

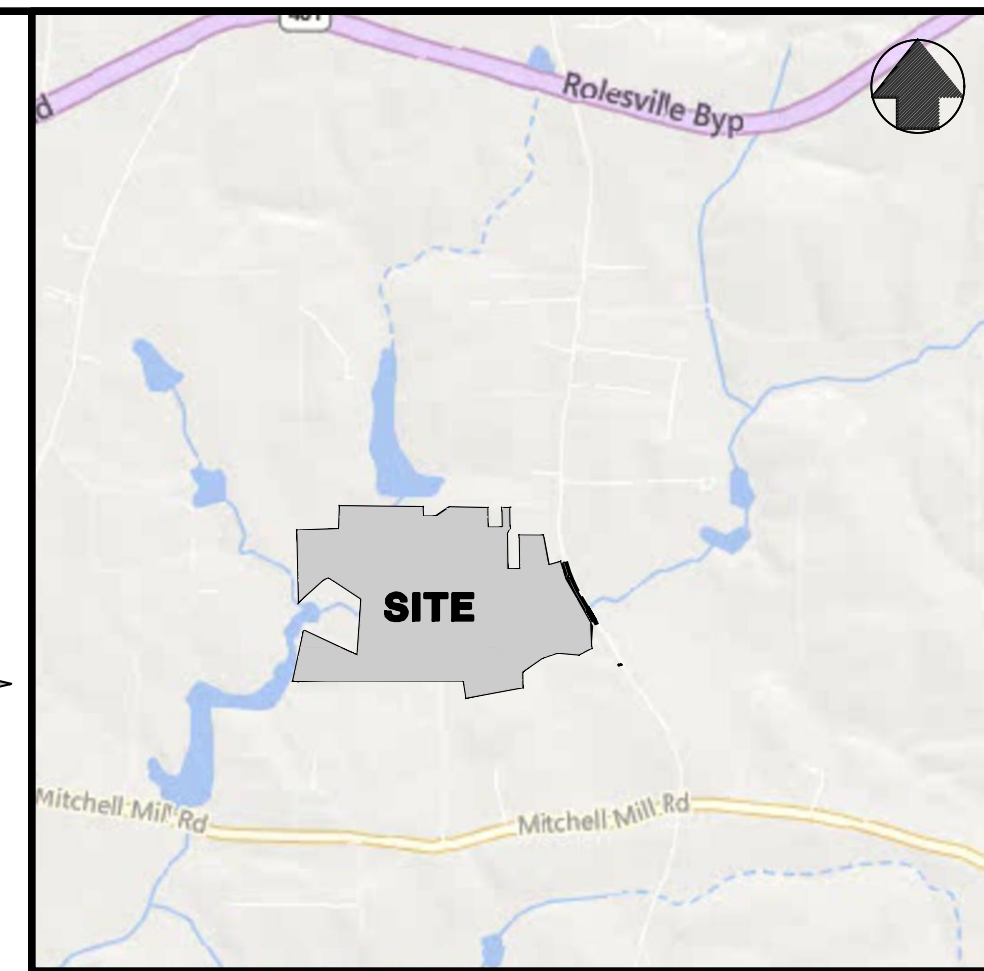
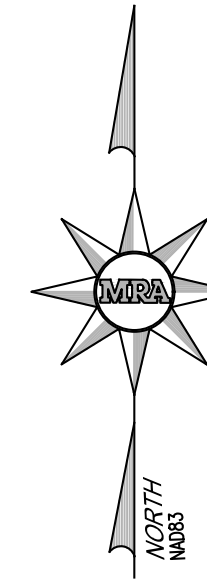
# MAP AMENDEMENT (CONDITIONAL REZONING) CONCEPT PLAN

## FOR HARRIS CREEK FARMS

MA 22-08  
V3 submittal

ROLESVILLE, NORTH CAROLINA

CASE NUMBER:  
MA 22-08

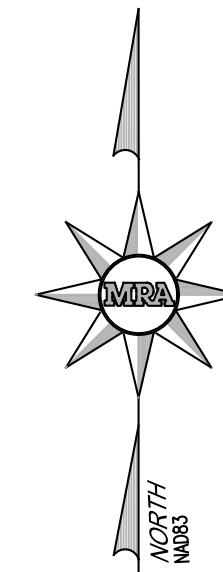
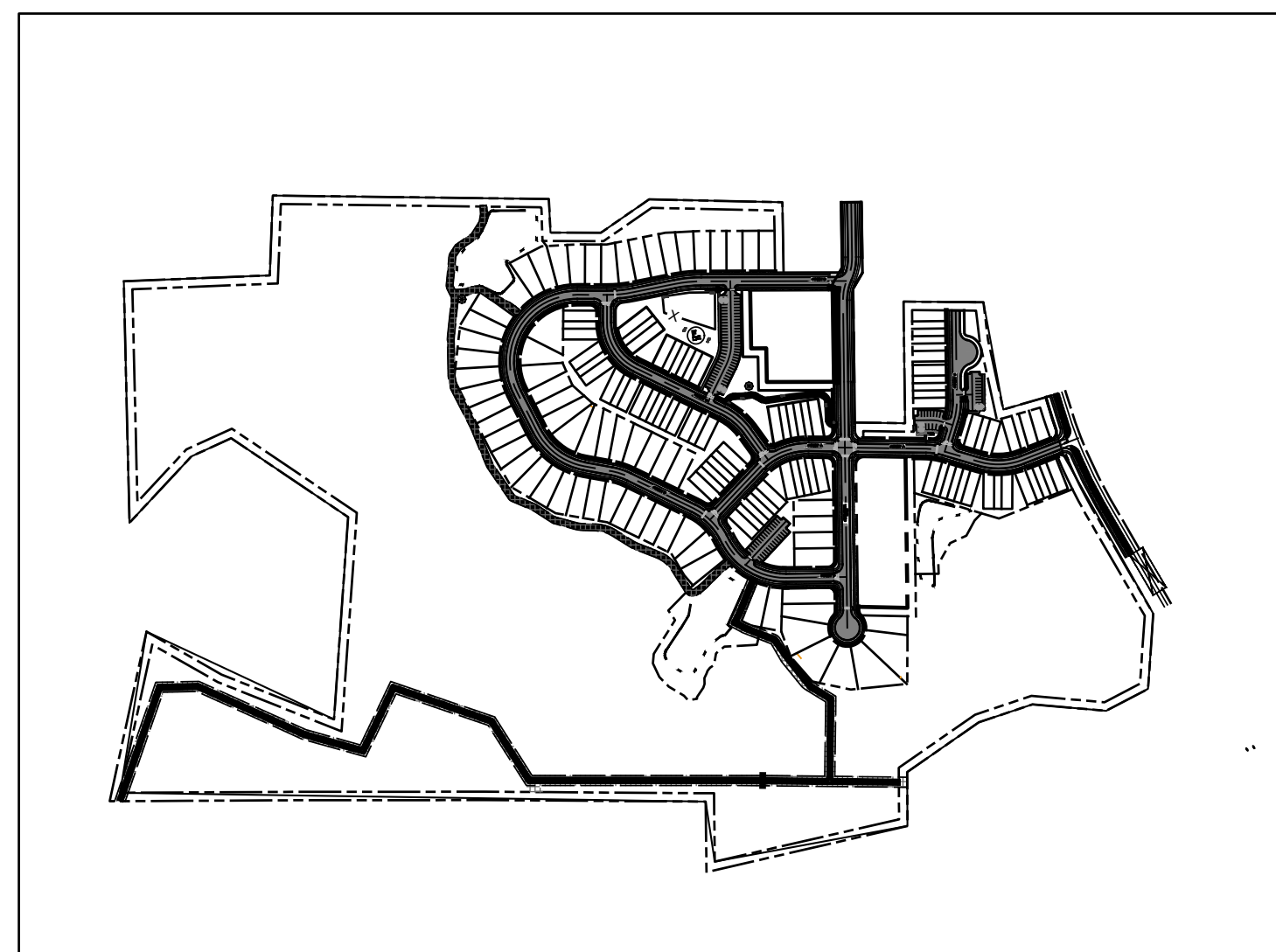


VICINITY MAP  
SCALE: 1" = 2000'

### AGENCY CONTACTS

- A. Town of Rolesville**  
Planning Department  
502 Southtown Circle  
Rolesville, NC 27571
- B. Wake County**  
Watershed Management  
Waverly F. Akins Building  
337 S. Salisbury St  
Raleigh, NC 27601  
Contact: Karyn Pageau  
Phone: (919)-796-8769  
Email: karyn.pageau@wakegov.com
- C. City of Raleigh Public Utilities Department**  
One Exchange Plaza  
Suite 620  
Raleigh, NC 27601  
P.O. Box 590  
Raleigh, NC 27602  
Phone: 919-996-3245  
Email: publicutilityinfo@raleighnc.gov
- D. NCDOT**  
Division 5, District 1 Office  
4009 District Drive  
Raleigh, NC 27607  
Contact: Amy Neldringhaus, District Engineer  
Phone: 919-733-3213  
Email: anneldringhaus@ncdot.gov

