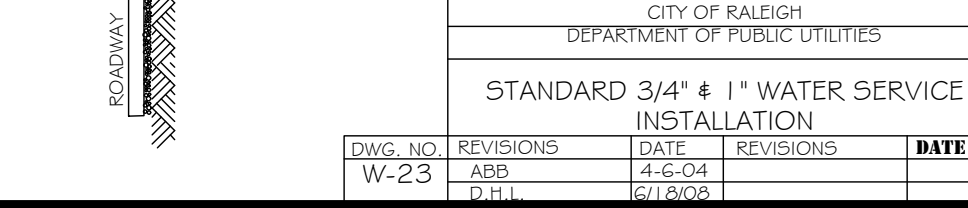
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD FIRE HYDRANT INSTALLATION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ABB	4-6-04	FAP	2-17-00
	D.H.L.	2-14-08		



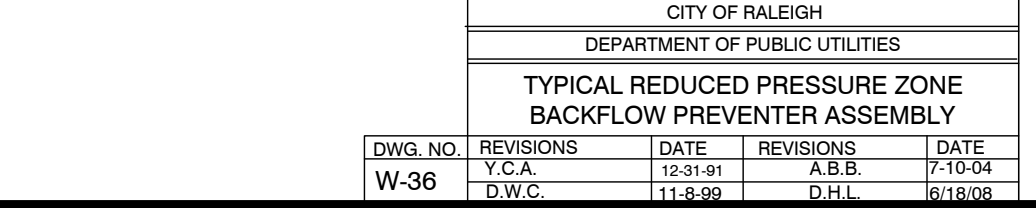
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
CONCRETE CRADLE PROTECTION FOR WATER LINE CROSSINGS

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-41	D.H.L.	2-20-08		



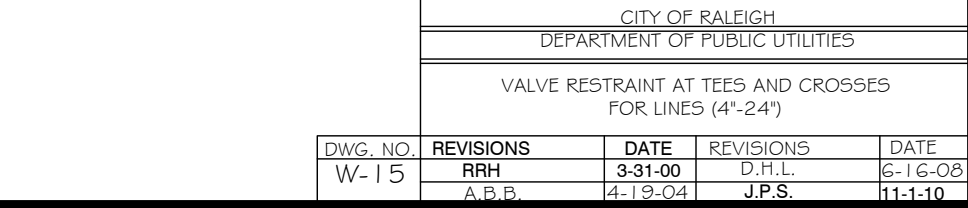
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD 3/4" # 1" WATER SERVICE INSTALLATION

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23	ABB	4-6-04	A.B.B.	7-10-04
	D.H.L.	6-18-06		



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-36	Y.C.A.	12-31-91	A.B.B.	7-10-04
	D.W.C.	11-8-99	D.H.L.	12-12-04
			J.P.S.	11-1-10



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
VALVE RESTRAINT AT TEES AND CROSSES FOR LINES (4"-24")

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-15	RRH	3-31-00	A.B.B.	6-16-08
	A.B.B.	12-12-04	J.P.S.	11-1-10

-Final Drawing - Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SPEC. 2022 PER OWNER REQUEST

CROSLAND SOUTHEAST

MISC. DETAILS - WATER

WALLBROOK

SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)

Rolesville, Wake County, North Carolina

NC License: P-1109

ARK CONSULTING GROUP PLLC

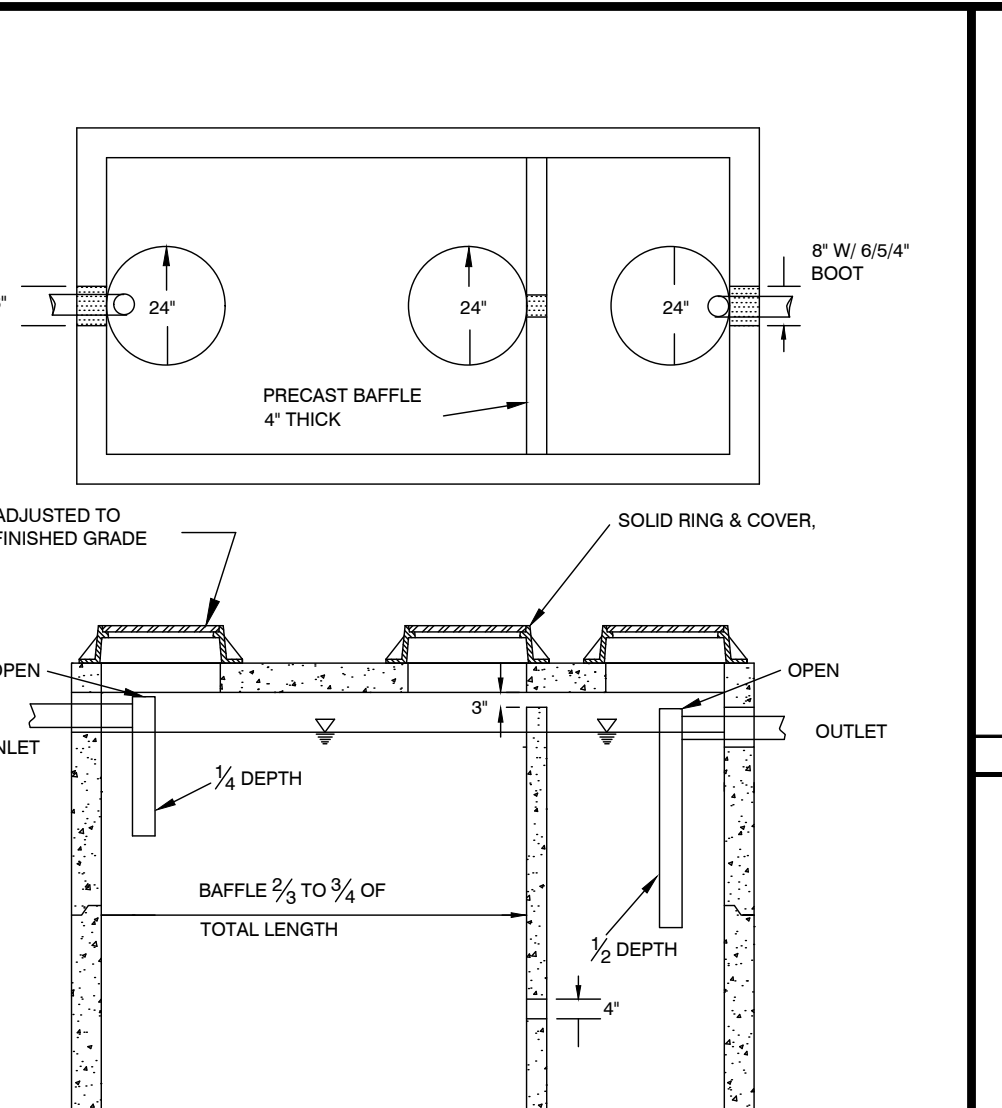
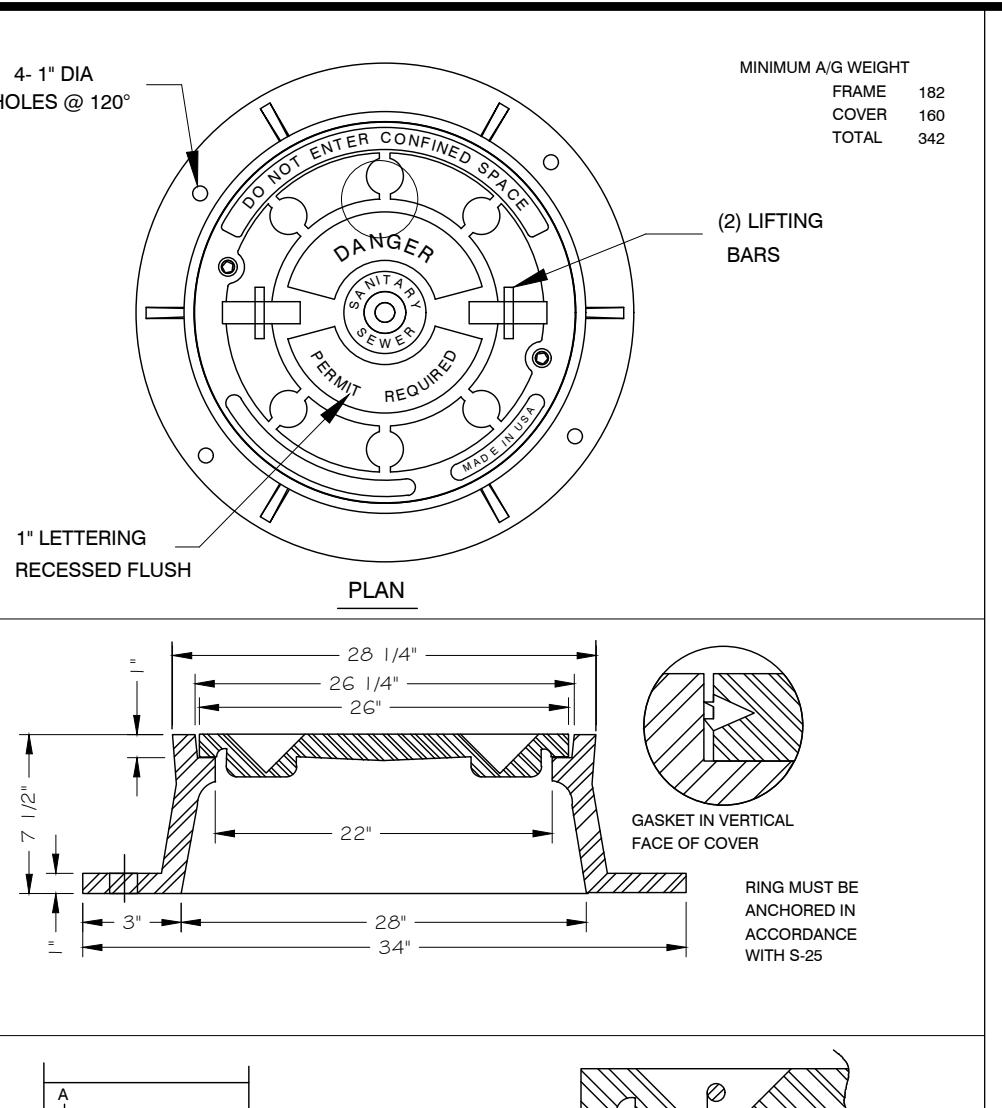
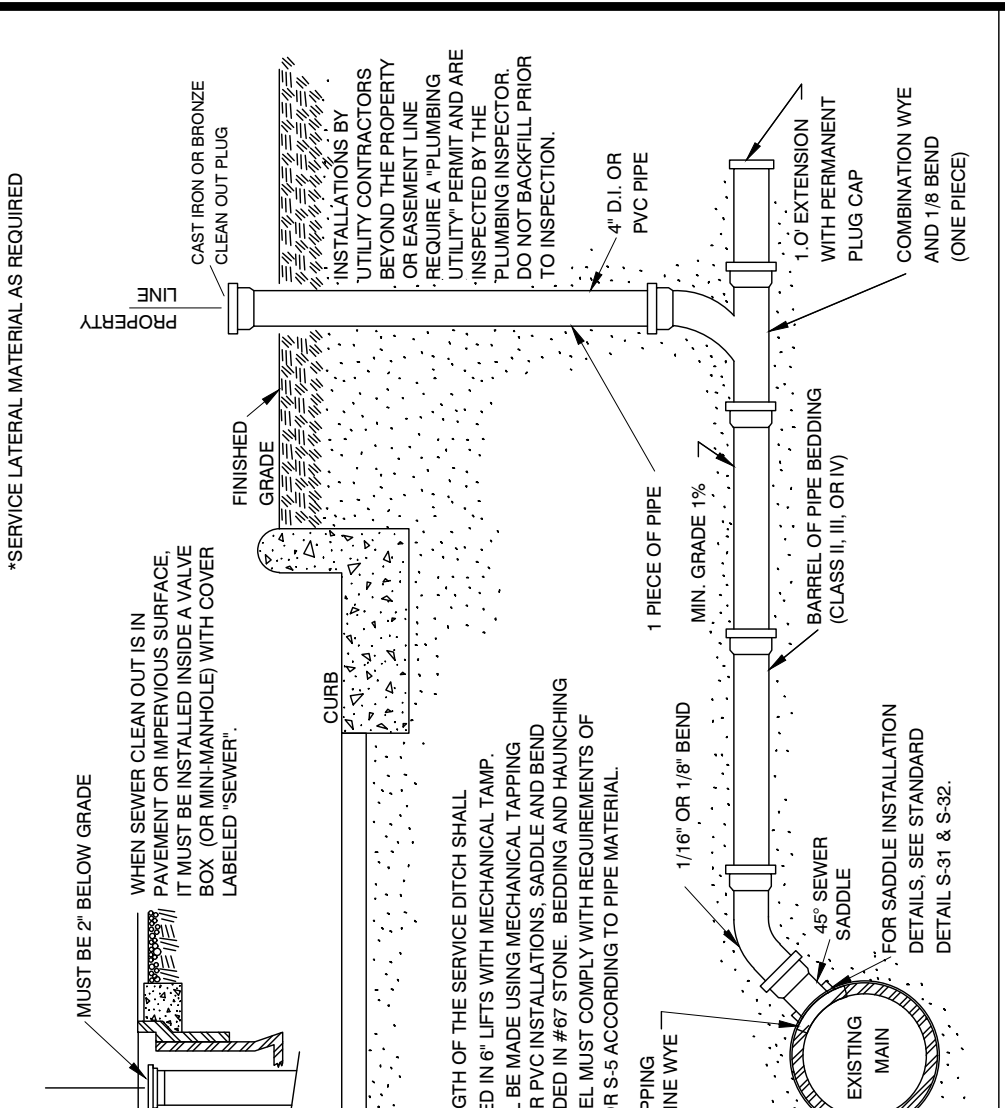
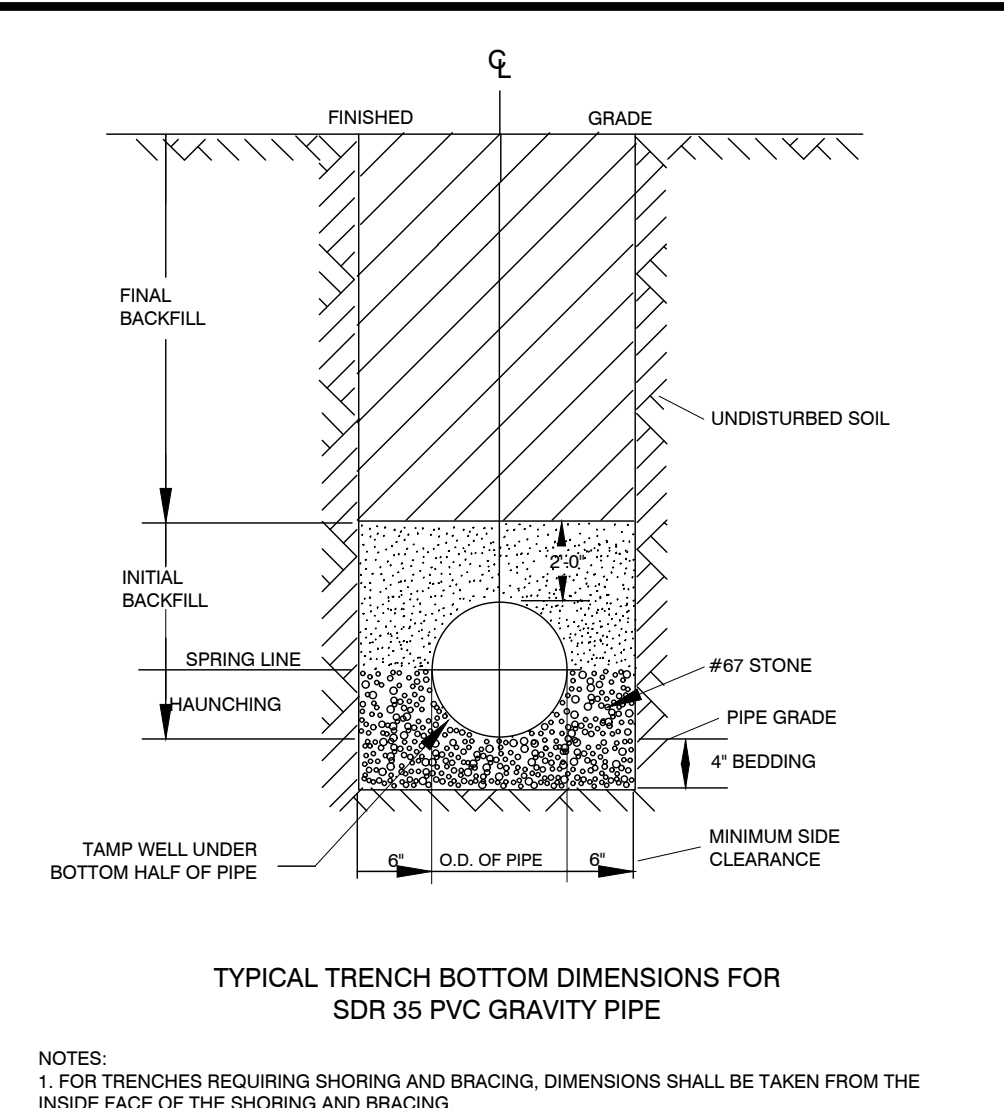
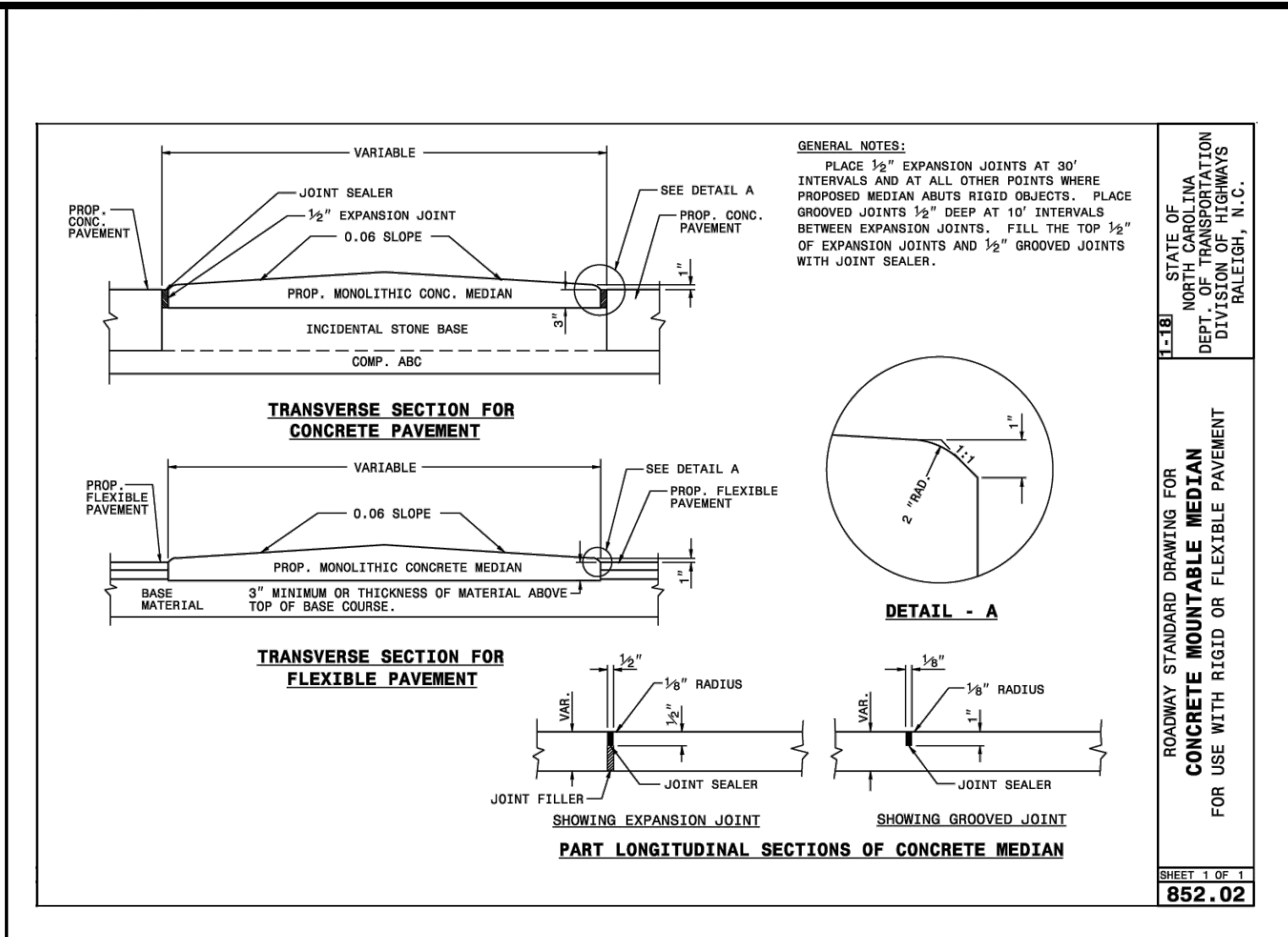
ENGINEERS & PLANNERS

2755-B Charles Blvd
Raleigh, NC 27608
(919) 558-0888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C5.2

Date: February 10, 2023



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5		3-1-87	D.W.C.	9-3-99
	TO NOTES	7-2-82	RRH	3-30-00

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

TYPICAL SANITARY SEWER LATERAL CONNECTION

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-30		6-92	A.B.B.	4-5-04
	Y.C.A.	3-30-00	D.H.L.	6-18-08

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

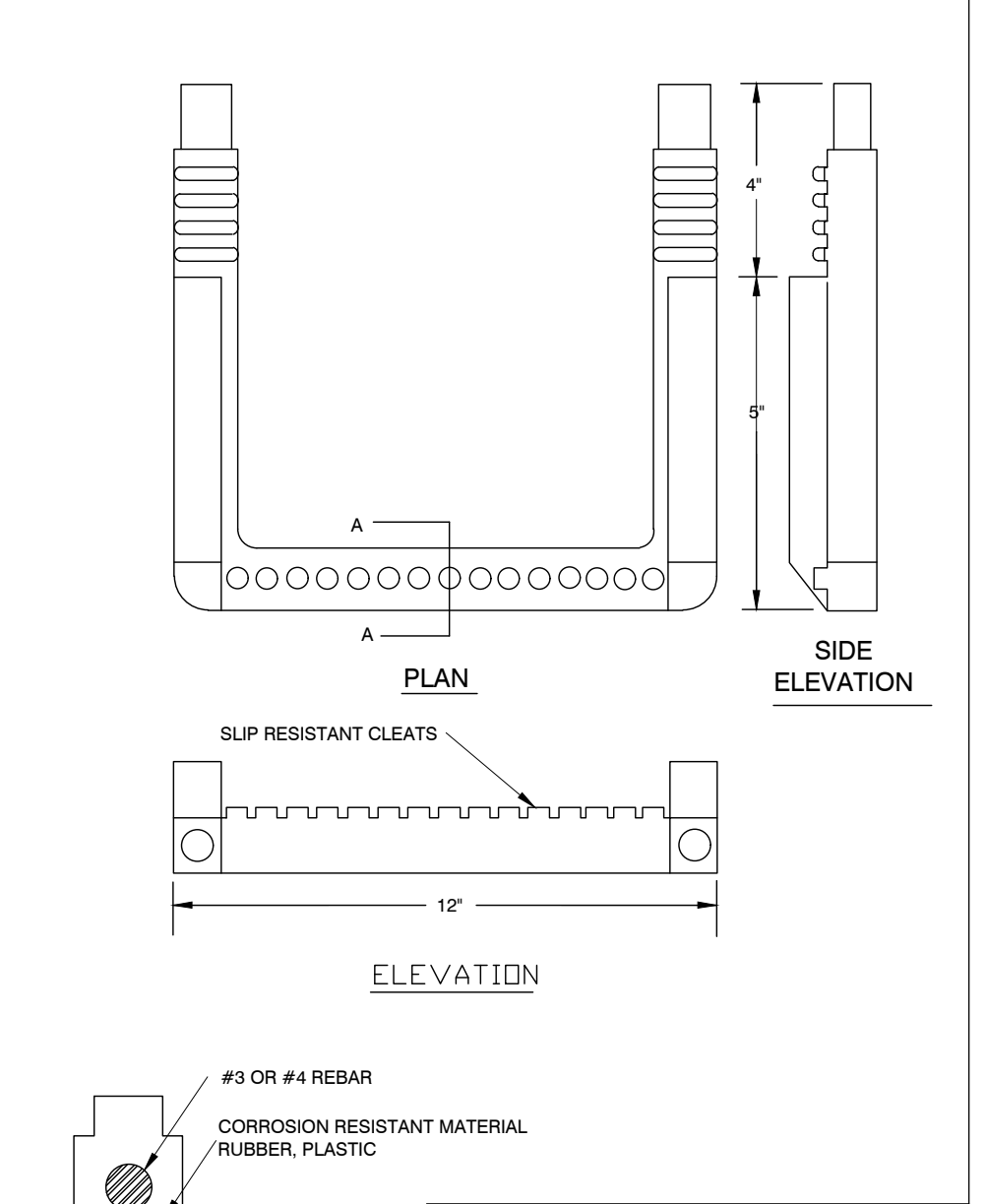
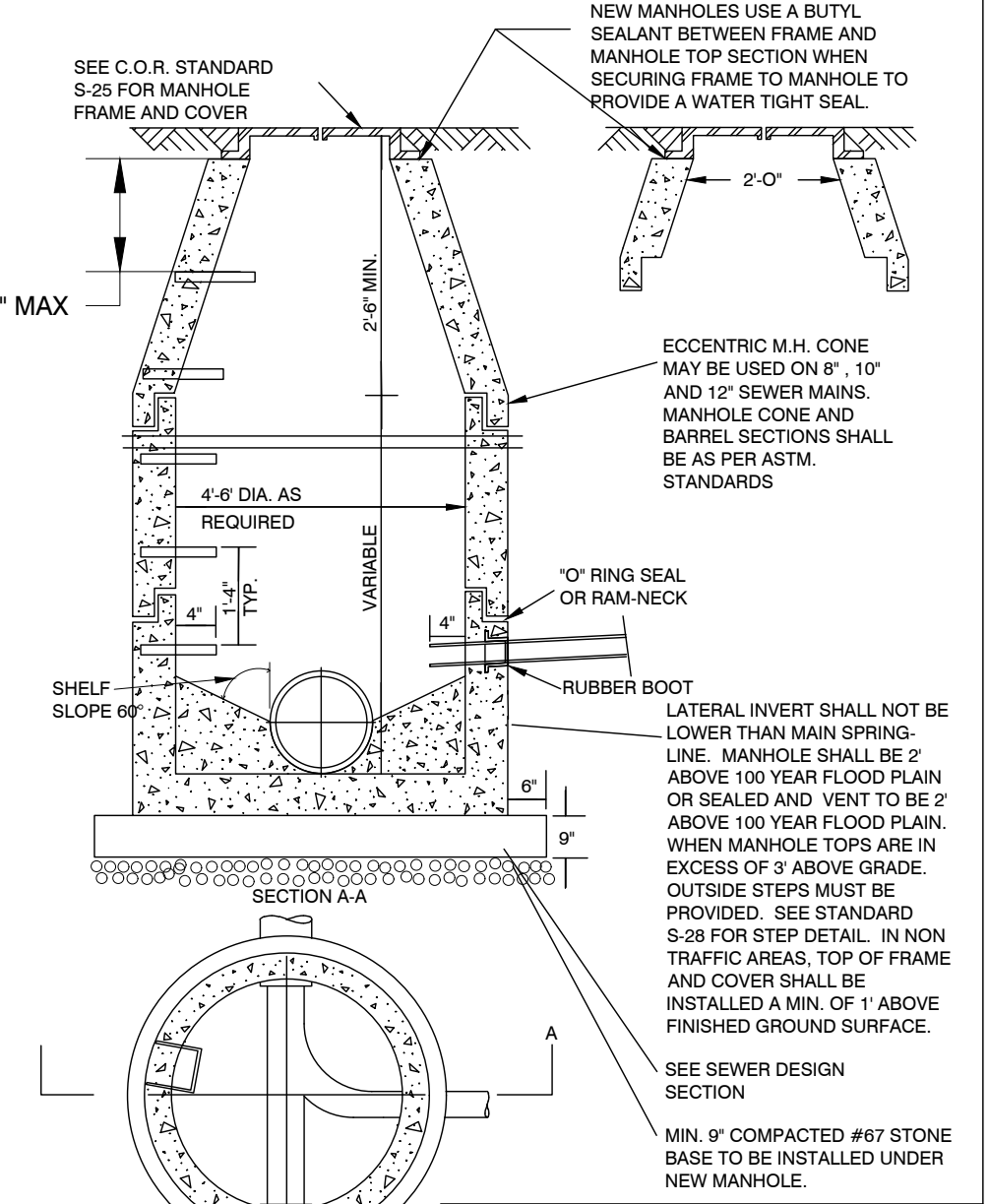
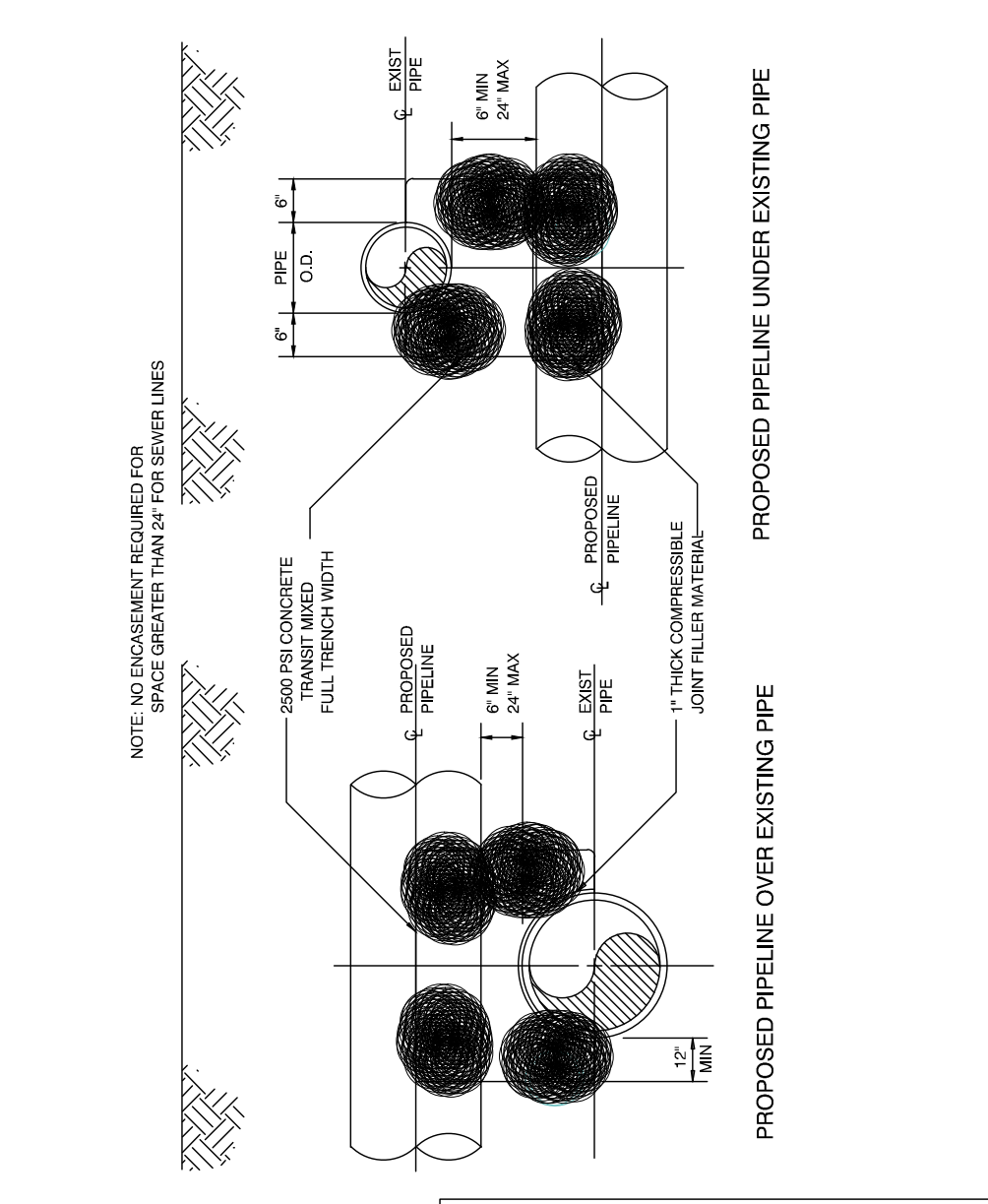
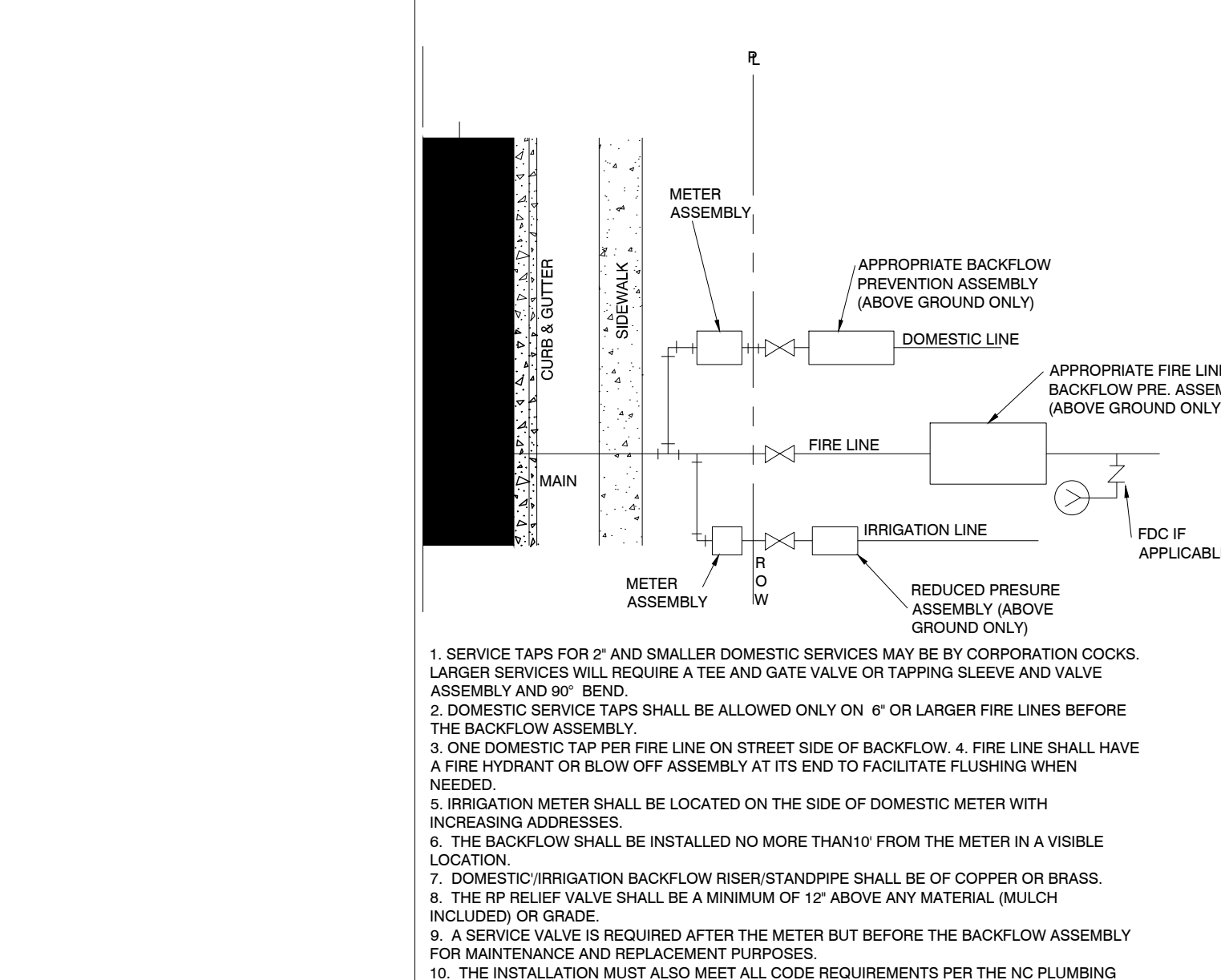
MANHOLE FRAME AND WATERTIGHT COVER

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-26		3-1-87	ABB	8-29-05
	RRH	3-30-00	D.H.L.	6-18-08

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

1000S GALLON GREASE INTERCEPTOR

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-40		3/9/00	D.H.L.	6/18/08
	RRH	3/19/04		



