



L:\Projects\201903\1903 - Wal Road\DWG\CS - Preliminary Plots\Sheets\C19003-CO.00 Cover.dwg Apr 01, 2022 11:35am

GENERAL NOTES:
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION...
2. EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY STEWART...
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES...
4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE...

EXISTING CONDITION NOTES:
1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON THE PROPERTY OF WFYN, LLC, PIN NO'S 18090590448, 1800056400, 1860045778 & 1860143789...
2. THE PROPERTY LINES SHOWN HEREON HAVE BEEN CONFIRMED FROM A SURVEY BY STEWART ENGINEERING DATED FEBRUARY 7, 2018...
3. HORIZONTAL DATUM IS NAD 83 (2011). NO NGCS MONUMENTS WERE FOUND WITHIN 2000 FEET...
4. THE INITIAL STATE PLANE POSITIONS FOR THIS SURVEY WERE SCALED FROM GRID TO GROUND FROM 905.93271' N, 2.159.67779' E...

DEMOLITION NOTES:
1. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COOL JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.
2. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
3. CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND RAISED TO BE FLUSH WITH NEW GRADE.
4. ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER...
5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS...
6. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS...

SITE NOTES:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES...
2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS...
3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED...

GRADING AND STORM DRAINAGE NOTES:
1. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
2. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE...
3. ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF SEDIMENT AND DEBRIS...
5. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM...
6. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION...
7. INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT...

SEWER NOTES:
1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.
2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.
3. MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE...
4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
4" SEWER SERVICE - 2.00% SLOPE
6" SEWER SERVICE - 1.00% SLOPE
8" SEWER SERVICE - 0.50% SLOPE
5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION...
6. SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE...
7. SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM...
8. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

WATER NOTES:
1. AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI-AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM 888...
2. ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
3. TESTING NOTES:
PRESSURE:
LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 600. MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION. BACTERIOLOGICAL:
TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS APART...
4. THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE...
5. PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

UTILITY NOTES:
1. UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.
2. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS...
3. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON-SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
4. THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS...
6. THE CONTRACTOR SHALL NOT RE-USE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT...
7. ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE...
10. AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL UTILITY INSTALLATION, HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM INCLUDING ALL STRUCTURES, VALVES, HYDRANTS, AND OTHER APPURTENANCES.

PROPOSED UTILITY SEPARATION:
1. WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH CASE:
a. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
b. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
2. CROSSING A WATER MAIN OVER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER...
3. CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING...
4. SEPARATION OF SANITARY SEWERS AND STORM SEWERS:
a. A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF FERROUS MATERIALS.

SEWER NOTES:
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4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES:
4" SEWER SERVICE - 2.00% SLOPE
6" SEWER SERVICE - 1.00% SLOPE
8" SEWER SERVICE - 0.50% SLOPE
5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION...
6. SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE...
7. SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM...
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TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS APART...
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5. PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

MATERIALS AND FURNISHINGS NOTES:
1. ABBREVIATIONS FOR SPECIFIC HARDCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SET'S HARDCAPE & FURNISHINGS PLANS, PAVING PATTERN PLANS AND SITE DETAILS.
2. REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR FURTHER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE.
3. CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCK-UPS FOR ALL CAST IN PLACE CONCRETE FOR APPROVAL BY LANDSCAPE ARCHITECT.

PAVING PATTERN NOTES:
1. END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF SIZE PAVER UNLESS OTHERWISE NOTED. USE OVERSIZE PAVERS WHERE PATTERN ENDS ON A UNIT SMALLER THAN HALF SIZE.
2. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS AS INDICATED ON THIS PLAN. REFERENCE LAYOUT PLANS FOR FURTHER PAVING LAYOUT INFORMATION.
3. PAVERS ABUTTING TRUNCATED DOMES SHALL BE A CONTRASTING COLOR.
4. ALIGN ALL TRUNCATED DOME PAVER JOINTS WITH ABUTTING PAVER JOINTS.
5. PROVIDE CONTINUOUS EXPANSION JOINTS BETWEEN BACK OF CURB AND ADJOINING PAVEMENT.
6. PROVIDE CONTINUOUS EXPANSION JOINT BETWEEN ALL VERTICAL SURFACES AND ADJOINING PAVEMENT.
7. ALL DIMENSIONS MEASURED TO CENTERLINE OF JOINTS.
8. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
9. ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.
10. ALIGN ALL JOINTS, CORNERS AND EDGES AS SHOWN.
11. FINAL LAYOUTS TO BE APPROVED BY LANDSCAPE ARCHITECT.