Sheet List Table			
Sheet Number	Sheet Title	Date	Revised Date
C0.0	COVER - REZONING	8/1/2022	12/1/2022
C0.1	EXISTING CONDITIONS	8/1/2022	12/1/2022
C1.0	OVERALL SITE PLAN	8/1/2022	12/1/2022
C1.1	SITE PLAN - SHEET 1 OF 6	8/01/2022	12/1/2022
C1.2	SITE PLAN - SHEET 2 OF 6	8/1/2022	12/1/2022
C1.3	SITE PLAN - SHEET 3 OF 6	8/1/2022	12/1/2022
C1.4	SITE PLAN - SHEET 4 OF 6	8/1/2022	12/1/2022
C1.5	SITE PLAN - SHEET 5 OF 6	8/1/2022	12/1/2022
C1.6	SITE PLAN - SHEET 6 OF 6	8/1/2022	12/1/2022
C1.7	OVERALL ZONING PLAN	8/1/2022	12/1/2022



KEY MAP

SCALE: 1" = 500'



SCALE 1" = 500'

### SITE DATA

OWNER	CHEN, PING 10030 GREEN LEVEL CHURCH RD STE 802 CARY, NC 27594
SITE ADDRESS	4428 UNIVERSAL DR WAKE FOREST, NC 27587-6356
PIN	175121181, 1751315216, 1751315365, 1751315464, 1751315515, 1751315665, 1751315765, 1751315865, 1751315945, 1751385064, 1751384912, 1751383572, 1751368816, 1751318013, 1751318109, 1751318303, 1751311990, 1751411554, 1751385344
DEED BOOK/PAGE/MAP	018453/00623/1751 01, 018453/00542/1751 01
CURRENT ZONING	R30
PROPOSED ZONING	RH-CZ, RH-CZ
MIN. LOT SIZE	5000 SQ FT (SINGLE FAMILY CLUSTER) 2000 SQ FT (TOWNHOMES)
LAND USE	RESIDENTIAL
PROPOSED DEVELOPMENT	144 UNITS 68 SINGLE FAMILY UNITS 81 TOWNHOUSE UNITS
TOTAL SITE AREA	43.23 ACRES
RESIDENTIAL HIGH DENSITY	32.15 ACRES (14.02 AC. + 18.12 AC (ADDITIONAL OPEN SPACE))
RESIDENTIAL MEDIUM DENSITY	61.08 ACRES
PROPOSED DENSITY	TOWNHOMES (RH-CZ) 4.0 UNITS/AC (MAX) 81/20.2 = 3.11 UNITS/AC (PROVIDED) SINGLE FAMILY (RH-CZ) 5.0 UNITS/AC (MAX) 68/13.6 = 5.0 UNITS/AC (PROVIDED) TOTAL PROJECT DENSITY 160 UNITS/AC
FLOOD PLAIN/ZONE	ZONE AE/ZONE X
FIRM PANEL NO	5720175100K
WATERSHED PROTECTION	NONE
MINIMUM LOT WIDTH	20' TOWNHOMES 40' SINGLE FAMILY (CLUSTER)
OPEN SPACE	RESIDENTIAL HIGH DENSITY: PASSIVE: 2.10 (REQUIRED) 14.95 (PROVIDED) RESIDENTIAL MEDIUM DENSITY: PASSIVE: 4.70 (REQUIRED) 44.09 (PROVIDED)  IMPROVED OPEN SPACES: REQUIRED: SMALL: 1 MEDIUM: 2 LARGE: 0  PROVIDED: SMALL: 1 0.78 AC (TOTAL PROVIDED) MEDIUM: 1 1.01 AC (TOTAL PROVIDED) LARGE: 1 13.74 AC (TOTAL PROVIDED)
PARKING	REQUIRED: 2.0/DWELLING UNIT PLUS 0.25 GUEST SPACES/DWELLING UNIT 81 UNITS X 2.25 = 183 SPOTS  PROVIDED: 81 UNITS X 1 (DRIVEWAY) = 81 SPOTS PARKING LOTS = 116 SPOTS TOTAL PROVIDED = 197 SPOTS
SETBACKS	TOWNHOMES: FRONT: 20' SIDE: 10' REAR: 15' CORNER: 15' MIN. WIDTH BETWEEN STRUCTURES: 30'  SINGLE FAMILY (CLUSTER): FRONT: 20' SIDE: 5' REAR: 20' CORNER: 10' (CLUSTER)

### PROJECT TEAM

- DEVELOPER/OWNER:** THE CSC GROUP LLC  
10030 GREEN LEVEL CHURCH RD STE 802  
CARY, NC 27594  
ATTN: PING CHENG  
919-796-0424
- LAND PLANNERS, CIVIL ENGINEER:** MORRIS & RITCHIE ASSOCIATES OF NC, PC  
5605 CHAPEL HILL ROAD, SUITE 112  
RALEIGH, NC 27607  
ATTN: MR. JEREMY M KEENEY, PE, PLS
- SURVEYOR:** MORRIS & RITCHIE ASSOCIATES OF NC, PC  
5605 CHAPEL HILL ROAD, SUITE 112  
RALEIGH, NC 27607  
ATTN: MR. JEREMY M KEENEY, PE, PLS
- ENVIRON. CONSULTANT:** MORRIS & RITCHIE ASSOCIATES OF NC, PC  
5605 CHAPEL HILL ROAD, SUITE 112  
RALEIGH, NC 27607  
ATTN: MR. JAMIE B. GUERRERO, PE, CPSM

### GENERAL NOTES

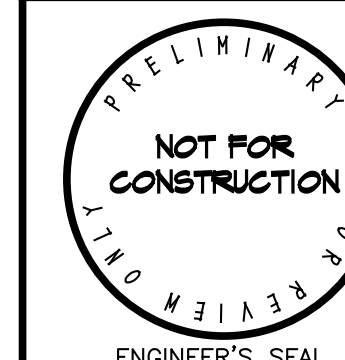
- OPEN SPACE IN EXCESS OF 40% PROPOSED ON SITE PER LDO SECTION 3.1.D FOR CLUSTER DEVELOPMENTS
- PROPOSED BUFFERS SHALL BE PLATTED AS SEPARATE TRACTS TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OR SIMILAR

### VOLUNTARY REZONING CONDITIONS

- LAYOUT PROPOSED HEREIN SHALL BE PRESERVED IN ALL FUTURE SUBMITTAL AND PLANS.
- DEVELOPMENT SHALL CONSIST OF TOWNHOMES, DUPLEXES, AND SINGLE FAMILY UNITS ONLY.
- THE MAXIMUM ALLOWABLE DENSITY WITHIN THE RH-CZ ZONING SHALL BE 6.0 UNITS/ACRE.
- DEVELOPED AREA WITHIN THE RH-CZ PORTION OF THE SITE WILL BE LESS THAN 15 ACRES.

FOR SITE PLAN REVIEW ONLY  
NOT FOR CONSTRUCTION  
PLAN IS SUBJECT TO REVISIONS  
DURING THE CONSTRUCTION  
APPROVAL PROCESS

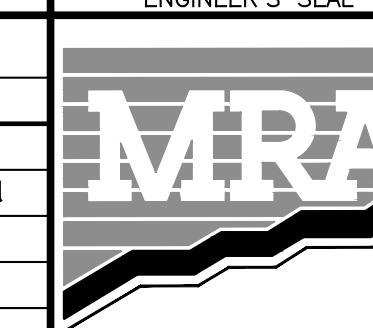
STREET DATA	
STREET A	1,200 LF
STREET B	2,360 LF
STREET C	450 LF
STREET D	743 LF



COVER - REZONING  
FOR  
HARRIS CREEK FARMS

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

No.	DATE	REVISIONS
A	9/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS
		JOB NO. 21790
		SCALE: AS SHOWN
		DATE: 6/1/2022
		ENGINEER: JMK
		DRAWN BY: ER/JJM
		DESIGN BY: PKN
		REVIEW BY: JMK