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

DIMENSIONS: GREASE INTERCEPTORS OIL-WATER SAND SEPARATORS

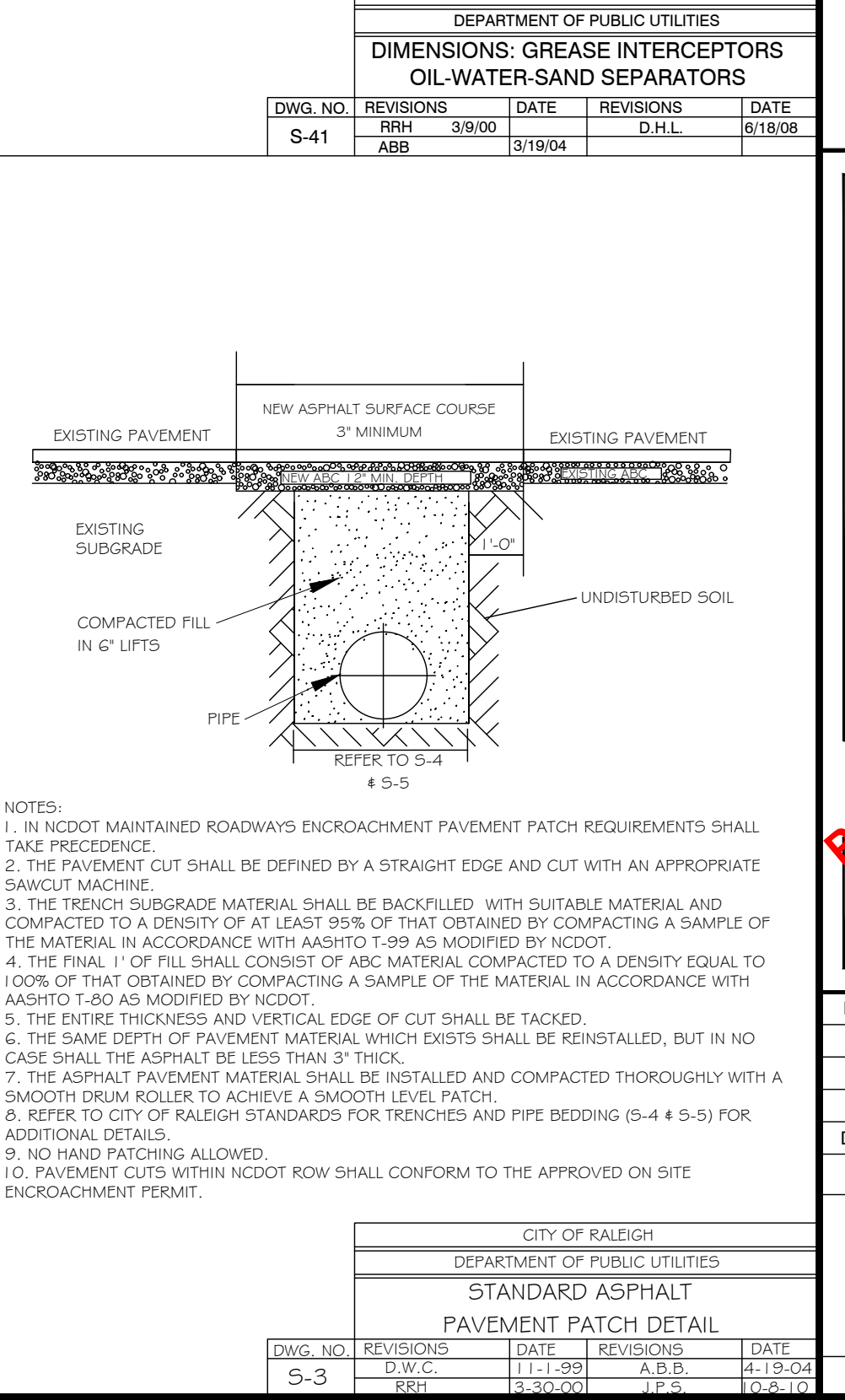
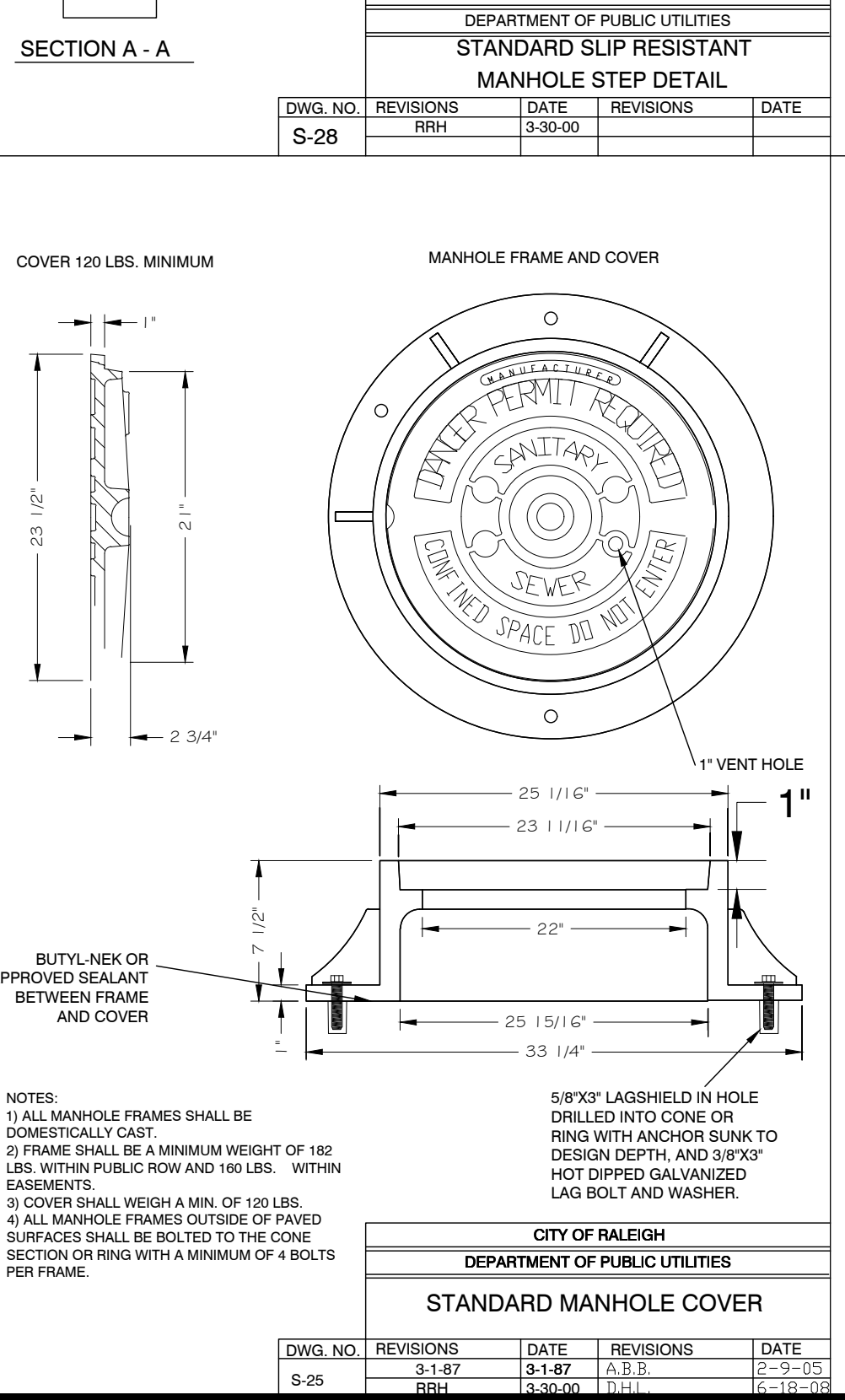
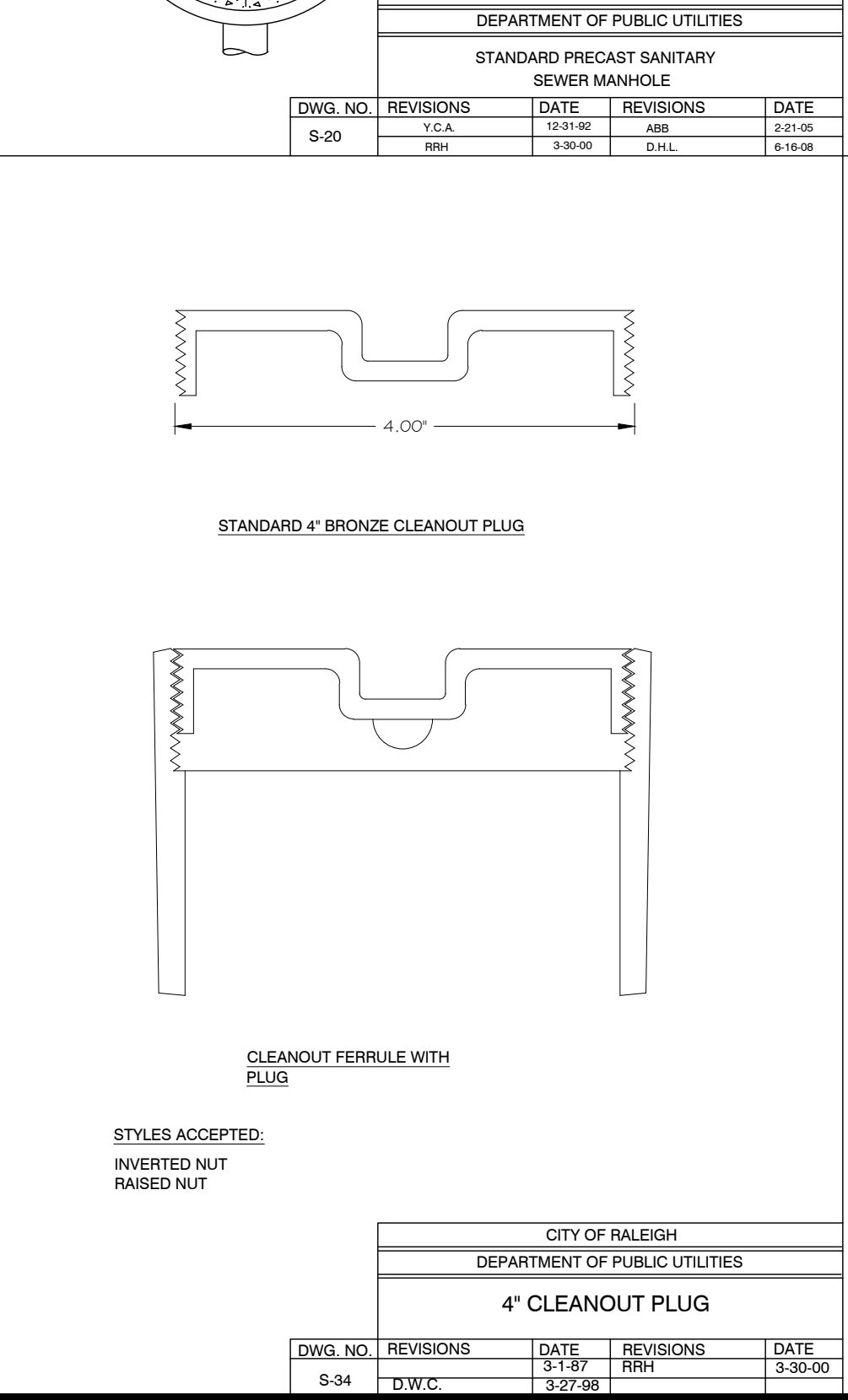
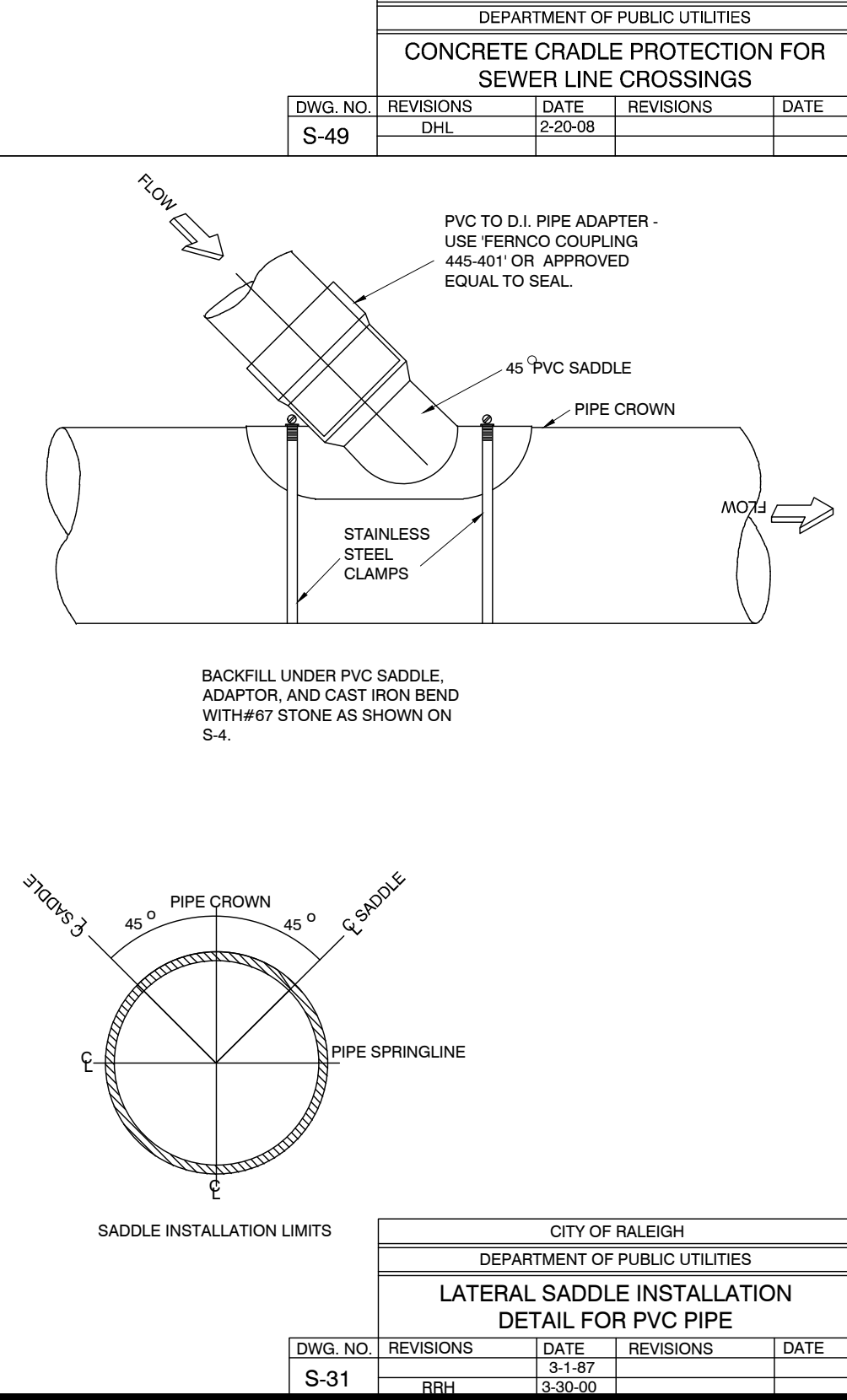
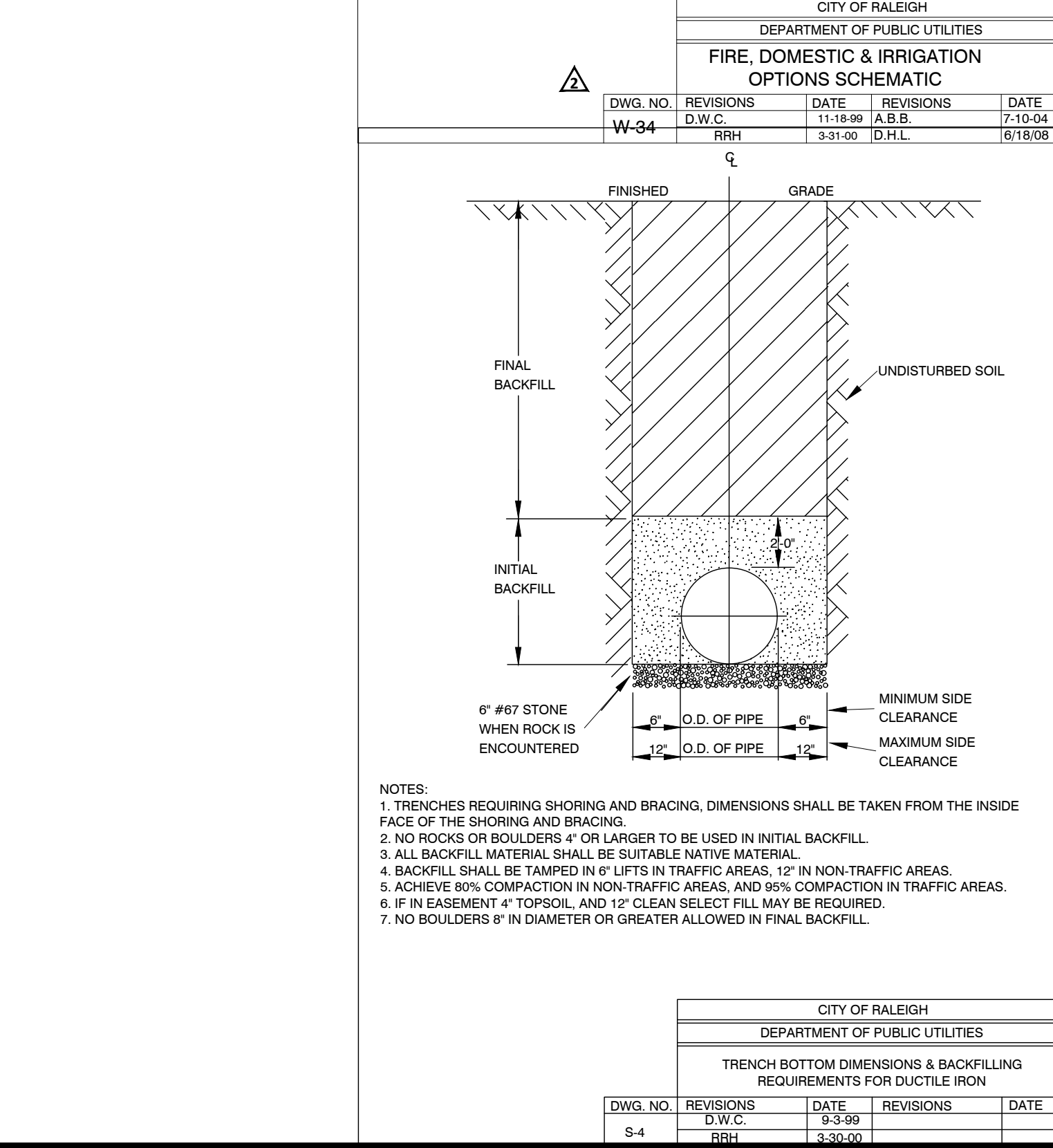
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-41		3/9/00	D.H.L.	6/18/08
	RRH	3/19/04		

LOCALLY AVAILABLE SIZES

INTERCEPTORS CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
300	1000
550	1200
750	1600
1000	
1200	
1500	
2000	
2500	
3000	
4000	
5000	
6000	
8000	

NOTES:

- BAFFLE WALL LOCATED AT A DISTANCE FROM INLET WALL 2/3 TO 3/4 OF THE TOTAL LENGTH OF THE INTERCEPTOR OR SEPARATOR AS SHOWN ON DETAIL S-40.
- BAFFLE WALLS LOCATED AT A DISTANCE APPROXIMATELY OF 1/2 OF THE TOTAL LENGTH OF THE SEPARATOR AS SHOWN ON DETAIL S-40-01.
- EACH INTERCEPTOR OR SEPARATOR SHALL HAVE INLET AND OUTLET TEES. THE OUTLET TEES SHALL EXTEND 30" INTO THE LIQUID DEPTH. THE INLET TEES SHALL EXTEND 20" INTO THE LIQUID DEPTH. INLET AND OUTLET TEES MUST BE OPEN TO ALLOW THE COLLECTION OF F.O.G. SAMPLE.
- ACCESS OPENINGS OVER EACH COMPARTMENT WITHIN THE INTERCEPTOR OR SEPARATOR SHALL BE 24 INCHES IN DIAMETER AND CONTAIN FINGER HOLES. ALL COVERS SHALL BE CONSTRUCTED OF CAST IRON OR EQUIVALENT TRAFFIC BEARING MATERIAL. MANHOLE COVERS MUST EXTEND TO FINISH GRADE AND BE INSTALLED TO EXCLUDE THE ENTRANCE OF STORMWATER INTO THE INTERCEPTOR OR SEPARATOR.
- A FULL SIZE DUAL SWEEP CLEANOUTS SHALL BE INSTALLED ON THE INLET AND OUTLET SIDES OF THE INTERCEPTOR OR SEPARATOR.
- INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
- CONCRETE: 4000 PSI (28 DAYS)
- DESIGN: AC 318 BUILDING CODE
- ASTM C918-02 FOR GREASE INTERCEPTORS
- ASTM C913-02 FOR WATER AND WASTEWATER STRUCTURES
- ASTM C918-02 FOR MINIMAL STRUCTURAL DESIGN LOADS
- INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
- INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR FIBERGLASS SHALL INCLUDE A MINIMUM 1200 PSI TENSILE STRENGTH, 15000 PSI FLEXURAL STRENGTH, AND 800,000 PSI FLEXURAL MODULUS.
- ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-4		9-3-99		
	D.W.C.	3-31-00	D.H.L.	6-18-08

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-31		3-1-87	RRH	3-30-00
	RRH	3-30-00		

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

4" CLEANOUT PLUG

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34		3-1-87	RRH	3-30-00
	D.W.C.	3-27-98		

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

STANDARD MANHOLE COVER

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25		3-1-87	A.B.B.	2-9-05
	RRH	3-30-00	D.H.L.	6-18-08

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES

STANDARD ASPHALT PAVEMENT PATCH DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3		11-1-99	A.B.B.	4-19-04
	RRH	3-30-00	D.H.L.	6-18-08

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED SPEC. BUILDING DEPARTMENT REQUEST

MISC. DETAILS - SEWER

WALLBROOK

SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)

Rolesville, Wake County, North Carolina

NC License: P-1109

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS

2755-B Charles Blvd
Raleigh, NC 27608
(757) 558-0888
www.arkconsultinggroup.com

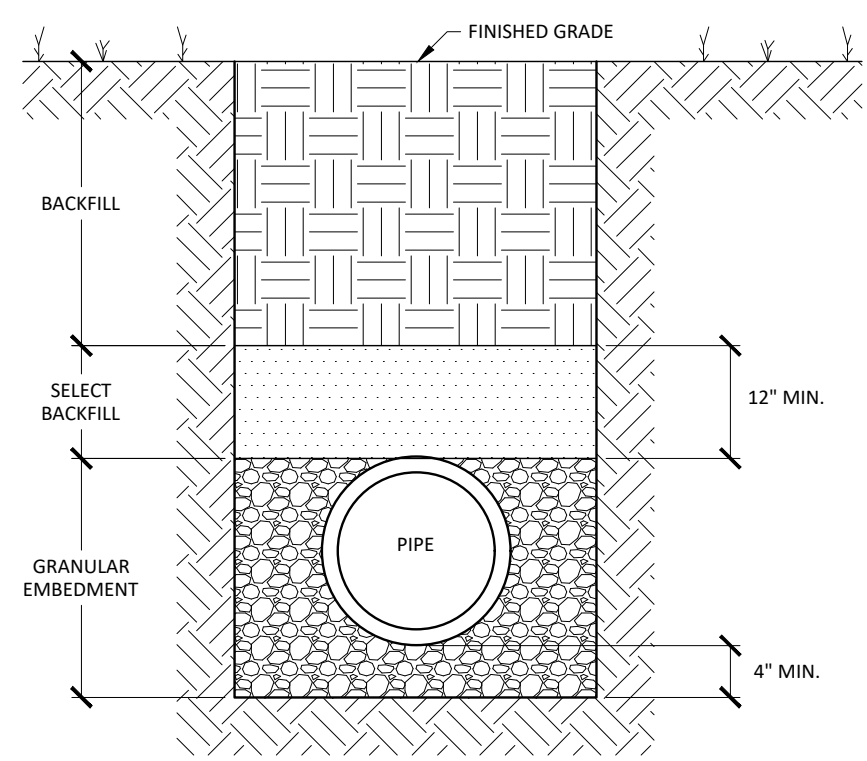
Permit Limited to this Project Only

2/10/2023

Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C5.3

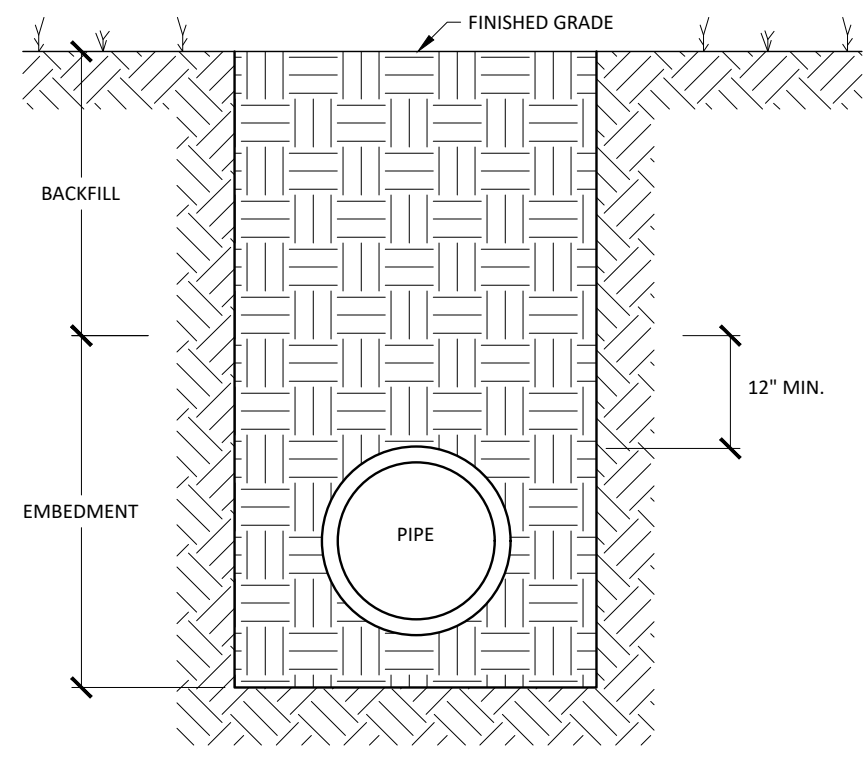
Date: February 10, 2023



CLASS 'D'

TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC GRAVITY STORM DRAIN & SANITARY SEWER PIPING

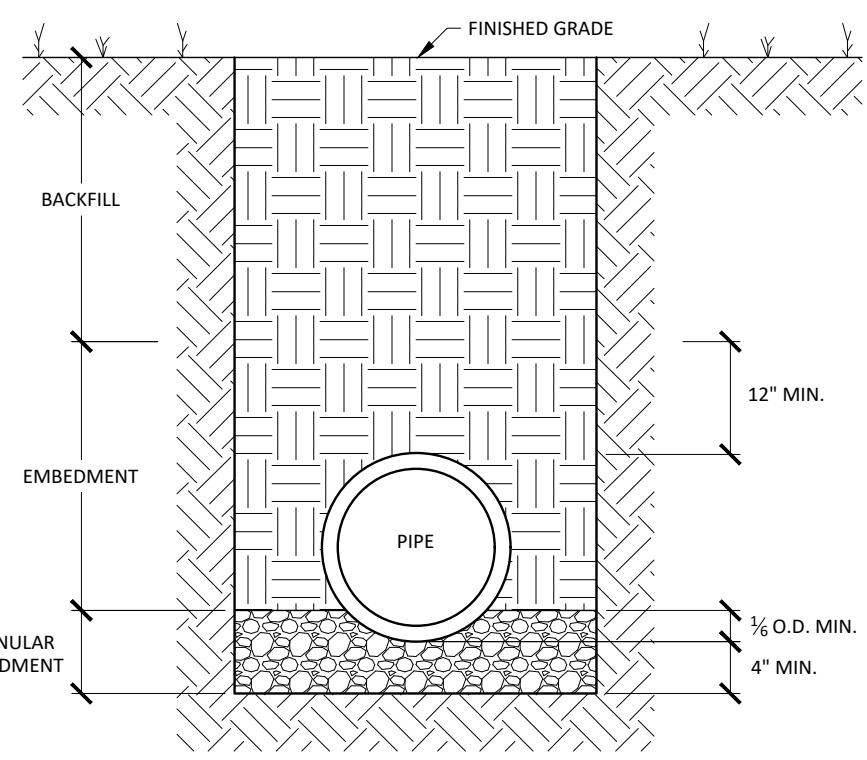
NOT TO SCALE



CLASS 'F'

TRENCH SECTION FOR THE INSTALLATION OF REINFORCED CONCRETE PIPE

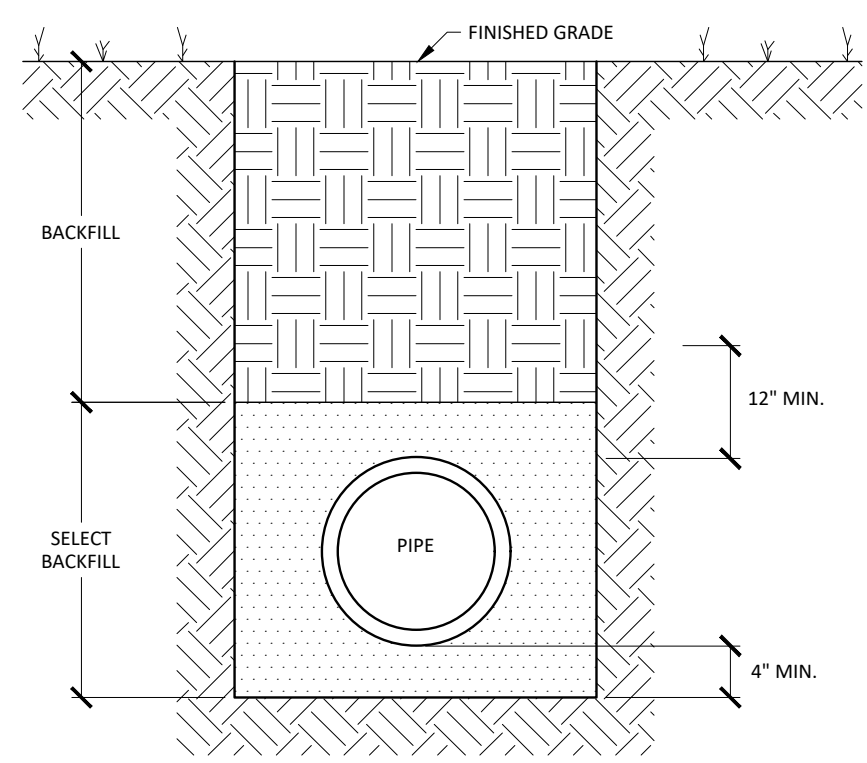
NOT TO SCALE



CLASS 'C'

TRENCH SECTION DETAIL FOR THE INSTALLATION OF 42" & LARGER RCP & ALL DIP STORM DRAINAGE PIPING

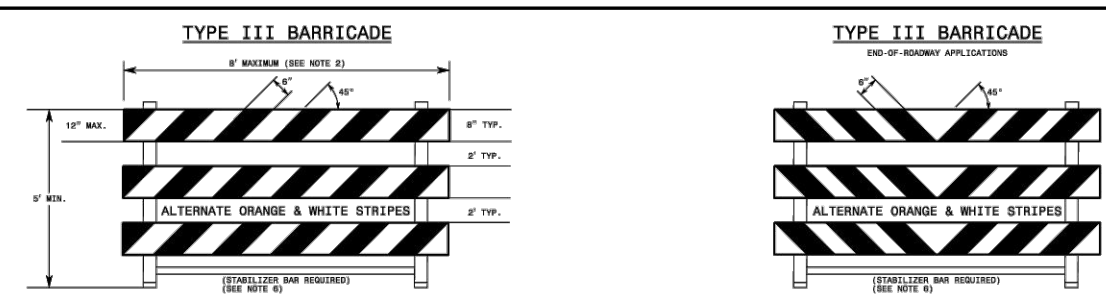
NOT TO SCALE



CLASS 'E'

TRENCH SECTION DETAIL FOR THE INSTALLATION OF PVC PRESSURE PIPE

NOT TO SCALE

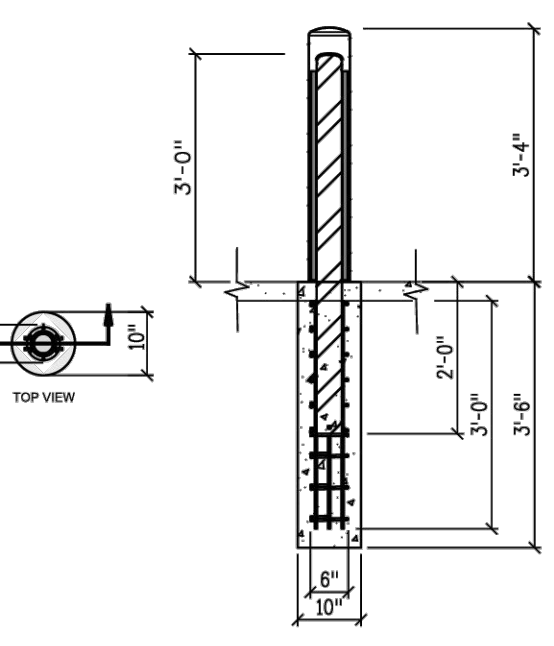


GENERAL NOTES

- HORIZONTAL BARRICADES SHALL BE CONSTRUCTED OF APPROVED COMPOSITE, HOLLOW-COMBINED EXTRUDED RIBBED POLYPROPYLENE, HIGH DENSITY POLYETHYLENE, OR OTHER MOST APPROVED MATERIAL, FOR CATEGORY II DEVICES AND MOST APPROVED.
- BARRICADES SHALL BE LIMITED TO A MAXIMUM LENGTH OF 8 FT UNLESS NCHRP 350 CRASH TESTED FOR CATEGORY II DEVICES AND MOST APPROVED.
- ONLY MOST APPROVED COMPOSITE AND ROLL-UP SIGNS MAY BE MOUNTED ON THE BARRICADE RAILS. MOUNT SIGNS TO BARRICADE RAILS TO PREVENT SIGNS FROM BEING DETACHED UNDER NORMAL WIND AND TRAFFIC CONDITIONS.
- BARRICADES SHALL BE MOUNTED A MINIMUM OF 1 FOOT FROM THE CURB TO THE BOTTOM OF THE SIGN UNLESS SIGNS 811-3 OR 811-4 ARE REQUIRED BY THE PLANS OR DIRECTED BY THE ENGINEER.
- BARRICADES MUST BE NCHRP 350 FOR CATEGORY II DEVICES AND MOST APPROVED WITH STABILIZER BAR OR ADEQUATE LATERAL BRACING.
- ASSEMBLY OF THE BARRICADES MUST BE HELD CERTIFIED BY THE ASSEMBLER.
- BARRICADES USED TO CLOSE A ROADWAY SHALL EXTEND ACROSS THE ENTIRE ROADWAY, WHERE LOOK-TRIPES MUST BE MAINTAINED. THEY MAY BE PLACED IN A STAGGERED PATTERN.
- STRIPES ON WORK ZONE BARRICADE RAILS SHALL BE ALTERNATE ORANGE AND WHITE RETROREFLECTIVE STRIPES, PLACED DOWNWARD TOWARD THE EDGE WHICH FACES IS TO PASS ON TURN IN ENTRANCE. WHEN NO TURN ARE EXTENDED, THE STRIPES SHOULD SLOPE DOWNWARD TOWARD THE CENTER OF THE BARRICADE OR BARRICADES.
- USE RED AND WHITE STRIPES FOR PERMANENT BARRICADES.
- ALL BARRICADES MUST BE LISTED ON THE DEPARTMENT'S APPROVED PRODUCTS LIST.
- PLACE MANUFACTURER'S NAME AND FEDERAL HIGHWAY ADMINISTRATION'S NCHRP 350 APPROVAL LETTER NUMBER ON BARRICADE FRAME.
- PLACE BARRICADES ON OTHER APPROVED BALLASTS OUTSIDE OF THE FEET OF THE PAVEMENT. DO NOT PLACE BARRICADES ON TOP OF A PROTECTIVE AND STABILIZER BAR, OR ON BARRICADES BARRICADES BY OTHER MANUFACTURERS. THE USE OF CONCRETE OR OTHER ITEMS THAT WOULD CAUSE DAMAGE TO THE BARRICADE IS STRICTLY PROHIBITED.

NC STATE OF N.C. DEPT. OF TRANSPORTATION BARRICADES TYPE-III 1145-01

MCCUE CRASHCORE BOLLARD REQUIRED AT ENTRY/EXIT AND CUSTOMER SEATING AREAS PLACE @ 5'-6" OC



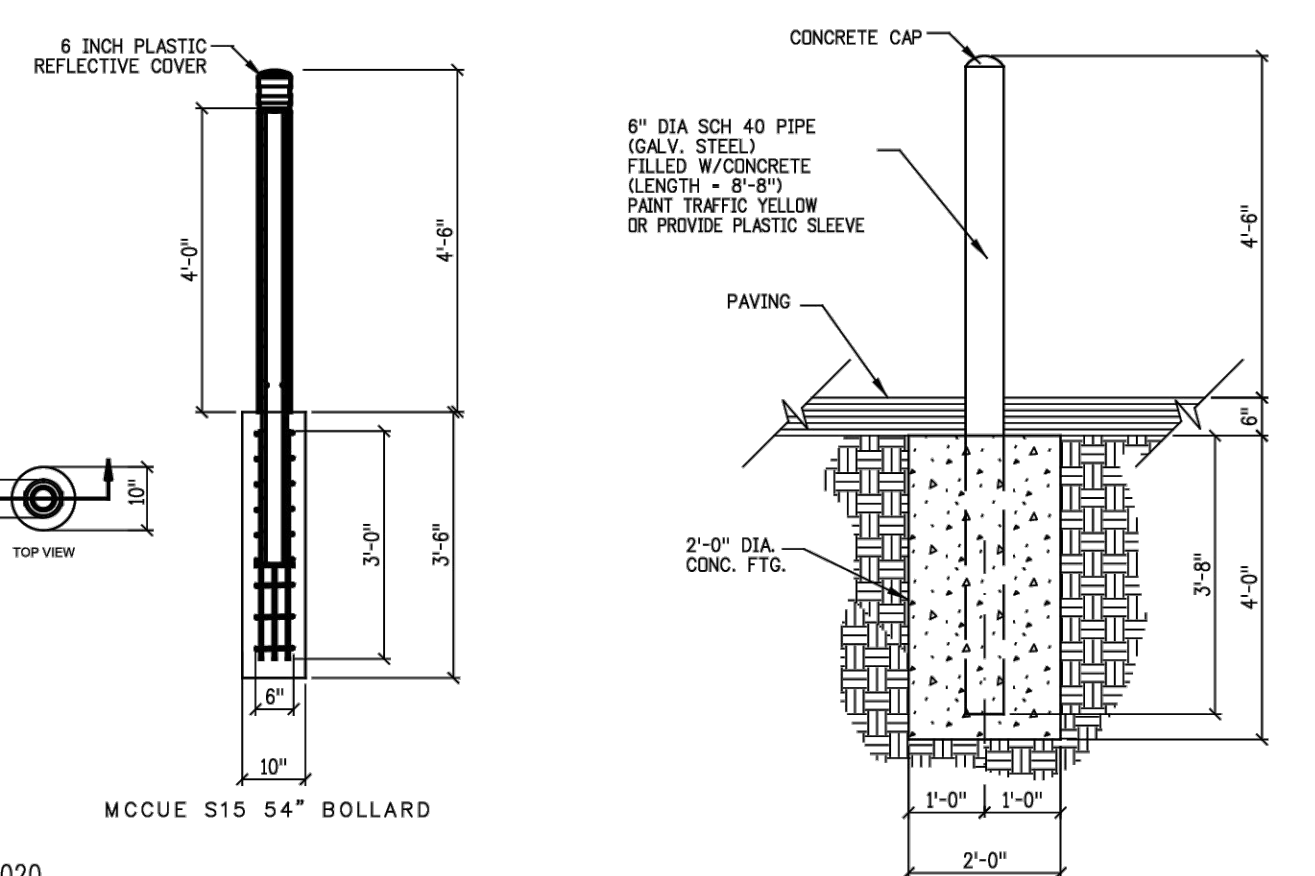
CONTRACTOR'S NOTE:
BOLLARDS SUPPLIED AND INSTALLED BY MCCUE PRIOR TO SIDEWALK POURING. NO SUBSTITUTIONS. CONTACT MCCUE AND PUBLIX TO RECEIVE PUBLIX NATIONAL ACCOUNT PRICING FOR MATERIALS AND INSTALLATION.

ORDERING INFORMATION AND TIMING

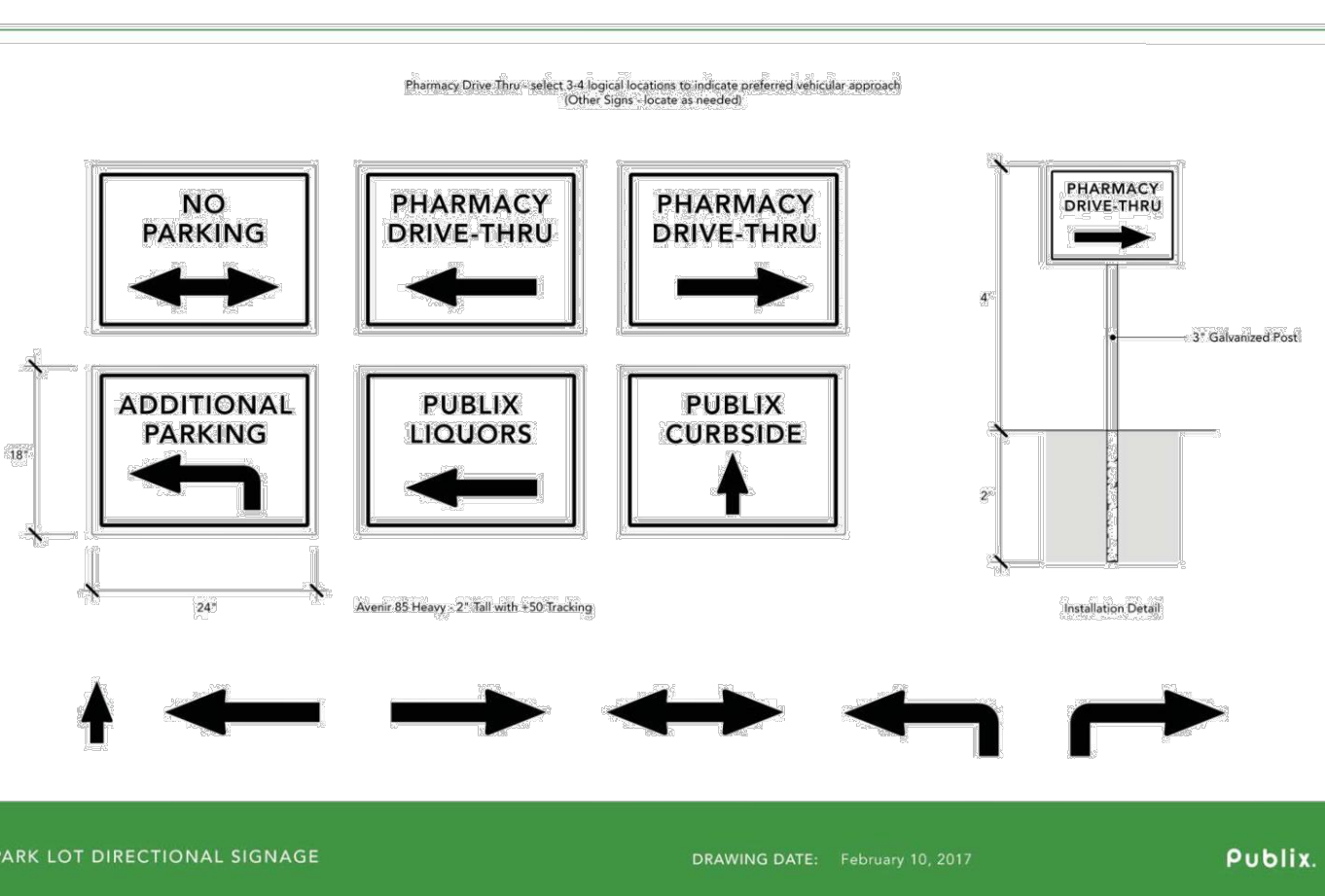
ORDER: 4 WEEKS PRIOR TO SIDEWALK POUR
RECEIVE: 2 WEEKS PRIOR TO SIDEWALK POUR
INSTALLATION: 1 WEEK PRIOR TO SIDEWALK POUR

CONTACT INFO:
YANI DE LA CRUZ
YOELAGUIZ@MCCUE.COM
978-219-5282
MCCUE, 13 CENTENNIAL DRIVE,
PEABODY, MA 01960
MCCUE.COM

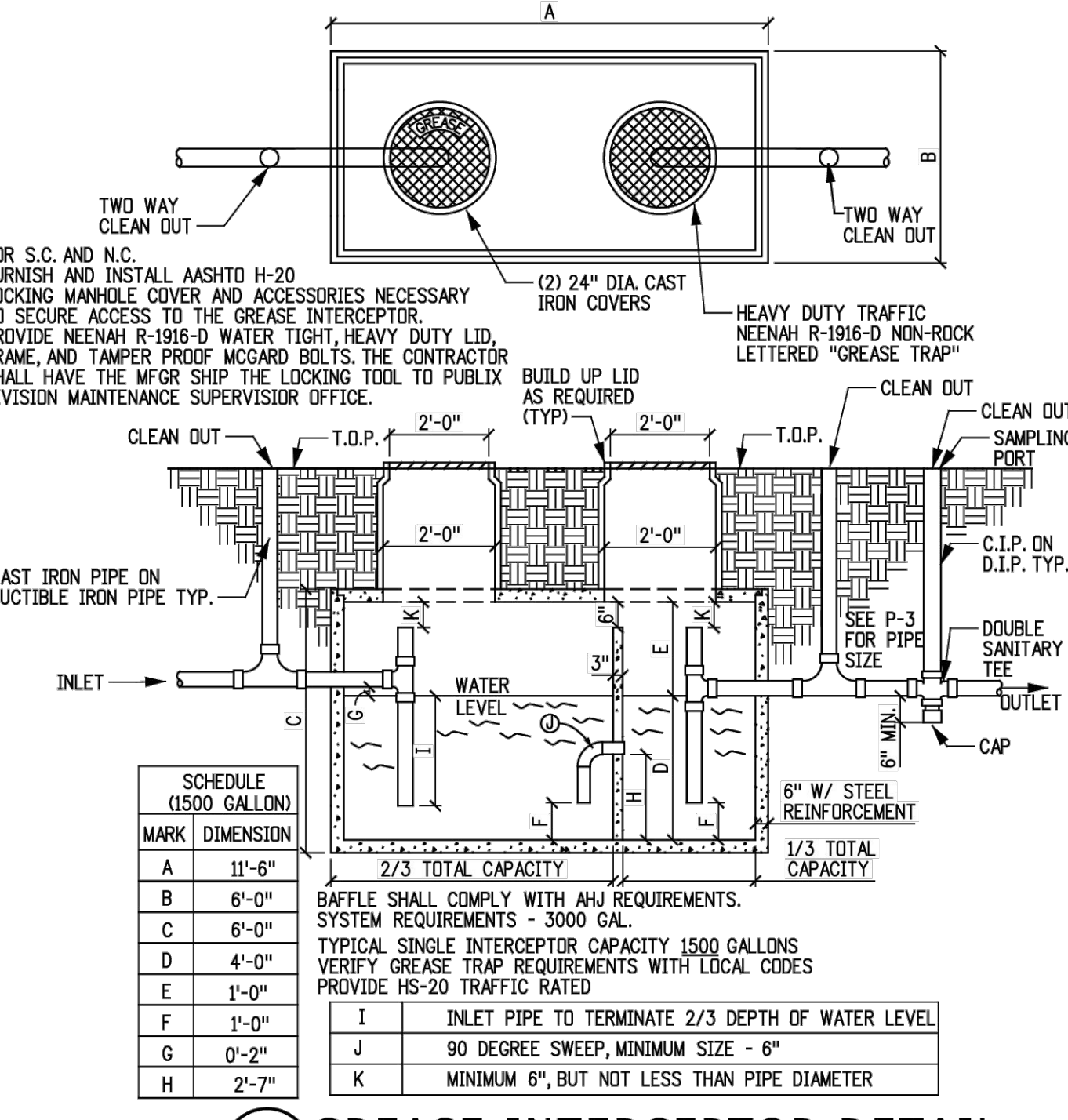
ACCEPTABLE DETAILS FOR BOLLARDS PROTECTING EQUIPMENT AND BUILDING COMPONENTS PLACE AS NEEDED



MCCUE S15 54 BOLLARD
JAN. 2020 Exhibits 8-32 August 2021



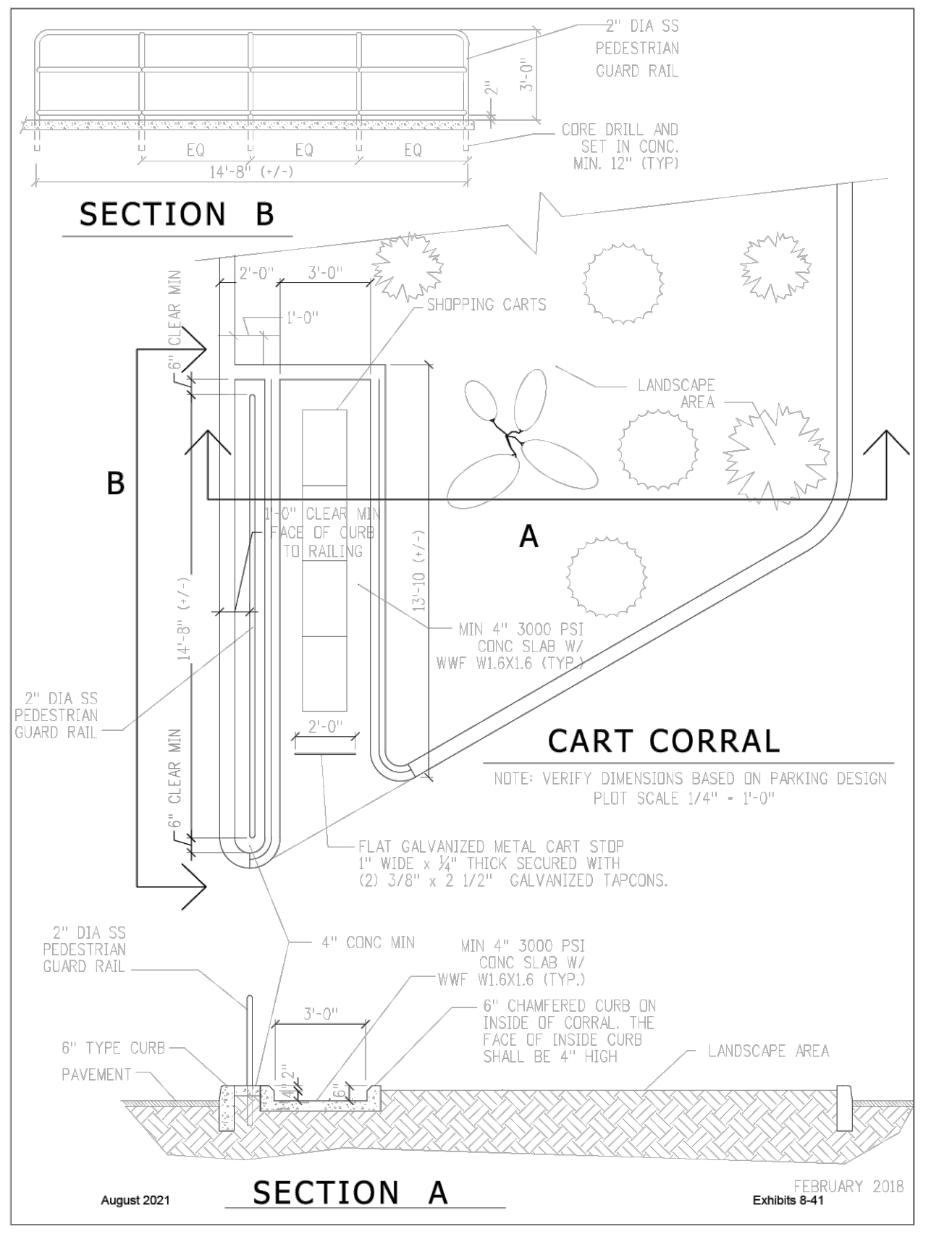
PARK LOT DIRECTIONAL SIGNAGE DRAWING DATE: February 10, 2017 Publix



GREASE INTERCEPTOR DETAIL

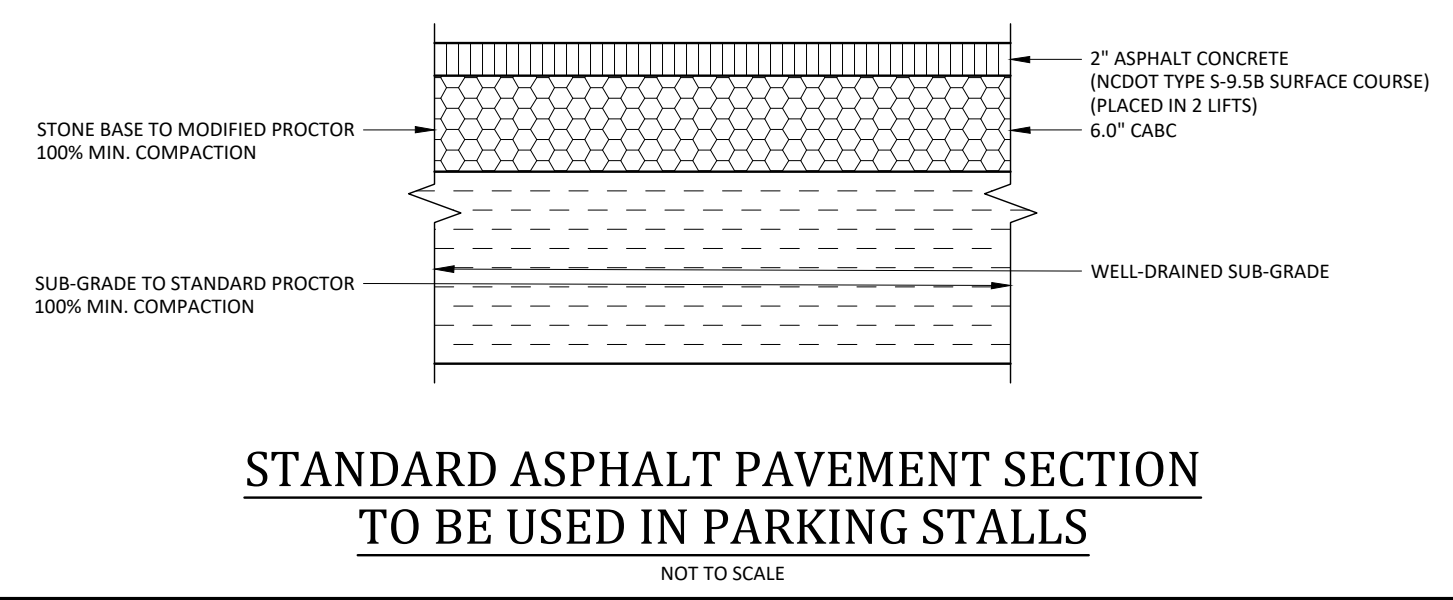
1,500 GAL. GREASE INTERCEPTOR DETAIL N.T.S.