SIGNAGE, STRIPING AND MARKING NOTES:
1. ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING ONTO PUBLIC THROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY PER DOT STANDARDS.
2. ALL PAVEMENT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS AND DIMENSIONS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT.
3. CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS...
4. ADA SYMBOLS SHOWN THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE.

STEWART
223 S. WEST ST., #1100
RALEIGH, NC 27603
FIRM LICENSE # C-1051
www.stewartinc.com
PROJECT # C19003

Client:
PULTE HOMES
CHRIS RAUGLEY
1224 CRESCENT GREEN
CARY, NC 27518
PHONE (919)816-1100

Vicinity map:
[Map showing project location]
NORTH

Seal:
PRELIMINARY - DO NOT USE FOR CONSTRUCTION
[North Carolina Professional Engineer Seal: R. AD BARDUCCI, ENGINEER, No. 26322, Expiration 03/31/2022]

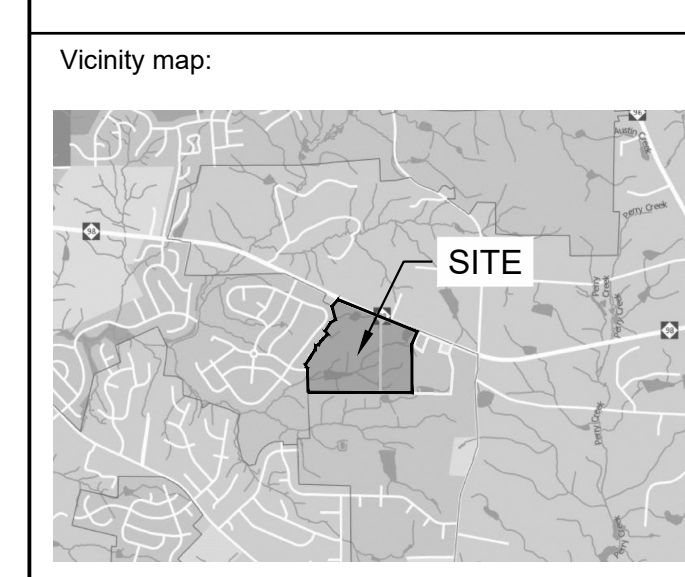
Project:
FORMER THALES SITE

Issued for:
PRELIMINARY PLAT
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2. 12/23/2021 3RD SUBMITTAL
4. 03/31/2022 5TH SUBMITTAL

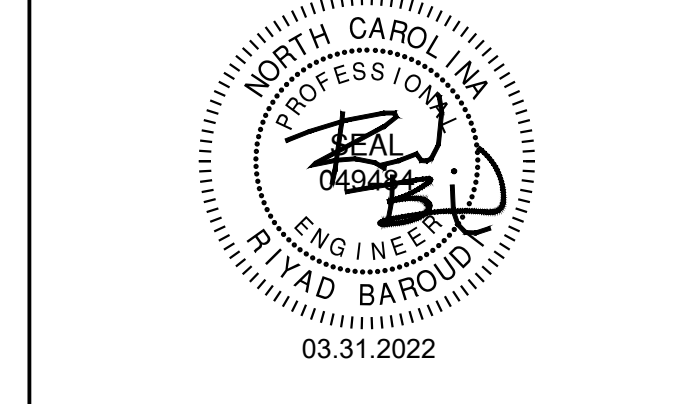
Title:
GENERAL NOTES

Project number: C19003 Sheet #:
Issued Date: 12.23.2020
Drawn by: MD
Approved by: RGB
C0.10