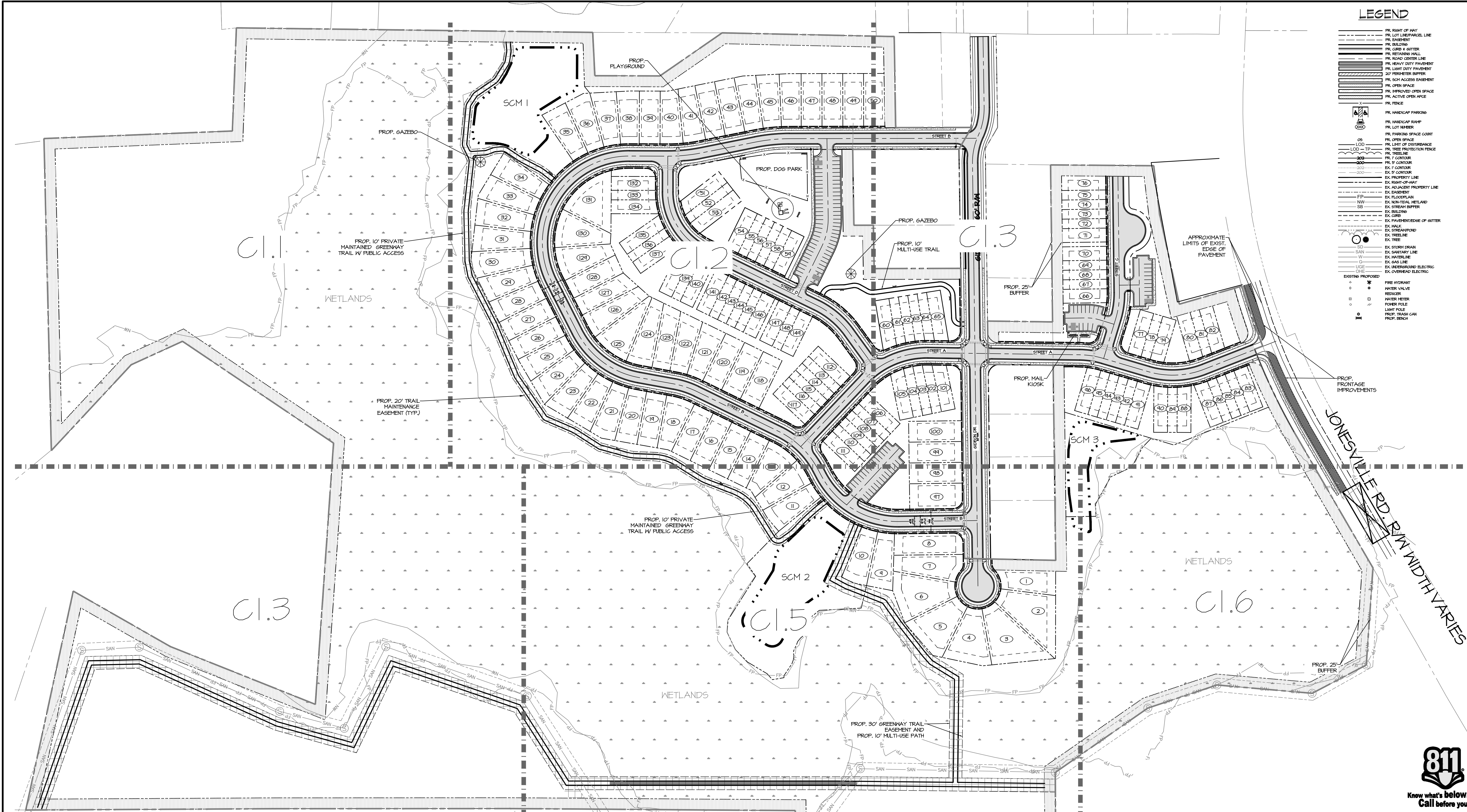
**MORRIS & RITCHIE ASSOCIATES OF NC, PC**  
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STATUS: PRELIMINARY NOT FOR CONSTRUCTION  
REVISION: B  
SHEET: C0.0

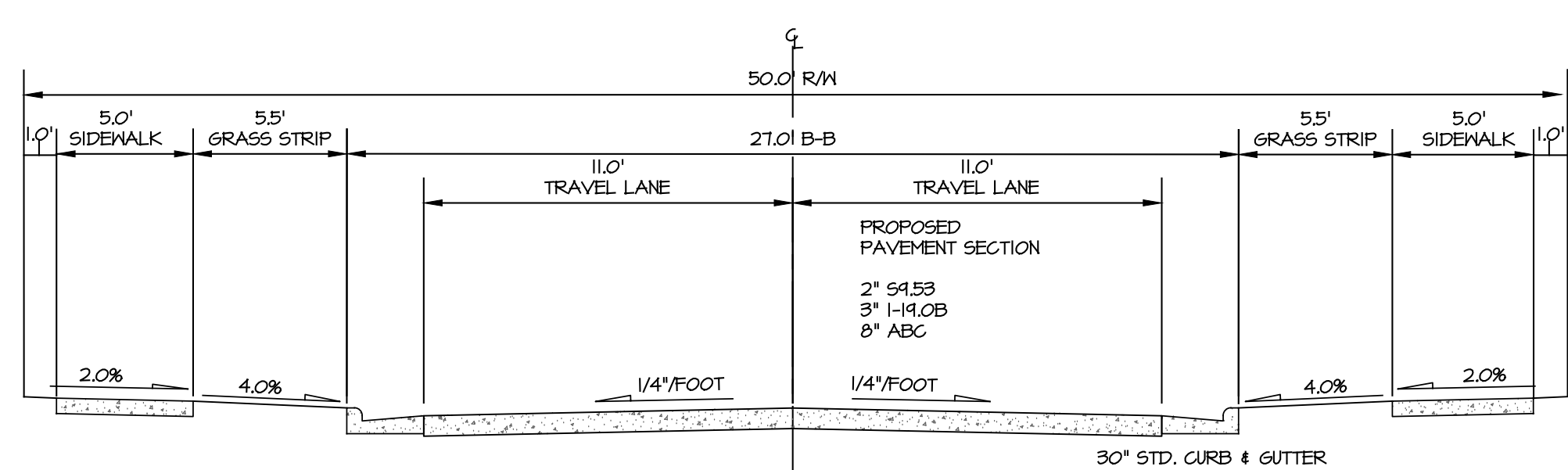


**LEGEND**

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. RETAINING WALL
- PR. ROAD CENTER LINE
- PR. HEAVY DUTY PAVEMENT
- PR. LIGHT DUTY PAVEMENT
- PR. 20' PERIMETER BUFFER
- PR. SCM ACCESS EASEMENT
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. PARKING SPACE COUNT
- PR. OPEN SPACE
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TREE LINE
- PR. 1' GROUND
- PR. 2' GROUND
- PR. 3' GROUND
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOODPLAIN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. BUILDING
- EX. CARE
- EX. PAVEMENT/EDGE OF GUTTER
- EX. WALL
- EX. OPEN/POND
- EX. TREE LINE
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- REDUCER
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



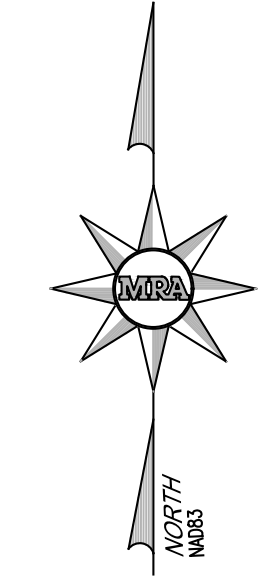
**TYPICAL CROSS SECTION**



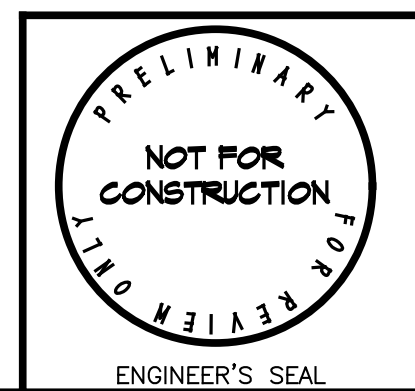
N.T.S.

**REQUIRED PARKING**

REQUIRED:	2.0/DWELLING UNIT PLUS 0.25 GUEST SPACES/DWELLING UNIT 81 UNITS X 2.25 = 183 SPOTS REQUIRED
PROVIDED:	81 UNITS X 1 (DRIVEWAY) = 81 SPOTS PARKING LOTS = 116 SPOTS (1 HANDICAP) TOTAL PROVIDED = 197 SPOTS



Scale: 1 Inch = 100 Ft.