5 P-6



CART CORRAL

SECTION A August 2021 FEBRUARY 2018 Exhibits 8-41



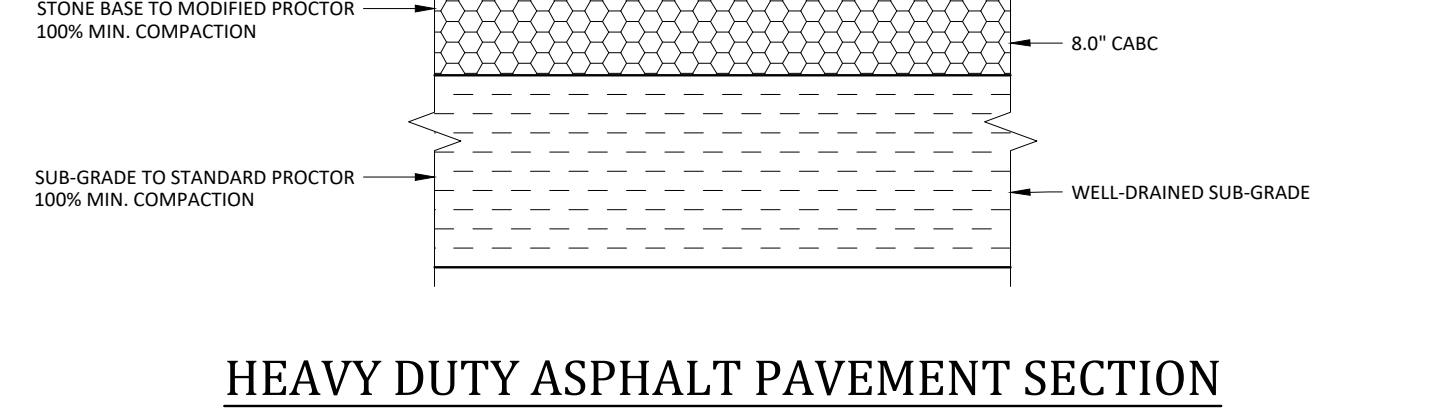
STANDARD ASPHALT PAVEMENT SECTION TO BE USED IN PARKING STALLS

NOT TO SCALE



STANDARD ASPHALT PAVEMENT SECTION TO BE USED IN DRIVE AISLES

NOT TO SCALE



HEAVY DUTY ASPHALT PAVEMENT SECTION

NOT TO SCALE



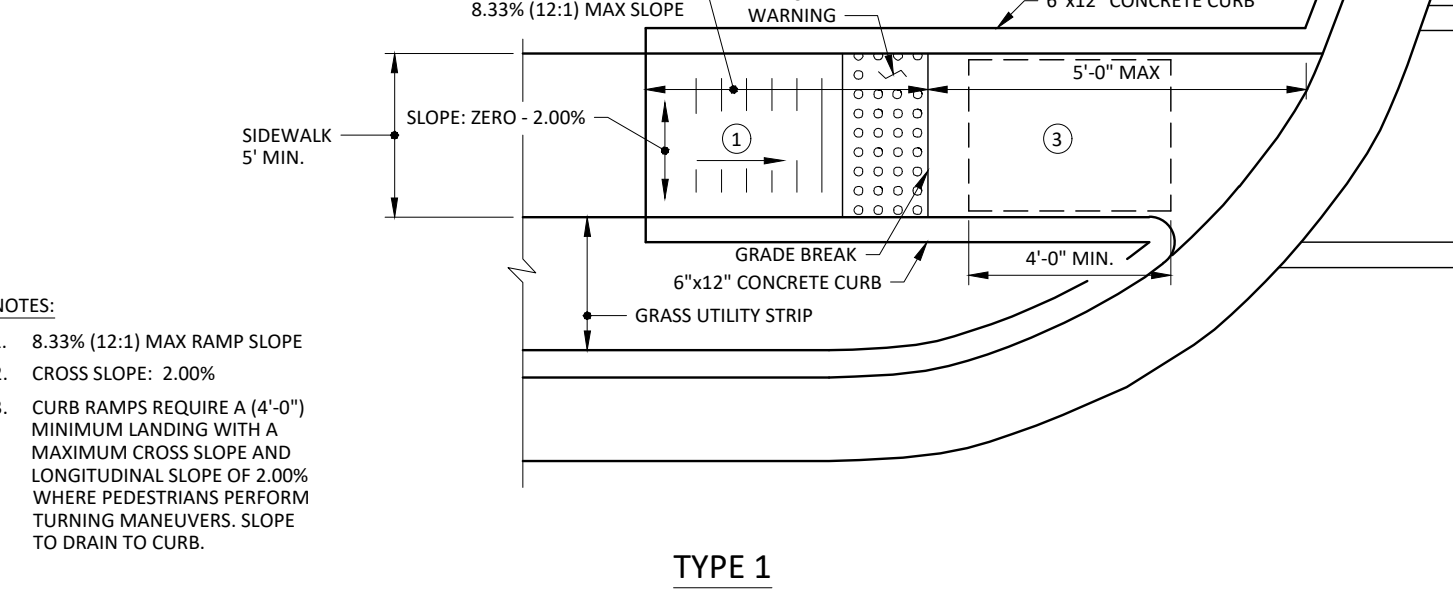
CONCRETE PAVEMENT SECTION

NOT TO SCALE



10' MULTI-USE PATH SECTION

NOT TO SCALE



CURB RAMPS - DIRECTIONAL RAMPS

TYPE 1 REFER TO NCDOT ROADWAY STANDARD DRAWING NUMBER 848.05 SHEET 3 OF 3 FOR ALL RAMP NOTES

NOT TO SCALE

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:
CROSLAND SOUTHEAST

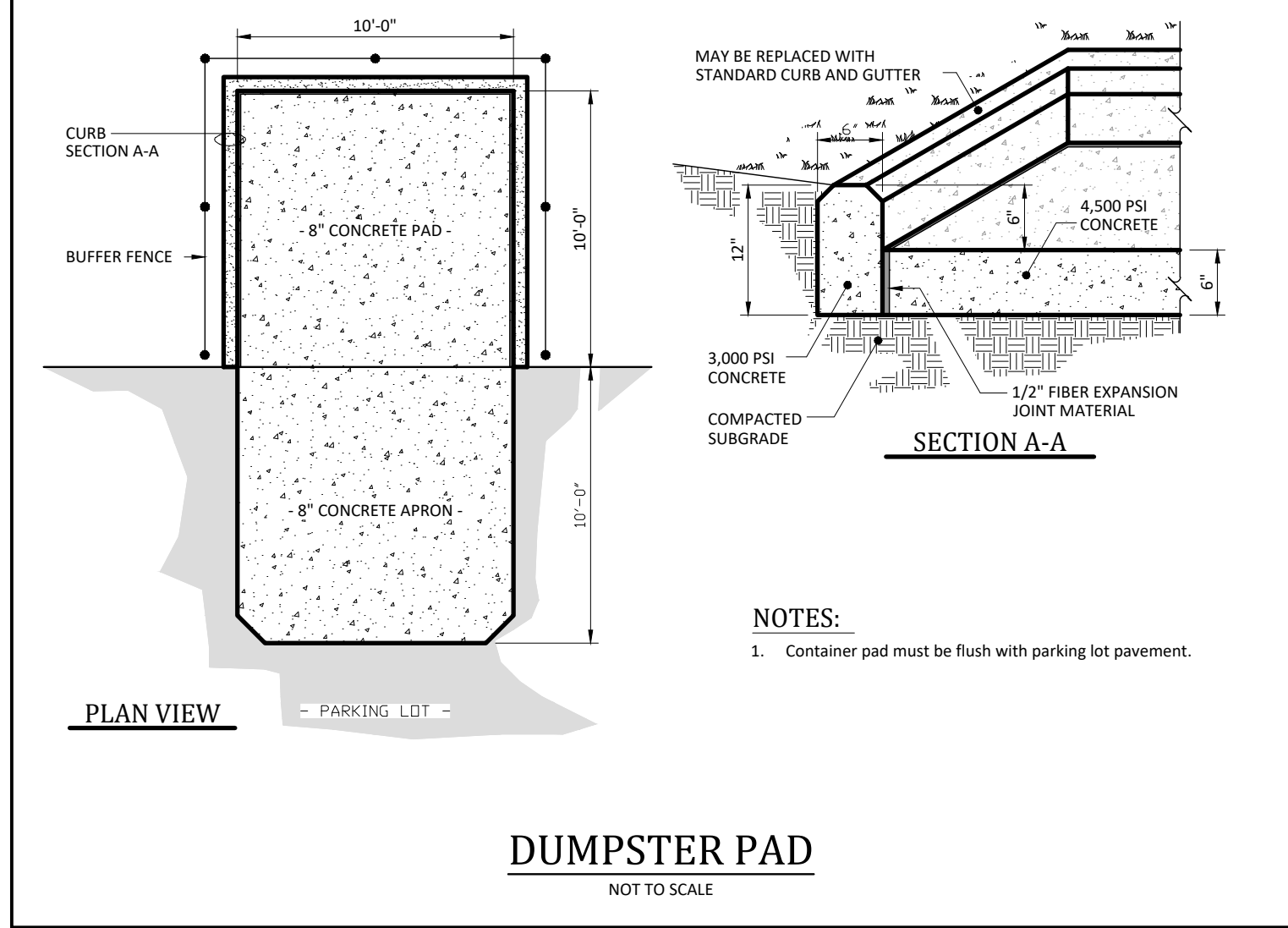
MISC. DETAILS - SITE
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

NC License: P-1199
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd
Raleigh, NC 27608
(919) 858-0888
www.arkconsultinggroup.com

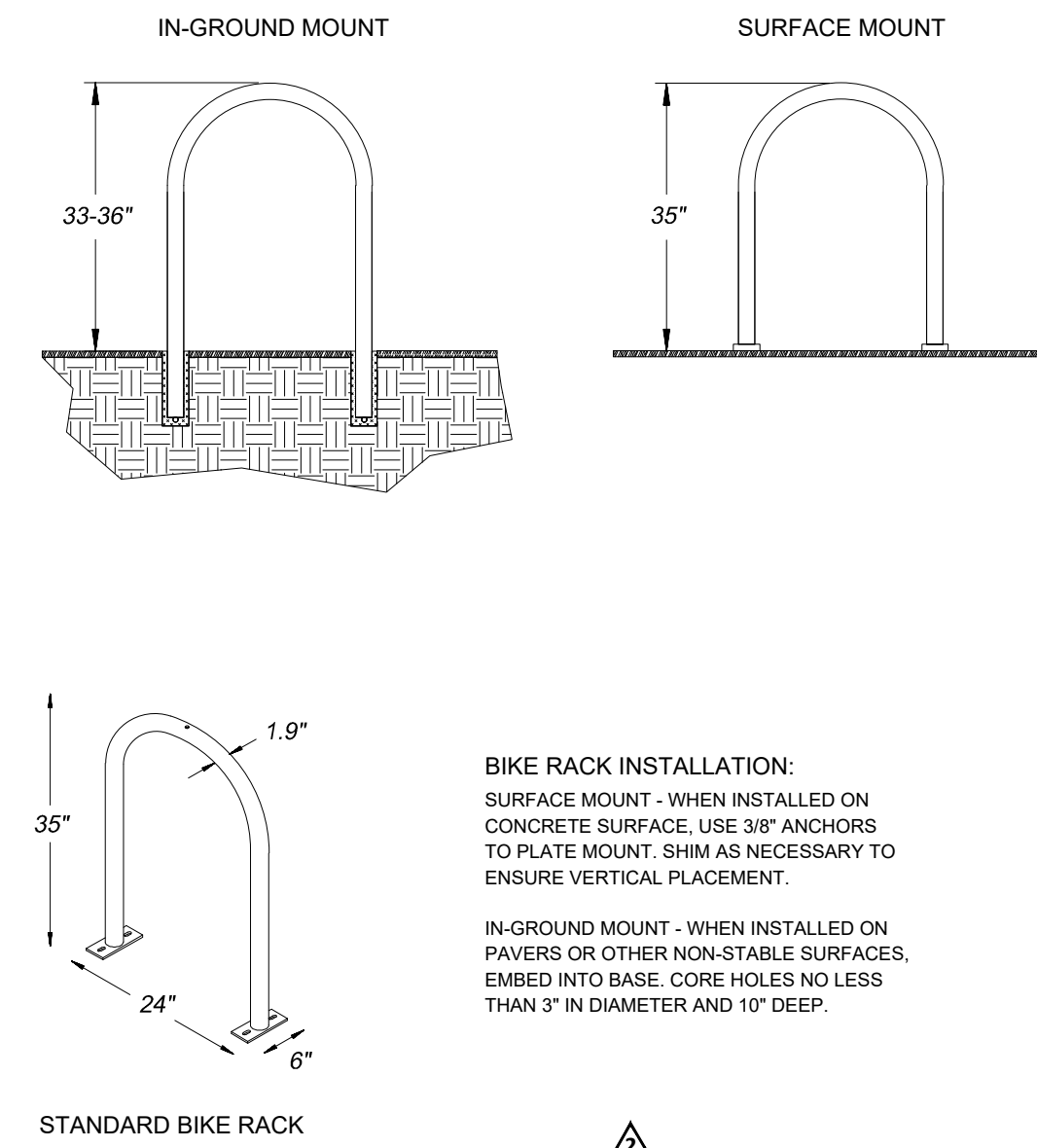
Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C5.4

Date: February 10, 2023

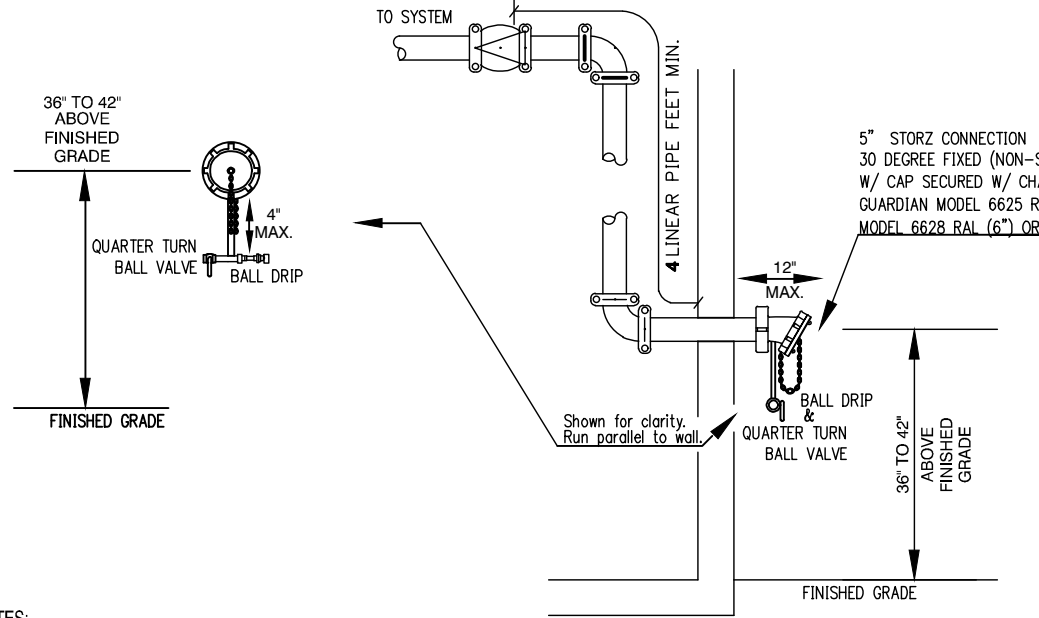
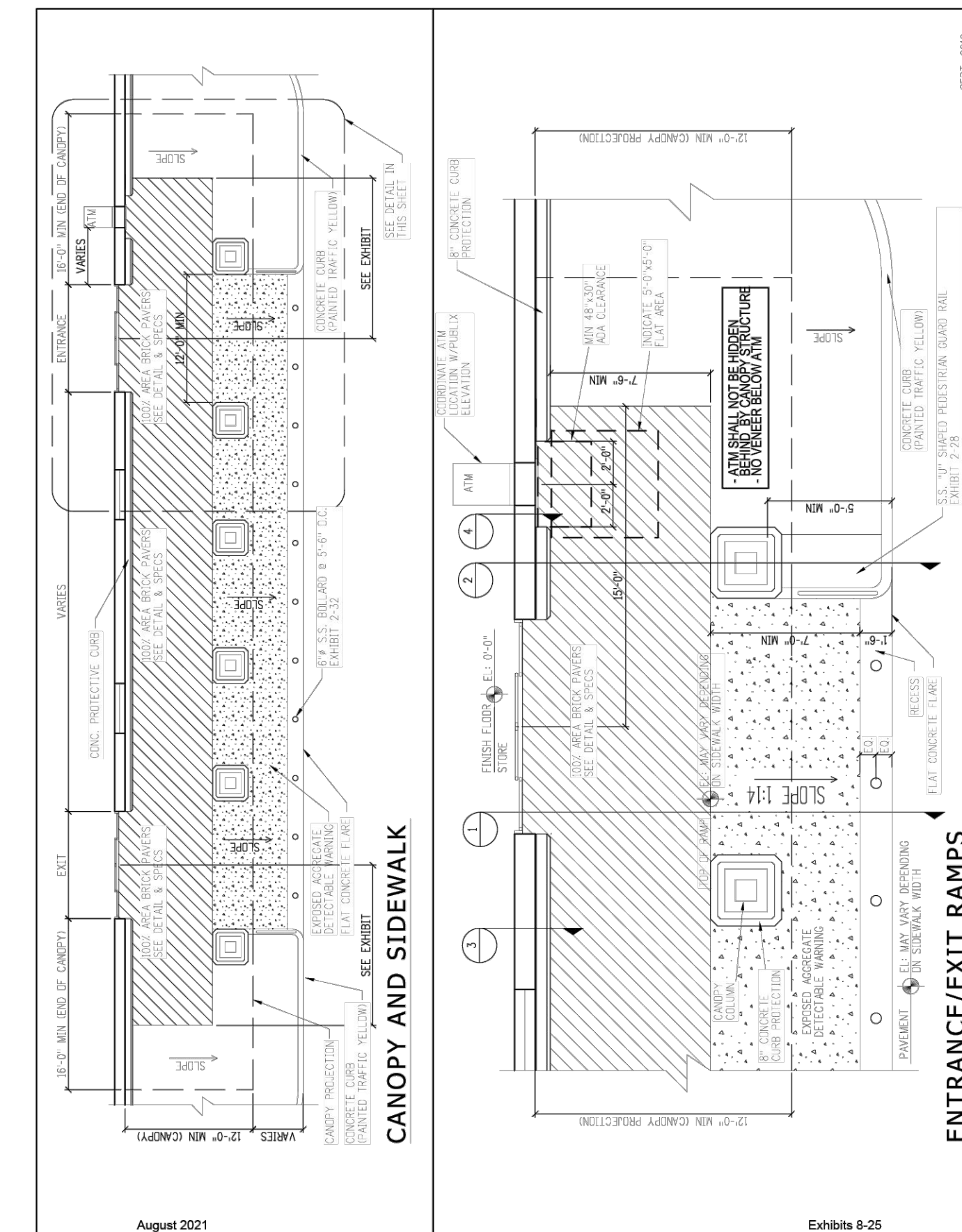
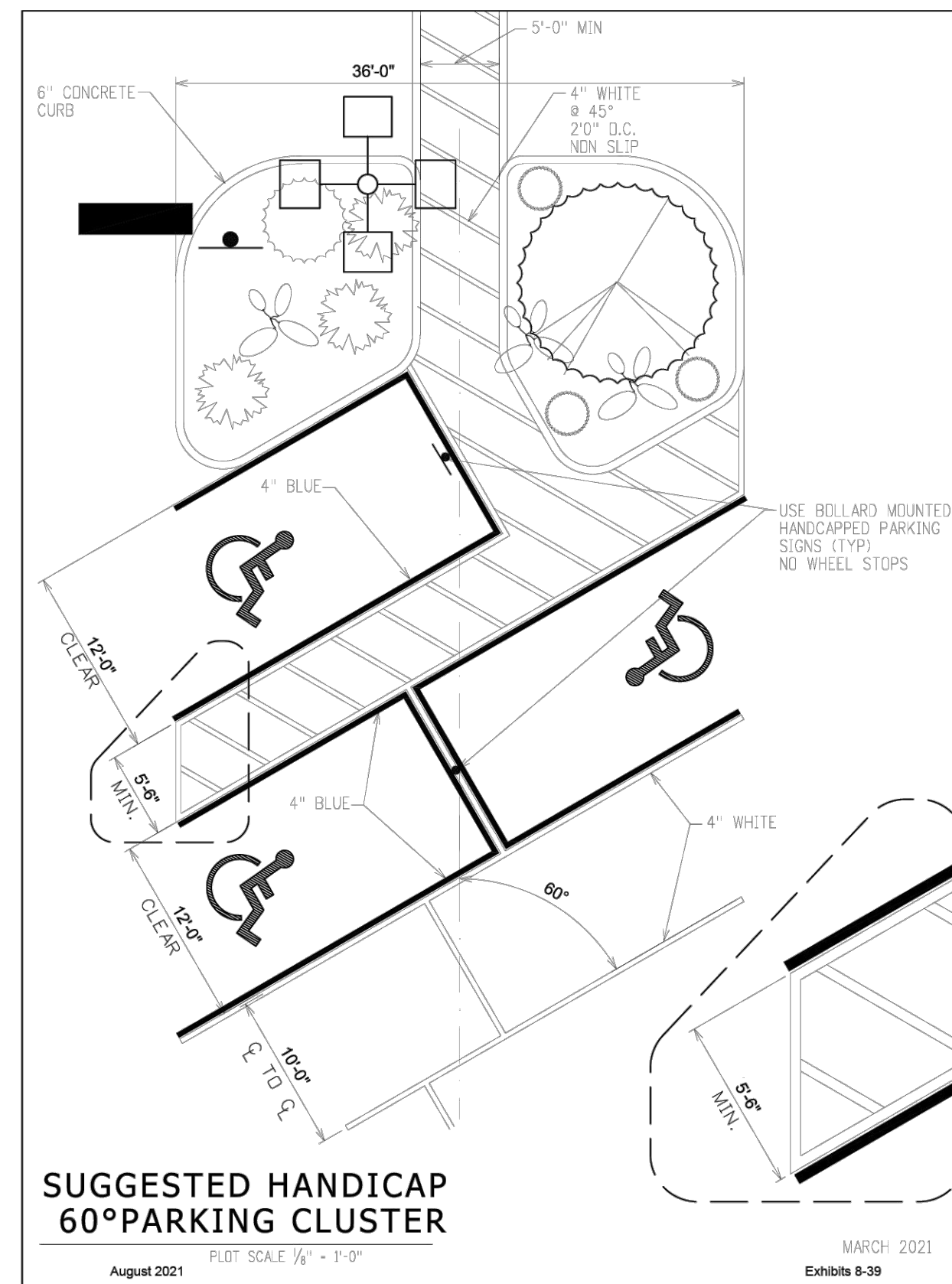


NOTES:
1. Container pad must be flush with parking lot pavement.

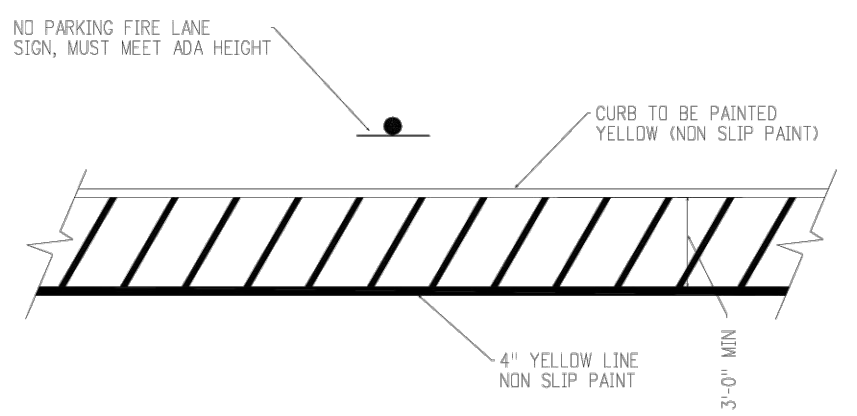


BIKE RACK INSTALLATION:
SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.
IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 5" IN DIAMETER AND 10" DEEP.

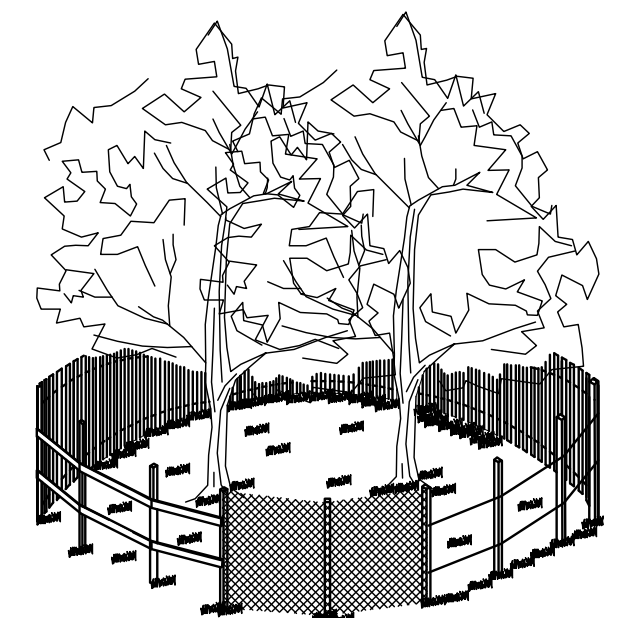
CITY OF RALEIGH STANDARD DETAIL
BIKE RACK DETAILS
B-20.03



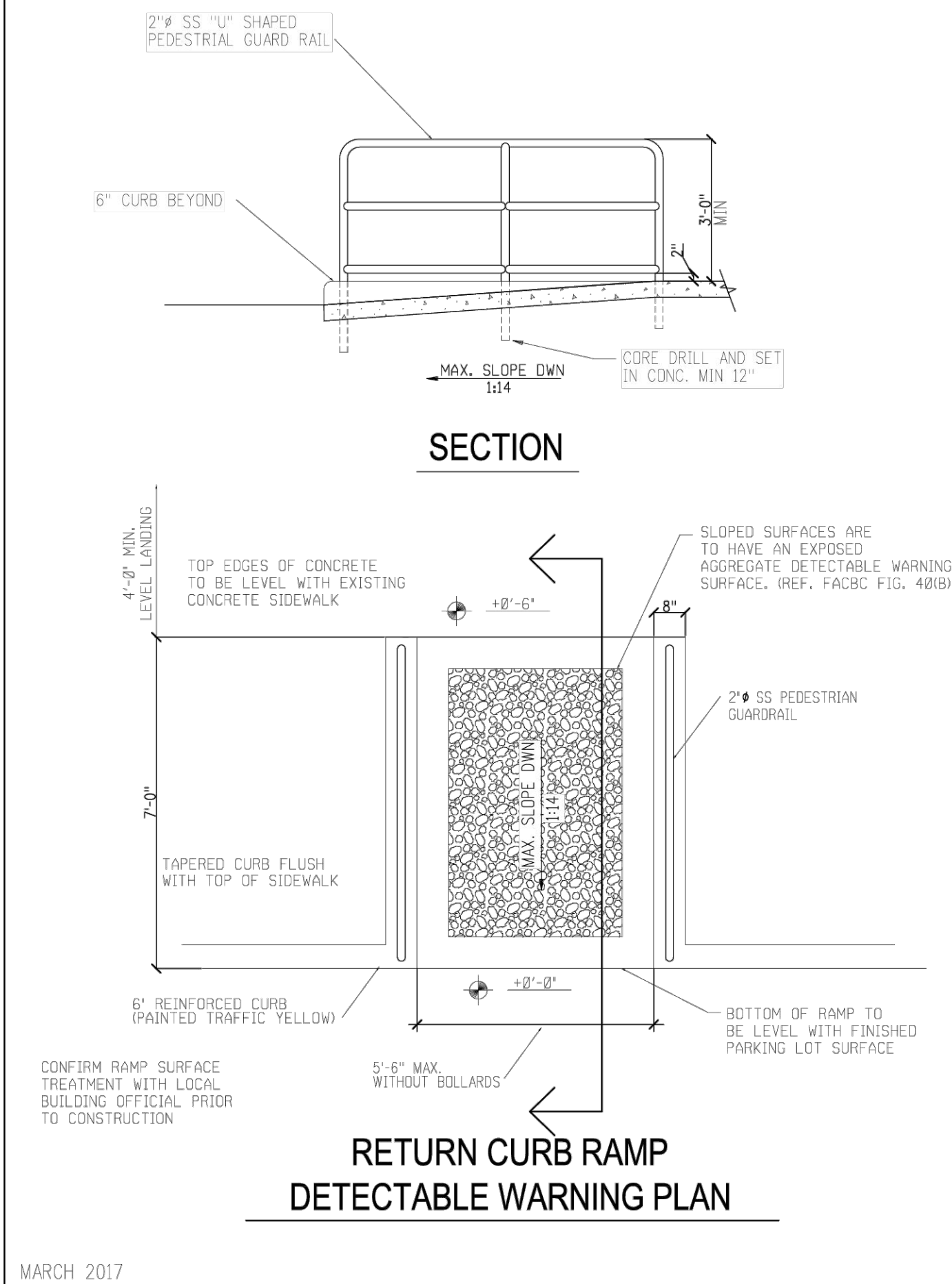
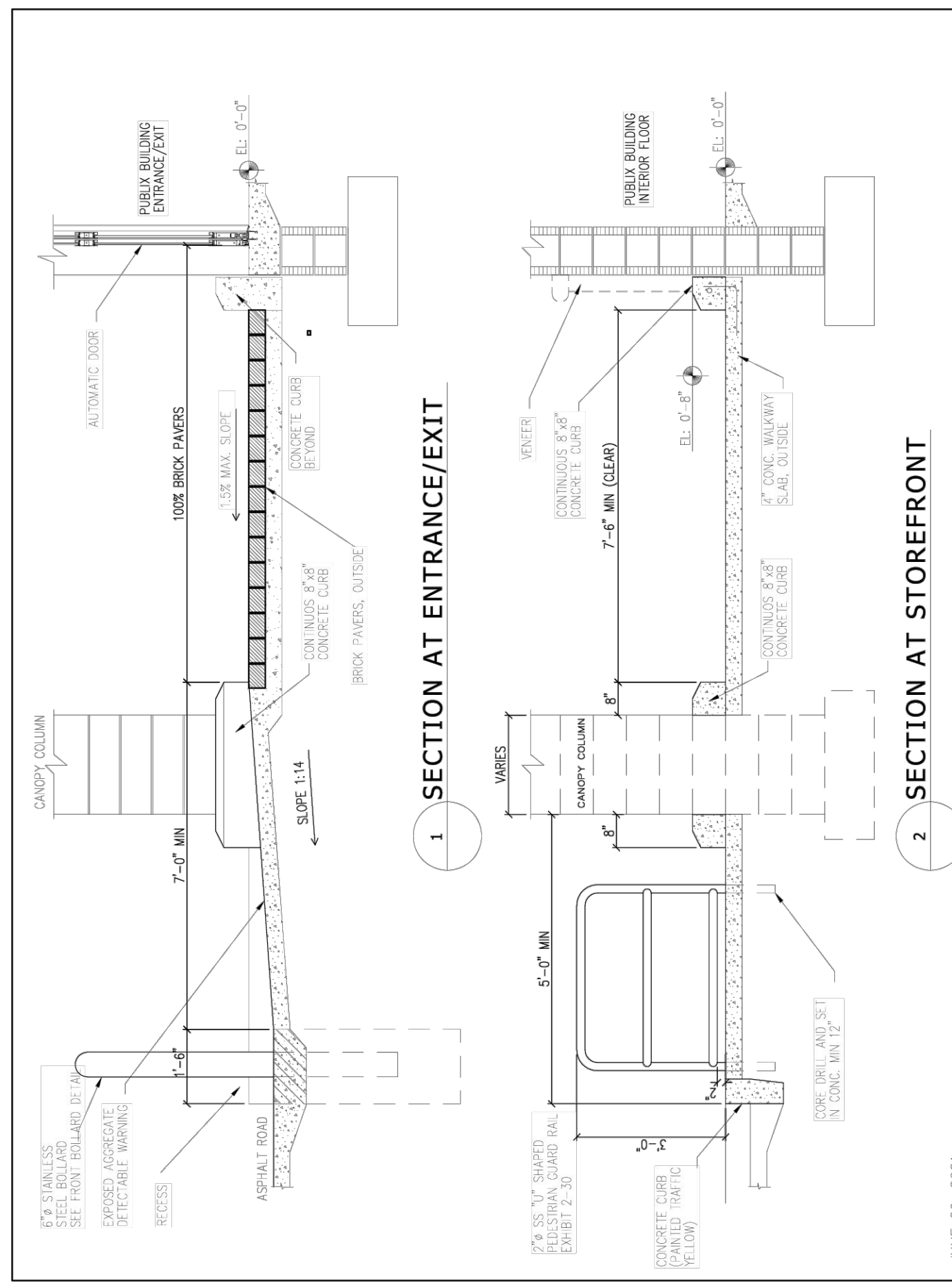
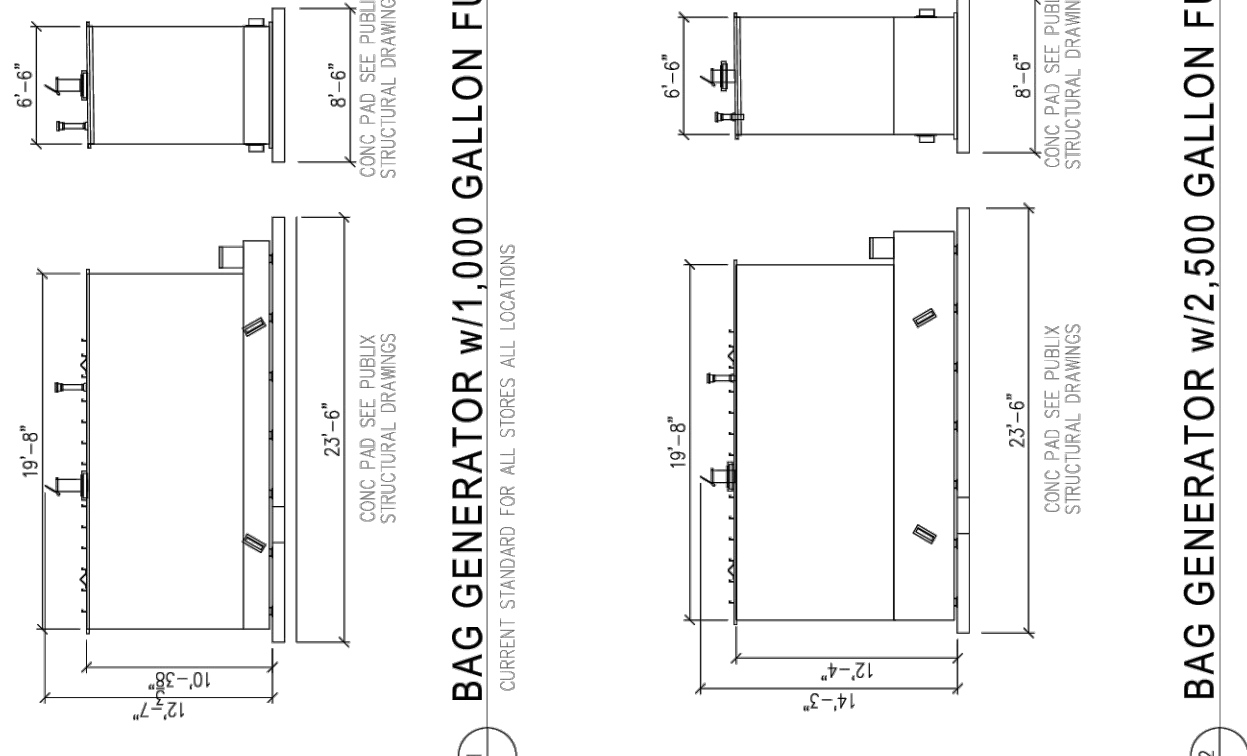
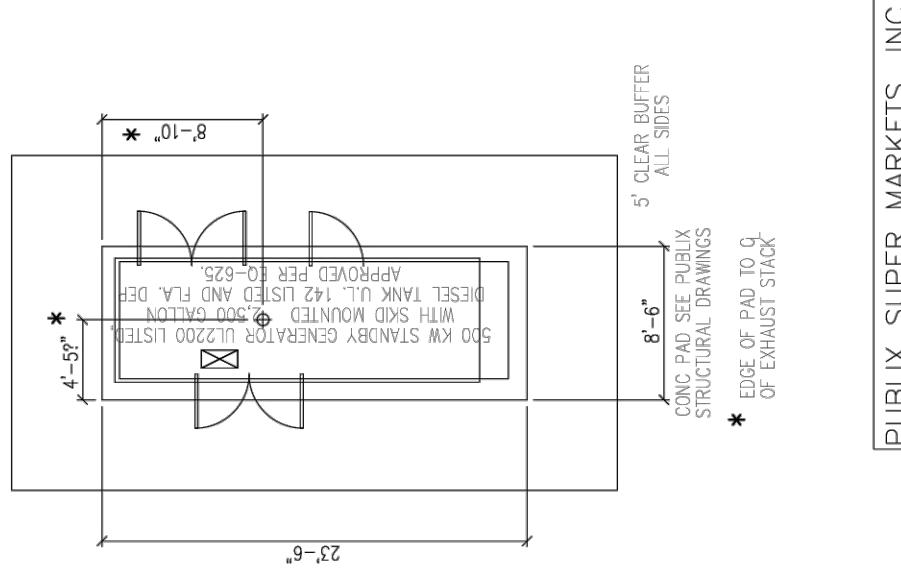
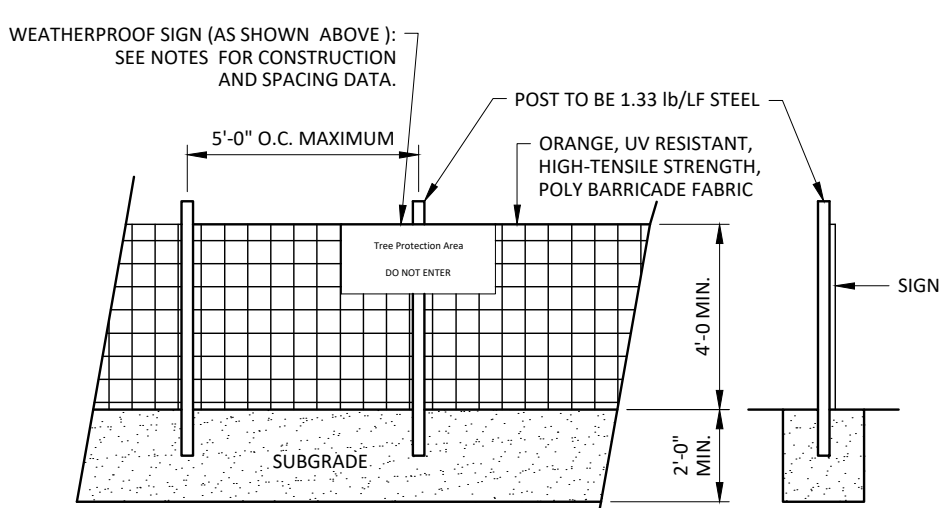
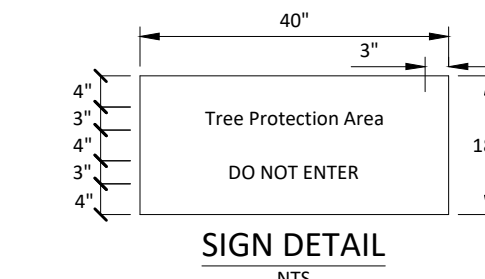
TYPICAL NOTES:
1) ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORE CONNECTION
2) 40" MAX. FROM FDC TO APPARATUS ACCESS LOCATION
3) FOR NFPA 13R SYSTEMS (2 1/2" RISER AND SMALLER) SINGLE FDC
4) FOR HIGH RISE BUILDINGS USE SIEMSE



SUGGESTED FIRE LANE DETAIL.
IF LOCAL JURISDICTION DOES NOT DICTATE, PROVIDED FOR INFORMATIONAL PURPOSES ONLY. FIRE LANE SHOULD BE LOCATED ON EITHER SIDE OF THE MAIN ENTRANCE/EXIT SIDEWALK/RAMP.