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



Project:  
**FORMER THALES  
 SITE**

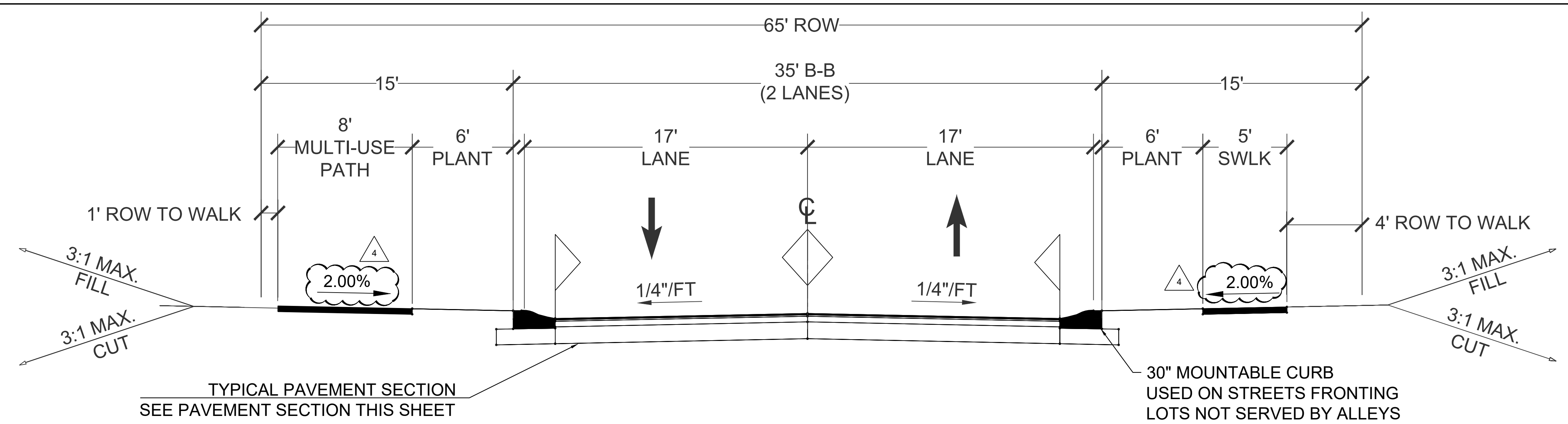
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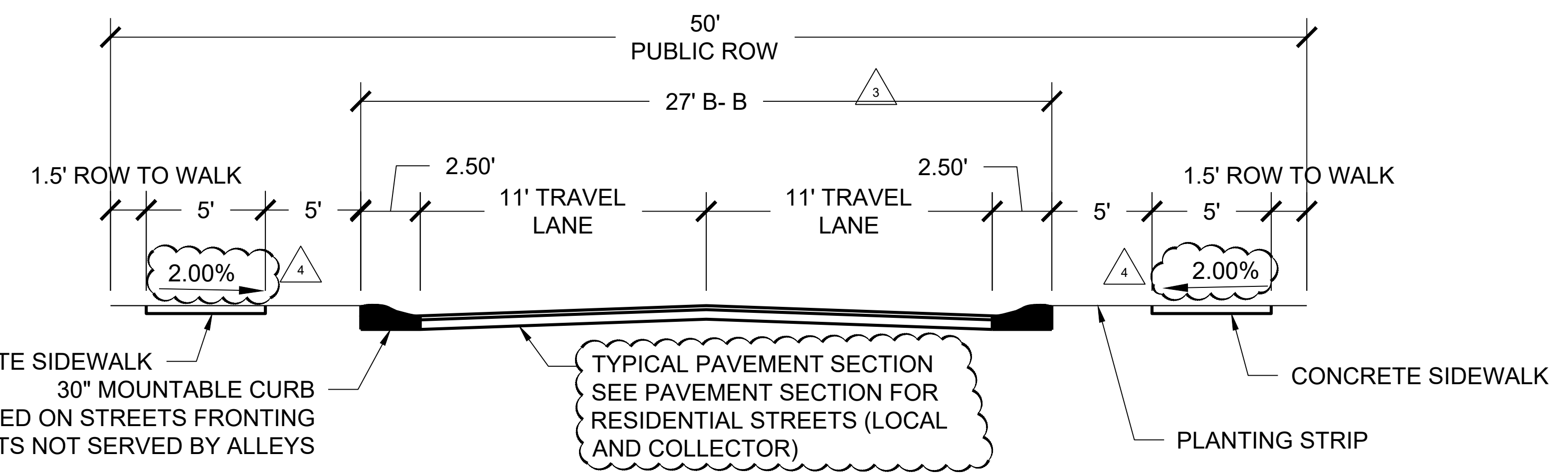
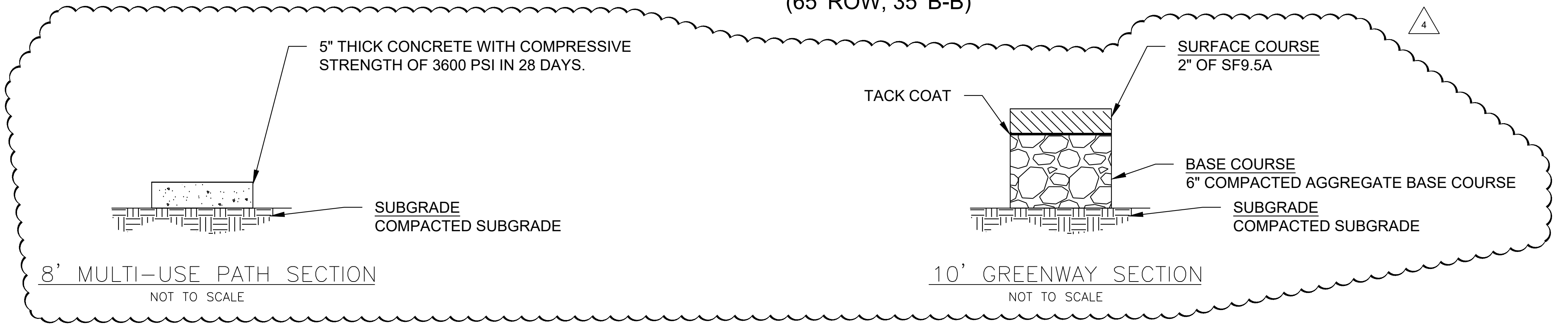
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2	12/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