**OVERALL SITE PLAN**  
FOR  
**HARRIS CREEK FARMS**

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

**MORRIS & RITCHIE ASSOCIATES OF NC, PC**  
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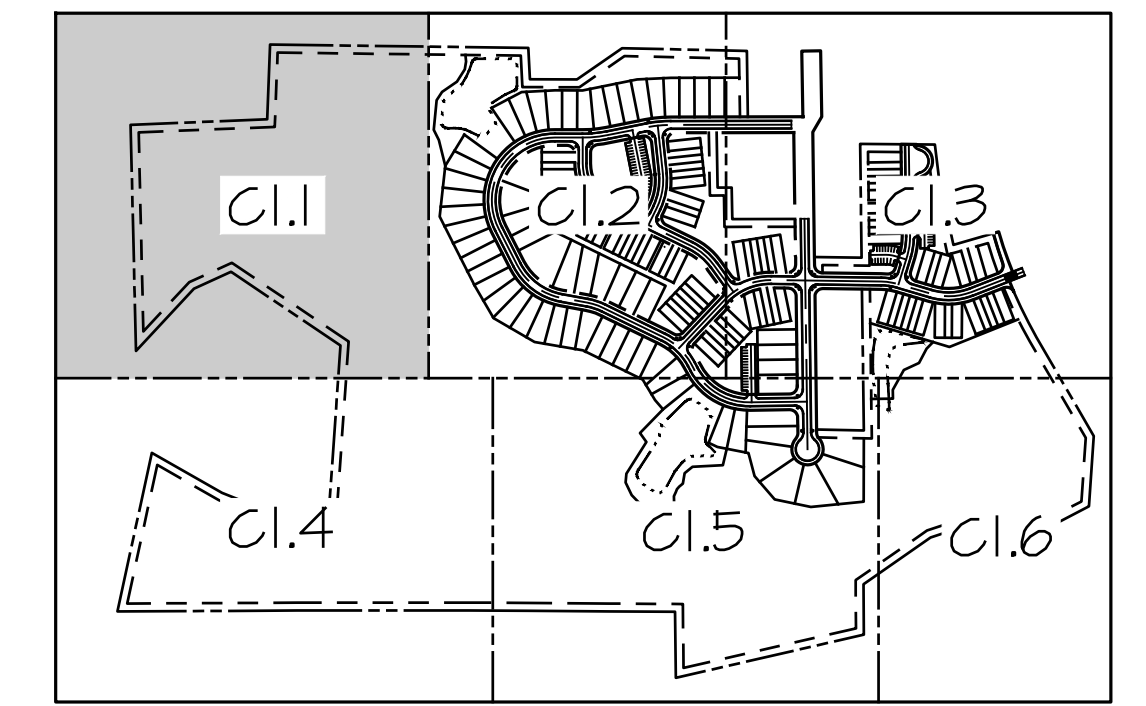


No.	DATE	REVISIONS	
A	9/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO. 21790
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
			DATE: 6/1/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: JMK

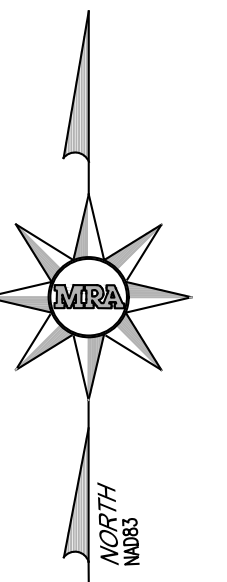
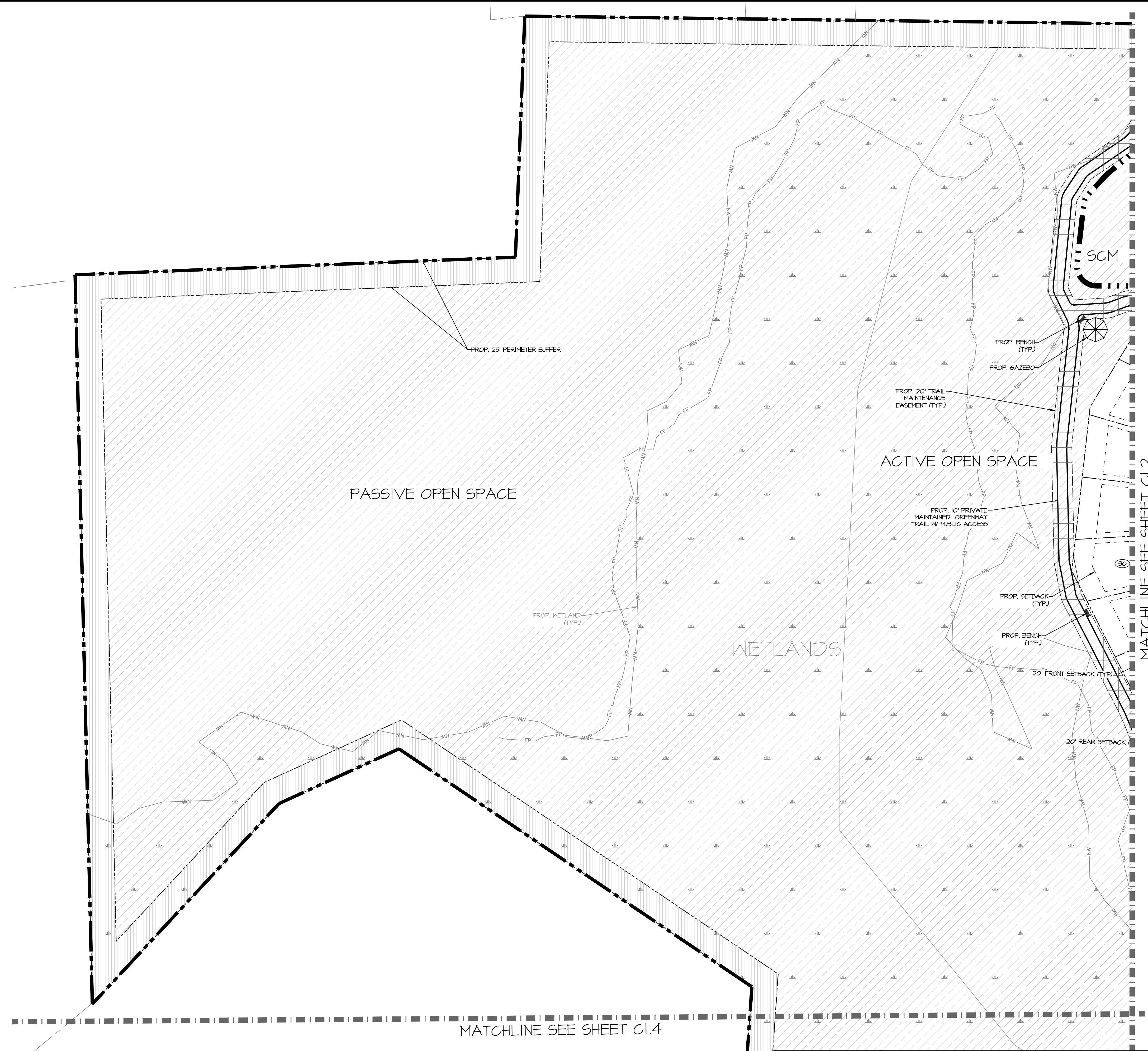
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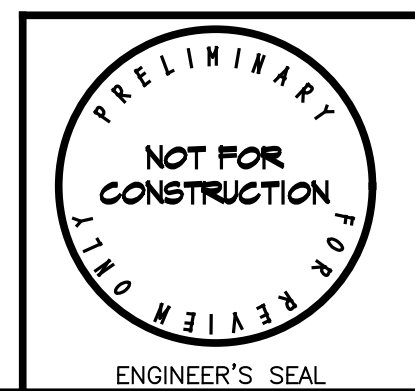


KEY PLAN  
NOT TO SCALE



LEGEND

- PR, RIGHT OF WAY
- PR, LOT LINE/PARCEL LINE
- PR, EASEMENT
- PR, BUILDING
- PR, ROAD CENTER LINE
- PR, ROAD CENTER LINE
- PR, RETAINING WALL
- PR, GARB & LETTER
- PR, HEAVY DUTY PAVEMENT
- PR, LIGHT DUTY PAVEMENT
- PR, 20' PERIMETER BUFFER
- PR, SCH ACCESS EASEMENT
- PR, OPEN SPACE
- PR, IMPROVED OPEN SPACE
- PR, ACTIVE OPEN SPACE
- PR, FENCE
- PR, HANDICAP PARKING
- PR, LOT NUMBER
- PR, PARKING SPACE COUNT
- PR, OPEN SPACE
- PR, LIMIT OF DISTURBANCE
- PR, TREE PROTECTION FENCE
- PR, TREELINE
- PR, F' CONTOUR
- EX, F' CONTOUR
- EX, F' CONTOUR
- EX, F' CONTOUR
- EX, PROPERTY LINE
- EX, RIGHT-OF-WAY
- EX, ADJACENT PROPERTY LINE
- EX, EASEMENT
- EX, FLOORPLAN
- EX, NON-TIDAL WETLAND
- EX, STREAM BUFFER
- EX, GARB
- EX, PAVEMENT/EDGE OF GUTTER
- EX, HALK
- EX, STREAMFORD
- EX, TREELINE
- EX, TREE
- SD, STORM DRAIN
- SAN, SANITARY LINE
- W, WATERLINE
- G, GAS LINE
- U&E, UNDERGROUND ELECTRIC
- O&E, OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- RESERVOIR
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



SITE PLAN - SHEET 1 OF 6  
FOR  
HARRIS CREEK FARMS  
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA

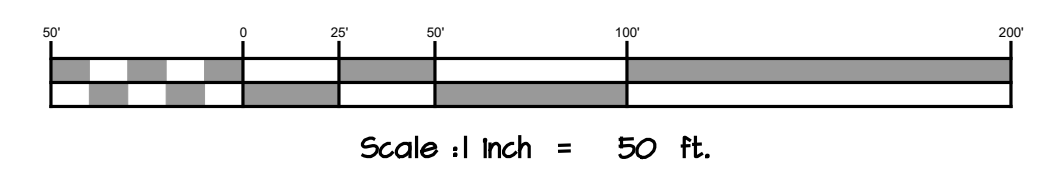


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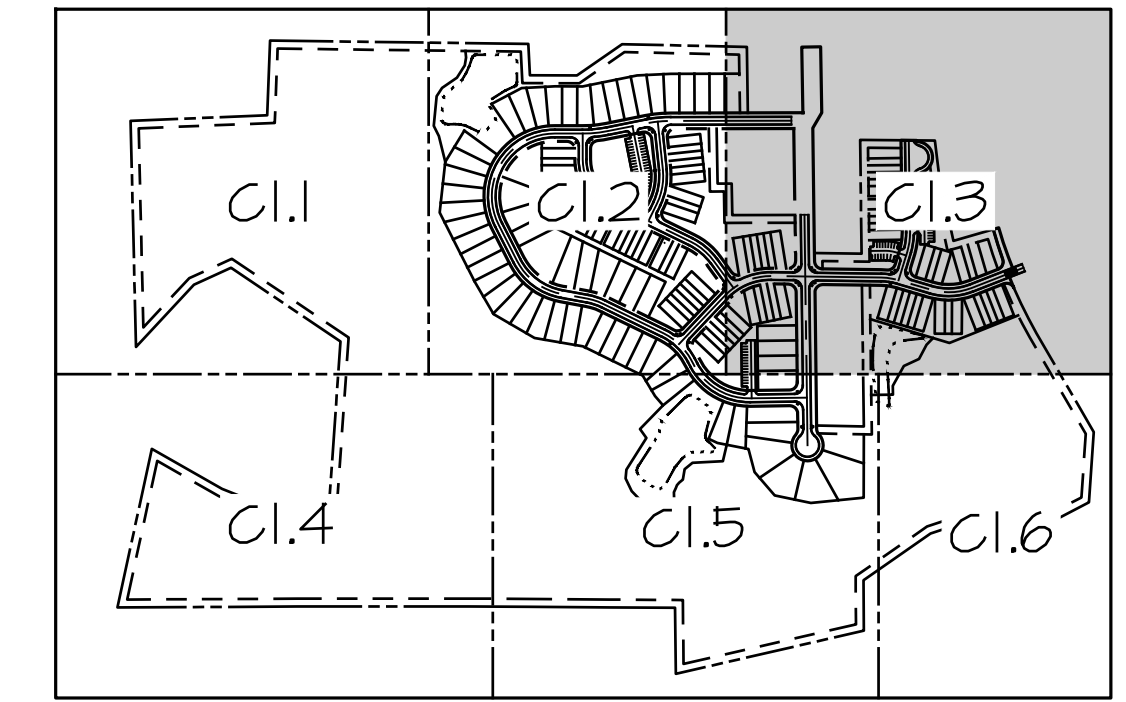
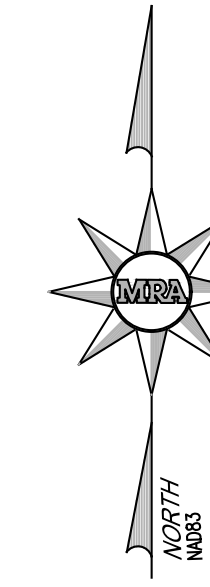
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SCALE: AS SHOWN
DATE: 6/1/2022
ENGINEER: JMK
DRAWN BY: ER/JM
DESIGN BY: PKN
REVIEW BY: JMK

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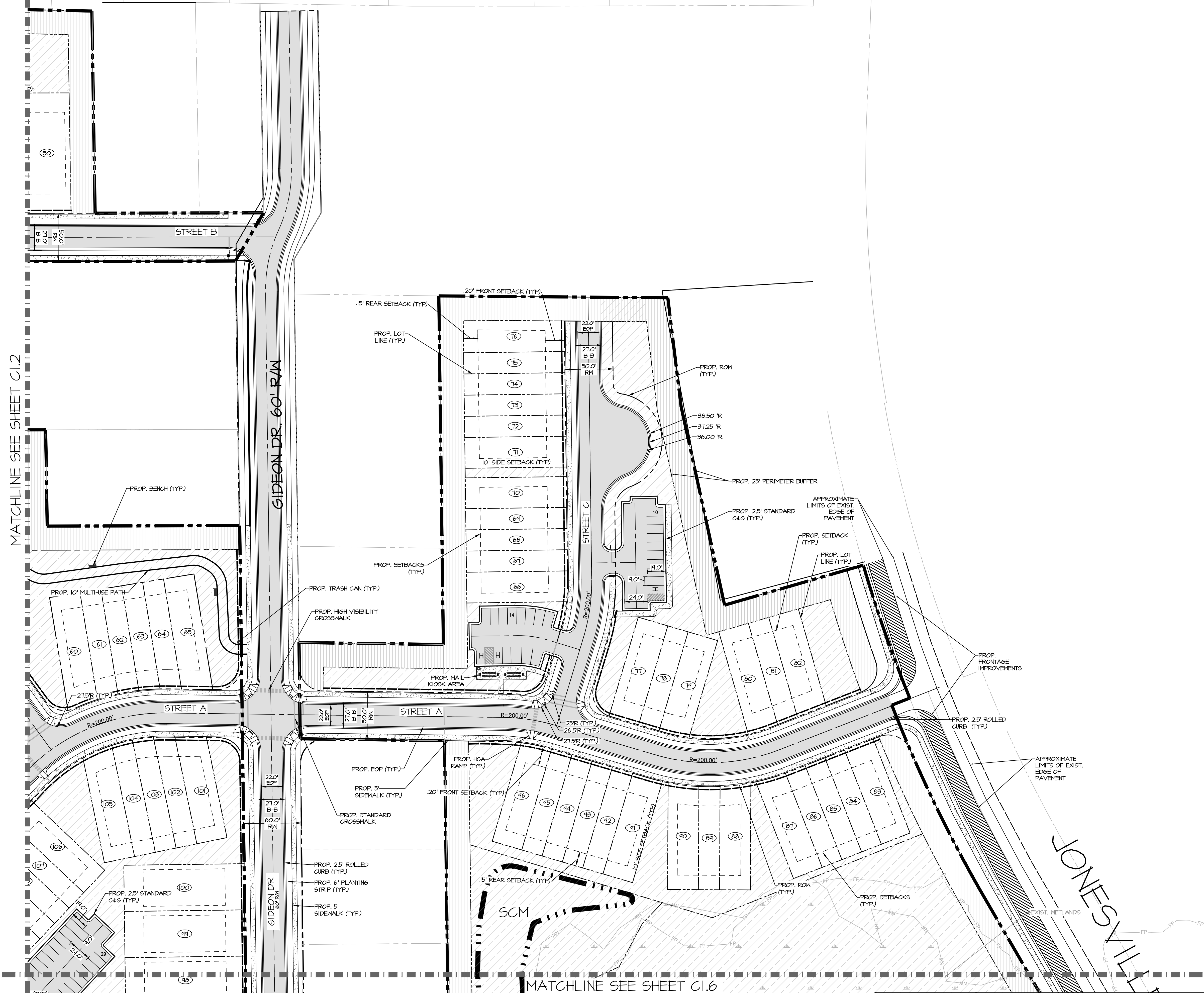