NOTES:
1. SIGNS ARE TO BE PLACED NO GREATER THAN 200' ON CENTER. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREA AND 200' ON CENTER THEREAFTER.
2. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
3. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
4. WARNING SIGNS TO BE MADE OF DURABLE WEATHERPROOF MATERIAL.
5. LETTERS ARE TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE, AND SPACED AS DETAILED.
6. INSTALL TREE PROTECTION FENCE & SIGNAGE PRIOR TO CALLING FOR THE INITIAL ON-SITE INSPECTION BY A NCDENR INSPECTOR. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY NCDENR BASED ON ACTUAL FIELD CONDITIONS.



- Final Drawing -
Issued for Permit
Review Purposes Only

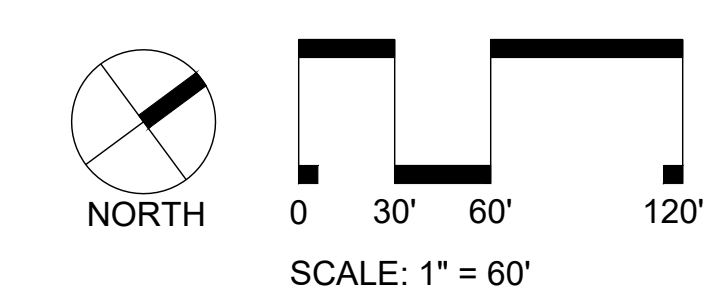
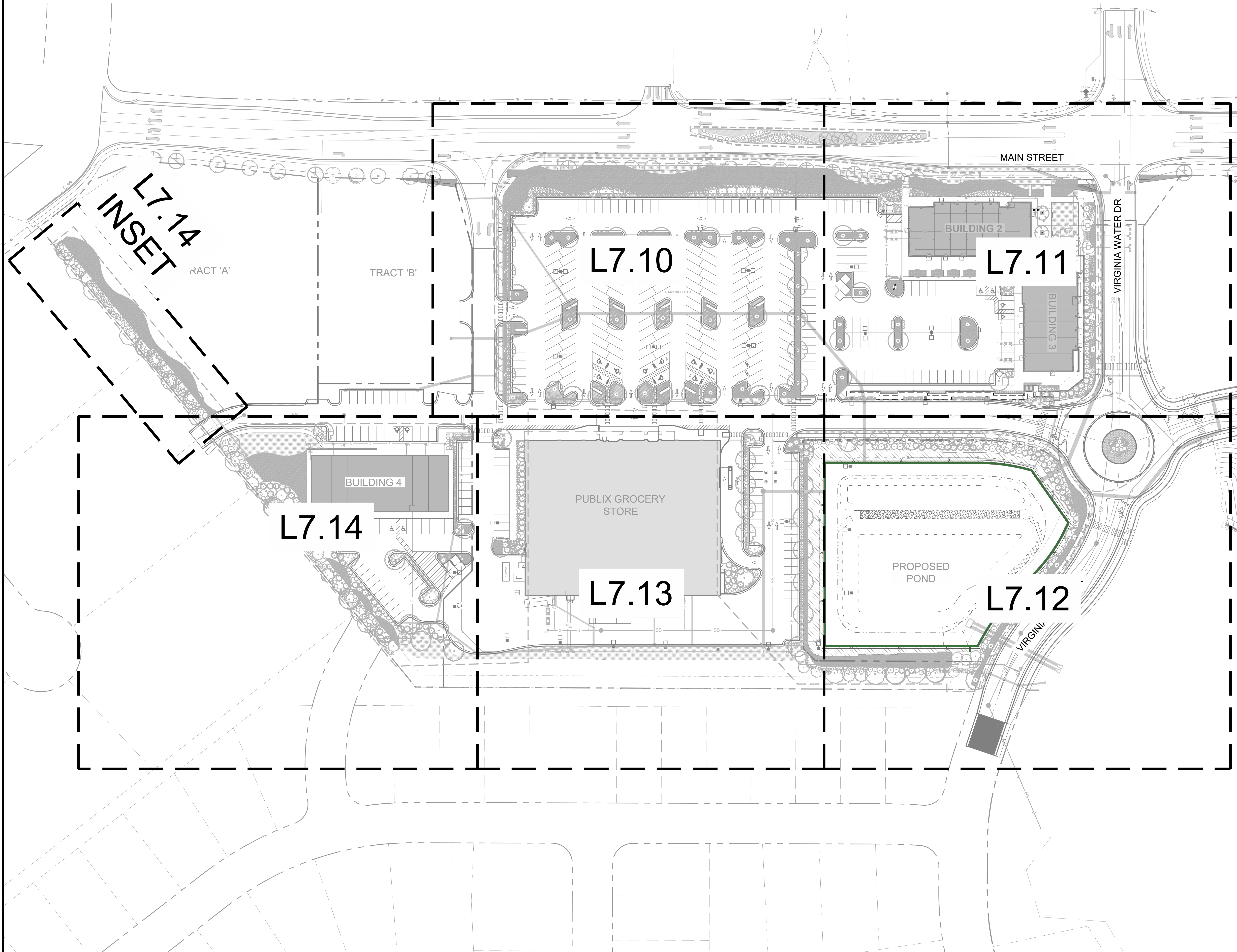
CROSLAND SOUTHEAST

WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd
Charlotte, NC 28205
(704) 558-0888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC
Checked By: STA
Project Number: 22012
Drawing Number: D-1219-SP

C5.5
Date: February 10, 2023



STEWART
 101 WEST MAIN ST.
 DURHAM, NC 27701
 1-919-302-8750



Project Manager: SMF
 Drawn By: SM
 Checked By: SMF
 Project Number: 22007
 Drawing Number: D-1219-CD

L7.00

Date: February 10, 2023

ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS
 2755-B Charles Blvd.
 Raleigh, NC 27608
 (919) 558-0888
 www.arkconsultinggroup.com

PRELIMINARY
 Do Not Use
 for Construction

2/10/2023

ENHANCED PLANTING PLAN
WALLBROOK
 SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
 Rolesville, Wake County, North Carolina



- Final Drawing -
 Issued for Permit
 Review Purposes Only

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVAL PERMIT FOR BUILDING CALCULATIONS FROM OWNER REQUEST

C:\PROJECTS\2023\12207 - WALLBROOK\DWG\23 - 023 - SHEETS\22207 - 023 - PLANTING PLAN\DWG_L7.00_Sheet.dwg, L7.00, Sheet No. 14, Feb 10, 2023 @ 1:43 PM

PLANT SCHEDULE

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	AR	16	ACER RUBRUM RED MAPLE	B&B	2.5" CAL.				VUA	50 TO 80FT
	JR	8	JUGLANS REGIA ENGLISH WALNUT	B&B	2.5" CAL.				PERIMETER BUFFER	40 TO 60FT
	LC	9	LIRIODENDRON CHINENSE X TULIPIFERA HYBRID TULIP TREE	B&B	2.5" CAL.				PERIMETER BUFFER	70 TO 100FT
	NS	20	NYSSA SYLVATICA TUPELO	B&B	2.5 IN	40 TO 60FT	25 TO 35FT			40 TO 60FT
	QA	7	QUERCUS ALBA WHITE OAK	B&B	2.5" CAL.				PERIMETER BUFFER	60 TO 120FT
	QP2	25	QUERCUS PALUSTRIS PIN OAK	B&B	2.5" CAL.				STREETSCAPE BUFFER VUA	70 TO 90FT
	QP	21	QUERCUS PHELLOS WILLOW OAK	B&B	2.5" CAL.				VUA	50 TO 80FT
	UAPR	1	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM	B&B	3.5" CAL.	14-16'			FULL	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	IO	2	ILEX OPACA AMERICAN HOLLY	B&B	8'-10" HT				STREETSCAPE BUFFER	40 TO 60FT
	JV	21	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	B&B	8'-10" HT				PERIMETER BUFFER STREETSCAPE BUFFER	30 TO 40FT
	MG	9	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	B&B	8'-10" HT				PERIMETER BUFFER STREETSCAPE BUFFER	30 TO 50FT
	PT	6	PINUS TAEDA LOBLOLLY PINE	B&B	8'-10" HT				PERIMETER BUFFER	60 TO 90FT
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	AA	9	AMELANCHIER ARBOREA DOWNY SERVICEBERRY	B&B	1.5 IN	15 TO 25FT	10 TO 15FT			10 TO 15FT
	CA2	5	CARPINUS CAROLINIANA AMERICAN HORNBEAM	B&B	1.5 IN	20 TO 30FT	25 TO 35FT			25 TO 35FT
	CE	13	CERCIS CANADENSIS EASTERN REDBUD MULTI-TRUNK	B&B	1.5" CAL.				VUA	25 TO 35FT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.	
	CA	98	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY	CONT.	24" HT				VUA PERIMETER BUFFER	5FT
	CP	186	CALLICARPA X 'NCCX2' TM PEARL GLAM BEAUTYBERRY	CONT.	24" HT				VUA	4 TO 5FT
	CC	175	CARYOPTERIS X CLANDONENSIS BLUEBEARD	CONT.	24" HT				VUA PERIMETER BUFFER	2 TO 3FT
	FI2	50	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA	CONT.	24" HT				PERIMETER BUFFER	8 TO 10FT
	HQ	139	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	CONT.	24" HT				VUA PERIMETER BUFFER	4 TO 6FT
	HW	30	HYDRANGEA QUERCIFOLIA 'PEE WEE' PEE WEE OAKLEAF HYDRANGEA	CONT.	12-18"	3 TO 4 FT	2 TO 4FT			3 TO 4FT
	IV	12	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWEETSPIRE	CONT.	24" HT				VUA	3 TO 5FT
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.	
	AG	100	ABELIA X GRANDIFLORA GLOSSY ABELIA	CONT.	24" HT				VUA	3 TO 6FT
	BS	77	BUXUS SEMPERVIRENS COMMON BOXWOOD	CONT.	24" HT				VUA	3 TO 5FT
	DM	212	DISTYLIUM X 'PIDIST-V' TM CINNAMON GIRL DISTYLIUM	CONT.	24" HT				VUA PERIMETER BUFFER	3 TO 5FT
	HG	27	HYPERICUM FRONDOSUM GOLDEN ST. JOHN'S WORT	CONT.	24" HT				VUA	3 FT
	IG2	83	ILEX GLABRA INKBERRY HOLLY	CONT.	24" HT				VUA	5 TO 8FT
	IS	101	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	CONT.	24" HT				VUA PERIMETER BUFFER	4FT
	IV2	19	ILEX VOMITORIA YAUPON HOLLY	CONT.		10 TO 20 FT	8FT			10 TO 20 FT
	JH	41	JUNIPERUS COMMUNIS 'HIBERNICA' IRISH JUNIPER	CONT.		5 TO 15FT	2 TO 4FT			5 TO 15FT
	JO	110	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR	CONT.	24" HT				PERIMETER BUFFER	2 TO 3FT
	LG	74	LOROPETALUM CHINENSE CHINESE FRINGE FLOWER	CONT.	24" HT				VUA	4 TO 8FT
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.	
	AR2	36	ANDROPOGON GERARDII 'RED OCTOBER' RED OCTOBER BIG BLUESTEM	CONT.	4 FT	24 TO 30 IN				4 FT
	MC	9	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	CONT.		3 TO 4 FT	3 TO 4 FT			3 TO 4 FT
	PN	331	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	CONT.	24" HT				VUA	4 FT
	PA	176	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS	CONT.	24" HT				VUA	2 TO 3 FT
	SS	29	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	CONT.		3 FT				2 TO 3 FT

PLANT SCHEDULE

PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	AM	47	ACHILLEA MILLEFOLIUM COMMON YARROW	CONT.	2 TO 3 FT	2 TO 3 FT			2 TO 3 FT
	ED	13	EUTROCHIMUM DUBIUM JOE PYE WEED	CONT.	3 TO 5FT	2 TO 4FT			3 TO 5FT
VINES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	HC	1	HUMULUS LUPULUS 'CASCADE' CASCADE HOPS	CONT.	12" - 24"				
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	WF	30,631 SF	ERSNT SEED MIX	---				SEE L7.92 DETAIL 6 FOR COMPOSITION (814)336.2404 SALES@ERNSTSEED.COM	2 TO 3 FT
	SM	28 SF	SEDUM X 'PURE JOY' ROCK 'N GROW™ PURE JOY SEDUM	CONT.	4 TO 6 IN	2 FT	18 IN O.C.		12 TO 24 IN
	SR2	24,458 SF	ZOYSIAGRASS SEED	---					
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	HEIGHT	SPREAD	SPACING	NOTES	MATURE HT.
	VP	555	VERBENA CANADENSIS 'HOMESTEAD PURPLE' HOMESTEAD PURPLE VERBENA	---	12 IN	2 TO 3 FT			8 TO 10 IN

BUFFER TABLE

PERIMETER BUFFER CALCULATIONS:

PERIMETER BUFFER 1: 10' TYPE 1 PERIMETER BUFFER
 LENGTH: 175 FT
REQUIRED CANOPY TREES (3 PER 100 LF): 175 ÷ 100 * 3 = 5.25 = 6 TREES REQUIRED
 PROPOSED: 6 TREES TOTAL
REQUIRED UNDERSTORY TREES (1 PER 100 LF): 175 ÷ 100 = 1.75 = 2 TREES REQUIRED
 PROPOSED: 2 TREES TOTAL
REQUIRED SHRUBS (50 PER 100 LF): 175 ÷ 100 * 50 = 70 = 70 SHRUBS REQUIRED
 PROPOSED: 71 SHRUBS TOTAL

PERIMETER BUFFER 2: 15' TYPE 2 PERIMETER BUFFER
 LENGTH: 315 FT
REQUIRED CANOPY TREES (3 PER 100 LF): 315 ÷ 100 * 3 = 9.45 = 10 TREES REQUIRED
 PROPOSED: 10 TREES TOTAL
REQUIRED UNDERSTORY TREES (1 PER 100 LF): 315 ÷ 100 = 3.15 = 4 TREES REQUIRED
 PROPOSED: 4 TREES TOTAL
REQUIRED SHRUBS (50 PER 100 LF): 315 ÷ 100 * 50 = 157.5 = 158 SHRUBS REQUIRED
 PROPOSED: 160 SHRUBS TOTAL

STREET BUFFER CALCULATION:

MAIN ST.:
 LENGTH: 680 FT
REQUIRED TREES (1 PER 40 LF): 680 ÷ 40 = 17 TREES REQUIRED
 PROPOSED: 17 STREET TREES + 9 EVERGREEN TREES = 26 TREES TOTAL ***

VIRGINIA WATER DR.:
 LENGTH: 360 FT
REQUIRED TREES (1 PER 40 LF): 360 ÷ 40 = 9 TREES REQUIRED
 PROPOSED: 9 TREES TOTAL

VEHICULAR USE AREA (VUA) CALCULATIONS:

PARKING LOT 1:
REQ'D CANOPY TREES IN TERMINAL ISLANDS (1 PER ISLAND): 18 * 1 = 18 TREES REQUIRED
 PROPOSED: 18 TREES TOTAL
REQUIRED CANOPY TREES IN INTERIOR ISLANDS (1 PER ISLAND): 10 * 1 = 10 TREES REQUIRED
 PROPOSED: 10 TREES TOTAL
REQUIRED CANOPY TREES IN DIVIDER (1 PER 30 LF): 180 ÷ 30 = 6 TREES REQUIRED
 PROPOSED: 6 TREES TOTAL
REQUIRED UNDERSTORY TREES IN DIVIDER (2 PER 30 LF): 30 ÷ 30 * 2 = 2 TREES REQUIRED
 PROPOSED: 2 TREES TOTAL
REQUIRED SHRUBS IN PARKING PERIMETER BUFFER (1 PER 3 LF): 733 ÷ 3 = 244.33 = 245 SHRUBS REQUIRED
 PROPOSED: 248 SHRUBS TOTAL

PARKING LOT 2:
REQUIRED CANOPY TREES IN TERMINAL ISLANDS (1 PER ISLAND): 2 * 1 = 2 TREES REQUIRED
 PROPOSED: 2 TREES TOTAL
REQUIRED SHRUBS IN PARKING PERIMETER BUFFER (1 PER 3 LF): 283 ÷ 3 = 94.33 = 95 SHRUBS REQUIRED
 PROPOSED: 95 SHRUBS TOTAL

PARKING LOT 3:
REQUIRED CANOPY TREES IN DIVIDER (1 PER 30 LF): 157 ÷ 30 = 5.23 = 6 TREES REQUIRED
 PROPOSED: 6 TREES TOTAL
REQUIRED SHRUBS IN PARKING PERIMETER BUFFER (1 PER 3 LF): 278 ÷ 3 = 92.67 = 93 SHRUBS REQUIRED
 PROPOSED: 94 SHRUBS TOTAL

NOTE:

- THE PLANTING SCHEDULE DOES NOT INCLUDE THE STREET TREES ON MAIN ST WHICH IS PART OF THE U-6241 STREETSCAPE PROJECT. SEE STANTEC LANDSCAPE PLAN L-4 FOR STREET TREE SPECIES. A TOTAL OF 26 TREES SHALL BE PROVIDED ALONG MAIN ST. - 16 TREES FROM STANTEC AND 9 FROM THIS PROJECT. - LANDSCAPING WILL BE COMPLIANT WITH LDO SECTION 6.2.4.4. IN THE PARKING LOT ISLANDS

- Final Drawing -
 Issued for Permit
 Review Purposes Only

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVE PERMIT BUILDING CALCULATIONS FOR OWNER REQUEST



ENHANCED PLANTING PLAN

WALLBROOK

SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

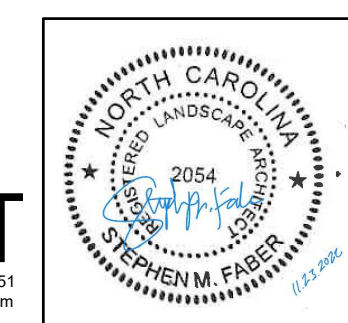
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
 Rolesville, Wake County, North Carolina

NC License: P-1109

ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS
 2755-B Charles Blvd.
 (757) 558-7858
 (757) 558-0888
 www.arkconsultinggroup.com

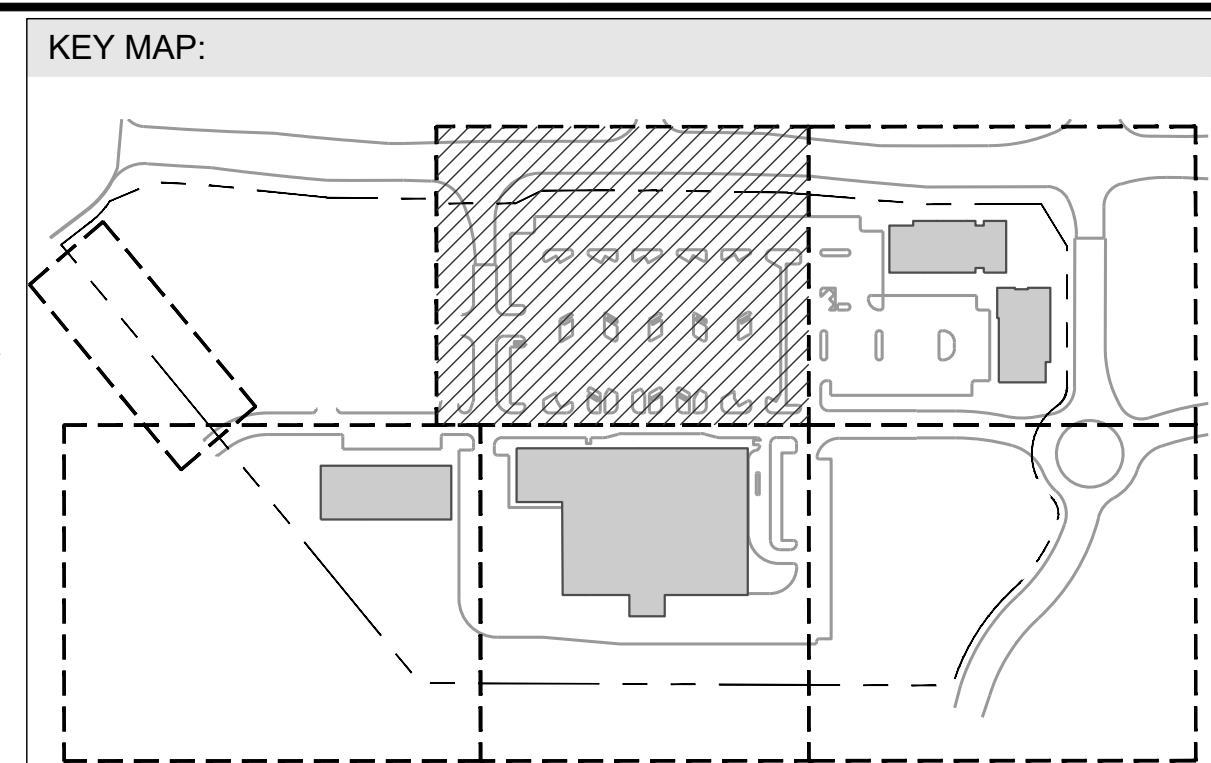
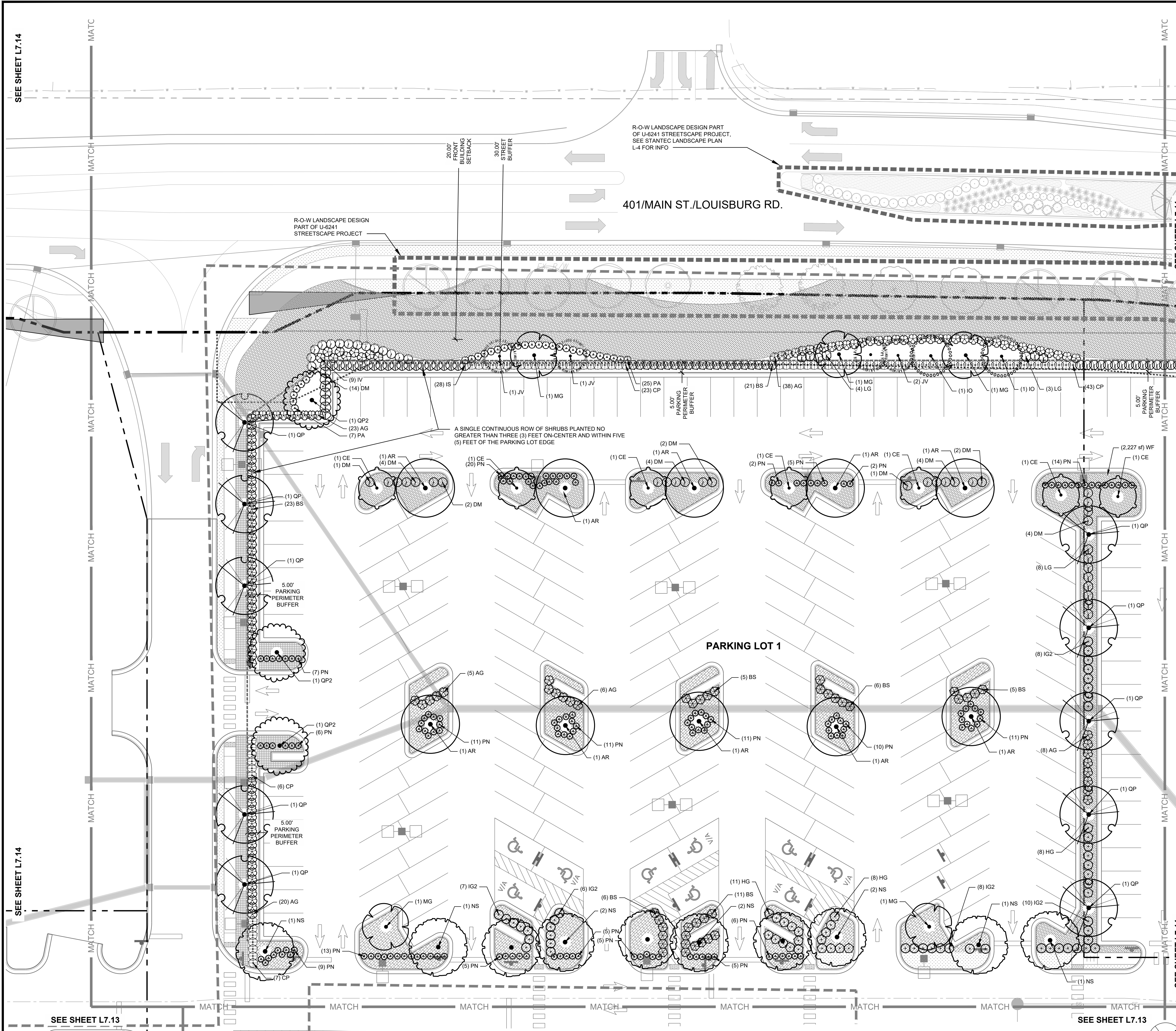
PRELIMINARY
 Do Not Use
 for Construction
 2/10/2023

Project Manager:	SMF
Drawn By:	SM
Checked By:	SMF
Project Number:	22007
Drawing Number:	D-1219-CD



L7.01

Date: February 10, 2023



LANDSCAPE LEGEND

- PROPERTY LINE / ROW LINE
- - - SETBACK LINE
- LIMIT OF WORK (LANDSCAPE)
- 30' WIDE STREET BUFFER
- 10' WIDE TYPE 1 BUFFER
- 15' WIDE TYPE 2 BUFFER
- 5' WIDE PARKING PERIMETER BUFFER
- U6241 PROJECT PLANTING DESIGN SCOPE
- TREE PROTECTION FENCE
- EXISTING VEGETATION

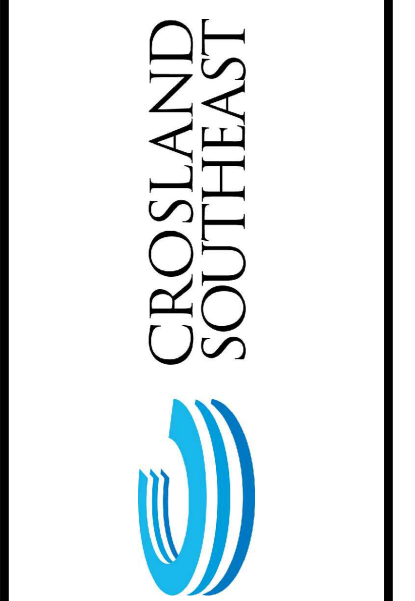
PLANT SCHEDULE L7.10

CATEGORY	CODE	QTY	BOTANICAL / COMMON NAME	
CANOPY TREES	AR	10	ACER RUBRUM RED MAPLE	
	NS	10	NYSSA SYLVATICA TURPELO	
	QP2	3	QUERCUS PALUSTRIS PIN OAK	
	QP	10	QUERCUS PHellos WILLOW OAK	
	EVERGREEN TREES	IO	2	ILEX OPACA AMERICAN HOLLY
		JV	4	JUNPERUS VIRGINIANA EASTERN REDCEDAR
		MG	5	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA
		CE	7	CERIS CANADENSIS EASTERN REDBUD MULTI-TRUNK
	DECIDUOUS SHRUBS	CP	79	CALLICARPA X NICKX2 TM PEARL GLAM BEAUTYBERRY
		IV	9	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWEETSPIRE
AG		100	ABELIA X GRANDIFLORA GLOSSY ABELIA	
BS		77	BUXUS SEMPERVIRENS COMMON BOXWOOD	
EVERGREEN SHRUBS	DM	38	DISTYLUM X 'INDIST-V TM CINNAMON GIRL DISTYLUM	
	HG	27	HYPERICUM FRONDOSUM GOLDEN ST. JOHN'S WORT	
	IG2	36	ILEX GLABRA INKBERRY HOLLY	
	IS	28	ILEX GLABRA 'SHAMROCK' SHAMROCK INBERRY HOLLY	
	LG	30	LOROPETALUM CHINESE CHINESE FRINGE FLOWER	
	IG	30	LOROPETALUM CHINESE CHINESE FRINGE FLOWER	
GRASSES	PN	158	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	
	PA	32	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS	
	WF	9,261 SF	ERSNT SEED MIX	
GROUND COVERS	SRZ	7,066 SF	ZOYSIAGRASS SEED	
	VP	362	VERBENA CANADENSIS 'HOMESTEAD PURPLE' HOMESTEAD PURPLE VERBENA	

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVED PERMIT BUILDING FOOTPRINT FOR OWNER REQUEST



ENHANCED PLANTING PLAN
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

NC License: P-1139
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Durham, NC 27705
(919) 488-0888
www.arkconsultinggroup.com

PRELIMINARY
Do Not Use
for Construction
2/10/2023

Project Manager: SMF
Drawn By: SM
Checked By: SMF
Project Number: 22007
Drawing Number: D-1219-CD

L7.10
Date: February 10, 2023

STEWART
101 WEST MAIN ST.
DURHAM, NC 27701
1-919-302-1750
FIRM LICENSE # C-1051
www.stewartinc.com

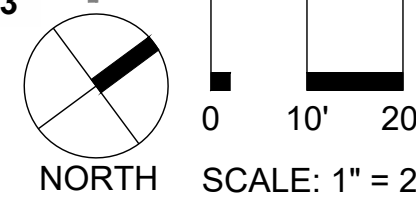


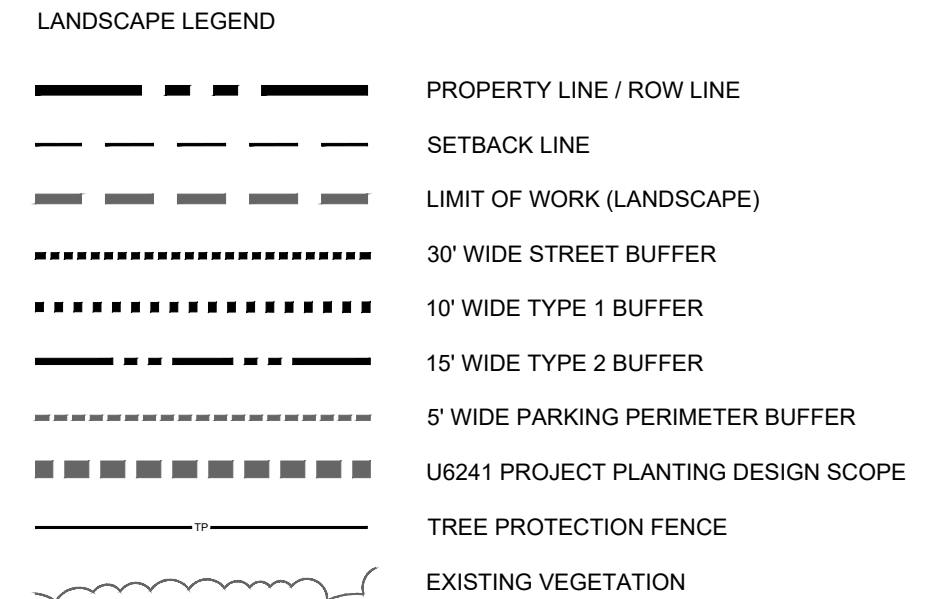
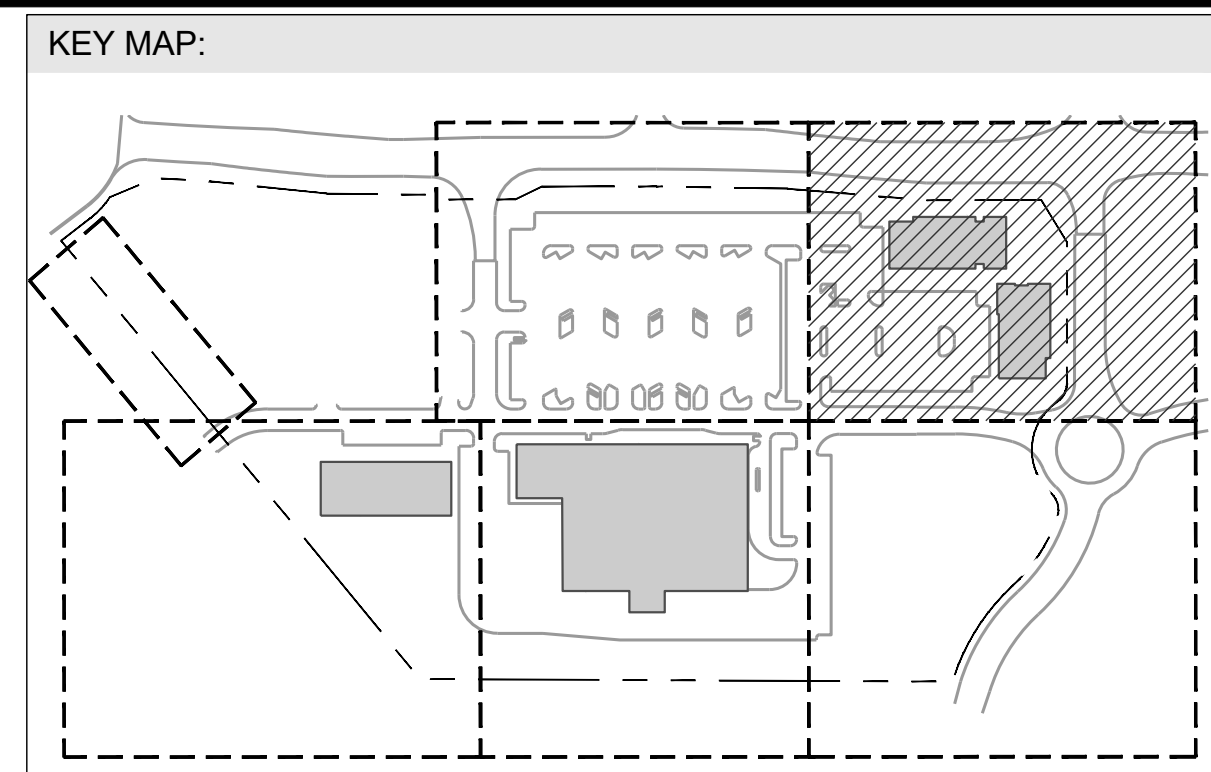
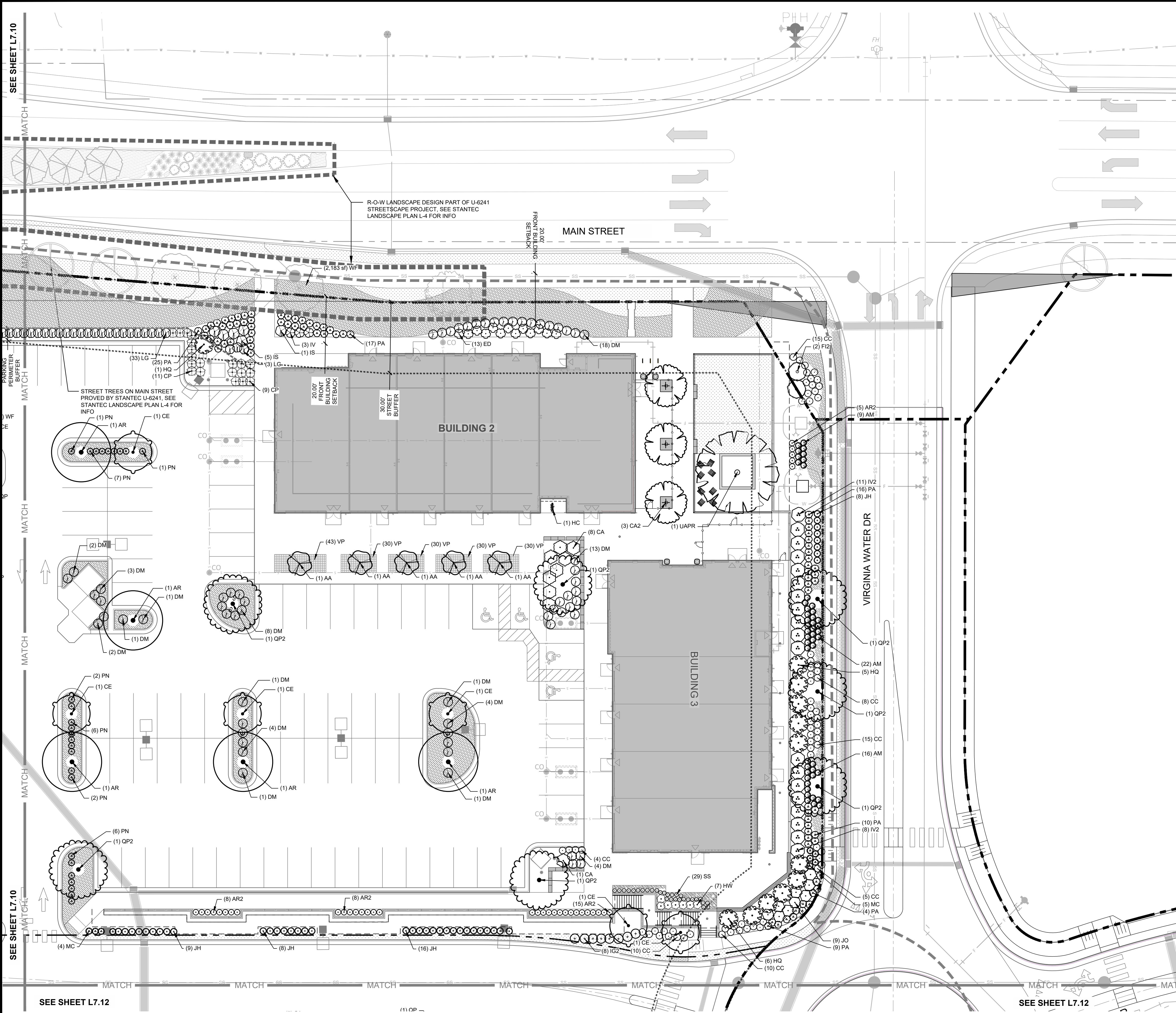
SEE SHEET L7.14

SEE SHEET L7.14

SEE SHEET L7.13

SEE SHEET L7.13

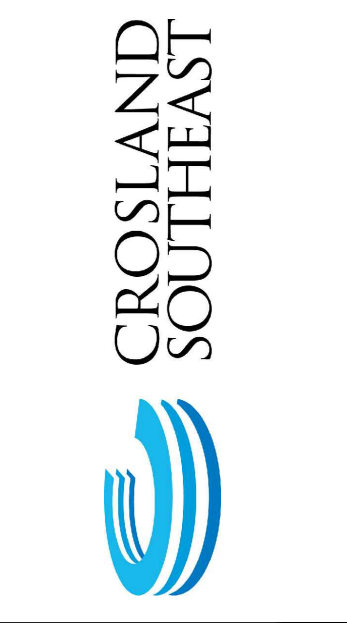




PLANT SCHEDULE L7.11

CATEGORY	CODE	QTY	BOTANICAL / COMMON NAME
CANOPY TREES	AR	5	ACER RUBRUM RED MAPLE
	QP2	7	QUERCUS PALUSTRIS PIN OAK
	UAPR	1	ULMUS AMERICANA 'PRINCETON' PRINCETON AMERICAN ELM
UNDERSTORY TREES	AA	5	AMELANCHIER ARBOREA DOWNY SERVICEBERRY
	CA2	3	CARPINUS CAROLINIANA AMERICAN HORNBEAM
	CE	6	CERCIS CANADENSIS EASTERN REDBUD MULTI-TRUNK
	CA	9	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY
DECIDUOUS SHRUBS	CP	20	CALLICARPA X NICOZ2 TM PEARL GLAZED BEAUTYBERRY
	CC	67	CARYOPTERIS X CLANDONENSIS BLUEBEARD
	FIZ	2	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA
	HQ	12	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA
	HW	7	HYDRANGEA QUERCIFOLIA 'PEE WEE' 'PEE WEE OAKLEAF HYDRANGEA
	IV	3	ITEA VIRGINICA 'HENRY'S GARNET' HENRY'S GARNET SWIETSHIRE
EVERGREEN SHRUBS	DM	64	DISTYLUM X 'PROIST-V' TM CINNAMON GIRL DISTYLUM
	IG2	8	ILEX GLABRA INKBERRY HOLLY
	IS	6	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY
	IV2	19	ILEX VOMITORIA YALPON HOLLY
	JH	41	JUNIPERUS COMMUNIS 'HIBERNICA' IRISH JUNIPER
	JO	9	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR
GRASSES	LG	21	LOROPETALUM CHINENSE CHINESE FRINGE FLOWER
	AR2	36	ANDROPOGON GERARDII 'RED OCTOBER' RED OCTOBER BIG BLUESTEM
	MC	9	MULLEBERGIA CAPILLARIS PINK MUHLY GRASS
	PA	28	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS
PN	81	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS	
SS	29	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	

- Final Drawing -
Issued for Permit
Review Purposes Only



ENHANCED PLANTING PLAN
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

NC License: P-1139
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Durham, NC 27705
(919) 488-0888
www.arkconsultinggroup.com

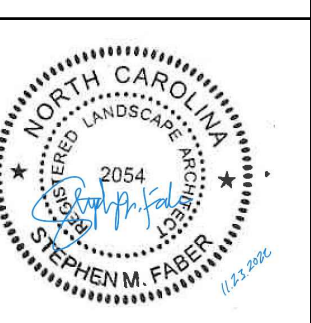
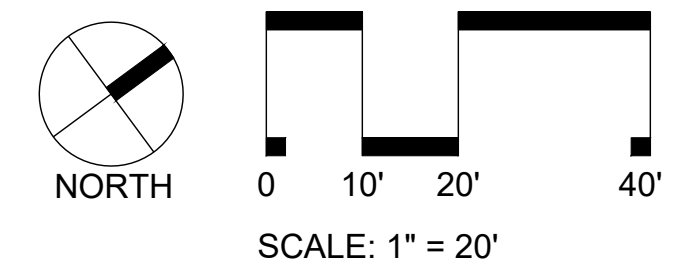
PRELIMINARY
Do Not Use
for Construction