Title:  
**TYPICAL SECTIONS &  
 BUFFERS**

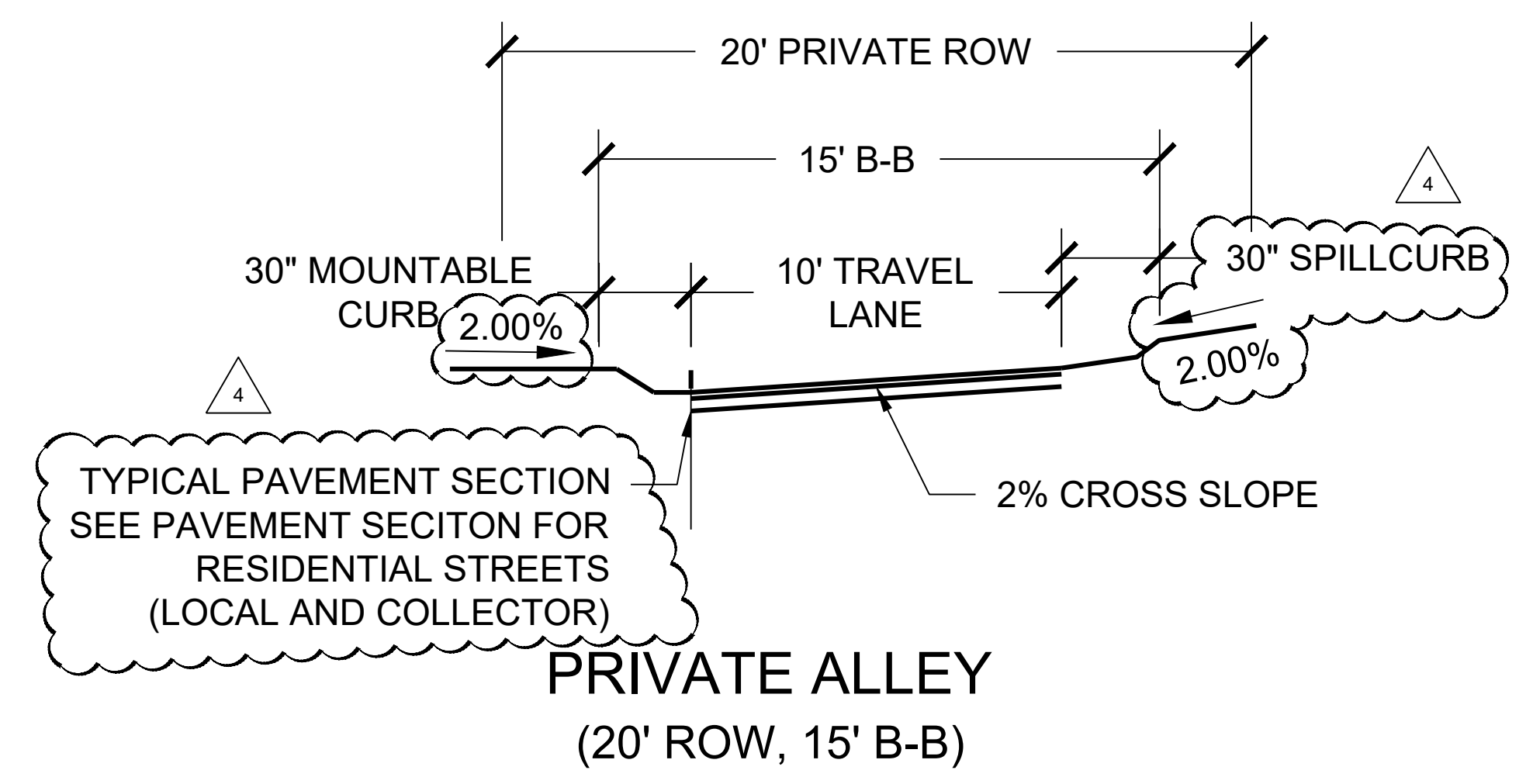
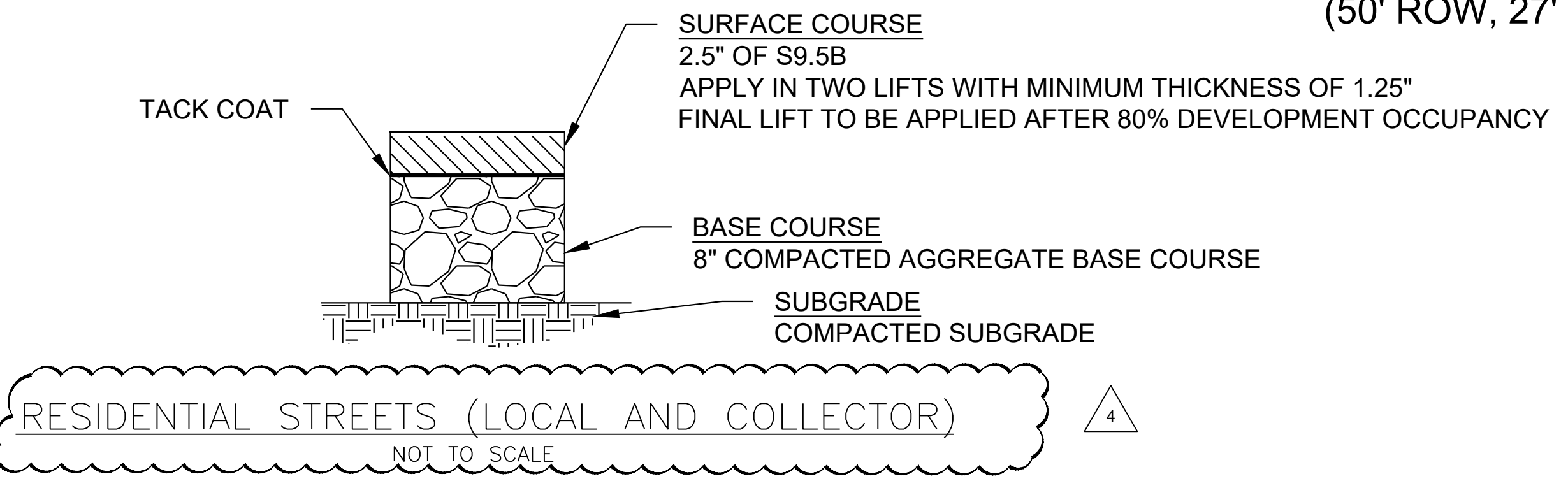
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 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB