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KEY PLAN  
NOT TO SCALE



MATCHLINE SEE SHEET C1.1

ACTIVE OPEN SPACE

PASSIVE OPEN SPACE

PROP. 25' PERIMETER BUFFER

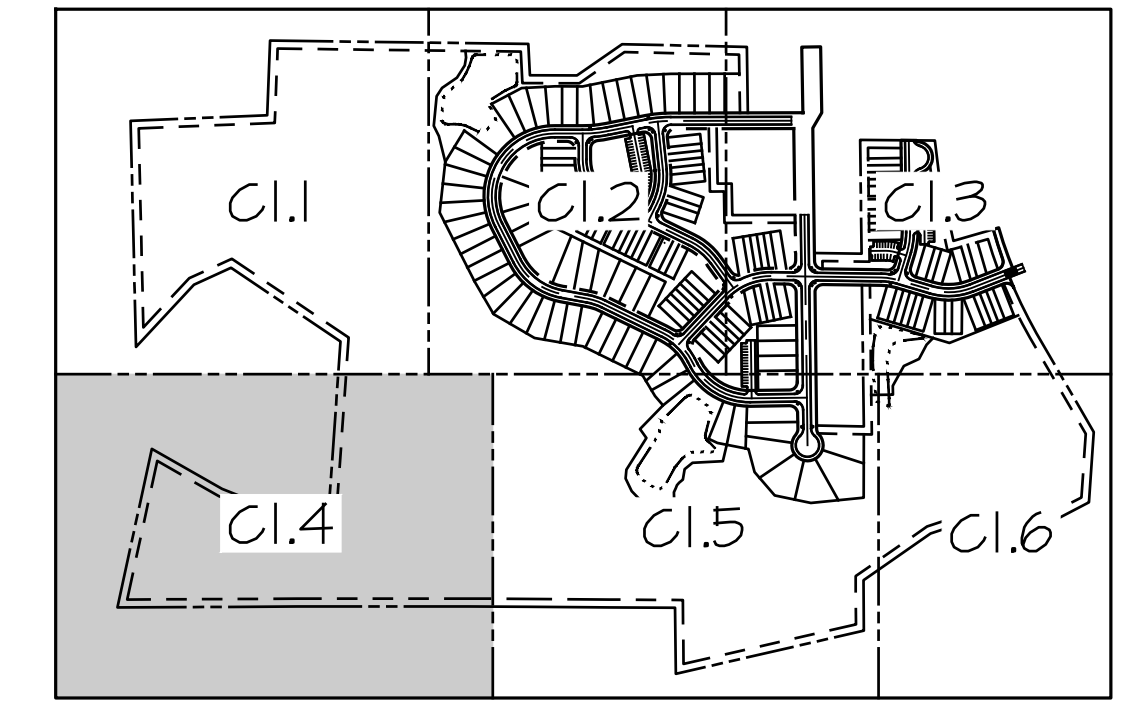
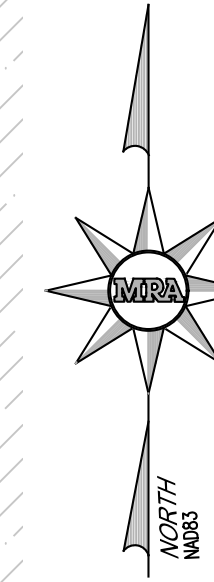
EXIST. WETLANDS (TYP.)

EXIST. SEWER (TYP.)  
EXIST. SEWER EASEMENT (TYP.)

PROP. 30' GREENWAY EASEMENT (TYP.)  
AND  
PROP. 10' MULTI-USE PATH (TYP.)

PROP. 25' PERIMETER BUFFER

ADJACENT  
PROPERTY OWNER  
(TYP.)

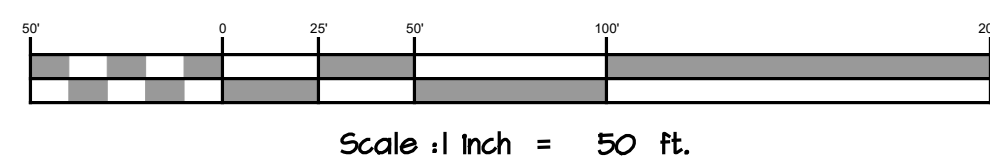


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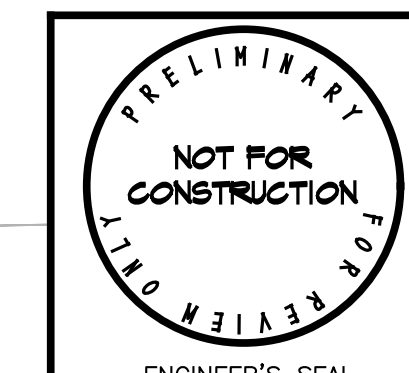
MATCHLINE SEE SHEET C1.5

LEGEND

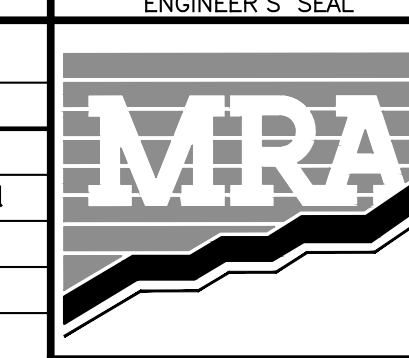
- PR RIGHT OF WAY
- PR LOT LINE/PARCEL LINE
- PR EASEMENT
- PR BUILDING
- PR CURB & GUTTER
- PR RETAINING WALL
- PR ROAD CONTROL LINE
- PR HEAVY DUTY PAVEMENT
- PR LIGHT DUTY PAVEMENT
- 20' PERIMETER BUFFER
- PR SCH ACCESS EASEMENT
- PR OPEN SPACE
- PR IMPROVED OPEN SPACE
- PR ACTIVE OPEN SPACE
- PR FENCE
- PR HANDICAP PARKING
- PR LOT NUMBER
- PR PARKING SPACE COUNT
- PR OPEN SPACE
- PR LIMIT OF DISTURBANCE
- PR TREE PROTECTION FENCE
- PR TRELLIS
- PR 1' CONTOUR
- EX 5' CONTOUR
- EX 1' CONTOUR
- EX 5' CONTOUR
- EX PROPERTY LINE
- EX RIGHT-OF-WAY
- EX ADJACENT PROPERTY LINE
- EX EASEMENT
- EX FLOOR PLAN
- EX NON-TIDAL WETLAND
- EX STREAM BUFFER
- EX GARB
- EX PAVEMENT/EDGE OF GUTTER
- EX HALK
- EX STREAM/POND
- EX TRELLIS
- EX TREE
- EX STORM DRAIN
- EX SANITARY LINE
- EX WATERLINE
- EX GAS LINE
- EX UNDERGROUND ELECTRIC
- EX OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- RESURFER
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



No.	DATE	REVISIONS
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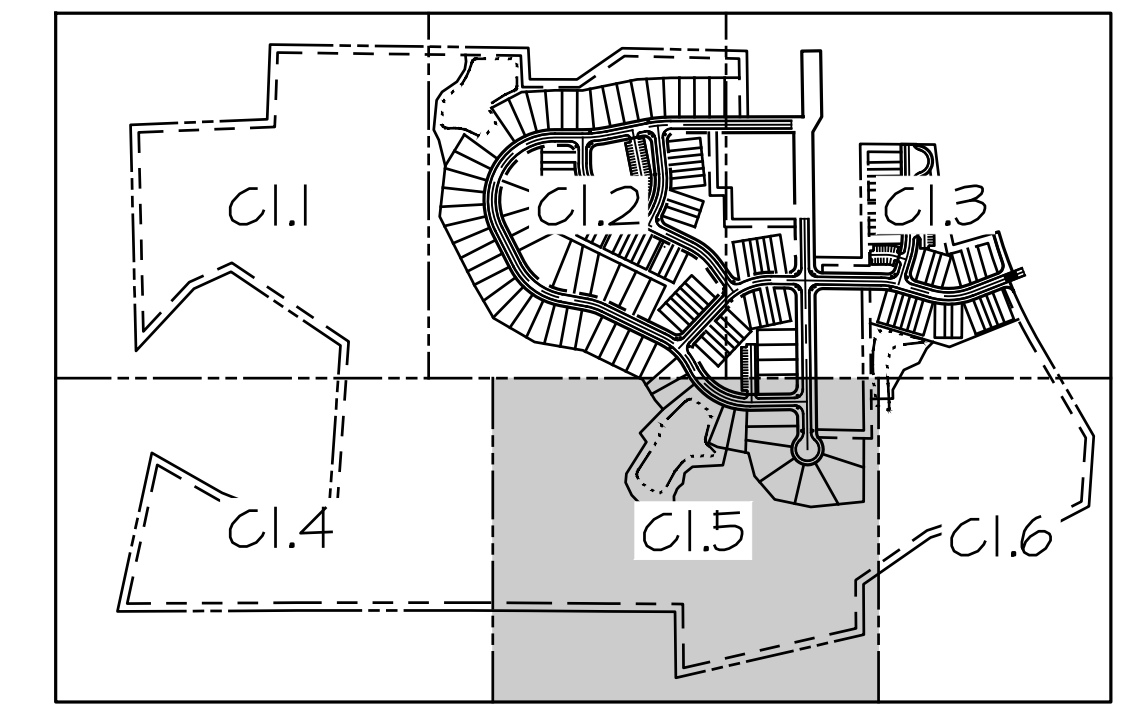
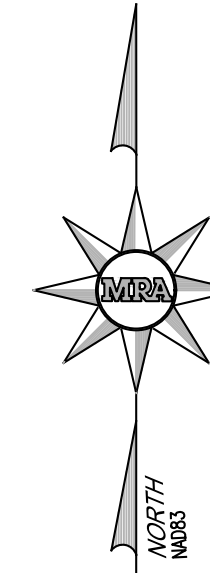
**SITE PLAN - SHEET 4 OF 6**  
FOR  
**HARRIS CREEK FARMS**  
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