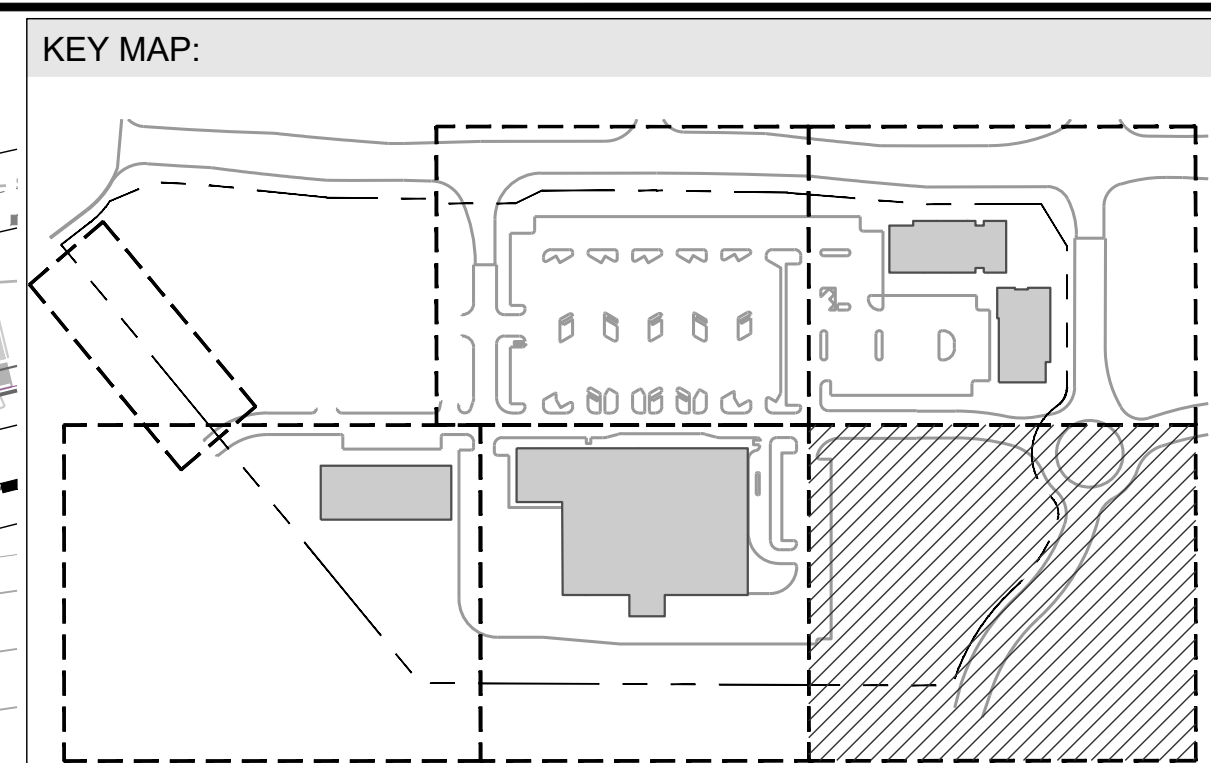
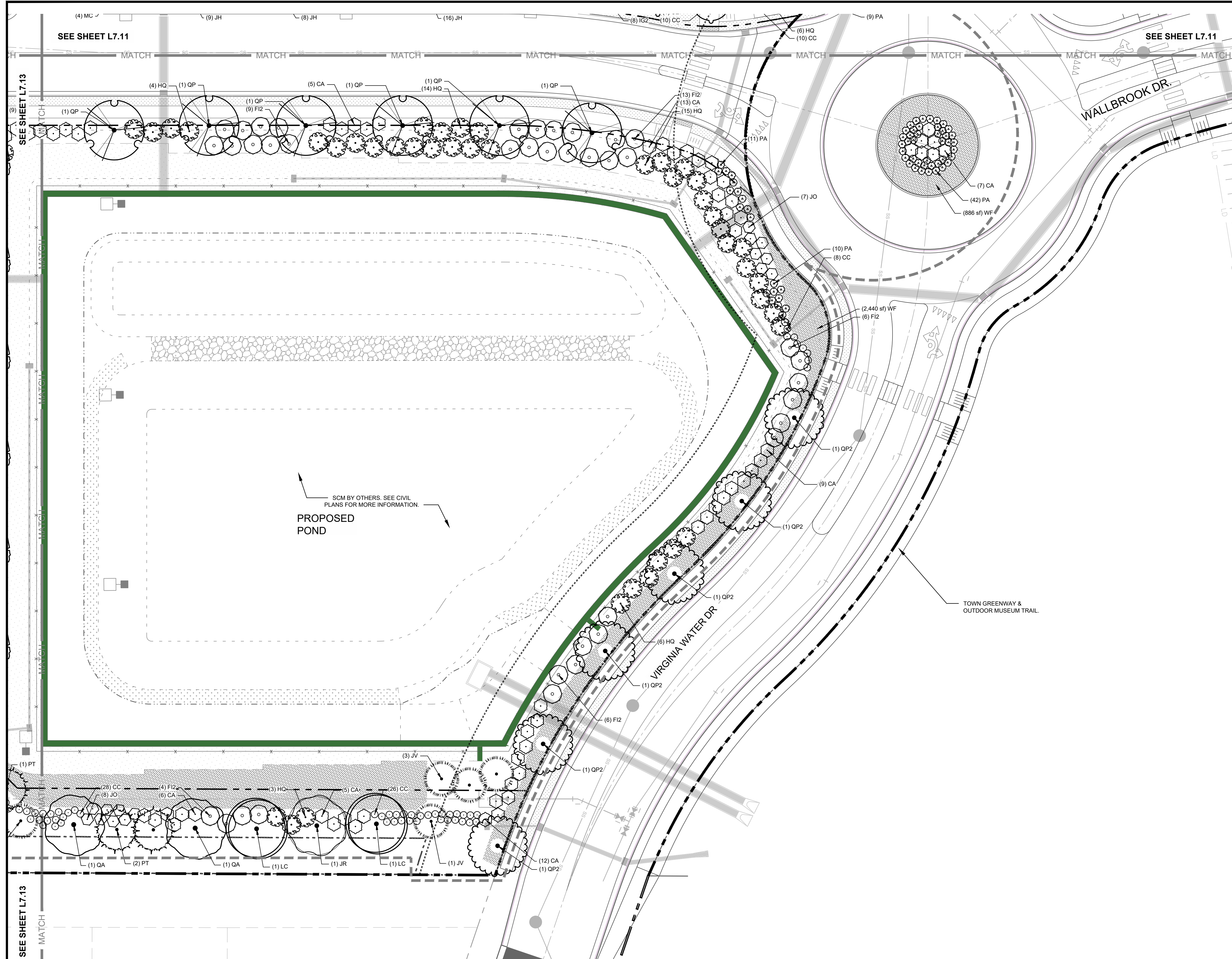
2/10/2023

Project Manager: SMF
Drawn By: SM
Checked By: SMF
Project Number: 22007
Drawing Number: D-1219-CD

L7.11

Date: February 10, 2023





LANDSCAPE LEGEND

- PROPERTY LINE / ROW LINE
- SETBACK LINE
- LIMIT OF WORK (LANDSCAPE)
- 30' WIDE STREET BUFFER
- 10' WIDE TYPE 1 BUFFER
- 15' WIDE TYPE 2 BUFFER
- 5' WIDE PARKING PERIMETER BUFFER
- U6241 PROJECT PLANTING DESIGN SCOPE
- TREE PROTECTION FENCE
- EXISTING VEGETATION

PLANT SCHEDULE L7.12

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME
	JR	1	JUGLANS REGIA ENGLISH WALNUT
	LC	2	LIRIODENDRON CHINENSE X TULIPIFERA HYBRID TULIP TREE
	QA	2	QUERCUS ALBA WHITE OAK
	QP2	6	QUERCUS PALUSTRIS PIN OAK
	QP	6	QUERCUS PHELLOS WILLOW OAK
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME
	JV	4	JUNIPERUS VIRGINIANA EASTERN REDCEDAR
	PT	2	PINUS TAEDA LOBLOLLY PINE
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	CA	61	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY
	CC	46	CARYOPTERIS X CLANDONENSIS BLUEBEARD
	FI2	38	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA
	HQ	42	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	JO	15	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME
	PA	63	PENNISETUM ALOPECUROIDES FOUNTAIN GRASS
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME
	WF	3,274 SF	ERSNT SEED MIX
	SR2	2,480 SF	ZOYSIAGRASS SEED

- Final Drawing -
 Issued for Permit
 Review Purposes Only

REVISIONS:

CROSLAND SOUTHEAST

ENHANCED PLANTING PLAN
WALLBROOK
 SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
 Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
 Rolesville, Wake County, North Carolina

NC License: P-1129
ARK CONSULTING GROUP PLLC
 ENGINEERS & PLANNERS
 2755-B Charles Blvd.
 Durham, NC 27705
 (919) 488-0888
 www.arkconsultinggroup.com

PRELIMINARY
 Do Not Use
 for Construction

2/10/2023

Project Manager: SMF
 Drawn By: SM
 Checked By: SMF
 Project Number: 22007
 Drawing Number: D-1219-CD

L7.12

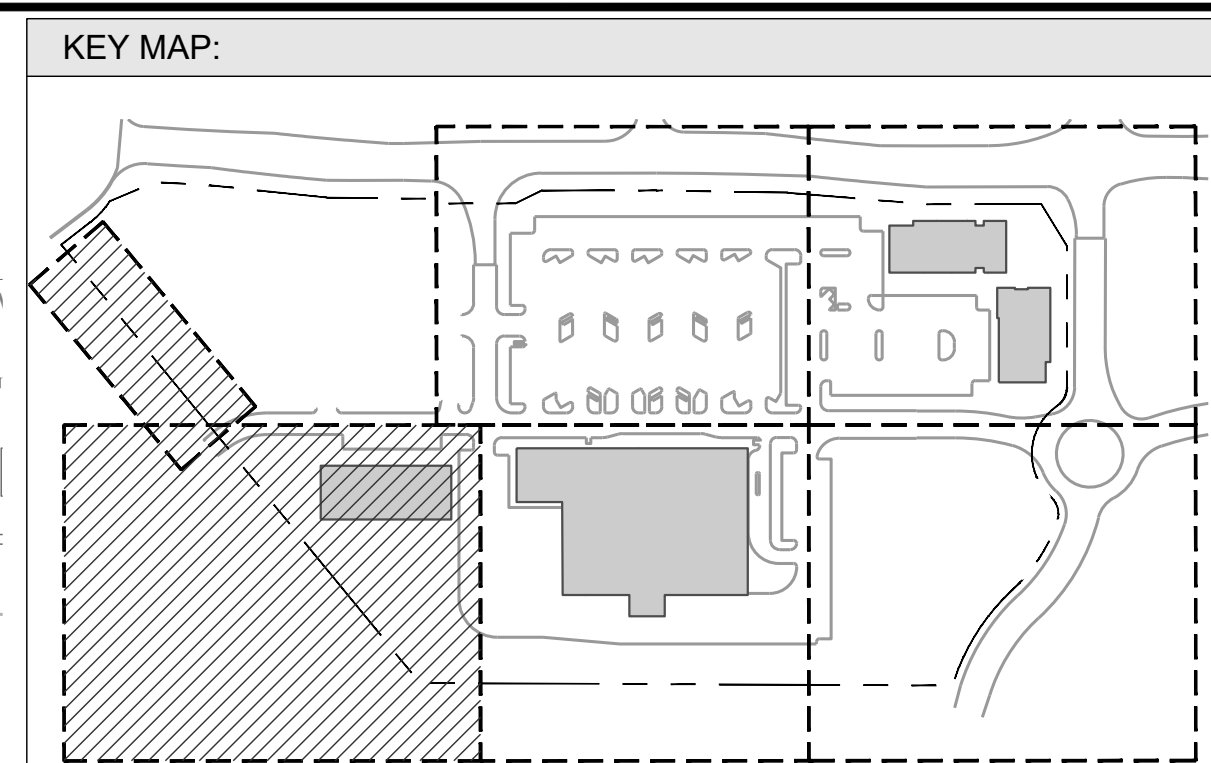
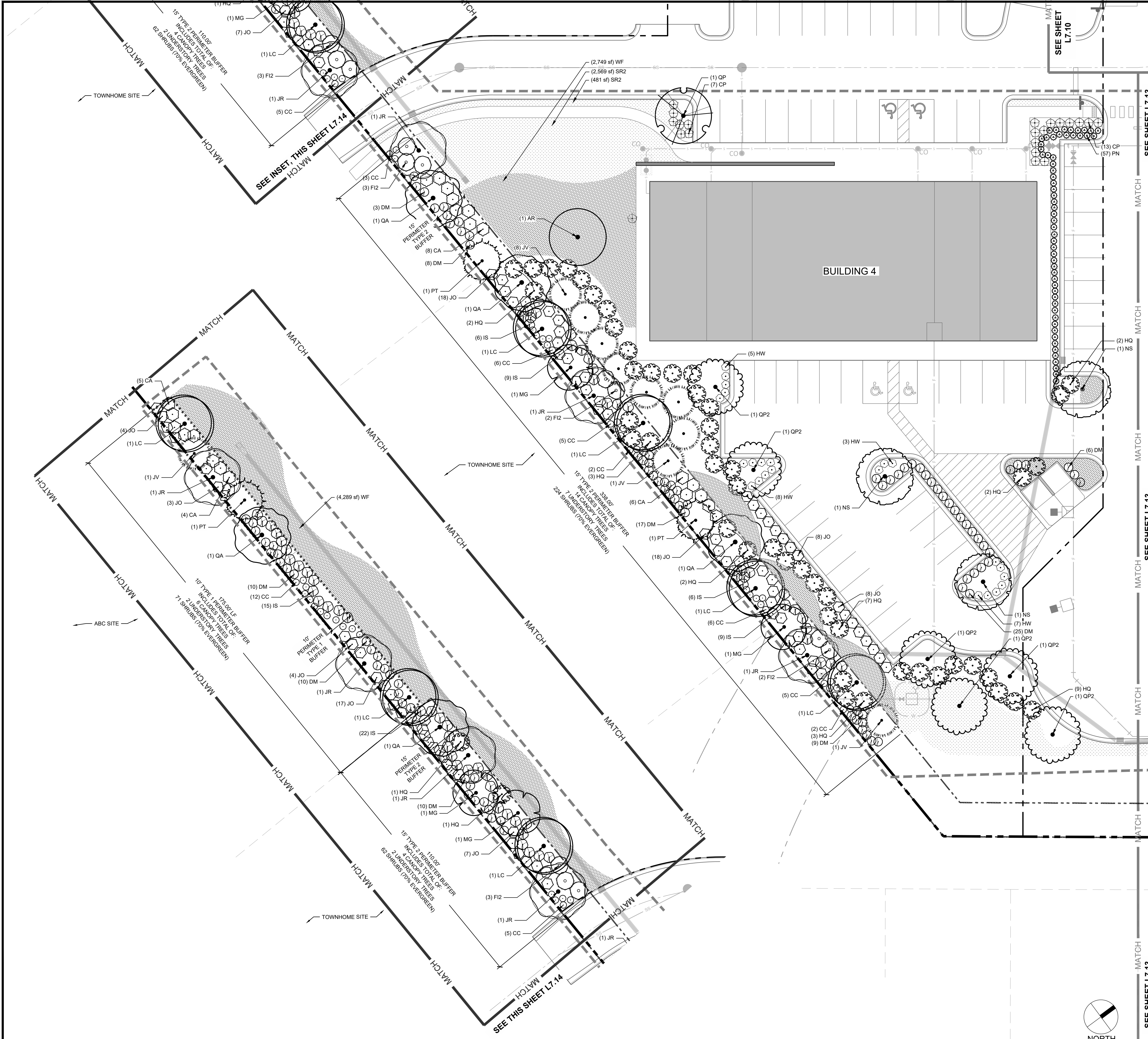
Date: February 10, 2023

STEWART
 101 WEST MAIN ST.
 DURHAM, NC 27701
 919-302-1750

FIRM LICENSE # C-1051
 www.stewartinc.com



C:\PROJECTS\2023\122007 - WALLBROOK\DWG\122007-03-03-PLANTING PLAN\DWG_L7.12.dwg, L7.12, Sheet No. 1 of 1, Feb 10, 2023 @ 14:54 PM



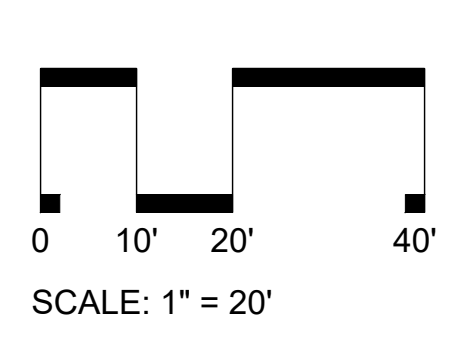
LANDSCAPE LEGEND

- PROPERTY LINE / ROW LINE
- SETBACK LINE
- LIMIT OF WORK (LANDSCAPE)
- 30' WIDE STREET BUFFER
- 10' WIDE TYPE 1 BUFFER
- 15' WIDE TYPE 2 BUFFER
- 5' WIDE PARKING PERIMETER BUFFER
- U6241 PROJECT PLANTING DESIGN SCOPE
- TREE PROTECTION FENCE
- EXISTING VEGETATION

PLANT SCHEDULE L7.14

CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME
AR	1	ACER RUBRUM RED MAPLE	
JR	6	JUGLANS REGIA ENGLISH WALNUT	
LC	6	LIRIODENDRON CHINENSE X TULIPIFERA HYBRID TULIP TREE	
NS	3	NYSSA SYLVATICA TUPELO	
QA	5	QUERCUS ALBA WHITE OAK	
QP2	6	QUERCUS PALLISTRIS PIN OAK	
QP	1	QUERCUS PHELLOS WILLOW OAK	
EVERGREEN TREES			
JV	10	JUNIPERUS VIRGINIANA EASTERN REDCEDAR	
MG	3	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	
PT	3	PRINUS TAEDA LOBLOLLY PINE	
DECIDUOUS SHRUBS			
CA	23	CALLICARPA AMERICANA AMERICAN BEAUTYBERRY	
CP	21	CALLICARPA X NICK22 TM PEARL, GLAM BEAUTYBERRY	
CC	46	CARYOPTERIS X CLANDONIENSIS BLUEBEARD	
FI2	10	FORSYTHIA X INTERMEDIA BORDER FORSYTHIA	
HQ	52	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	
HW	23	HYDRANGEA QUERCIFOLIA 'PEE WEE' PEE WEE OAKLEAF HYDRANGEA	
EVERGREEN SHRUBS			
DM	98	DISTYLUM X 'PRIDIST-V' TM CINNAMON GIRL DISTYLUM	
IS	67	ILEX GLABRA 'SHAMROCK' SHAMROCK HAWBERRY HOLLY	
JO	86	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL EASTERN REDCEDAR	
GRASSES			
PN	57	PANICUM VIRGATUM 'NORTHWIND' NORTHWIND SWITCH GRASS	
GROUND COVERS			
WF	8,360 SF	ERSNT SEED MIX	
SR2	11,256 SF	ZOYSIAGRASS SEED	

NOTE:
- FENCE FOR PERIMETER BUFFER TYPE 1 & 2 ARE PROVIDED ON THE ADJACENT ABC AND FUTURE TOWNHOME PROPERTIES. NO FENCE IS REQUIRED ALONG PERIMETER BUFFER IN THESE LOCATIONS



STEWART
101 WEST MAIN ST.
DURHAM, NC 27701
919.302.6750

FIRM LICENSE # C-1051
www.stewartinc.com

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVAL PERMIT BUILDING LOCAL GOVERNMENT REQUEST

CROSLAND SOUTHEAST

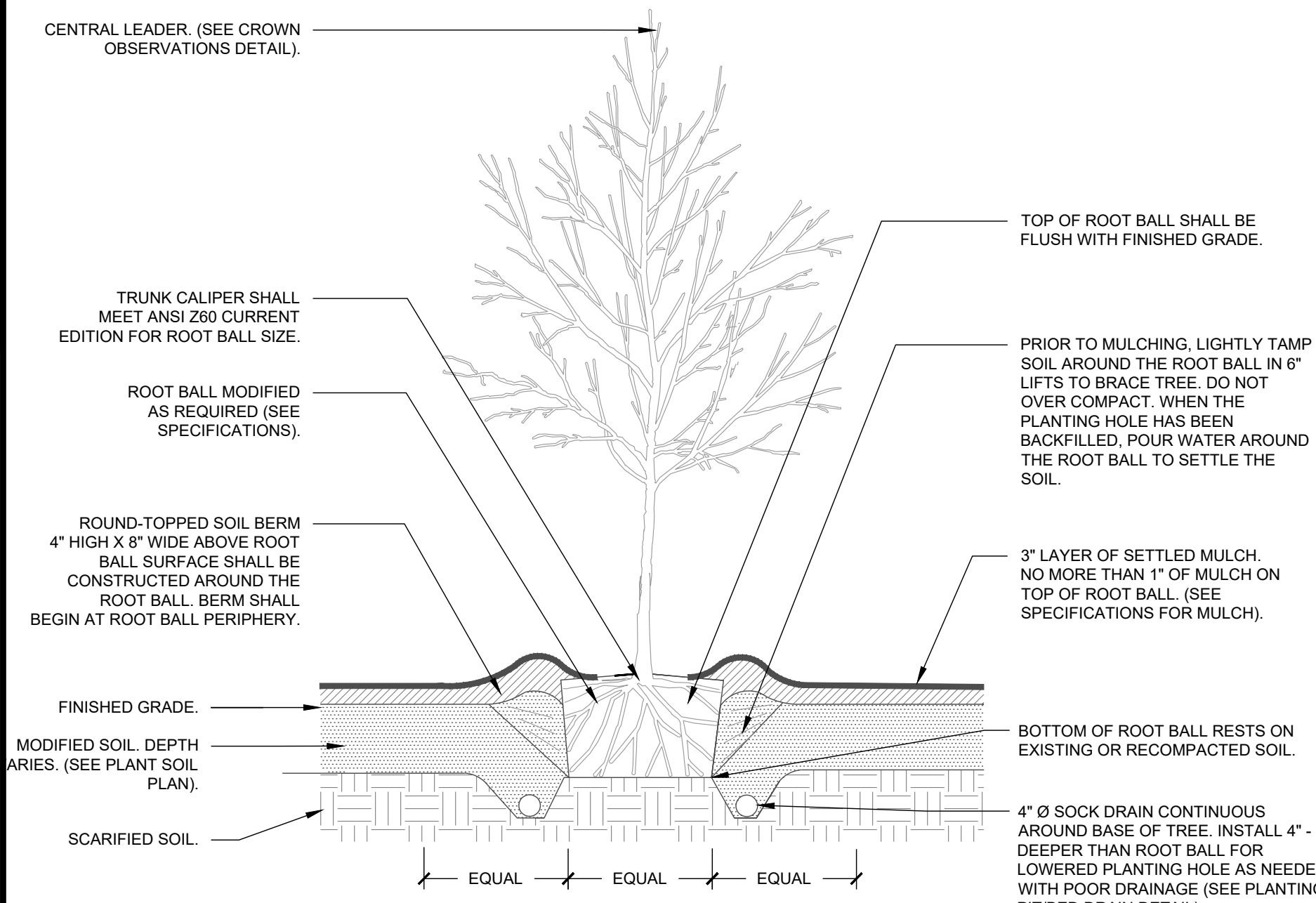
ENHANCED PLANTING PLAN
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

NC License: P-1109
ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Durham, NC 27688
(919) 488-0888
www.arkconsultinggroup.com

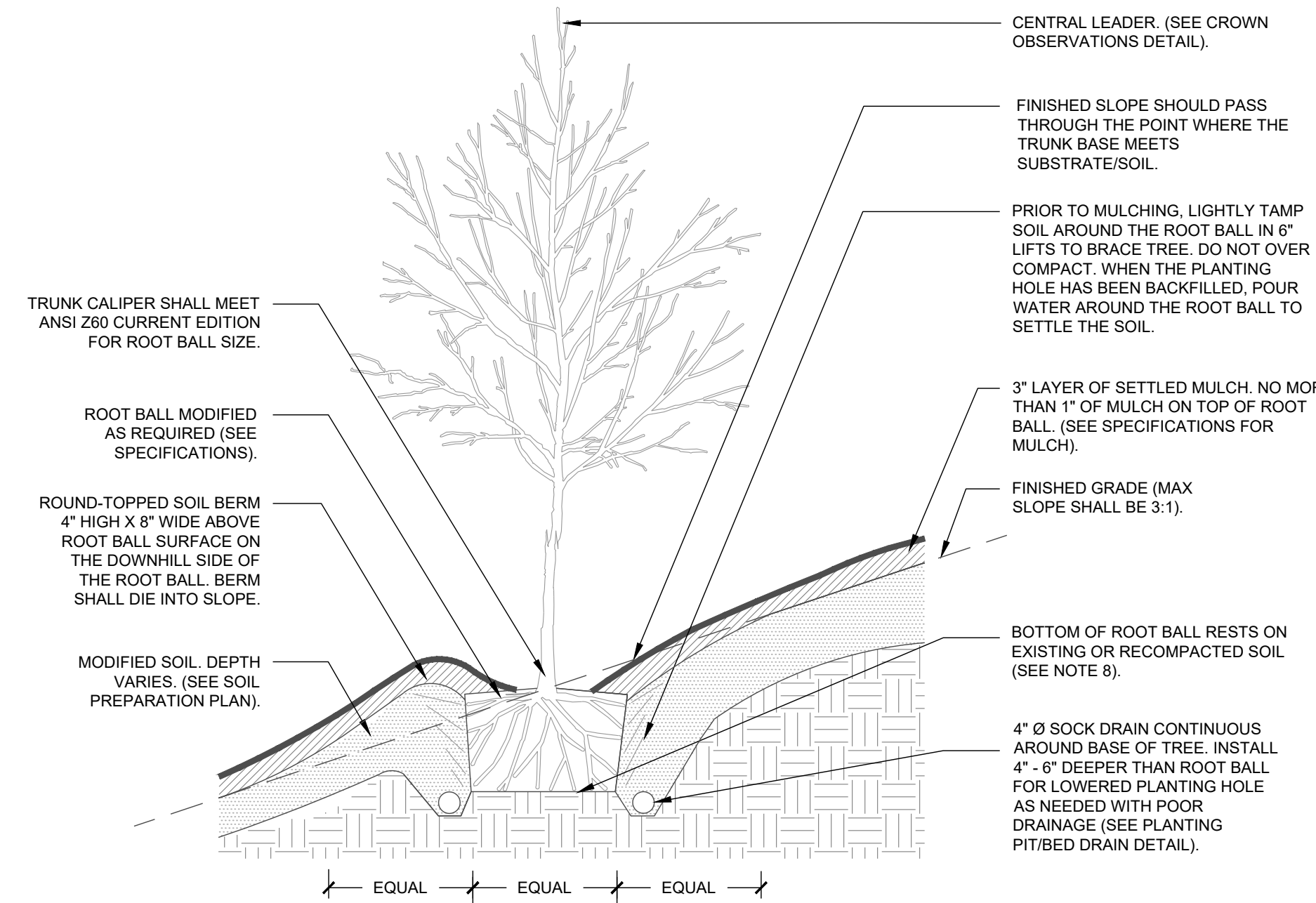
PRELIMINARY
Do Not Use
for Construction
2/10/2023

Project Manager: SMF
Drawn By: SM
Checked By: SMF
Project Number: 22007
Drawing Number: D-1219-CD

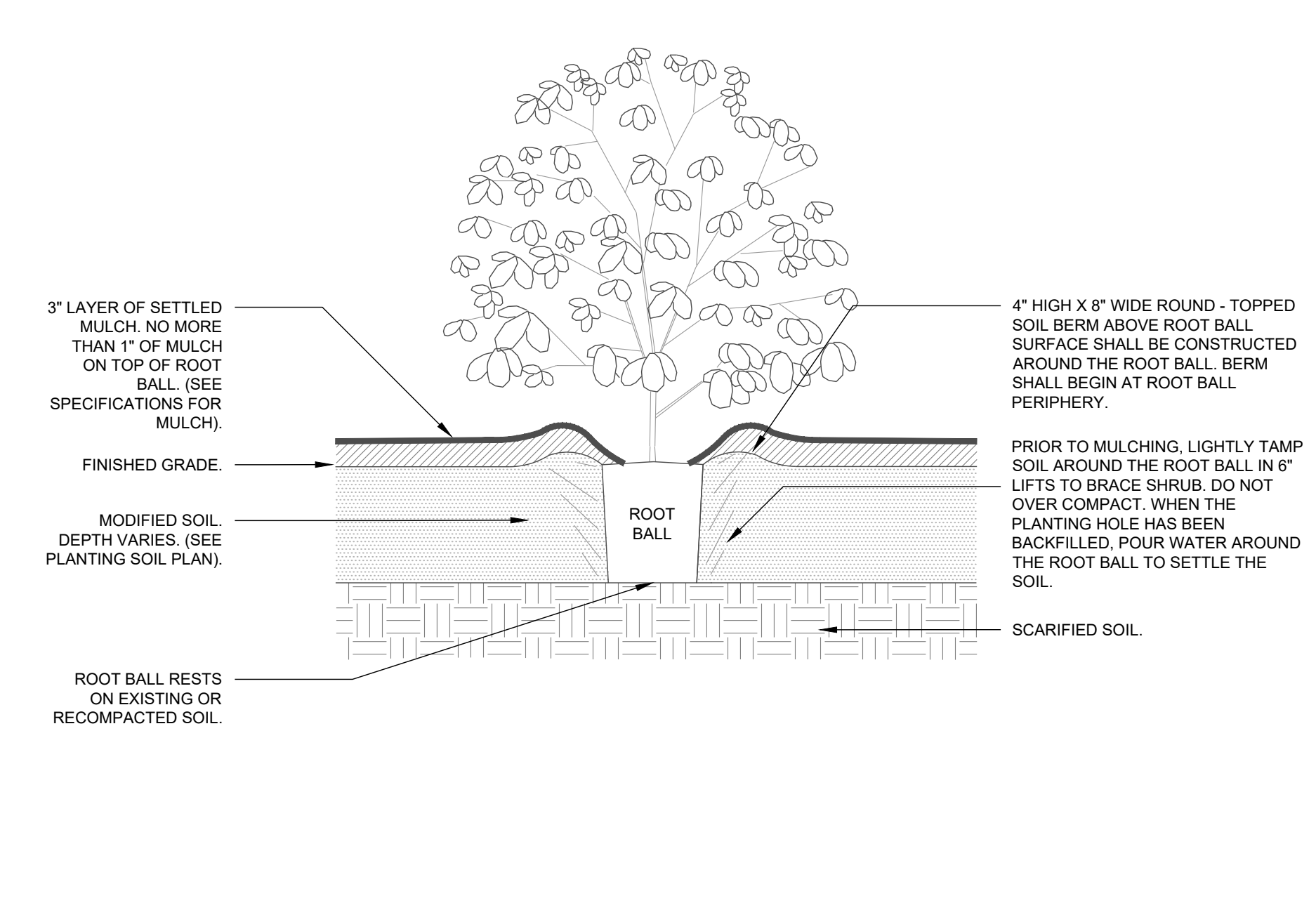
L7.14
Date: February 10, 2023



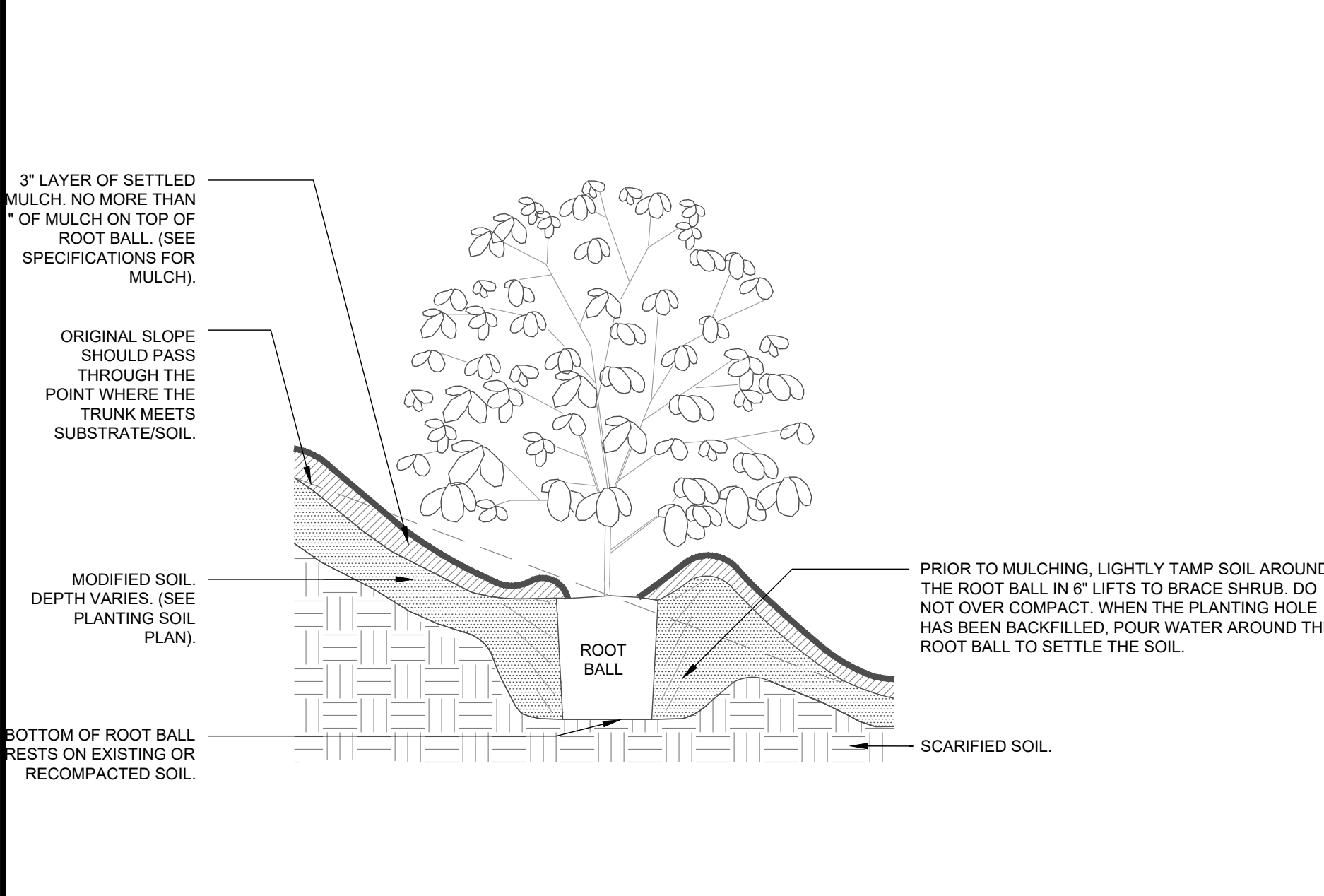
1 TREE (TYPICAL) SECTION NTS



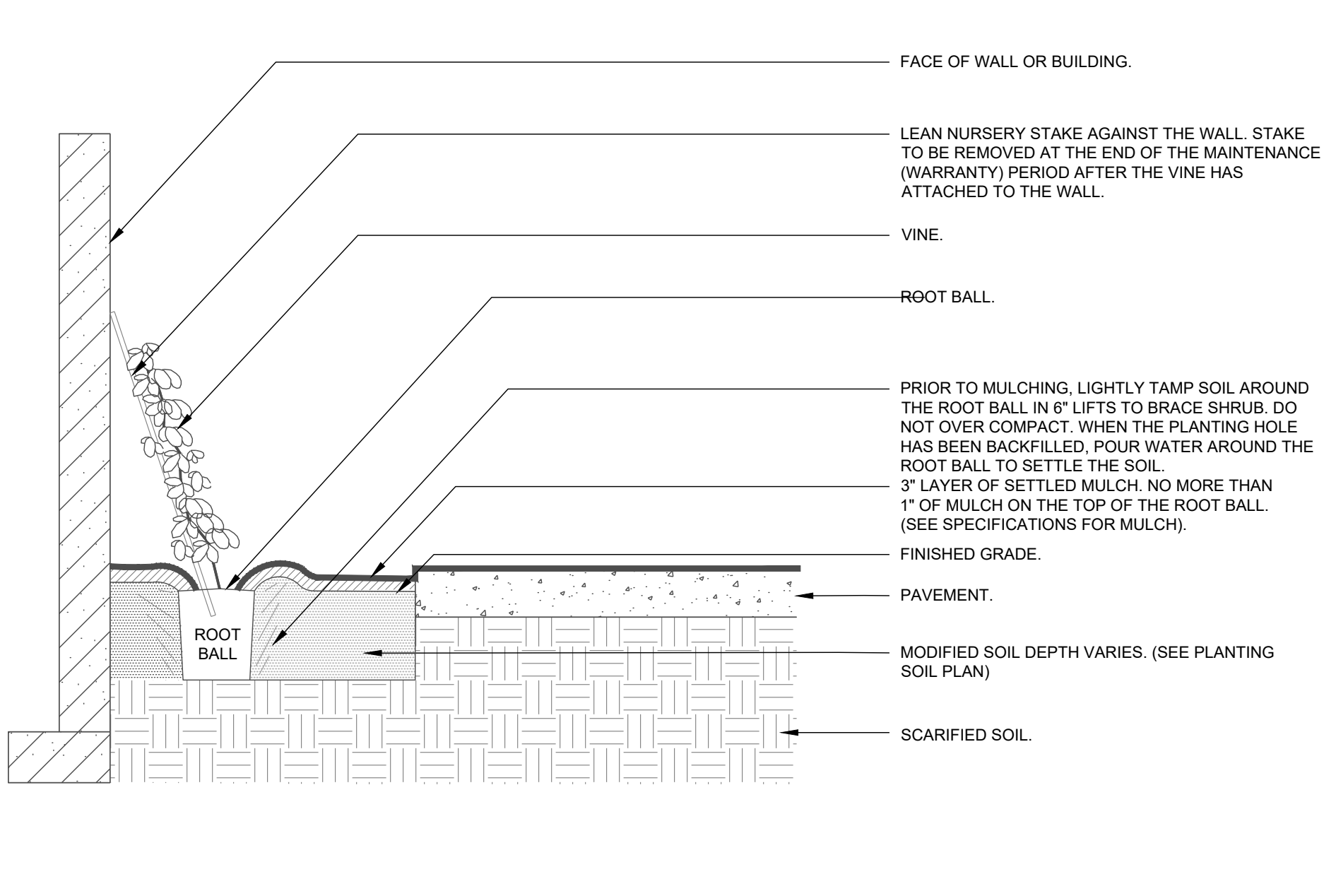
2 TREE ON SLOPE (TYPICAL) SECTION NTS



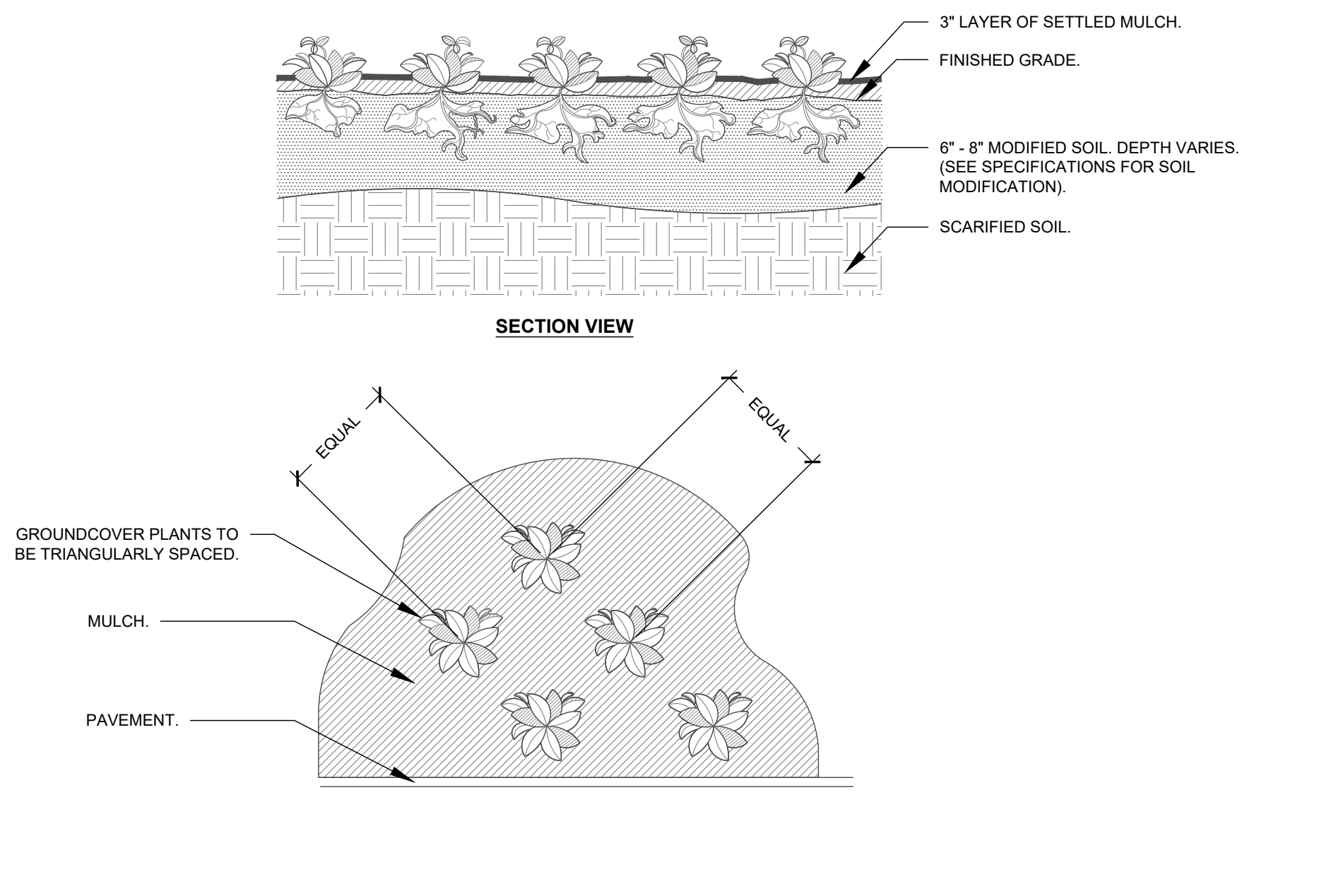
3 SHRUB (TYPICAL) SECTION NTS



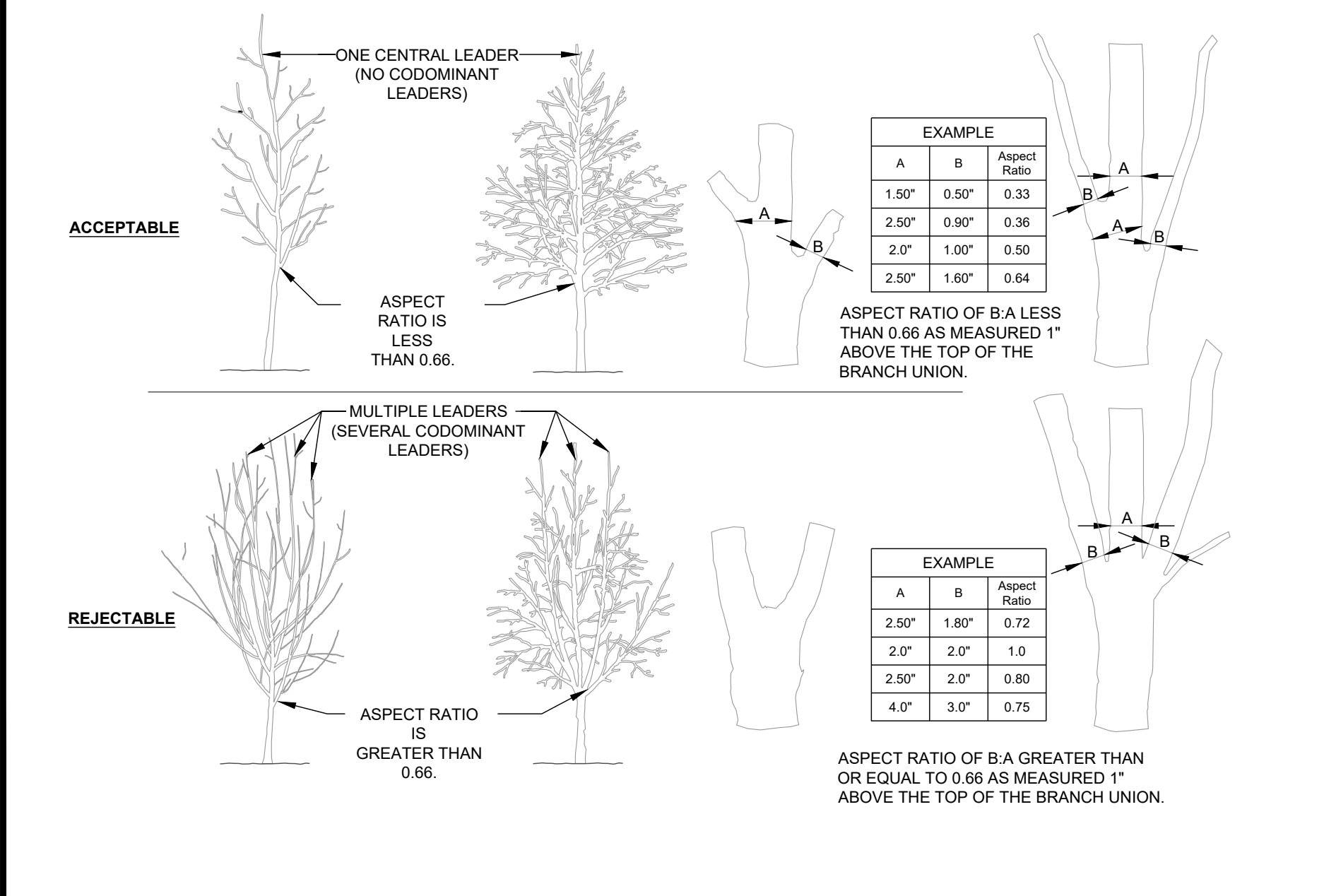
4 SHRUB ON SLOPE (TYPICAL) SECTION NTS



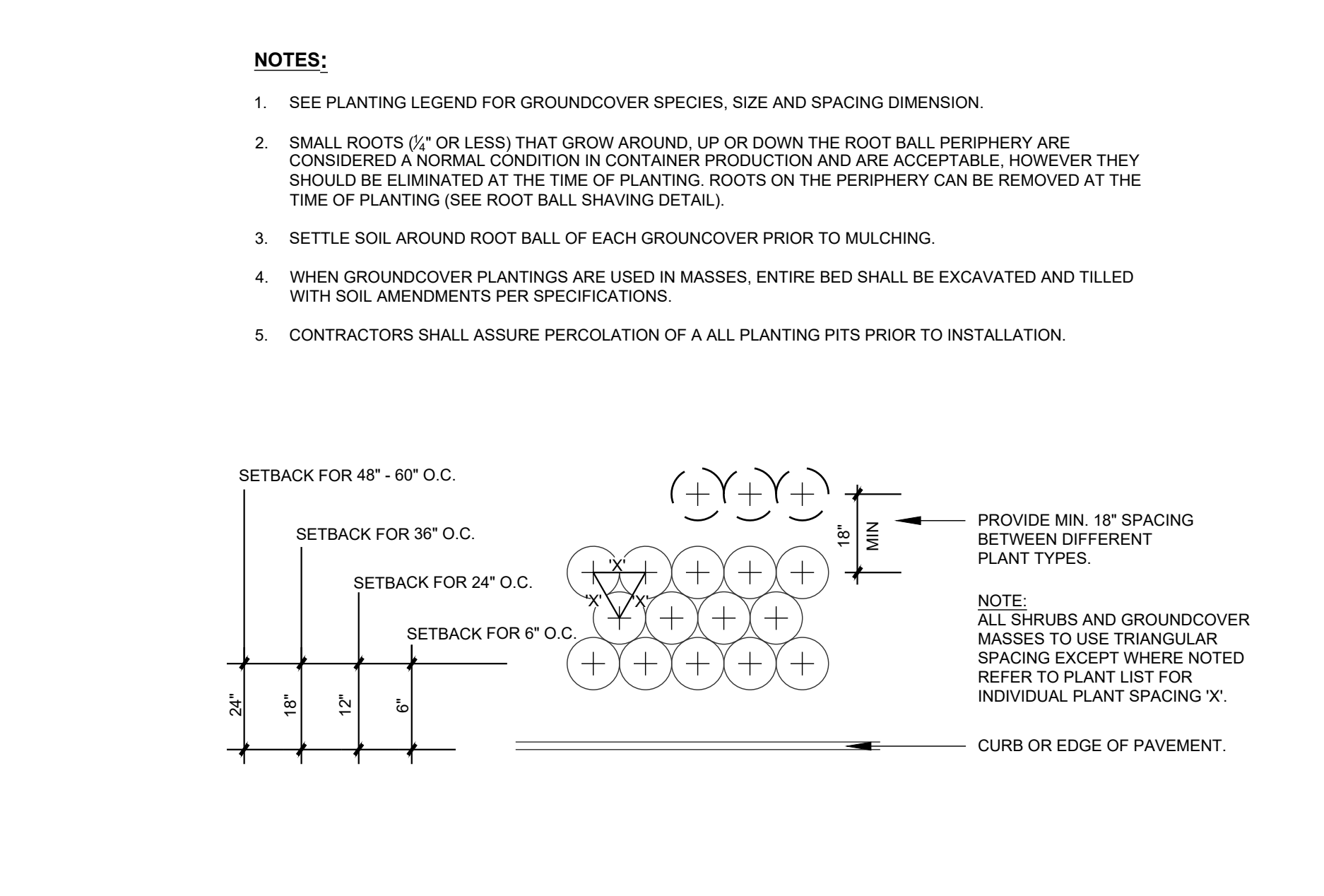
5 VINE (TYPICAL) SECTION NTS



6 GROUNDCOVER PLANTING (TYPICAL) PLAN NTS



7 CROWN OBSERVATIONS - HIGH BRANCHED SECTION NTS



8 SHRUB AND GROUNDCOVER SPACING PLAN NTS

- PLANTING NOTES:**
- DO NOT STAKE TREES EXCEPT WHERE SPECIFIED BY LANDSCAPE ARCHITECT. STAKING IS REQUIRED FOR TREES PLANTED ON SLOPES.
 - WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4-6\"/>

9 PLANTING NOTES NTS

- Final Drawing -
Issued for Permit
Review Purposes Only

CROSLAND SOUTHEAST

PLANTING & SOIL DETAILS
WALLBROOK
SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)
Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)
Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS
2755-B Charles Blvd.
Durham, NC 27705
(919) 488-0888
www.arkconsultinggroup.com

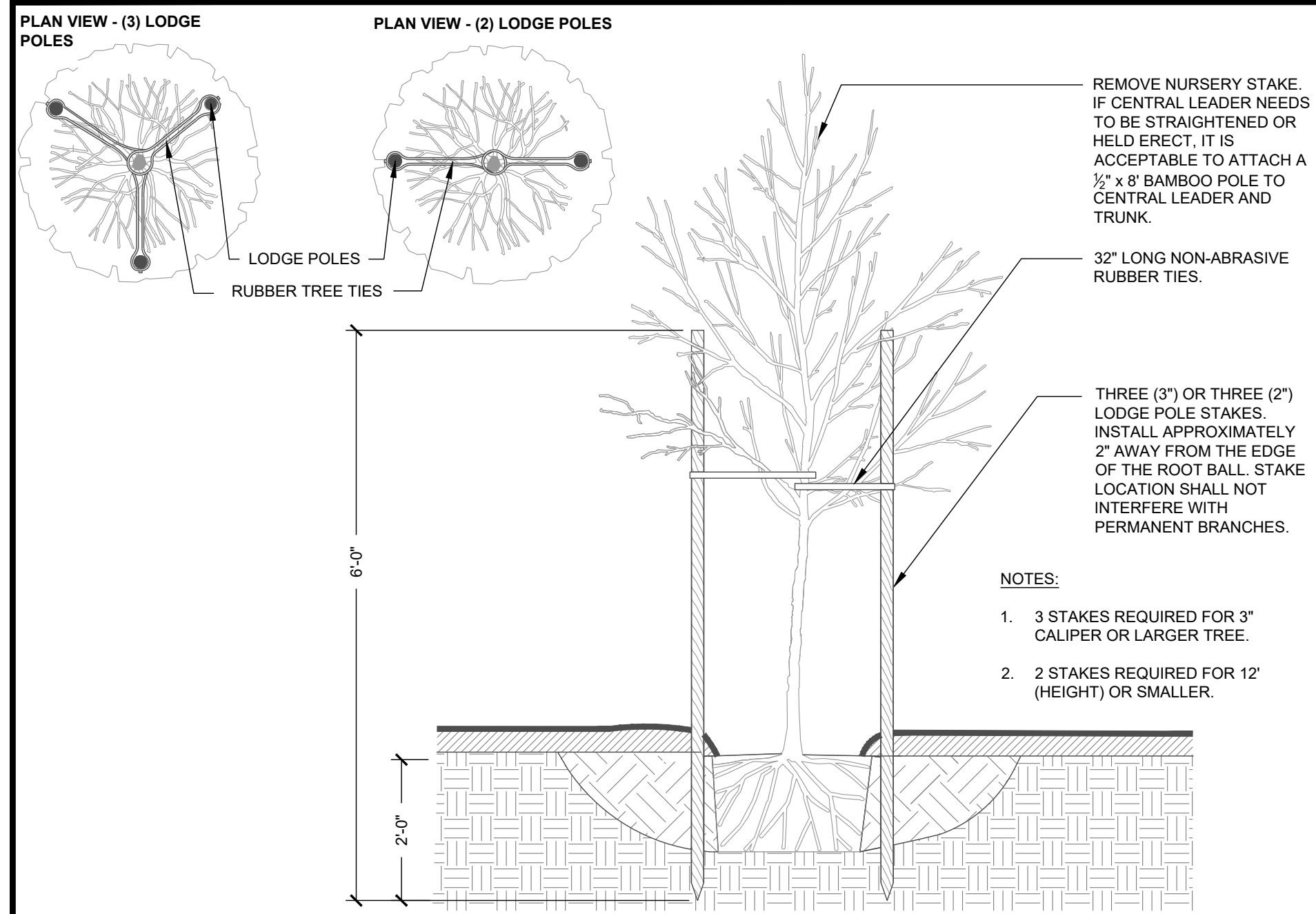
PRELIMINARY
Do Not Use
for Construction
2/10/2023

Project Manager: **SMF**
Drawn By: **YZ/SM**
Checked By: **SMF**
Project Number: **22007**
Drawing Number: **D-1219-CD**

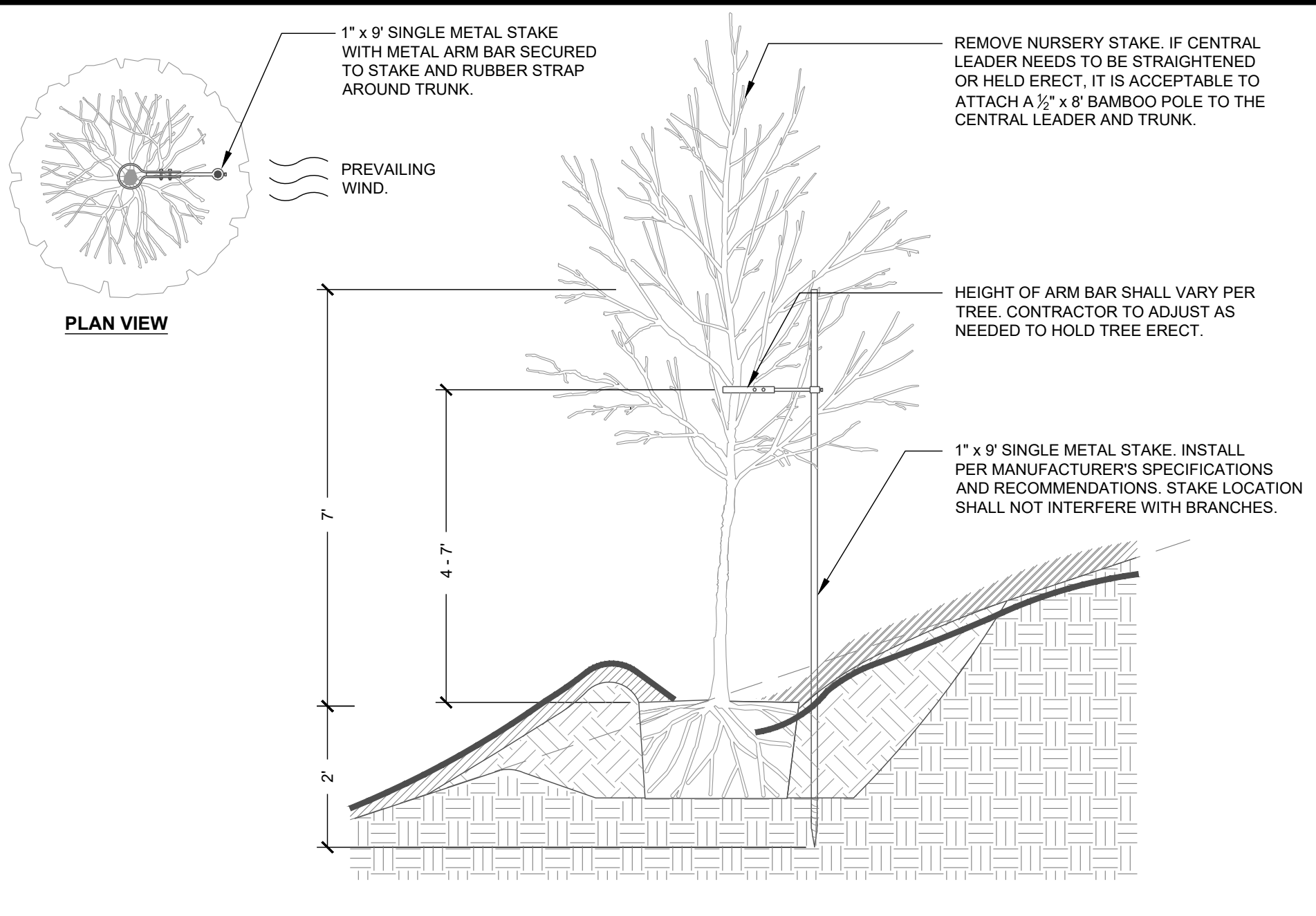
STEWART
101 WEST MAIN ST.
DURHAM, NC 27701
1-919-302-1750
FIRM LICENSE # C-1051
www.stewartinc.com

L7.91

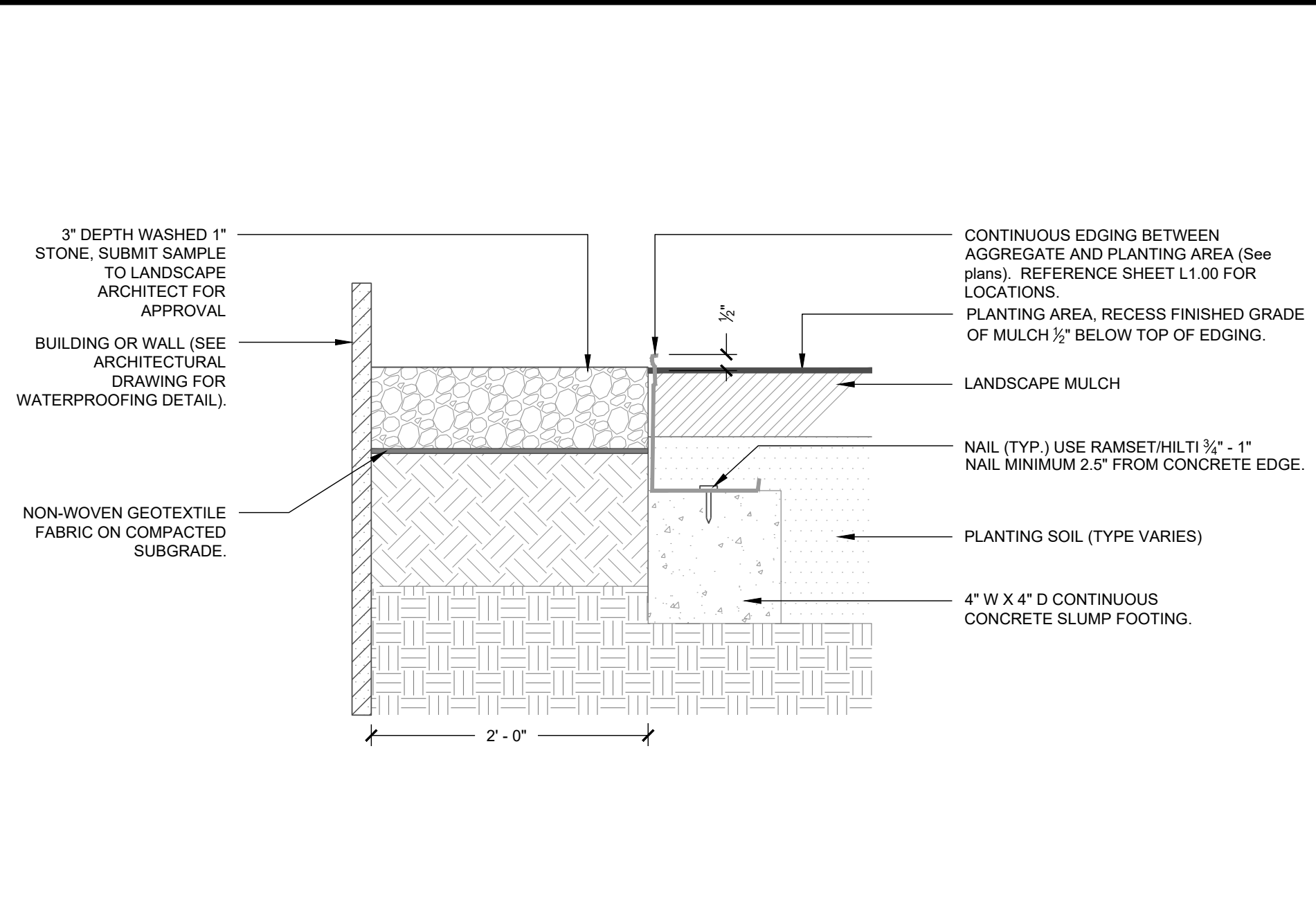
Date: February 10, 2023



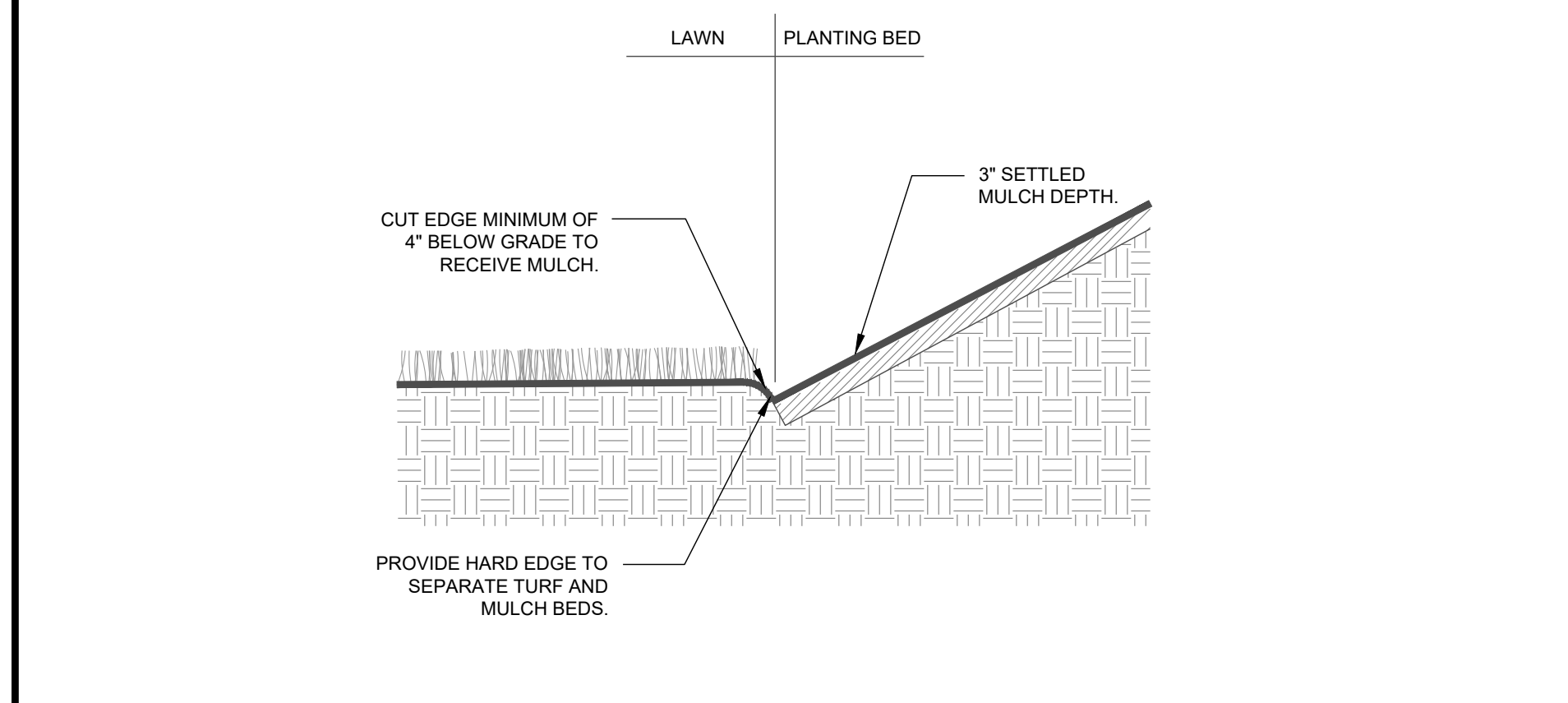
1 TREE STAKING - LODGE POLES SECTION NTS



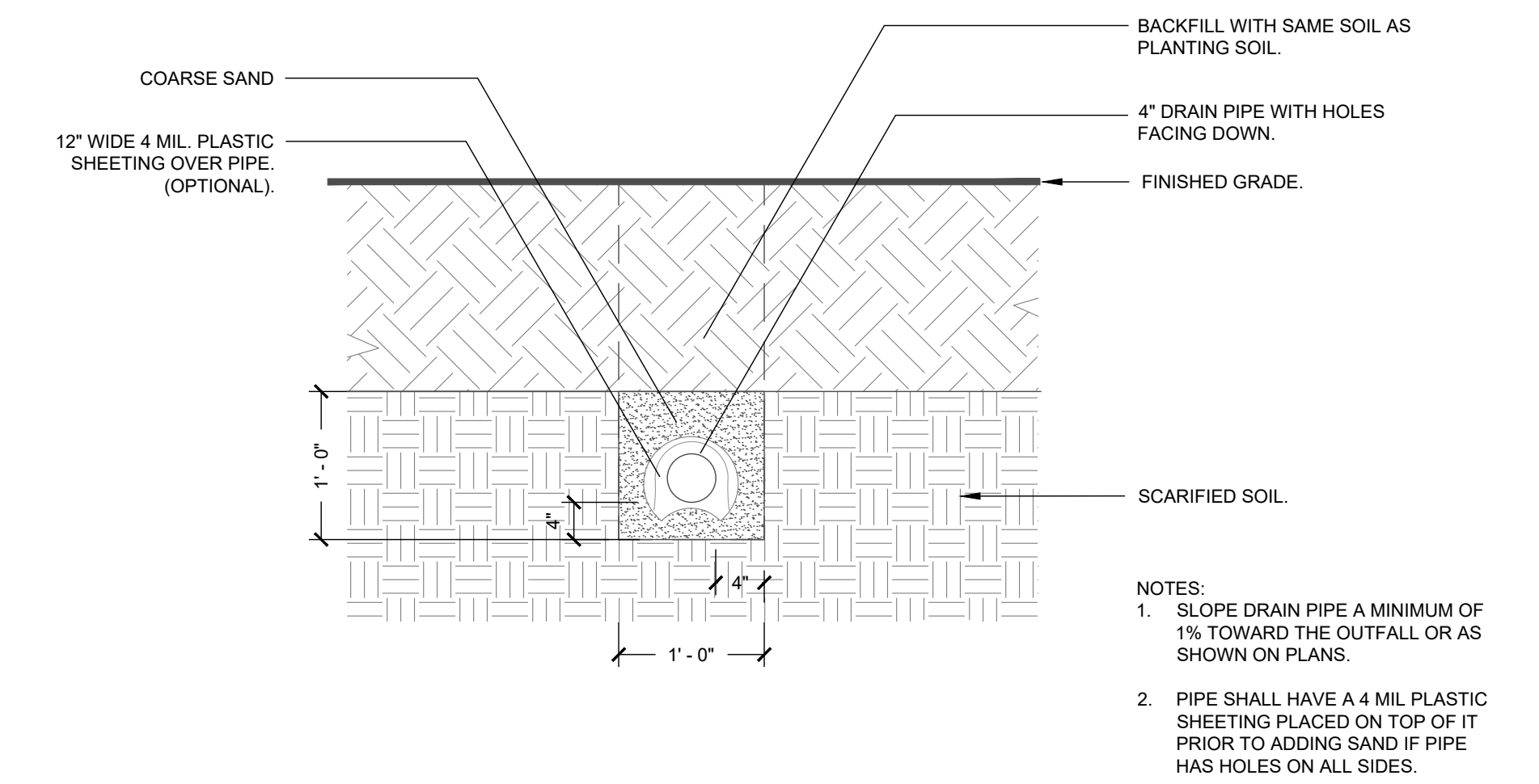
2 TREE STAKING - ON SLOPE SECTION NTS



3 GRAVEL BAND WITH STEEL EDGING SECTION NTS



4 LAWN / PLANT BED TRENCH EDGING SECTION NTS



5 PLANTING PIT / BED DRAIN DETAIL SECTION NTS

6 WILDFLOWER SEED MIX COMPOSITION SECTION NTS

Bulk Qty	PLS Qty	UOM	Item Number	Description	Unit Price	Ext. Price
0.000		EACH	CUSTOM NC PIEDMONT		\$0.00000	\$0.00
0.250		LB BLK	SCHSCO01	Little Bluestem, 'Camper'	\$11.46536	\$2.87
0.150		LB BLK	ELYVIR01	Virginia Wildrye, PA Ecotype	\$6.14727	\$0.92
0.050		LB BLK	ANDGER01	Big Bluestem, 'Niagara'	\$12.16520	\$0.61
0.100		LB BLK	SORRUT04	Indiangrass, 'Tomahawk'	\$11.84040	\$1.18
0.100		LB BLK	PANRIG01	Redtop Panicgrass, Coastal Plain NC Ecotype	\$52.80000	\$5.28
0.040		LB BLK	CORLAN01	Lanceleaf Coreopsis	\$26.40000	\$1.06
0.030		LB BLK	RUDHIR01	Blackeyed Susan, Coastal Plain NC Ecotype	\$22.00000	\$0.66
0.020		LB BLK	CHAFAS02	Partridge Pea, FL Ecotype	\$11.00000	\$0.22
0.020		LB BLK	CHANIC04	Sensitive Pea, NC Ecotype	\$66.00000	\$1.32
0.010		LB BLK	ERYYUC01	Rattlesnake Master, OH Ecotype	\$272.80000	\$2.73
0.010		LB BLK	ASCYR02	Common Milkweed	\$215.60000	\$2.16
0.005		LB BLK	LIASPI01	Marsh Blazing Star	\$231.00000	\$1.16
0.010		LB BLK	SOLJUN01	Early Goldenrod, PA Ecotype	\$308.00000	\$3.08
0.005		LB BLK	BAPTIN03	Yellow False Indigo, Coastal Plain SC Ecotype	\$660.00000	\$3.30
0.080		LB BLK	ECHPUR01	Purple Coneflower	\$39.60000	\$3.17
0.030		LB BLK	HELHEL01	Oxeye Sunflower, PA Ecotype	\$39.60000	\$1.19
0.010		LB BLK	MONFIS03	Wild Bergamot, Fort Indiantown Gap-PA Ecotype	\$132.00000	\$1.32
0.005		LB BLK	MONPUN03	Spotted Beebalm, Albany Pine Bush-NY Ecotype	\$198.00000	\$0.99
0.005		LB BLK	RUDFUL01	Orange Coneflower, Northern VA Ecotype	\$330.00000	\$1.65
0.010		LB BLK	ASTPIL01	Heath Aster, PA Ecotype	\$396.00000	\$3.96
0.020		LB BLK	BIDARI01	Showy Tickseed Sunflower (Bur Marigold), Coastal Plain NC Ec	\$19.80000	\$0.40
0.040		LB BLK	ACHMIL01	Common Yarrow	\$35.20000	\$1.41
0.000		EACH	PRICE		\$0.00000	\$0.00
					\$42.67 per lb with 5% mix charge inc.	
					100%	
0.000		EACH	NOTE	Seed at 20 lbs per acre	\$0.00000	\$0.00

6 WILDFLOWER SEED MIX COMPOSITION SECTION NTS



8 DET NAME HERE PLAN 3/8" = 1'-0"

- Final Drawing -
Issued for Permit
Review Purposes Only

REVISIONS:

#	DATE	DESCRIPTION
1	10-FEB-23	REVISION TO APPROVAL SHEET FOR BUILDING DEPARTMENT PER OWNER REQUEST

CROSLAND SOUTHEAST

PLANTING & SOIL DETAILS

WALLBROOK

SITE DEVELOPMENT PLAN REVISION (Reference PR 21-04)

Town of Rolesville Project Number: SP22-03 REVISION (Reference PR 21-04)

Rolesville, Wake County, North Carolina

NC License: P-1199

ARK CONSULTING GROUP PLLC
ENGINEERS & PLANNERS

2755-B Charles Blvd.
Durham, NC 27705
(919) 488-0888
www.arkconsultinggroup.com

PRELIMINARY
Do Not Use
for Construction

2/10/2023

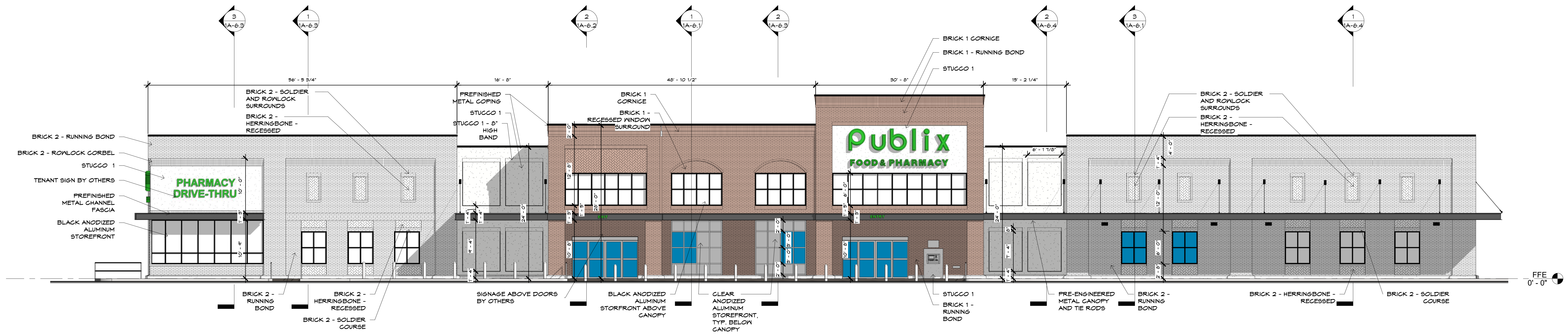
Project Manager: SMF
Drawn By: YZ/SM
Checked By: SMF
Project Number: 22007
Drawing Number: D-1219-CD

STEWART
101 WEST MAIN ST.
DURHAM, NC 27701
1-919-302-1750

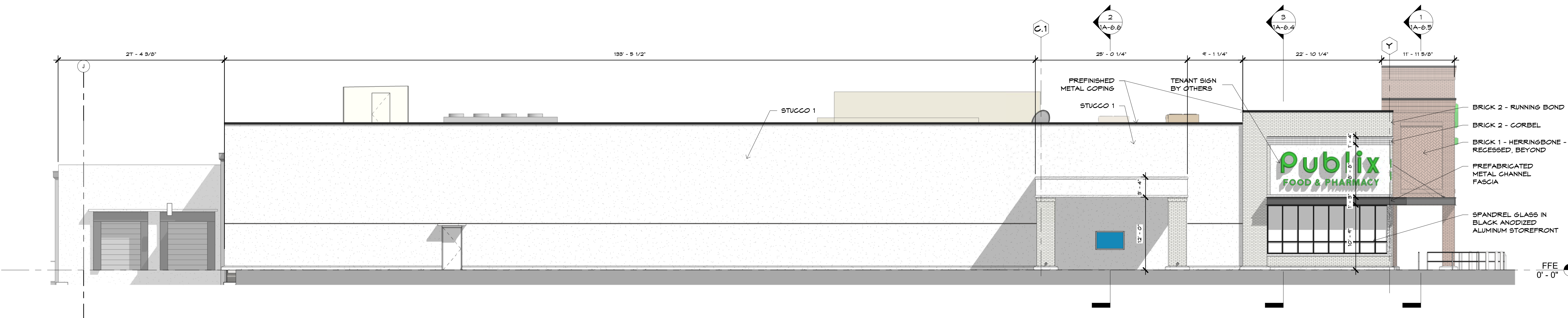
FIRM LICENSE # C-1051
www.stewartinc.com

L7.92

Date: February 10, 2023



1
1A-4.1 FRONT ELEVATION
SCALE 1/8" = 1'-0"



2
1A-4.1 LEFT ELEVATION
SCALE 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	CHEROKEE BRICK	"MELROSE"	MODULAR
BR-2 - BRICK 2	CHEROKEE BRICK	"BROOKHAVEN"	MODULAR
BR-2 - BRICK 3	CHEROKEE BRICK	"MELROSE"	MODULAR THIN BRICK
BRICK MORTAR	CEMEX	"IVORY"	
STC-1 - FIELD STUCCO	FINESTONE STUCCO	MATCH DRYVIT 110 "VAN DYKE"	SAND FINE
SF-1 - ALUMINUM STOREFRONT FRAME 1		CLEAR ANODIZED FRAME	
SF-2 ALUMINUM STOREFRONT FRAME 2		BLACK ANODIZED FRAME	
PREFINISHED ALUMINUM SCUPPERS & DOWNSPOUTS	PAC-GLAD	"MATTE BLACK"	
MTL-1 - PREFINISHED METAL PANEL	PAC-GLAD	"WEATHERED STEEL"	FLUSH PANELS
MTL-2 - PREFINISHED METAL CANOPY & COPING	PAC-GLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-3 - PREFINISHED METAL COPING	PAC-GLAD	"BONE WHITE"	STANDING SEAM JOINTS

FINISH MATERIAL NOTES:

- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
- ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
- A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.

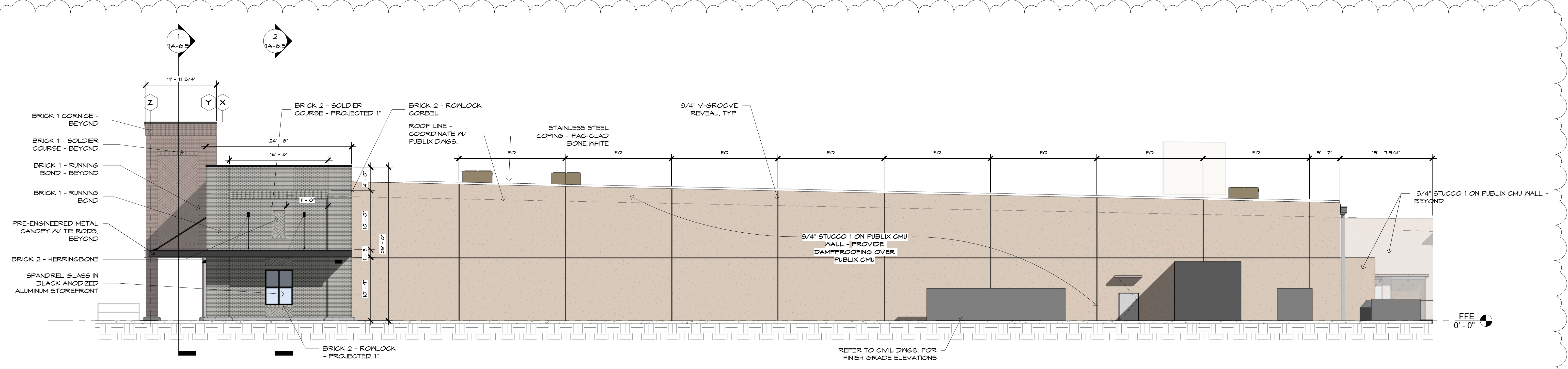
PROJECT: **PUBLIX CANOPY at WALLBROOK**
US 401 at Virginia Water Drive
WAKE COUNTY, NORTH CAROLINA
FOR: CROSLAND SOUTHEAST
CHARLOTTE, NC

SHEET TITLE:
EXTERIOR ELEVATIONS

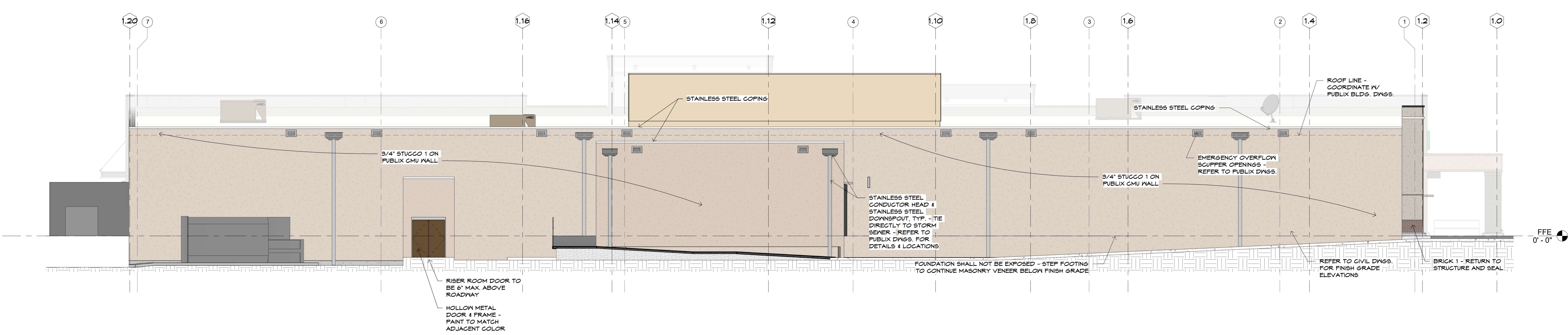
ISSUE DATE:
1 3/04/22 PUBLIX SUBMITTAL
2 5/04/22 PUBLIX COMMENTS
4 6/23/22 PUBLIX COMMENTS

PROJECT NO: 20-117
FILE: 20-117
DRAWN BY: SML

SHEET OF
1A-4.1



1 RIGHT ELEVATION
SCALE 1/8" = 1'-0"



2 REAR ELEVATION
SCALE 1/8" = 1'-0"

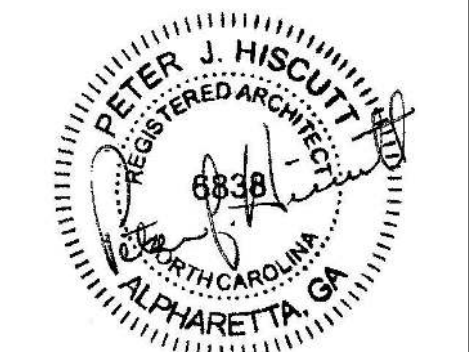
PROJECT: **PUBLIX CANOPY at WALLBROOK**
US 401 at Virginia Water Drive
WAKE COUNTY, NORTH CAROLINA
FOR: CROSLAND SOUTHEAST
CHARLOTTE, NC

SHEET TITLE:
EXTERIOR ELEVATIONS

ISSUE DATE:
1 3/04/22 PUBLIX SUBMITTAL
7 01/16/23 PUBLIX SHIFT REVISION

PROJECT NO: 20-117
FILE: 20-117
DRAWN BY: SML

SHEET OF
1A-4.2



01/17/23
THESE DOCUMENTS ARE PREPARED FOR THE USE OF THE CLIENT AND ARE NOT TO BE REPRODUCED OR USED FOR THE CONSTRUCTION OF ANY OTHER PROJECT WITHOUT SPECIFIC AUTHORIZATION OF HISCUITT & ASSOCIATES, INC. COPYRIGHT 2022 HISCUITT & ASSOCIATES, INC.