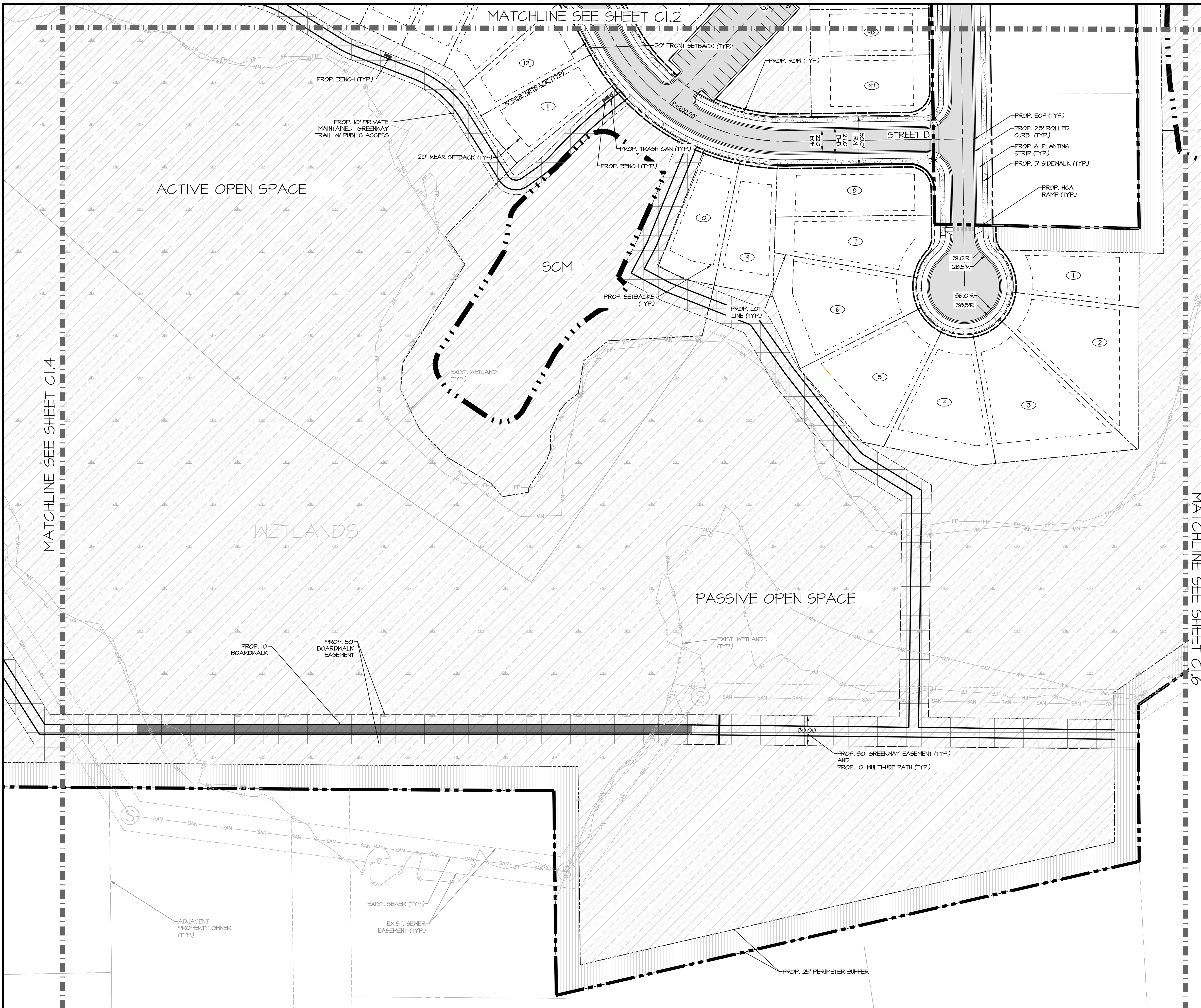
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STATUS: PRELIMINARY NOT FOR CONSTRUCTION REVISION SHEET: B C1.4

MATCHLINE SEE SHEET C1.2



KEY PLAN  
NOT TO SCALE

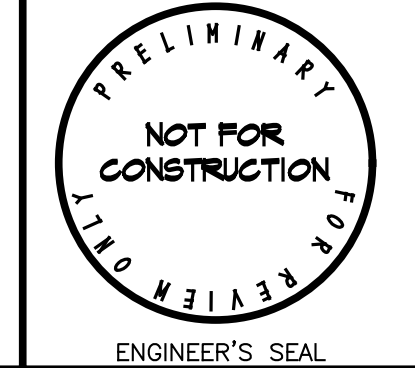


MATCHLINE SEE SHEET C1.4

MATCHLINE SEE SHEET C1.6

LEGEND

- PR. RIGHT OF WAY
- PR. LOT LINE/PARCEL LINE
- PR. EASEMENT
- PR. BUILDING
- PR. CURB & GUTTER
- PR. ROAD CONTROL LINE
- PR. RETAINING WALL
- PR. LIGHT DUTY PAVEMENT
- PR. HEAVY DUTY PAVEMENT
- PR. SCH ACCESS EASEMENT
- PR. OPEN SPACE
- PR. IMPROVED OPEN SPACE
- PR. ACTIVE OPEN SPACE
- PR. FENCE
- PR. HANDICAP PARKING
- PR. HANDICAP RAMP
- PR. LOT NUMBER
- PR. OPEN SPACE
- PR. PARKING SPACE COUNT
- PR. LIMIT OF DISTURBANCE
- PR. TREE PROTECTION FENCE
- PR. TRELLIS
- PR. I' CONTOUR
- EX. I' CONTOUR
- EX. F' CONTOUR
- EX. F' CONTOUR
- EX. F' CONTOUR
- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT PROPERTY LINE
- EX. EASEMENT
- EX. FLOOR PLAN
- EX. NON-TIDAL WETLAND
- EX. STREAM BUFFER
- EX. GARB
- EX. PAVEMENT/EDGE OF GUTTER
- EX. HALK
- EX. STREAM/POND
- EX. TRELLIS
- EX. TREE
- EX. STORM DRAIN
- EX. SANITARY LINE
- EX. WATERLINE
- EX. GAS LINE
- EX. UNDERGROUND ELECTRIC
- EX. OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WATER METER
- POWER POLE
- LIGHT POLE
- PROP. TRASH CAN
- PROP. BENCH



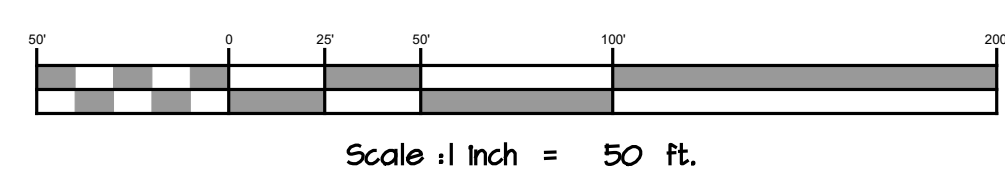
SITE PLAN - SHEET 5 OF 6  
FOR  
HARRIS CREEK FARMS  
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