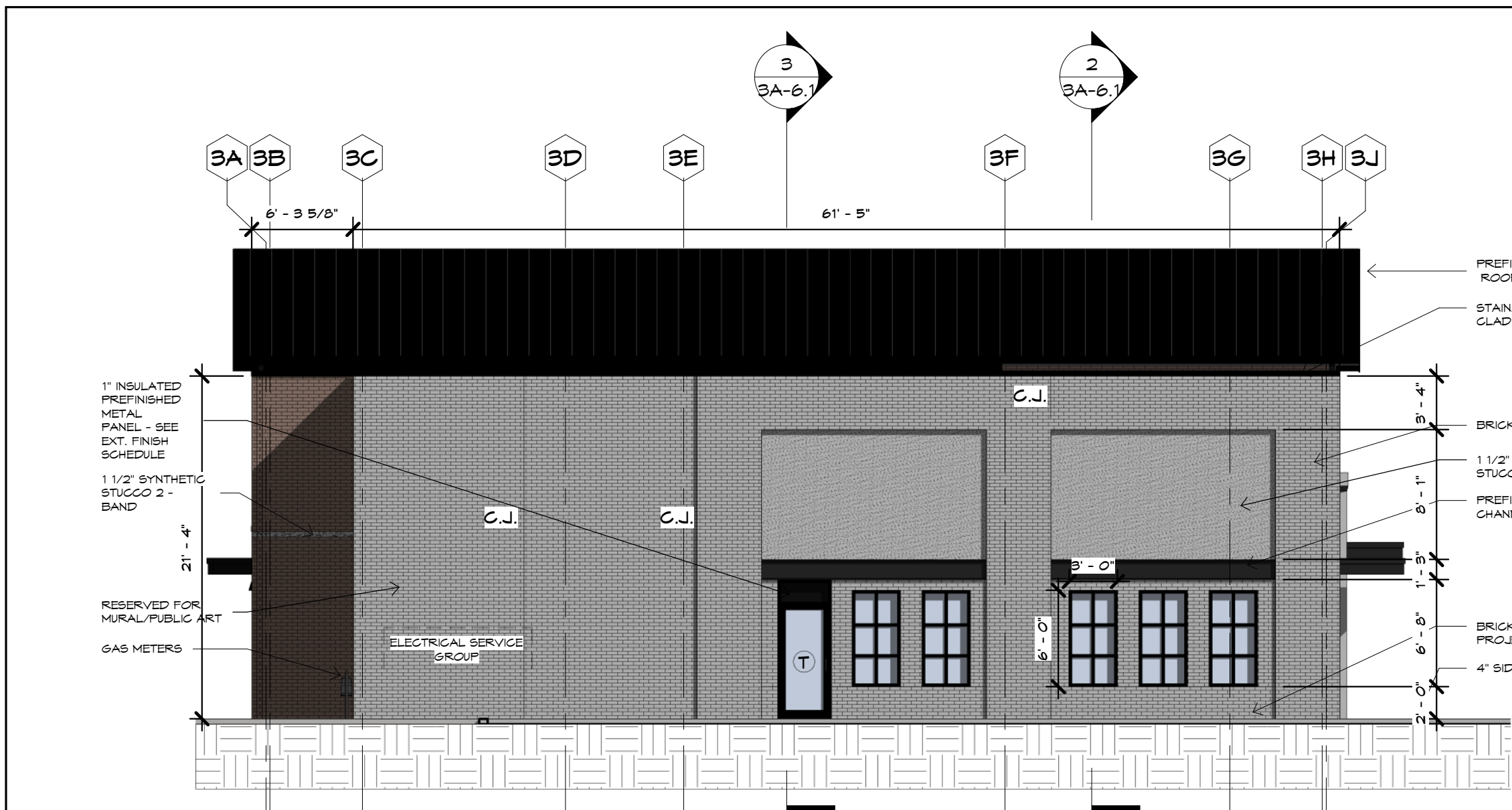
PROJECT: **BLDG.2 SHOPS at WALLBROOK**
US 401 at Virginia Water Drive
WAKE COUNTY, NORTH CAROLINA
FOR: **CROSLAND SOUTHEAST**
CHARLOTTE, NC

SHEET TITLE: **BLDG.2 FLOOR PLAN & ELEVATIONS**

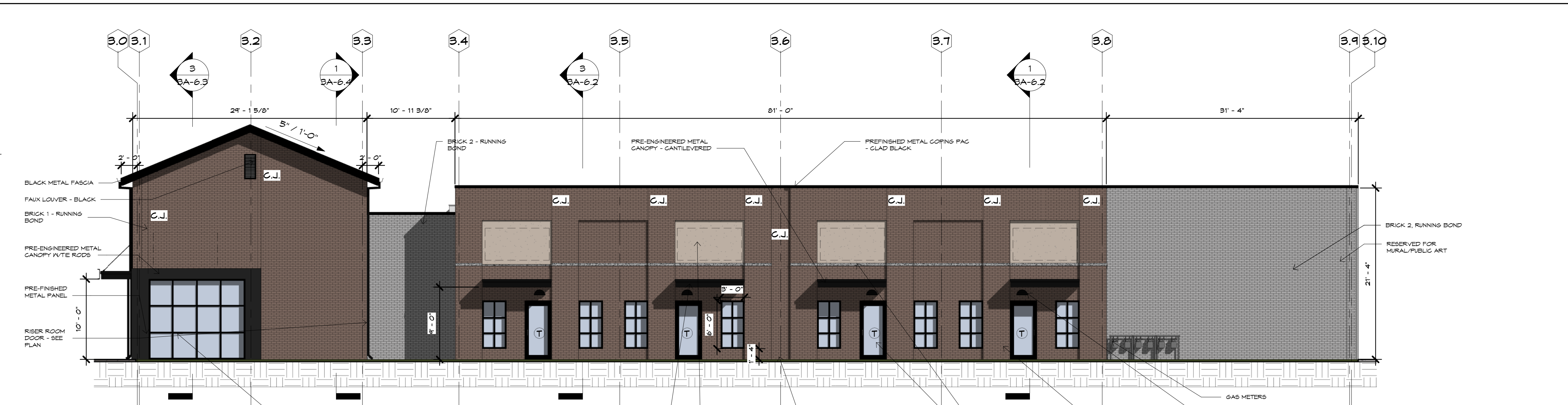
ISSUE DATE: 8/1/17/23
OWNER'S COMMENTS

PROJECT NO: 20-117
FILE: 20-117
DRAWN BY: KDM

SHEET OF 3A-1.1



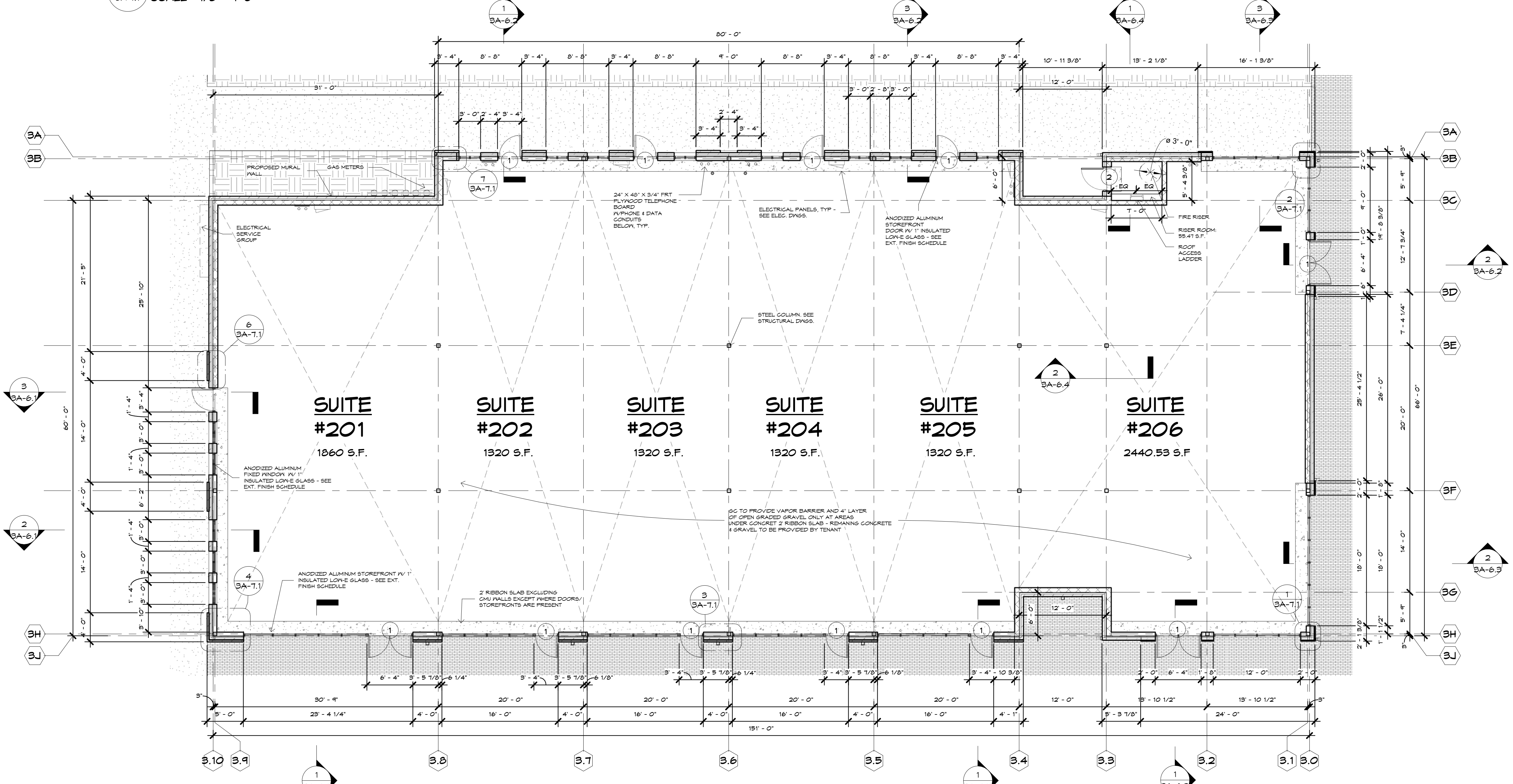
4 LEFT ELEVATION
3A-1.1 SCALE 1/8" = 1'-0"



2 STREET ELEVATION
3A-1.1 SCALE 1/8" = 1'-0"

MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	TRIANGLE BRICK	"SAVANNAH"	MODULAR
BR-2 - BRICK 2	LEE BRICK	"459 WILLIAMSBURG"	PAINTED - COLOR TBD
BRICK MORTAR	CEMEX	"IVORY"	
SYNTHETIC STUCCO 1	DRYVIT	110 "VAN DYKE"	SAND FINE
SYNTHETIC STUCCO 2	DRYVIT	192 "MOUNTAIN FOG"	SAND FINE
ALUMINUM STOREFRONT FRAME	KAWNEER, YKK	BLACK ANODIZED FRAME	
PREFINISHED ALUMINUM SCUPPERS & DOWNSPOUTS	PAC-GLAD	"MATTE BLACK"	
MTL-2 - PREFINISHED METAL CANOPY & COPINGS	PAC-GLAD	"BONE WHITE"	
MTL-3 - PREFINISHED METAL CANOPY & COPINGS	PAC-GLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-4 - PREFINISHED METAL PANEL	PAC-GLAD	"MATTE BLACK"	FLUSH PANELS

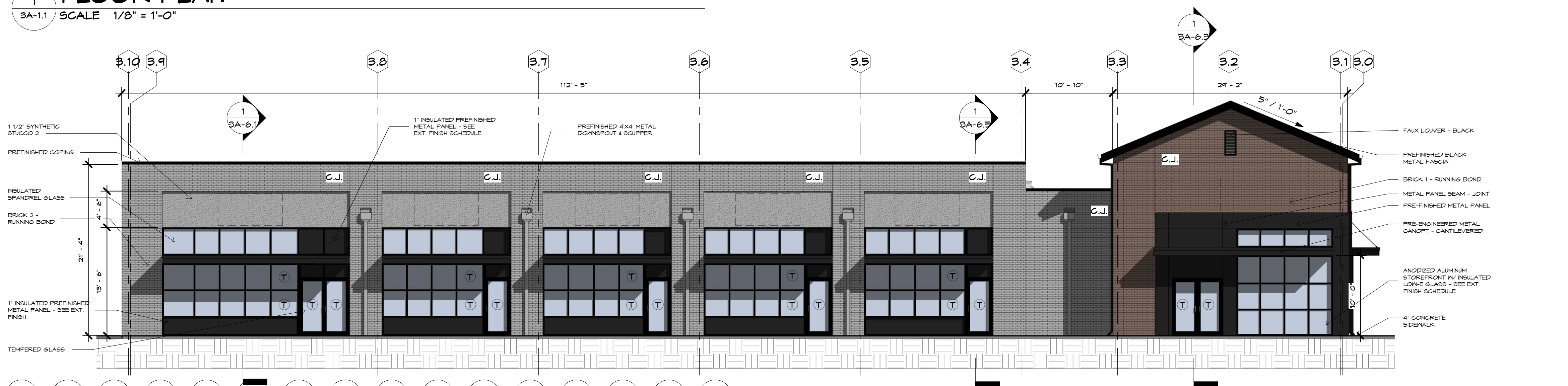
- FINISH MATERIAL NOTES:**
- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
 - ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
 - A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



1 FLOOR PLAN
3A-1.1 SCALE 1/8" = 1'-0"



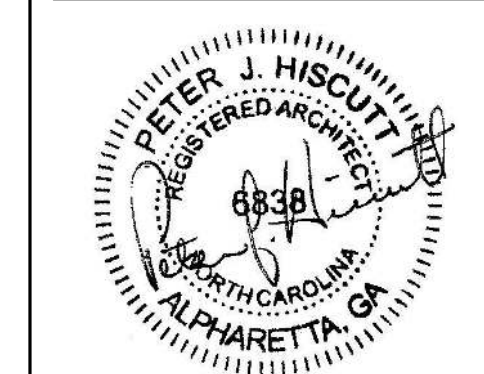
5 RIGHT ELEVATION
3A-1.1 SCALE 1/8" = 1'-0"



3 PARKING LOT ELEVATION
3A-1.1 SCALE 1/8" = 1'-0"

○ DENOTES AREA OF 4'x8' PLYWOOD BACKING FOR SIGNAGE ATTACHMENT
○ PROVIDE TEMPERED GLASS AS REQUIRED BY CODE

NOTE: ELEVATIONS ARE BASED ON DESIGN GRADES AND G.C. IS RESPONSIBLE FOR ADJUSTING EXTERIOR FINISHES TO MEET FINAL GRADES



02/06/23
THESE DOCUMENTS ARE PREPARED BY ENGINEER FOR THE SOLELY WITH RESPECT TO THE PROJECT AND ARE NOT TO BE REPRODUCED OR USED FOR THE CONSTRUCTION OF ANOTHER PROJECT WITHOUT SPECIFIC AUTHORIZATION. COPYRIGHT 2022 HISCUIT & ASSOCIATES, INC.



PROJECT: **BLDG.3 SHOPS at WALLBROOK**
US 401 at Virginia Water Drive
WAKE COUNTY, NORTH CAROLINA
FOR: **CROSLAND SOUTHEAST**
CHARLOTTE, NC

SHEET TITLE: **BLDG. 3 FLOOR PLAN & ELEVATIONS**

OWNER'S COMMENTS

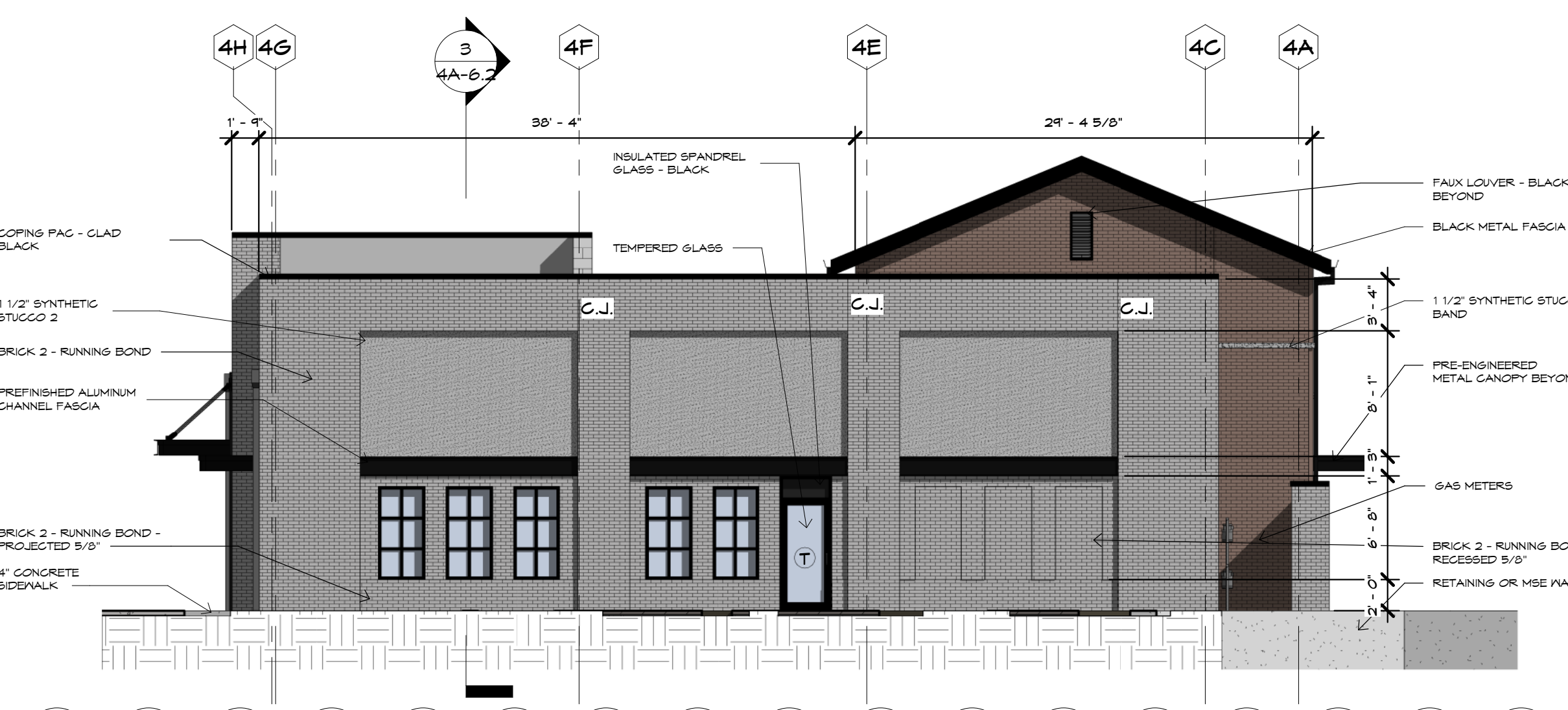
ISSUE DATE: 8/17/23

PROJECT NO: 20-117
FILE: 20-117
DRAWN BY: KDM

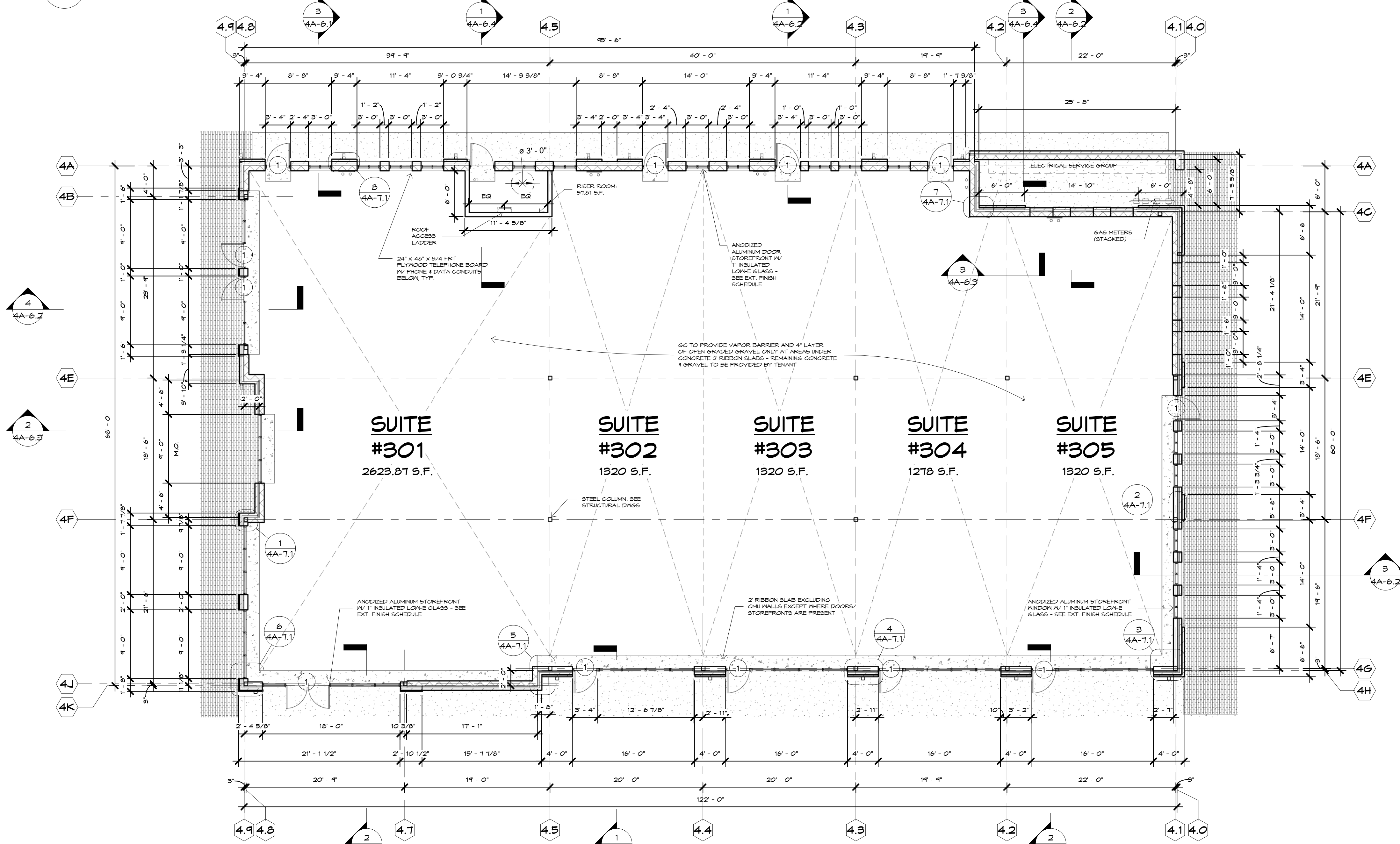
SHEET OF 4A-1.1



3 Street Elevation
4A-1.1 SCALE 1/8" = 1'-0"



4 Right Elevation
4A-1.1 SCALE 1/8" = 1'-0"



1 Floor Plan
4A-1.1 SCALE 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	TRIANGLE BRICK	"SAVANNAH"	MODULAR
BR-2 - BRICK 2	LEE BRICK	"459 WILLIAMSBURG"	PAINTED - COLOR TBD
BRICK MORTAR	CEMEX	"IVORY"	
SYNTHETIC STUCCO 1	DRYVIT	110 "VAN DYKE"	SAND FINE
SYNTHETIC STUCCO 2	DRYVIT	192 "MOUNTAIN FOG"	SAND FINE
ALUMINUM STOREFRONT FRAME	KAWNEER, YKK	BLACK ANODIZED FRAME	
PREFINISHED ALUMINUM SCUPPERS & DOWNSPOUTS	PAC-GLAD	"MATTE BLACK"	
MTL-2 - PREFINISHED METAL CANOPY & COPINGS	PAC-GLAD	"BONE WHITE"	
MTL-3 - PREFINISHED METAL CANOPY & COPINGS	PAC-GLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-4 - PREFINISHED METAL PANEL	PAC-GLAD	"MATTE BLACK"	FLUSH PANELS

FINISH MATERIAL NOTES:

- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
- ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
- A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



2 Parking Lot Elevation
4A-1.1 SCALE 1/8" = 1'-0"

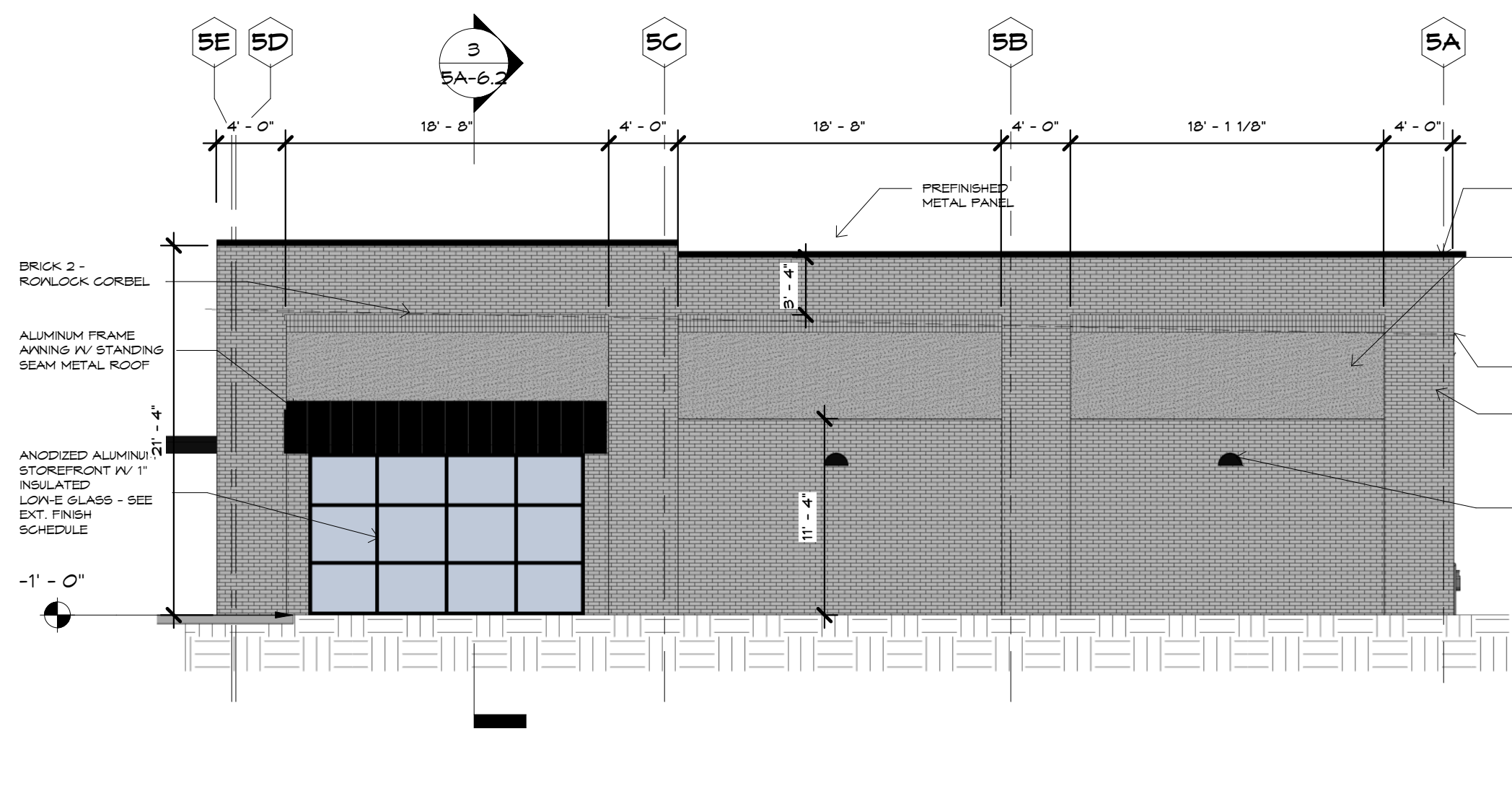


5 Left Elevation
4A-1.1 SCALE 1/8" = 1'-0"

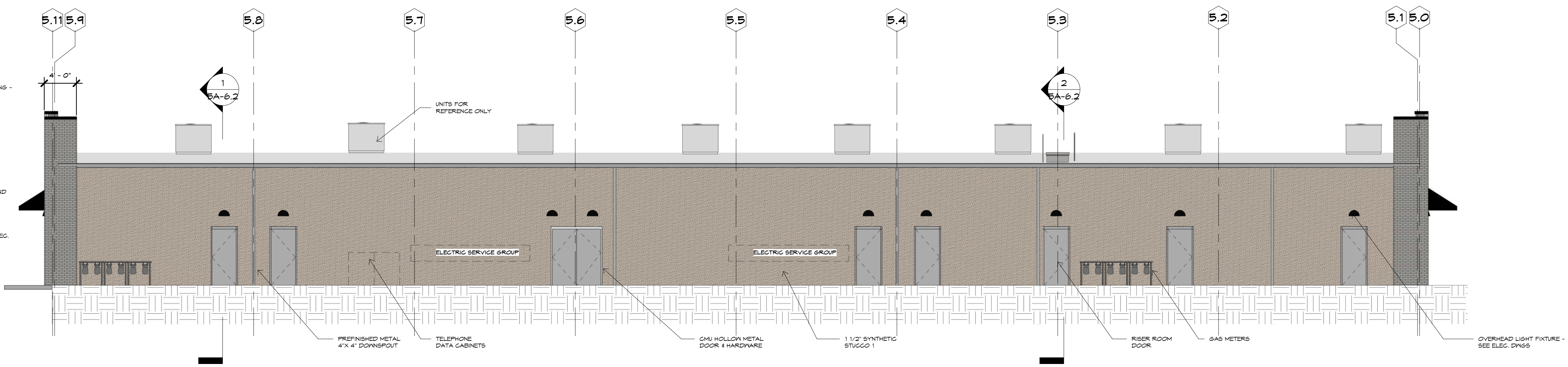
NOTE: ELEVATIONS ARE BASED ON DESIGN GRADES AND G.C. IS RESPONSIBLE FOR ADJUSTING EXTERIOR FINISHES TO MEET FINAL GRADES

Ⓣ DENOTES AREA OF 4X8 PLYWOOD BACKING FOR SIGNAGE ATTACHMENT

Ⓣ PROVIDE TEMPERED GLASS AS REQUIRED BY CODE



4 RIGHT ELEVATION
 5A-1.1 SCALE 1/8" = 1'-0"

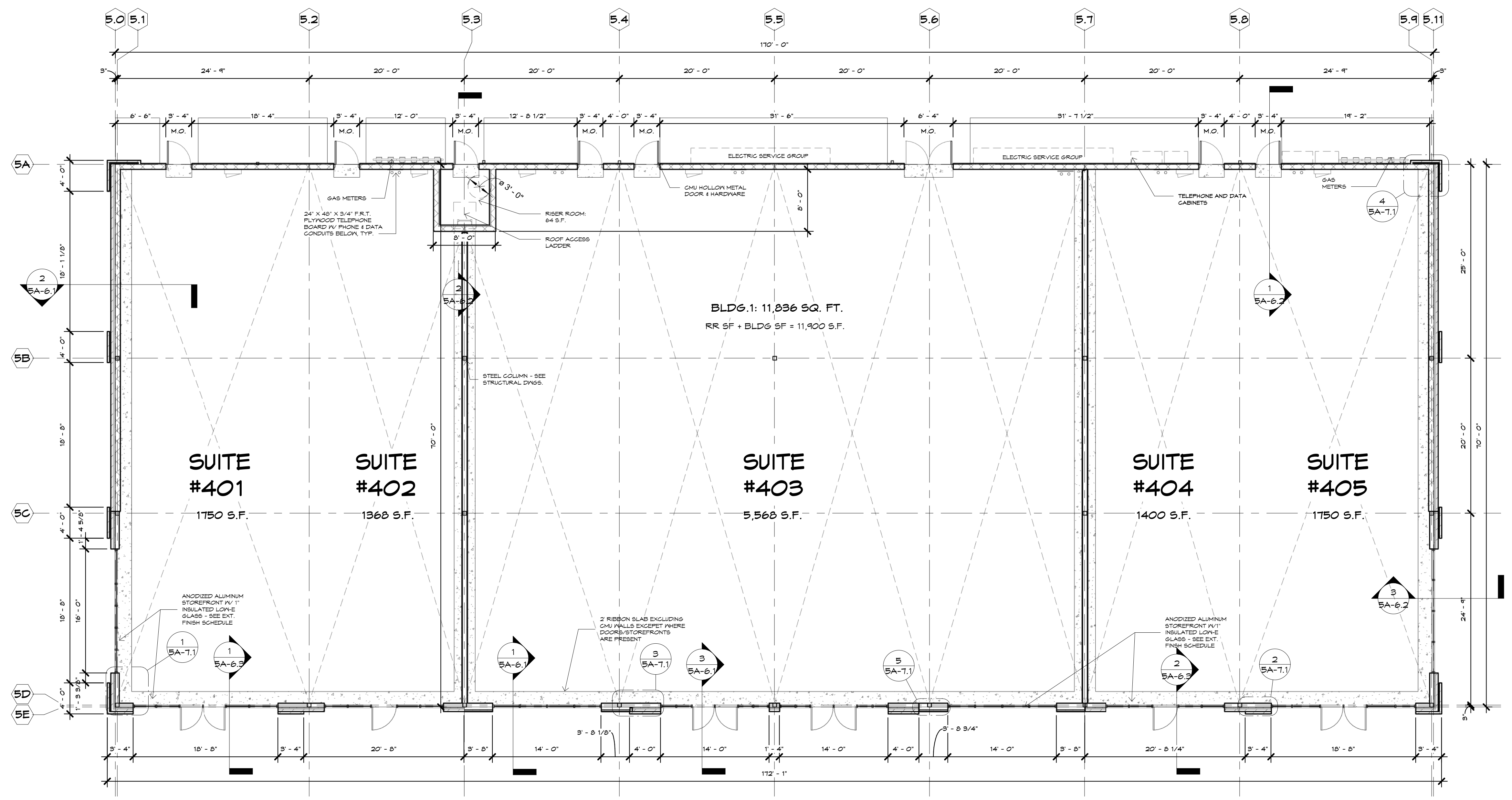


3 REAR ELEVATION
 5A-1.1 SCALE 1/8" = 1'-0"

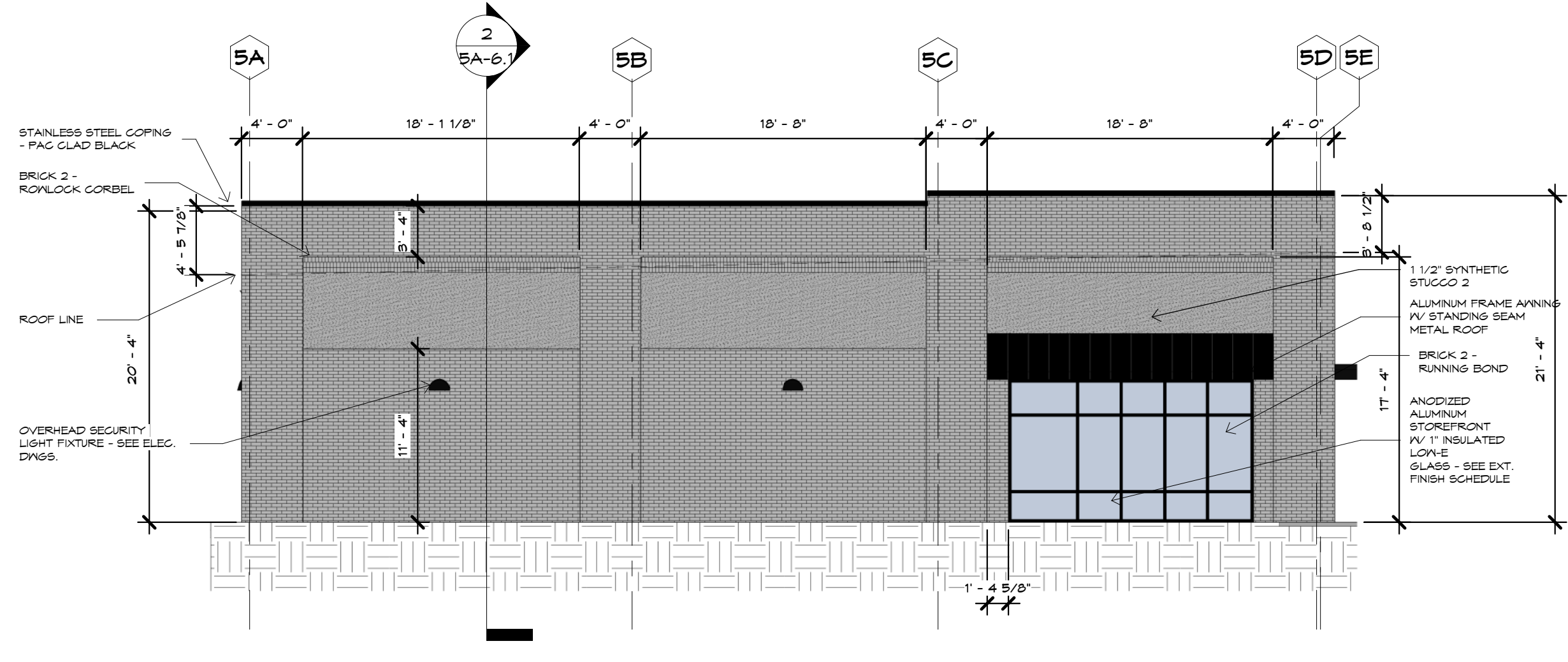
EXTERIOR FINISH SCHEDULE			
MATERIAL DESCRIPTION	MANUFACTURER	COLOR	REMARKS:
BR-1 - BRICK 1	CHEROKEE BRICK	"MELROSE"	MODULAR
BR-2 - BRICK 2	LEE BRICK	"459 WILLIAMSBURG"	PAINTED - COLOR TBD
BRICK MORTAR	CEMEX	"IVORY"	
SYNTHETIC STUCCO 1	DRYVIT	110 "VAN DYKE"	SAND FINE
SYNTHETIC STUCCO 2	DRYVIT	152 "MOUNTAIN FOG"	SAND FINE
ALUMINUM STOREFRONT FRAME	KAWNEER, YKK	BLACK ANODIZED FRAME	
PREFINISHED ALUMINUM SCUFFERS & DOWNSPOUTS	FAG-CLAD	"MATTE BLACK"	
MTL-2 - PREFINISHED METAL CANOPY & COPING	FAG-CLAD	"BONE WHITE"	
MTL-3 - PREFINISHED METAL CANOPY & COPING	FAG-CLAD	"MATTE BLACK"	STANDING SEAM JOINTS
MTL-4 - PREFINISHED METAL PANEL	FAG-CLAD	"MATTE BLACK"	FLUSH PANELS

FINISH MATERIAL NOTES:

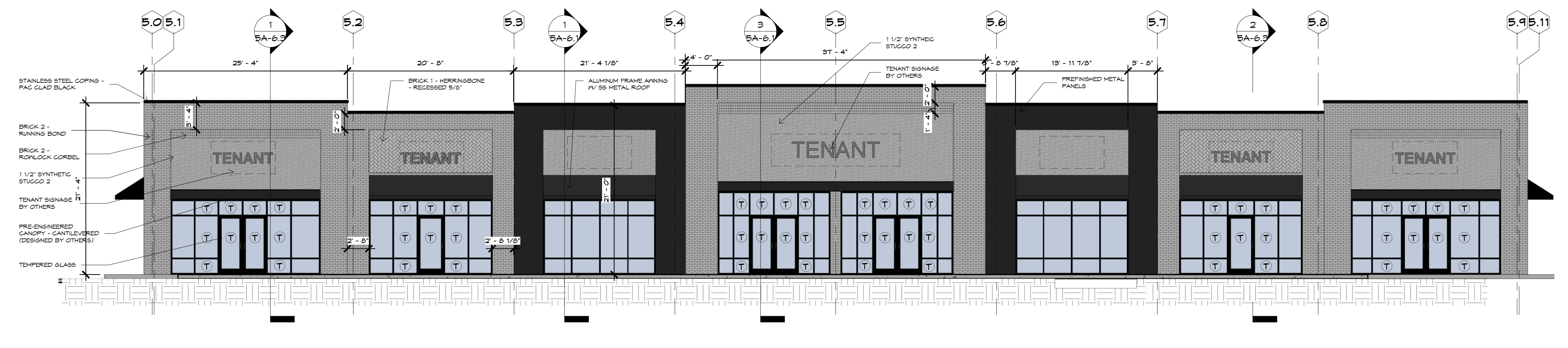
- SUBMIT AND OBTAIN APPROVED SAMPLES BEFORE PROCEEDING WITH WORK.
- ALL MASONRY VENEER SHALL BE OBTAINED FROM SAME MANUFACTURER'S RUN FOR COLOR CONSISTENCY. MASON TO BREAK APART AND MIX PALETTES ON JOB SITE FOR CONSISTENT COLOR MIXING. NO EXCEPTIONS.
- A MOCK UP PANEL IS REQUIRED TO BE APPROVED BY ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE FINISH WORK MAY BEGIN.



1 FLOOR PLAN
 5A-1.1 SCALE 1/8" = 1'-0"



5 LEFT ELEVATION
 5A-1.1 SCALE 1/8" = 1'-0"



2 FRONT ELEVATION
 5A-1.1 SCALE 1/8" = 1'-0"

--- DENOTES AREA OF 4'x8' PLYWOOD BACKING FOR SIGNAGE ATTACHMENT

⊕ PROVIDE TEMPERED GLASS AS REQUIRED BY CODE

FAÇADE PERCENTAGES:
 57.6% BRICK
 31% GLASS

NOTE: ELEVATIONS ARE BASED ON DESIGN GRADES AND G.C. IS RESPONSIBLE FOR ADJUSTING EXTERIOR FINISHES TO MEET FINAL GRADES

GENERAL NOTES:

- 1. THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY.
2. THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A REW CLOSURE OF 1:34,600.
3. THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON FROM DECEMBER 2019 THROUGH MARCH 2020 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
4. ELEVATIONS ARE BASED ON NAVD88 DATUM.
5. THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, 1983, 2001 ADJUSTMENT, NAD83(2001).
6. THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
7. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
8. AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES.
9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR LANDFILL.
10. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF A CEMETERY.
11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

AREA TABULATION

Table with 4 columns: PARCEL, PIN#, NET (AC.), GROSS (AC.). Rows include parcels A, B, C, D and a TOTALS row.

RECORD LEGAL DESCRIPTIONS FOR TAX PARCELS 1758-48-9229 & 1758-58-2090:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

IN THE STATE OF NC, COUNTY OF WAKE,

PARCEL ONE (REID #: 0224145) (PIN #1758-58-2090) (PARCEL 'B'):

BEING LOT 2-3, CONTAINING 10.723 NET ACRES, AS THE SAME IS SHOWN ON THAT PLAT RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY REGISTRY.

PARCEL TWO (REID #: 0092211) (PIN #1758-48-9229) (PARCEL 'A'):

BEING THAT PARCEL DESCRIBED AS FOLLOWS:

BEGINNING AT A STAKE IN THE EDGE OF THE ROLESVILLE-WALKERS CROSSROAD ROAD, CORNER OF O. V. WIGGINS, THENCE IN A SOUTHWESTERN DIRECTION ABOUT 300 FEET TO A STAKE AND W. H. MARSHALL'S LINE; THENCE IN A NORTHWESTERN DIRECTION 246 FEET WITH MARSHALL'S LINE TO THE EDGE OF THE ROAD; THENCE IN AN EASTERN DIRECTION WITH SAID ROAD ABOUT 410 FEET TO THE POINT OF BEGINNING, CONTAINING 1/8 OF AN ACRE BY ESTIMATION. BEING A PART OF THE LAND FORMERLY OWNED BY JAMES WALL.

RECORD LEGAL DESCRIPTIONS FOR TAX PARCELS 1758-56-8976 & 1758-45-8905:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

IN THE STATE OF NC, COUNTY OF WAKE,

TRACT 1 (PIN #1758-56-8976) (PARCEL 'C'):

BEING ALL OF TRACT 2A (2.894 ACRES) AND TRACT 3 (41.221 ACRES) AS SHOWN ON PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY," DATED NOVEMBER 17, 1995, PREPARED BY W. GRAHAM CAWTHORNE, JR., RLS AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 1 THAT 0.175 ACRE PORTION AS CONVEYED TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION IN DEED RECORDED IN BOOK 14395, PAGE 2080, WAKE COUNTY REGISTRY.

TRACT 2 (PIN #1758-45-8905) (PARCEL 'D'):

BEING ALL OF TRACT 2 (15.057 ACRE) AS SHOWN ON PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST, TRACTS 1 & 2" DATED NOVEMBER 7, 2002, PREPARED BY MICHAEL D. GOODFRED, RLS, AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196, WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 2 THAT 0.03 ACRE PORTION AS CONVEYED TO CARLTON GROUP OF NORTH CAROLINA, LLC IN DEED RECORDED IN BOOK 13993, PAGE 2591, WAKE COUNTY REGISTRY.

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

1. (ITEM 3) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT PAGE 1582 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) OVERHEAD LINES [PLOTTED HEREON]
(b) POWER POLE [PLOTTED HEREON]
(c) RIGHT OF WAY FOR U.S. HWY 401 LOUISBURG ROAD [PLOTTED HEREON]

2. (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY RECORDED IN BOOK 3868 AT PAGE 917 (PARCEL ONE). [PLOTTED HEREON]

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

3. (ITEM 2) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED HEREON]

4. (ITEM 3) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF THE CREEK, LOCATED ON THE LAND. [CREEK LOCATION PLOTTED HEREON]

5. (ITEM 4) ELECTRIC LINE RIGHT-OF-WAY EASEMENT TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT PAGE 917. [PLOTTED HEREON]

AS TO TRACT 1 ONLY (PIN #1758-56-8976):

6. (ITEM 8) SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF MAPS 1995 AT PAGE 2034 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) OVERHEAD LINE [PLOTTED HEREON]
(b) POWER POLE [PLOTTED HEREON]

7. (ITEM 9) EASEMENT(S) TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 863 AT PAGES 211 AND 212. [BLANKET EASEMENT - EXISTING ELECTRIC LINES PLOTTED HEREON]

8. (ITEM 10) RURAL LINE PERMIT TO CAROLINA TELEPHONE AND TELEGRAPH COMPANY RECORDED IN BOOK 1338 AT PAGES 143 AND 145. [LOCATIONS CANNOT BE DETERMINED FROM THE RECORD DOCUMENT, EXISTING POLES AND GUY WIRES PLOTTED HEREON]

9. (ITEM 11) SLOPE EASEMENT RECORDED IN BOOK 14395 AT PAGE 2087 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2011 AT PAGE 383. [PLOTTED HEREON]

AS TO TRACT 2 ONLY (PIN #1758-45-8905):

10. SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF MAPS 2005 AT PAGES 1195 AND 1196 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) UNDERGROUND SEWER MAIN MARKER [NOT FOUND]
(b) POWER BOX [NOT FOUND]
(c) RIGHTS OF OTHERS IN AND TO THE USE OF THE SOIL PATH (TO BE ABANDONED) [PATH NO LONGER VISIBLE]

11. (ITEM 13) DEED OF EASEMENT WITH GENERAL WARRANTY FOR WATERLINE EASEMENT TEMPORARY CONSTRUCTION EASEMENT RECORDED IN BOOK 16679 AT PAGE 132. [WATERLINE EASEMENT PLOTTED HEREON, TEMPORARY CONSTRUCTION EASEMENT NOT PLOTTED]

12. (ITEM 14) SANITARY SEWER EASEMENT RECORDED IN BOOK 10071 AT PAGE 2179 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2003 AT PAGE 647. [PLOTTED HEREON]

13. (ITEM 15) RESERVATION OF EASEMENT RECORDED IN BOOK 13993 AT PAGE 2591. [PLOTTED HEREON]

14. (ITEM 16) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF S.R. 2226. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON - PROPERTY DOES NOT EXTEND INTO RIGHT OF WAY]

15. (ITEM 17) RIGHT OF WAY AGREEMENT TO STATE HIGHWAY COMMISSION RECORDED IN BOOK 2052 AT PAGE 545. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON]

16. (ITEM 18) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF BRANCH/CREEK, LOCATED ON THE LAND. [BRANCH/CREEK LOCATION PLOTTED HEREON]

CURRENT ZONING SETBACK REQUIREMENTS:

TAX PARCEL 1758-48-9229: R-1 (SINGLE FAMILY RESIDENTIAL)
TAX PARCEL 1758-58-2090: R-1-SUD (SINGLE FAMILY RESIDENTIAL SPECIAL USE DISTRICT)
TAX PARCEL 1758-56-8976: CO-SUD (COMMERCIAL OUTLYING SPECIAL USE DISTRICT)
TAX PARCEL 1758-45-8905: CO-SUD

Table with 4 columns: FRONT, SIDE, CORNER, REAR. Rows for R-1 and CO-SUD zoning districts.

NOTE: ZONING INFORMATION BASED ON INFORMATION AS PROVIDED BY CURRENT COUNTY ZONING DEPARTMENT, NO ZONING REPORT OR LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY.

NEW LEGAL DESCRIPTIONS

PARCEL 'A' (PIN #1758-48-9229)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHWEST CORNER OF LOT 2-3 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS, DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF TRACT 3 N01°11'04"W 240.24' TO AN IRON PIPE ON THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE ALONG SAID SOUTHWEST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES: (1) S47°12'51"E 130.81'; (2) ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 600.00', THROUGH A CENTRAL ANGLE OF 26°22'04", AN ARC LENGTH OF 276.12' AND BEING SUBTENDED BY A CHORD BEARING S60°23'53"E 273.69'; (3) S75°02'10"E 50.12'; AND (4) S77°31'31"E 22.85' TO THE NORTH LINE OF AFORESAID LOT 2-3; THENCE ALONG SAID NORTH LINE OF LOT 2-3 N89°45'02"W 399.74' TO THE POINT OF BEGINNING.

CONTAINING 0.828 ACRES, MORE OR LESS.

PARCEL 'B' (PIN #1758-58-2090)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE SOUTHWEST CORNER OF PARCEL 2 AS SAID PARCEL IS DESCRIBED IN DEED BOOK 15498, PAGE 1302, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTH LINE OF SAID PARCEL 2 S89°45'02"E 399.74' TO THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE CONTINUING S89°45'02"E 200.72' TO THE NORTHWEST CORNER OF LOT 2-4 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID LOT 2-4 S37°53'38"E 39.01' TO A FOUND BENT IRON PIPE AT AN ANGLE POINT IN THE SOUTH RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD; THENCE CONTINUING S37°53'38"E 454.70' TO A FOUND IRON PIPE AT AN ANGLE POINT IN THE NORTHWEST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE CONTINUING S37°53'38"E 45.31' TO THE CENTERLINE OF LOUISBURG ROAD; THENCE ALONG THE CENTERLINE OF SAID ROAD, ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00', THROUGH A CENTRAL ANGLE OF 08°13'06", AN ARC LENGTH OF 537.89' AND BEING SUBTENDED BY A CHORD BEARING S41°12'09"W 537.43'; THENCE LEAVING SAID CENTERLINE, ALONG THE NORTHEAST LINE OF LOTS 1 AND 2 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SURVEY FOR GRAND PARK PROPERTIES, LOTS 1 AND 2", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED OCTOBER 7, 1998 AND RECORDED IN BOOK OF MAPS 1999, PAGE 1039, WAKE COUNTY RECORDS, N49°16'09"W 479.09' TO A FOUND IRON PIPE MARKING AN ANGLE POINT IN SAID LOT 2; THENCE CONTINUING ALONG THE NORTHEAST LINE OF SAID LOT 2 N66°40'58"W 215.40' TO A FOUND IRON PIPE AT THE NORTHWEST CORNER THEREOF, SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS, DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF TRACT 3 N01°36'18"W 428.68' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS LOT 2-3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS.

CONTAINING 11.168 ACRES, MORE OR LESS.

NEW LEGAL DESCRIPTIONS

PARCEL 'C' (PIN #1758-56-8976)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHEAST CORNER OF TRACT 2 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST, TRACTS 1+2", BY KENNETH CLOSE, INC., DATED NOVEMBER 7, 2002 AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196, WAKE COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID TRACT 2 N75°27'01"W 704.12' TO A FOUND IRON PIPE ON THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE CONTINUING N75°27'01"W 32.34' TO THE CENTERLINE OF LOUISBURG ROAD; THENCE ALONG THE CENTERLINE OF SAID ROAD N36°33'22"E 1,116.98'; THENCE CONTINUING ALONG SAID CENTERLINE, ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00', THROUGH A CENTRAL ANGLE OF 18°18'05", AN ARC LENGTH OF 1,197.82' AND BEING SUBTENDED BY A CHORD BEARING N45°42'25"E 1,192.73'; THENCE LEAVING SAID CENTERLINE S89°44'38"E 134.33' TO AN ANGLE POINT IN THE SOUTHWEST LINE OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 6821, PAGE 005, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID PARCEL AND ALONG THE WEST LINE OF WALL CREEK SUBDIVISION, PHASES 2, 4 AND 5-A AS RECORDED IN BOOK OF MAPS 1997, PAGE 1162, BOOK OF MAPS 2001, PAGE 628 AND BOOK OF MAPS 2002, PAGE 825, WAKE COUNTY RECORDS, S03°05'32"W 2,131.93' TO A POINT ON THE NORTH LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG SAID NORTH LINE OF CARLTON POINTE SUBDIVISION N75°27'01"W 852.86' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS TRACTS 2A AND 3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS.

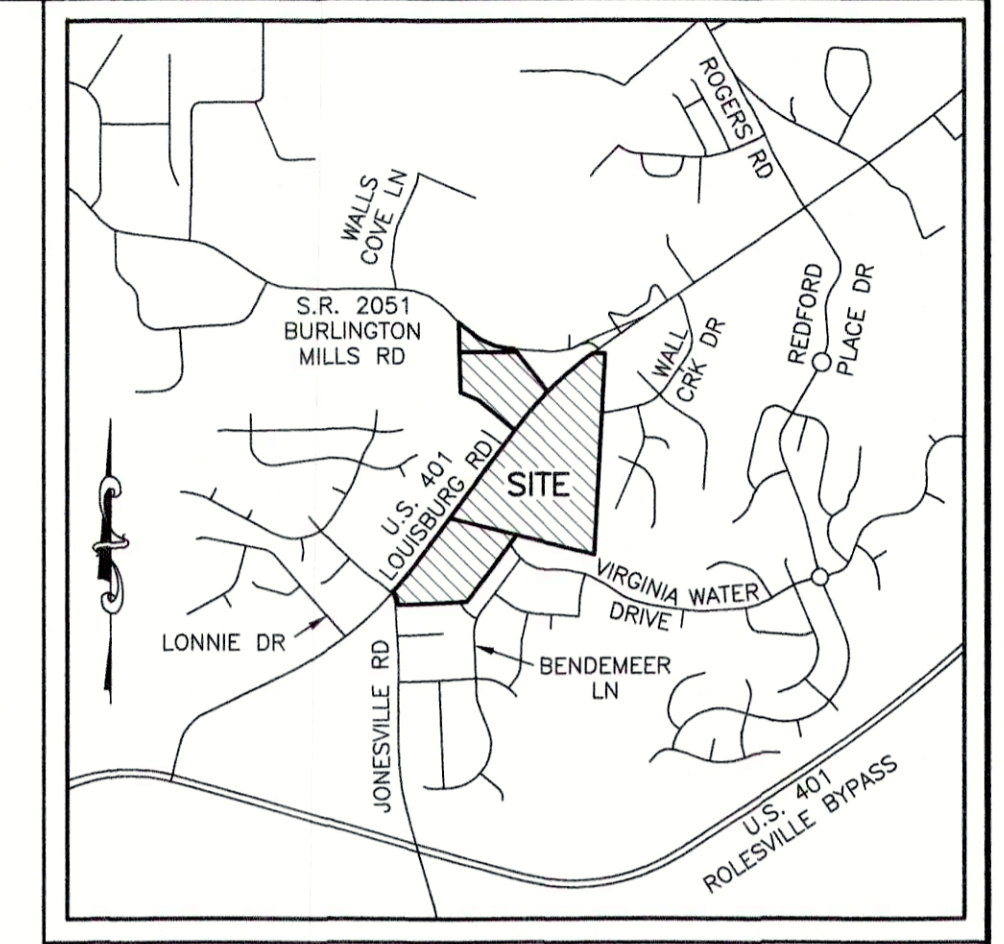
CONTAINING 44.100 ACRES, MORE OR LESS.

PARCEL 'D' (PIN #1758-45-8905)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE ON THE SOUTH LINE OF TRACT 3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING AN ANGLE POINT IN THE NORTHWEST LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG THE NORTHWEST LINE OF SAID CARLTON POINTE SUBDIVISION S36°44'45"W 877.98' TO AN ANGLE POINT; THENCE CONTINUING ALONG SAID NORTHWEST LINE AND ALONG THE NORTH LINE OF LOTS 1, 2 AND 3 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SUBDIVISION PLAT FOR BARRETT VENTURES, LLC", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED APRIL 4, 2007 AND RECORDED IN BOOK OF MAPS 2008, PAGE 702, WAKE COUNTY RECORDS, S87°10'58"W 737.24' TO AN ANGLE POINT IN THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD (S.R. 2226) AND THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 13993, PAGE 2591, WAKE COUNTY RECORDS; THENCE ALONG THE EAST LINE OF SAID PARCEL N02°07'15"W 48.32'; THENCE CONTINUING ALONG SAID EAST LINE, ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST, HAVING A RADIUS OF 123.92', THROUGH A CENTRAL ANGLE OF 30°27'05", AN ARC LENGTH OF 65.86' AND BEING SUBTENDED BY A CHORD BEARING N17°21'49"W 65.09' TO THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE N03°10'03"W 17.67' TO THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE ALONG SAID SOUTHEAST RIGHT OF WAY LINE THE FOLLOWING EIGHT COURSES: (1) N41°10'16"E 41.30'; (2) N40°37'47"E 49.15'; (3) N39°31'43"E 50.83'; (4) N38°52'58"E 49.80'; (5) N38°22'04"E 50.40'; (6) N37°17'31"E 50.37'; (7) N36°44'45"E 304.20'; AND (8) N36°27'57"E 396.53' TO A FOUND IRON PIPE ON THE SOUTH LINE OF THE AFORESAID TRACT 3; THENCE ALONG SAID SOUTH LINE OF TRACT 3 S75°27'01"E 704.12' TO THE POINT OF BEGINNING.

CONTAINING 15.024 ACRES, MORE OR LESS.



VICINITY MAP SCALE: 1"=2000'

LEGEND

- (1) = RECORD DATA PER BM 1996 PG 1582
(2) = RECORD DATA PER BM 2011 PG 383
(3) = RECORD DATA PER BM 1995 PG 2034
(4) = RECORD DATA PER BM 2002 PG 825
(5) = RECORD DATA PER BM 2005 PG 1195-1196
(6) = RECORD DATA PER DB 13993 PG 2591
● = FOUND MONUMENT AS NOTED
○ = SET IRON PIN
+ = NCOS MONUMENT
* = DIMENSION POINT (NOTHING SET)
R = PROPERTY LINE
R/W = RIGHT OF WAY
C&G = CURB AND GUTTER
C&G = CABLE TV PEDESTAL
DI = DROP INLET
ELEC = ELECTRIC BOX
EM = ELECTRIC METER
F/O = FIBER OPTIC
FH = FIRE HYDRANT
GV = GAS VALVE
H = HAND BOX
LP = LIGHT POLE
PP = POWER POLE
G = GUY WIRE
RCP = REINFORCED CONCRETE PIPE
S.F. = SQUARE FEET (AREA)
S = SIGN
T = TRAFFIC SIGNAL POLE
SM = SANITARY SEWER MANHOLE
SFMV = SANITARY SEWER FORCE MAIN VALVE
SDM = STORM DRAIN MANHOLE
TEP = TELEPHONE PEDESTAL
TB = TRAFFIC BOX
WB = WATER BOX
WM = WATER METER
WMH = WATER MANHOLE
WV = WATER VALVE
W = WELL
X-WALK = PEDESTRIAN X-WALK POLE
E = ELECTRIC LINE
FM = SANITARY SEWER FORCE MAIN
FO = FIBER OPTIC LINE
G = GAS LINE
O-E = OVERHEAD ELECTRIC LINE
S = SANITARY SEWER LINE
T = TELEPHONE LINE
TV = CABLE TV LINE
W = WATER LINE

SURVEYOR'S CERTIFICATION:

TO WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 6, 2020.

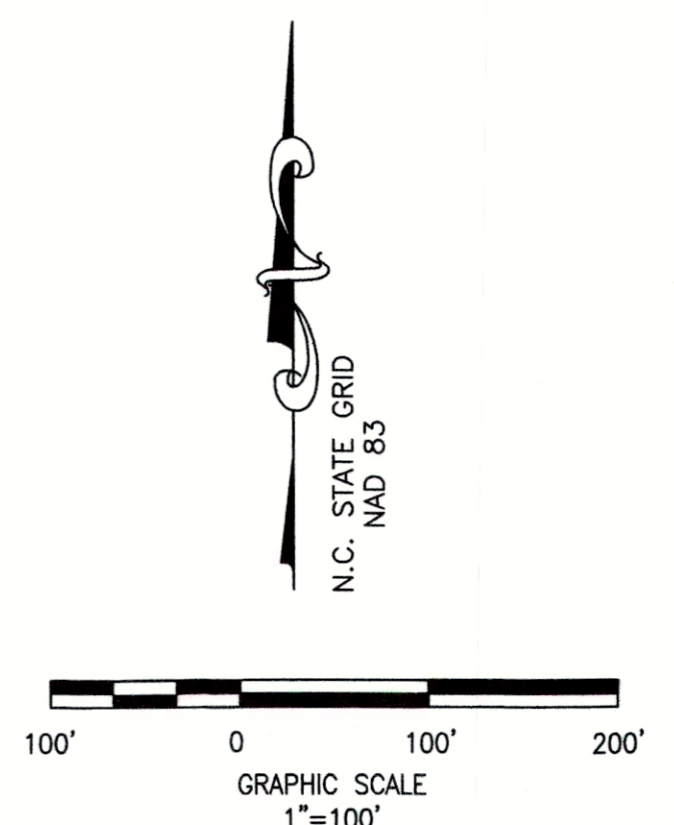
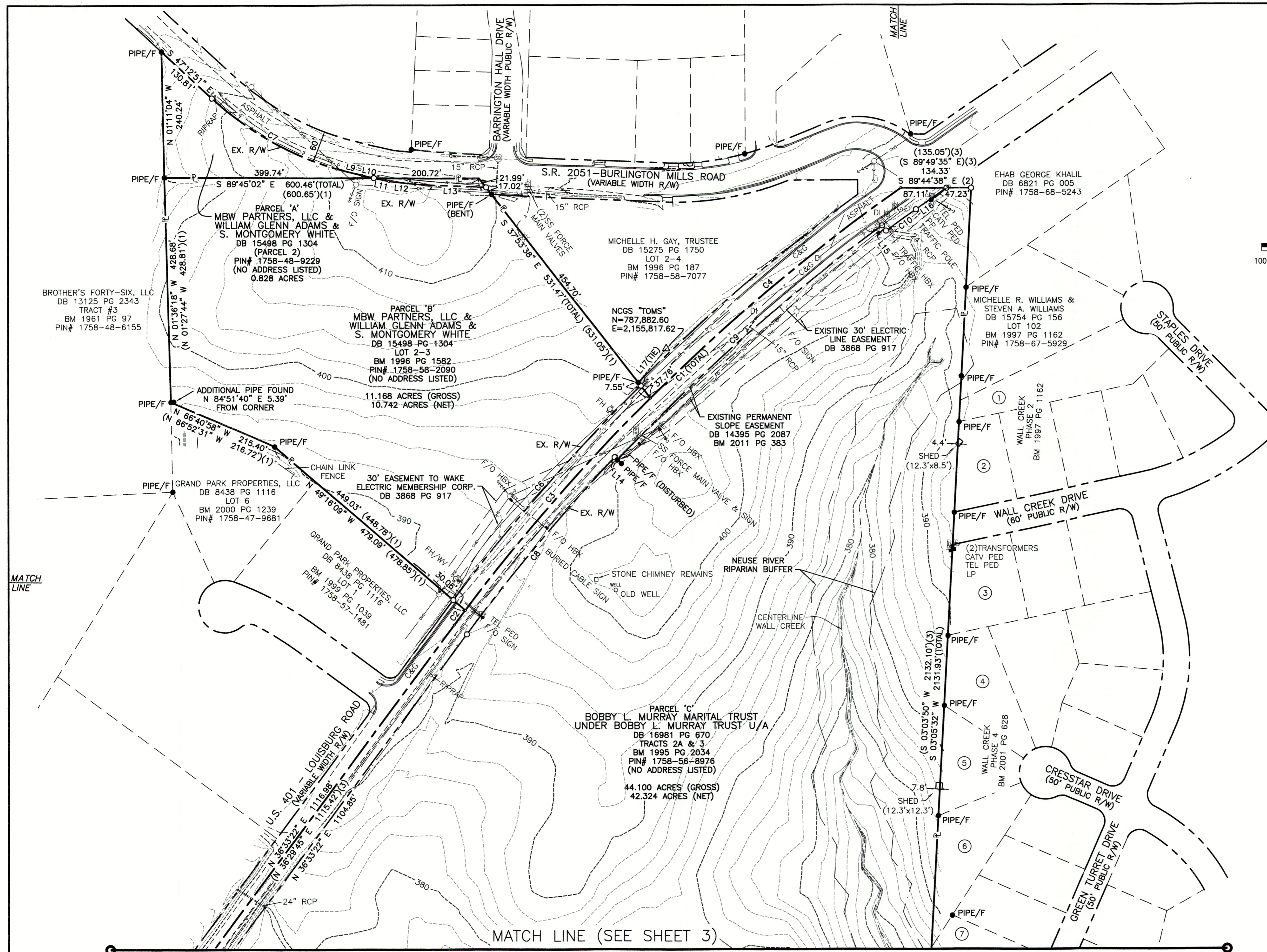
Signature of William T. Robbins, II, dated 10/1/2020. License #L-4192.



Logo for Johnson, Mirmiran & Thompson Engineering A Brighter Future. Address: 9201 Arboretum Parkway, Suite 310, Richmond, Virginia 23236. Phone: (804)-323-9900, Fax: (804)-323-0596, Email: jmtvo@jmt-engineering.com

Table with 3 columns: REVISION #, DATE, REASON FOR REVISION. Row 1: 1, 10/01/2020, ADDED RIPARIAN BUFFER ALONG WALL CREEK

ALTA/NSPS LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC WAKE FOREST TOWNSHIP TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA. Includes fields for DRAWN BY, CHECKED BY, DATE, PROJECT#, CONTRACT#, SCALE, and SHEET 1 OF 3.



ADJOINING PROPERTY OWNERS

- ① RODERICK BLACKWELL & CHRISTINE BLACKWELL DB 8769 PG 1894 LOT 101 BM 1997 PG 1162 PIN# 1758-67-6836
- ② CHARLES CULBERTSON & TERESA CULBERTSON DB 17393 PG 896 LOT 96 BM 1997 PG 1162 PIN# 1758-67-4619
- ③ ANTONIO G. CATTARUZZA & SHEILA B. CATTARUZZA DB 8149 PG 422 LOT 92 BM 1997 PG 1162 PIN# 1758-67-4416
- ④ JOHN DANIEL BONO, III & SABRINA MICHELE BONO DB 13369 PG 2170 LOT 85 BM 2001 PG 628 PIN# 1758-67-4204
- ⑤ RONALD G. PATTERSON & LAURA A. PATTERSON DB 10087 PG 2409 LOT 84 BM 2001 PG 628 PIN# 1758-67-4100
- ⑥ MICHAEL A. HADDER & JENNIFER H. HADDER DB 16143 PG 2477 LOT 83 BM 2001 PG 628 PIN# 1758-66-3984
- ⑦ JOSEPH L. KEELEY, III & SARAH E. KEELEY DB 10496 PG 1314 LOT 79 BM 2002 PG 825 PIN# 1758-66-4723

- LEGEND**
- (1) = RECORD DATA PER BM 1996 PG 1582
 - (2) = RECORD DATA PER BM 2011 PG 383
 - (3) = RECORD DATA PER BM 1995 PG 2034
 - (4) = RECORD DATA PER BM 2002 PG 825
 - (5) = RECORD DATA PER BM 2005 PG 1195-1196
 - (6) = RECORD DATA PER DB 13993 PG 2591
 - = FOUND MONUMENT AS NOTED
 - = SET IRON PIN
 - △ = NCGS MONUMENT
 - = DIMENSION POINT (NOTHING SET)
 - ℙ = PROPERTY LINE
 - R/W = RIGHT OF WAY

- C&G = CURB AND GUTTER
- CAV = CABLE TV PEDESTAL
- DI = DROP INLET
- ELEC = ELECTRIC BOX
- EM = ELECTRIC METER
- F/O = FIBER OPTIC
- FH = FIRE HYDRANT
- GV = GAS VALVE
- HBX = HAND BOX
- LP = LIGHT POLE
- PP = POWER POLE
- ← = GUY WIRE
- RCP = REINFORCED CONCRETE PIPE
- S.F. = SQUARE FEET (AREA)
- SIGN = SIGN
- TRAFFIC SIGNAL POLE = TRAFFIC SIGNAL POLE
- SANITARY SEWER MANHOLE = SANITARY SEWER MANHOLE
- SANITARY SEWER FORCE MAIN VALVE = SANITARY SEWER FORCE MAIN VALVE
- STORM DRAIN MANHOLE = STORM DRAIN MANHOLE
- TELEPHONE PEDESTAL = TELEPHONE PEDESTAL
- TRAFFIC BOX = TRAFFIC BOX
- WATER BOX = WATER BOX
- WM = WATER METER
- WMH = WATER MANHOLE
- WV = WATER VALVE
- WELL = WELL
- PEDESTRIAN X-WALK POLE = PEDESTRIAN X-WALK POLE
- e — = ELECTRIC LINE
- fm — = SANITARY SEWER FORCE MAIN
- fo — = FIBER OPTIC LINE
- g — = GAS LINE
- oeh — = OVERHEAD ELECTRIC LINE
- s — = SANITARY SEWER LINE
- t — = TELEPHONE LINE
- tv — = CABLE TV LINE
- w — = WATER LINE

LINE	BEARING	DISTANCE
L1	N 02°07'15" W	48.32'
L2	N 03°10'03" W	17.67'
L3	N 41°10'16" E	41.30'
L4	N 40°37'47" E	49.15'
L5	N 39°31'43" E	50.83'
L6	N 38°52'58" E	49.80'
L7	N 38°22'04" E	50.40'
L8	N 37°17'31" E	50.37'
L9	S 75°02'10" E	50.12'
L10	S 77°31'31" E	22.85'
L11	S 77°31'31" E	29.16'
L12	S 84°03'28" E	50.67'
L13	S 87°10'20" E	135.52'
L14	S 46°39'44" E	7.50'
L15	S 36°12'58" E	12.50'
L16	N 55°13'38" E	70.99'
L17	N 39°21'58" E	83.92'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1197.82'	3750.00'	18°18'05"	S 45°42'25" W	1192.73'
C2	35.15'	3750.00'	0°32'13"	S 36°49'29" W	35.15'
C3	537.89'	3750.00'	8°13'06"	S 41°12'09" W	537.43'
C4	624.78'	3750.00'	9°32'45"	S 50°05'04" W	624.06'
C5	65.86'	123.92'	30°27'05"	S 17°21'49" E	65.09'
C6	543.86'	3780.00'	8°14'37"	S 41°14'38" W	543.40'
C7	276.12'	600.00'	26°22'04"	N 60°23'53" W	273.69'
C8	440.32'	3720.00'	6°46'55"	S 39°56'50" W	440.07'
C9	675.86'	3712.50'	10°25'52"	S 48°33'13" W	674.95'
C10	70.31'	3700.00'	1°05'20"	S 54°18'48" W	70.31'

(R=3750.00', L=1199.06')(3)

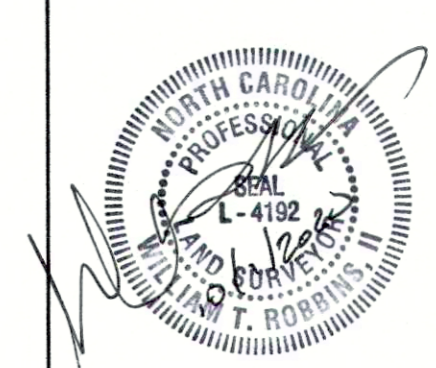
(2)

JMT JOHNSON, MIRMIRAN & THOMPSON
 Engineering A Brighter Future
 9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236
 PHONE: (804)-323-9900 FAX: (804)-323-0596
 EMAIL: jmtva@jmt-engineering.com

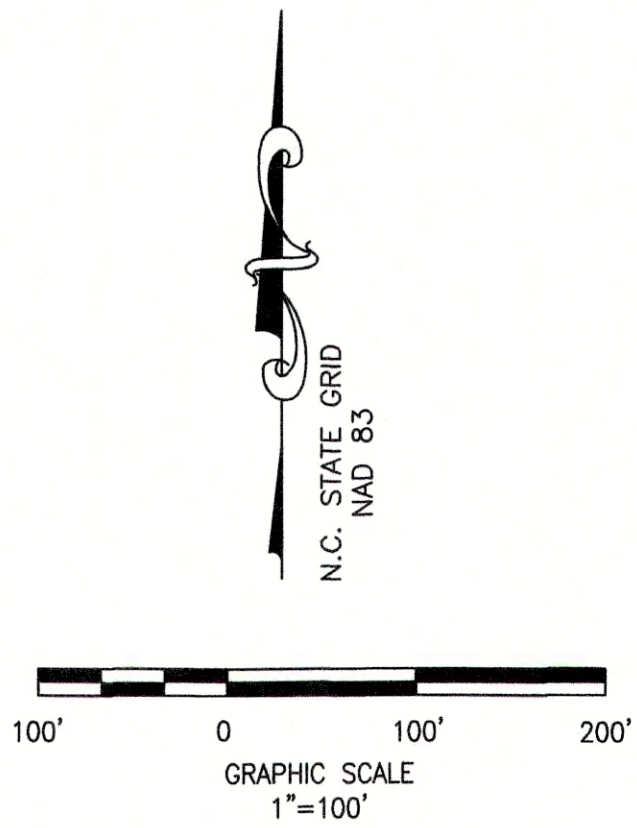
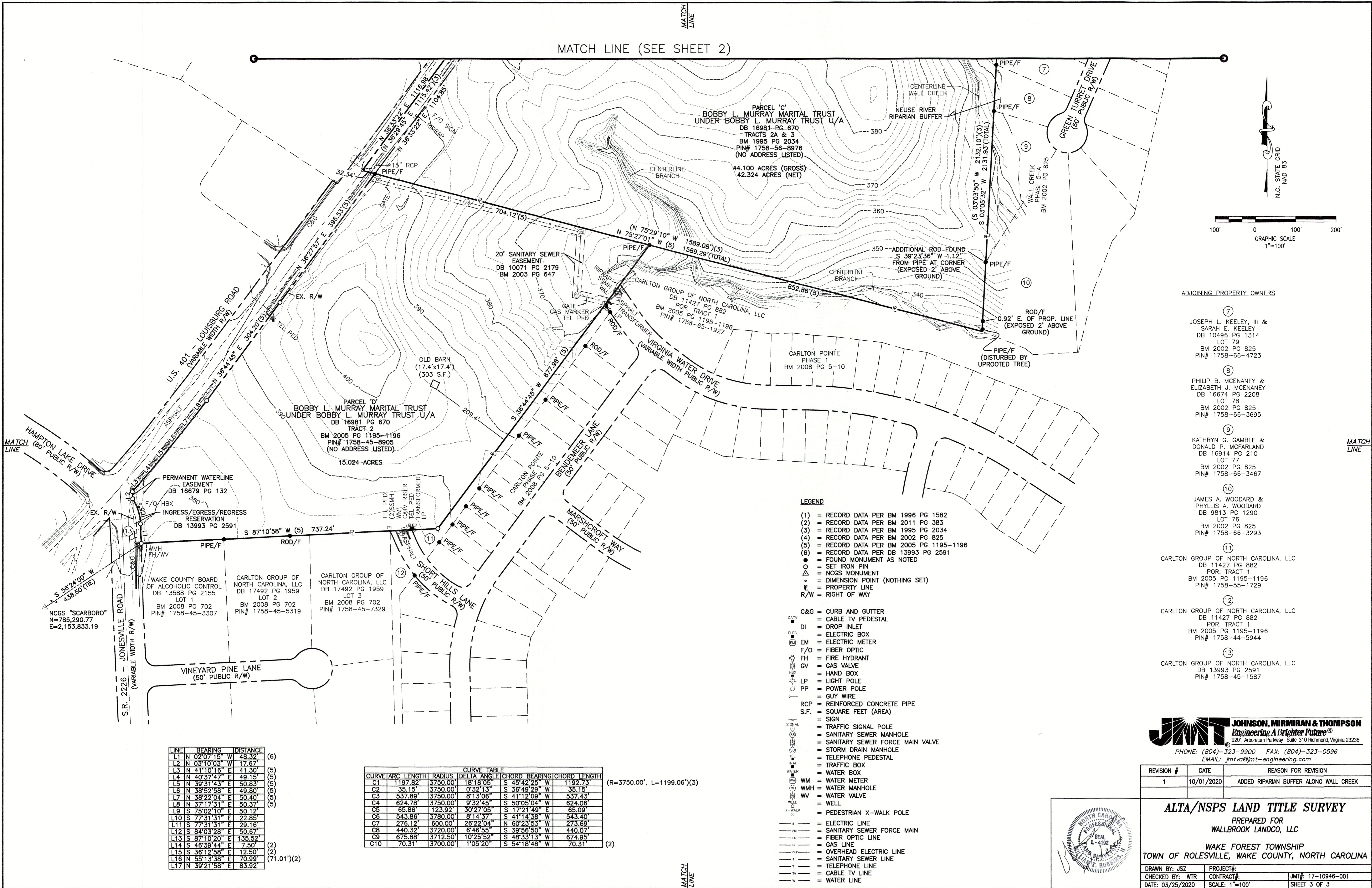
REVISION #	DATE	REASON FOR REVISION
1	10/01/2020	ADDED RIPARIAN BUFFER ALONG WALL CREEK

ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
WALLBROOK LANDCO, LLC
 WAKE FOREST TOWNSHIP
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: JMT# 17-10946-001
 CHECKED BY: WTR CONTRACT#: SHEET 2 OF 3
 DATE: 03/25/2020 SCALE: 1"=100'



MATCH LINE (SEE SHEET 2)



ADJOINING PROPERTY OWNERS

- (7) JOSEPH L. KEELEY, III & SARAH E. KEELEY
DB 10496 PG 1314
LOT 79
BM 2002 PG 825
PIN# 1758-66-4723
- (8) PHILIP B. MCENANEY & ELIZABETH J. MCENANEY
DB 16674 PG 2208
LOT 78
BM 2002 PG 825
PIN# 1758-66-3695
- (9) KATHRYN G. GAMBLE & DONALD P. MCFARLAND
DB 16914 PG 210
LOT 77
BM 2002 PG 825
PIN# 1758-66-3467
- (10) JAMES A. WOODARD & PHYLLIS A. WOODARD
DB 9813 PG 1290
LOT 76
BM 2002 PG 825
PIN# 1758-66-3293
- (11) CARLTON GROUP OF NORTH CAROLINA, LLC
DB 11427 PG 882
POR. TRACT 1
BM 2005 PG 1195-1196
PIN# 1758-55-1729
- (12) CARLTON GROUP OF NORTH CAROLINA, LLC
DB 11427 PG 882
POR. TRACT 1
BM 2005 PG 1195-1196
PIN# 1758-44-5944
- (13) CARLTON GROUP OF NORTH CAROLINA, LLC
DB 13993 PG 2591
PIN# 1758-45-1587

LEGEND

- (1) = RECORD DATA PER BM 1996 PG 1582
- (2) = RECORD DATA PER BM 2011 PG 383
- (3) = RECORD DATA PER BM 1995 PG 2034
- (4) = RECORD DATA PER BM 2002 PG 825
- (5) = RECORD DATA PER BM 2005 PG 1195-1196
- (6) = RECORD DATA PER DB 13993 PG 2591
- = FOUND MONUMENT AS NOTED
- = SET IRON PIN
- △ = NCGS MONUMENT
- = DIMENSION POINT (NOTHING SET)
- ▭ = PROPERTY LINE
- R/W = RIGHT OF WAY

- C&G = CURB AND GUTTER
- DI = DROP INLET
- ELEC = ELECTRIC BOX
- EM = ELECTRIC METER
- F/O = FIBER OPTIC
- FH = FIRE HYDRANT
- GV = GAS VALVE
- HB = HAND BOX
- LP = LIGHT POLE
- PP = POWER POLE
- GUY = GUY WIRE
- RCP = REINFORCED CONCRETE PIPE
- S.F. = SQUARE FEET (AREA)
- SIGN = SIGN
- TS = TRAFFIC SIGNAL POLE
- SSM = SANITARY SEWER MANHOLE
- SSFMV = SANITARY SEWER FORCE MAIN VALVE
- SDM = STORM DRAIN MANHOLE
- TP = TELEPHONE PEDESTAL
- TB = TRAFFIC BOX
- WB = WATER BOX
- WM = WATER METER
- WMH = WATER MANHOLE
- WV = WATER VALVE
- WELL = WELL
- X-WALK = PEDESTRIAN X-WALK POLE
- E = ELECTRIC LINE
- FM = SANITARY SEWER FORCE MAIN
- FO = FIBER OPTIC LINE
- G = GAS LINE
- OHE = OVERHEAD ELECTRIC LINE
- S = SANITARY SEWER LINE
- T = TELEPHONE LINE
- TV = CABLE TV LINE
- W = WATER LINE

LINE	BEARING	DISTANCE	
L1	N 02°07'15" W	48.32	(6)
L2	N 03°10'03" W	17.67	(5)
L3	N 41°10'16" E	41.30	(5)
L4	N 40°37'47" E	49.15	(5)
L5	N 39°31'43" E	50.83	(5)
L6	N 38°52'58" E	49.80	(5)
L7	N 38°22'04" E	50.40	(5)
L8	N 37°17'31" E	50.37	(5)
L9	S 75°02'10" E	50.12	(5)
L10	S 77°31'31" E	22.85	(2)
L11	S 77°31'31" E	29.16	(2)
L12	S 84°03'28" E	50.67	(2)
L13	S 87°10'20" E	135.52	(2)
L14	S 46°39'44" E	7.50	(2)
L15	S 36°12'58" E	12.50	(2)
L16	N 55°13'38" E	70.99	(2)
L17	N 39°21'58" E	83.92	(2)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1197.82	3750.00	18°18'05"	S 45°42'25" W	1192.73
C2	35.15	3750.00	0°32'13"	S 36°49'29" W	35.15
C3	537.89	3750.00	8°13'06"	S 41°12'09" W	537.43
C4	624.78	3750.00	9°32'45"	S 50°05'04" W	624.06
C5	65.86	123.92	30°27'05"	S 17°21'49" E	65.09
C6	543.86	3780.00	8°14'37"	S 41°14'38" W	543.40
C7	276.12	600.00	26°22'04"	N 60°23'53" W	273.69
C8	440.32	3720.00	6°46'55"	S 39°56'50" W	440.07
C9	675.88	3712.50	10°25'52"	S 48°33'13" W	674.95
C10	70.31	3700.00	1°05'20"	S 54°18'48" W	70.31

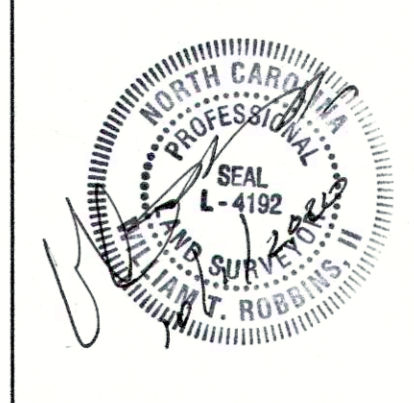
(R=3750.00', L=1199.06')(3)

JMT JOHNSON, MIRMIRAN & THOMPSON
Engineering A Brighter Future
 9201 Arboretum Parkway, Suite 310 Richmond, Virginia 23236
 PHONE: (804)-323-9900 FAX: (804)-323-0596
 EMAIL: jmtvo@jmt-engineering.com

REVISION #	DATE	REASON FOR REVISION
1	10/01/2020	ADDED RIPARIAN BUFFER ALONG WALL CREEK

ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
WALLBROOK LANDCO, LLC
 WAKE FOREST TOWNSHIP
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: JMT#: 17-10946-001
 CHECKED BY: WTR CONTRACT#: JMT#: 17-10946-001
 DATE: 03/25/2020 SCALE: 1"=100' SHEET 3 OF 3



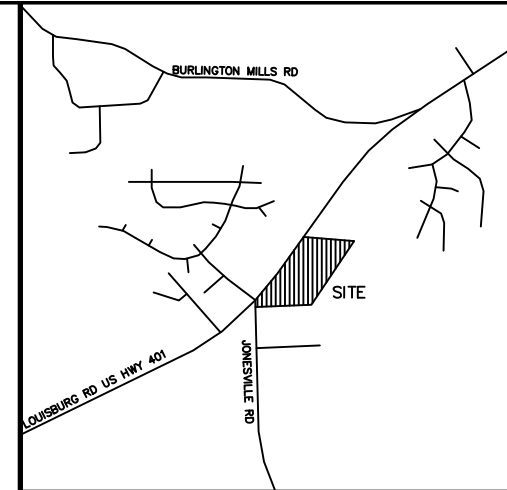
I DECLARE THAT THIS SURVEY COMPLIES WITH THE NORTH CAROLINA STANDARDS OF PRACTICE FOR SURVEYING, (SECTION 1600) FOR CLASS A SURVEYS AND HAS THE CALCULATED RATIO OF PRECISION BEFORE ADJUSTMENTS IS 1:10,000+. FURTHERMORE, PROPERTY CORNERS SHOWN ARE PRIMARY CONTROL MONUMENTATION FOR THE RE-ESTABLISHMENT OF PROPERTY CORNERS IN THE ABSENCE OF GRID MONUMENTS AND OTHER SUBDIVISION PROPERTY CORNERS. THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN AUTHORIZATION OF THE SURVEYOR.

PRELIMINARY
FOR REVIEW PURPOSE ONLY

PROFESSIONAL LAND SURVEYOR L-

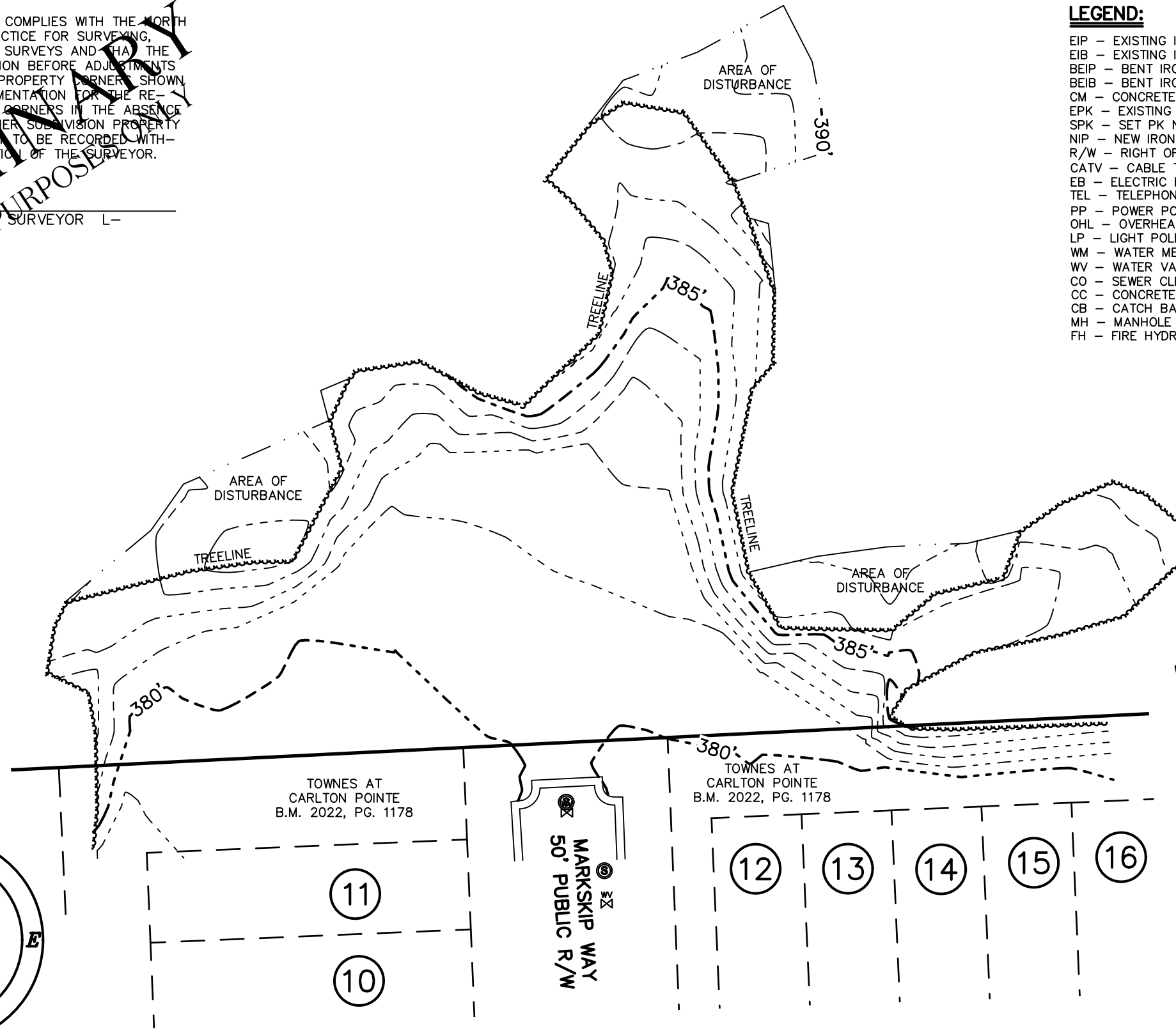
LEGEND:

- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIP - BENT IRON PIPE
- BEIB - BENT IRON BAR
- CM - CONCRETE MONUMENT
- EPK - EXISTING PK NAIL
- SPK - SET PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- CC - CONCRETE
- CB - CATCH BASIN
- MH - MANHOLE
- FH - FIRE HYDRANT



VICINITY MAP
LINE TYPE LEGEND

	PROPERTY LINE - LINE SURVEYED
	RIGHT-OF-WAY
	ADJOINING LINE - LINE NOT SURVEYED
	OVERHEAD LINE
	BUILDING SETBACK
	EASEMENT
	BUFFER
	FLOOD HAZARD SOILS

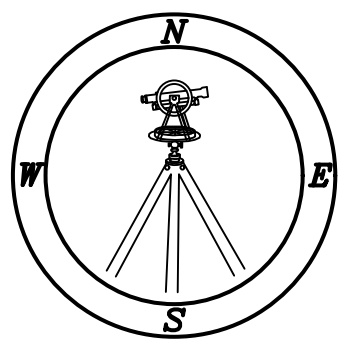


TOPOGRAPHIC SURVEY FOR
WALLBROOK LANDCO, LLC
OWNER: WALLBROOK LANDCO, LLC
REF: DEED BOOK 18103, PAGE 1563
REF: B.M. 1995, PG. 2034
TOWN OF ROLESVILLE
WAKE COUNTY, NORTH CAROLINA



SCALE 1"=30'

JULY 7, 2022
REVISED JULY 13, 2022
ZONED GC-CZ
PIN #1758.01-45-8905



PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

(CARLTON TOWNHOMES-TOPO AREA.DWG - TW)