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ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS  
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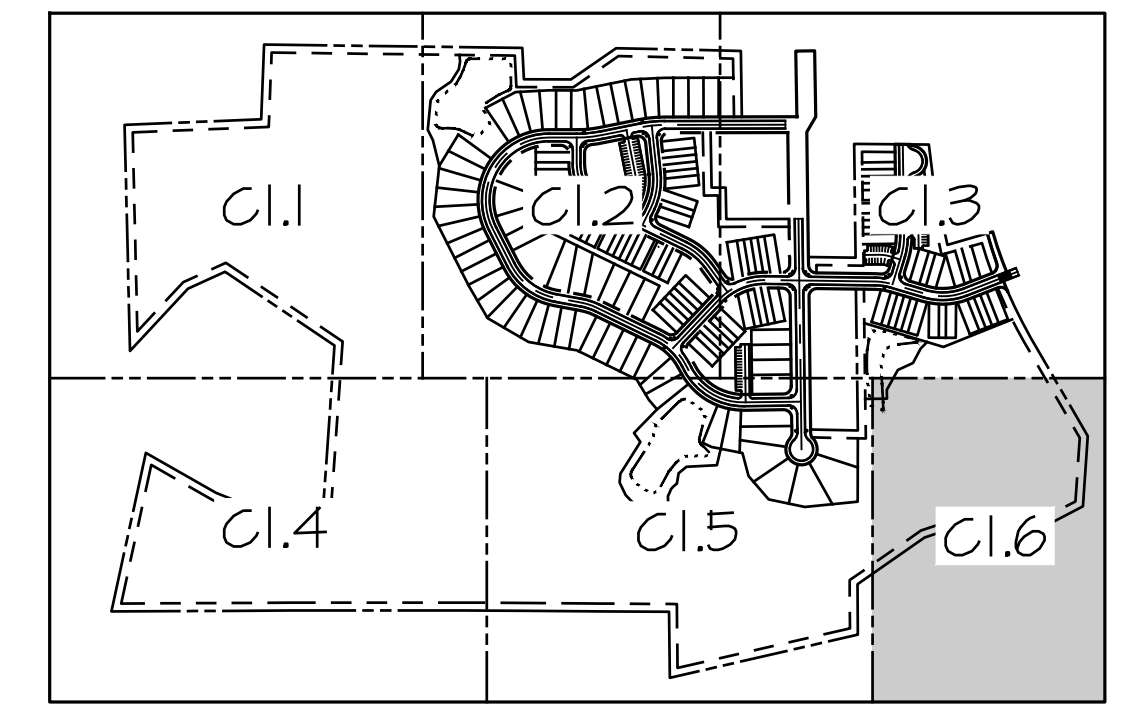
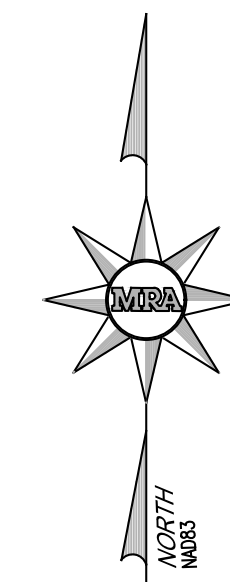
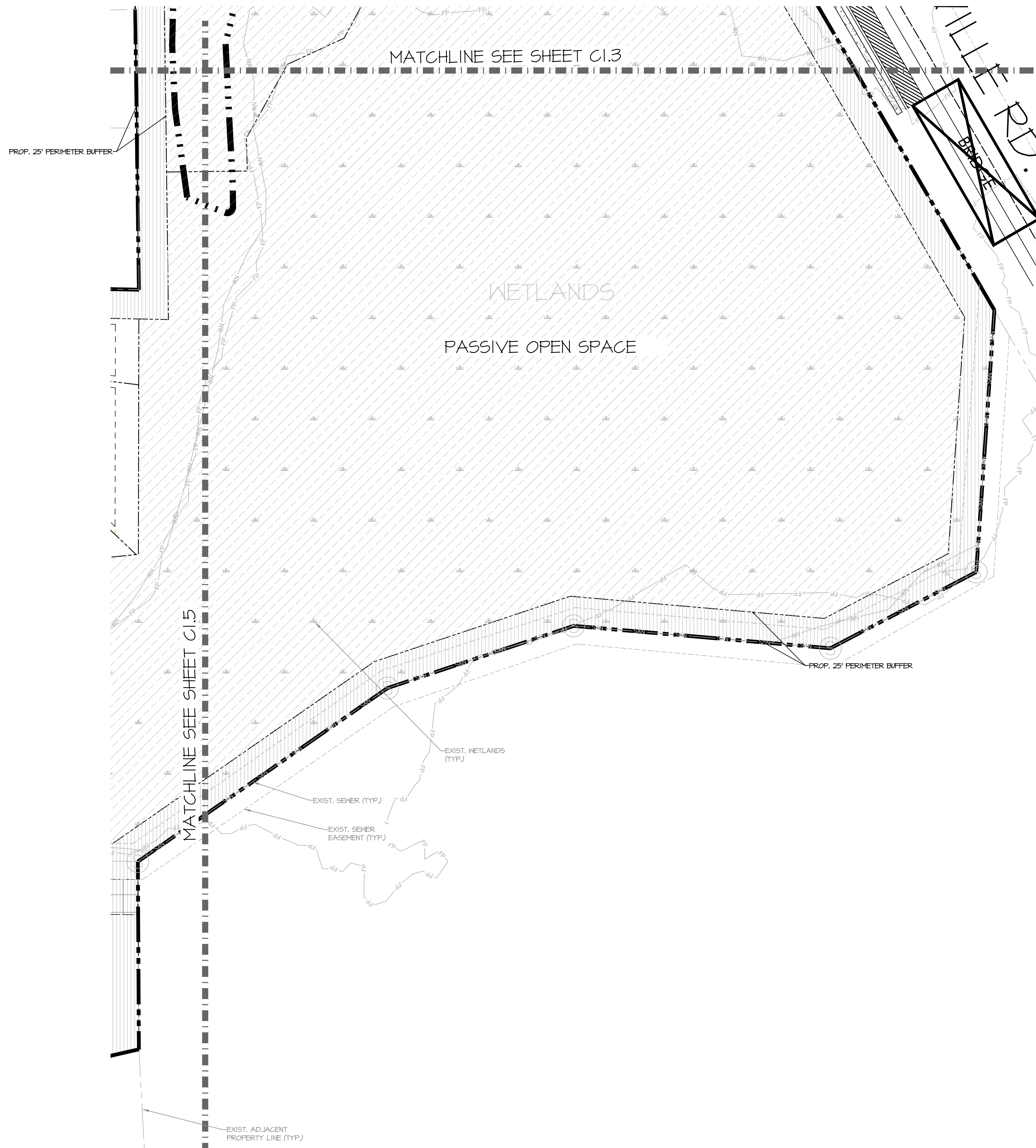
No.	DATE	REVISIONS	
A	9/30/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	JOB NO. 21790
B	12/01/2022	REVISED PER TOWN OF ROLESVILLE COMMENTS	SCALE: AS SHOWN
			DATE: 6/1/2022
			ENGINEER: JMK
			DRAWN BY: ER/JM
			DESIGN BY: PKN
			REVIEW BY: JMK

STATUS: PRELIMINARY NOT FOR CONSTRUCTION REVISION B SHEET: C1.5



SA\PROJECTS\2021\121790 - Jonesville RA\20-10E\10 Prelim\LOT\1- SITE PLAN.dwg, 12/1/2022 12:07:20 PM, Copyright 2022 Morris & Ritchie Associates, Inc.

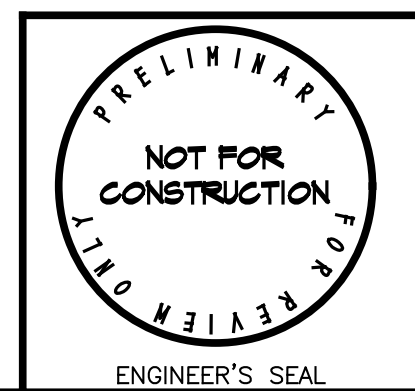




KEY PLAN  
NOT TO SCALE

LEGEND

- PR, RIGHT OF WAY
- PR, LOT LINE/PARCEL LINE
- PR, EASEMENT
- PR, BUILDING
- PR, CURB & GUTTER
- PR, ROAD CONTROL LINE
- PR, RETAINING WALL
- PR, ROAD CONTROL LINE
- PR, HEAVY DUTY PAVEMENT
- PR, LIGHT DUTY PAVEMENT
- 20' PERIMETER BUFFER
- PR, SCH ACCESS EASEMENT
- PR, OPEN SPACE
- PR, IMPROVED OPEN SPACE
- PR, ACTIVE OPEN SPACE
- PR, FENCE
- PR, HANDICAP PARKING
- PR, HANDICAP RAMP
- PR, LOT NUMBER
- PR, OPEN SPACE
- PR, PARKING SPACE COUNT
- PR, LIMIT OF DISTURBANCE
- PR, TREE PROTECTION FENCE
- PR, TRELLIS
- PR, F' CONTOUR
- EX, F' CONTOUR
- EX, F' CONTOUR
- EX, F' CONTOUR
- EX, PROPERTY LINE
- EX, RIGHT-OF-WAY
- EX, ADJACENT PROPERTY LINE
- EX, EASEMENT
- EX, FLOORPLAN
- EX, NON-TIDAL WETLAND
- EX, STREAM BUFFER
- EX, BUILDING
- EX, GARB
- EX, PAVEMENT/EDGE OF GUTTER
- EX, HALK
- EX, STREAM/POND
- EX, TRELLIS
- EX, TREE
- EX, STORM DRAIN
- EX, SANITARY LINE
- EX, WATERLINE
- EX, GAS LINE
- EX, UNDERGROUND ELECTRIC
- EX, OVERHEAD ELECTRIC
- EXISTING PROPOSED
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WATER METER
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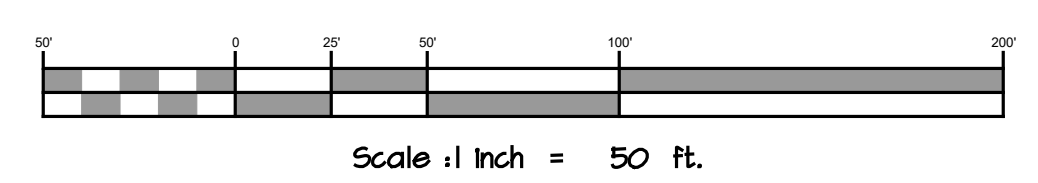
**SITE PLAN - SHEET 6 OF 6**  
FOR  
**HARRIS CREEK FARMS**  
TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA



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No.	DATE	REVISIONS
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		JOB NO. 21790
		SCALE: AS SHOWN
		DATE: 6/1/2022
		ENGINEER: JMK
		DRAWN BY: ER/JJM
		DESIGN BY: PKN
		REVIEW BY: JMK

STATUS: **PRELIMINARY NOT FOR CONSTRUCTION** REVISION: **B** SHEET: **C1.6**



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