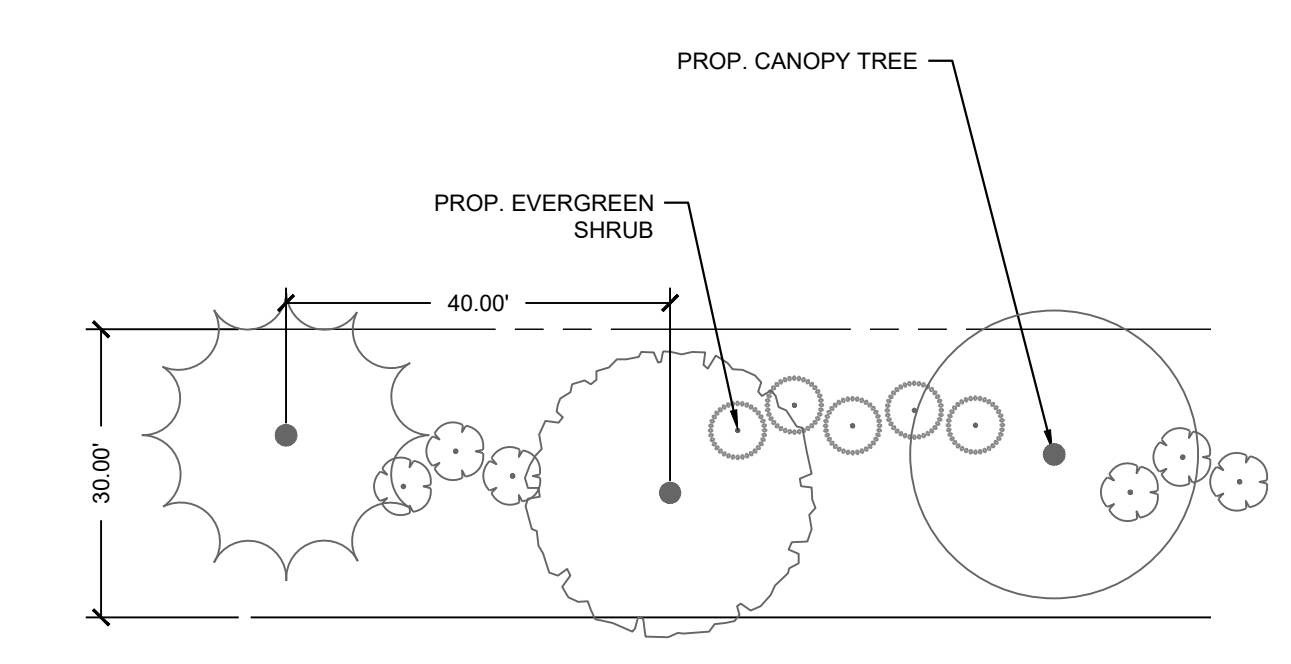
**RESIDENTIAL COLLECTOR STREET**  
 (65' ROW, 35' B-B)



**LOCAL RESIDENTIAL STREET**  
 (50' ROW, 27' B-B)

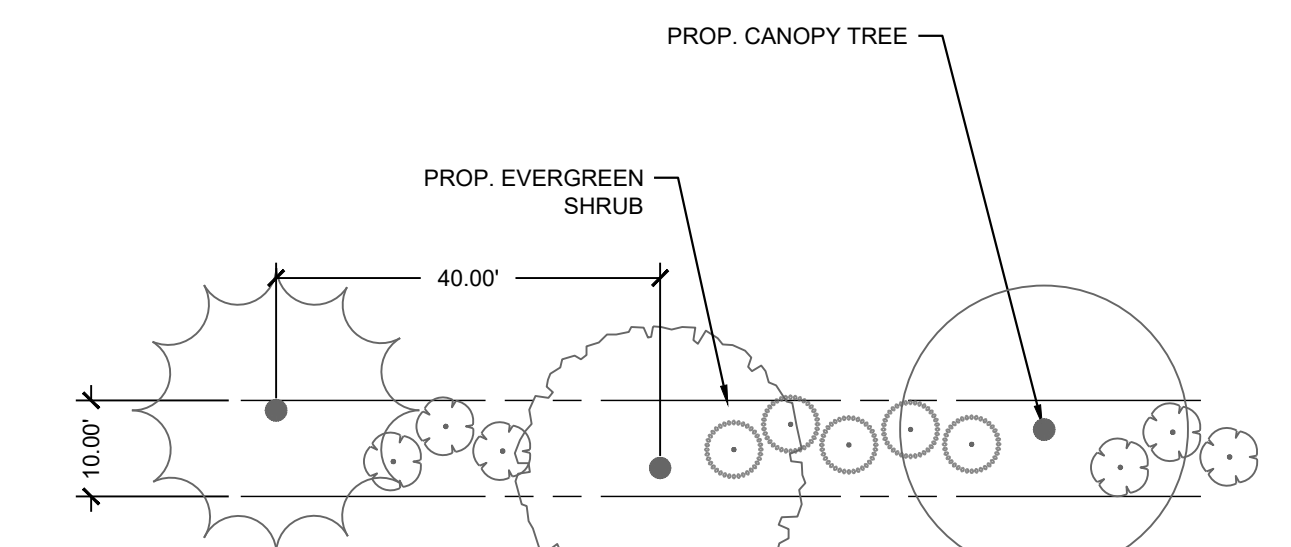


**PRIVATE ALLEY**  
 (20' ROW, 15' B-B)



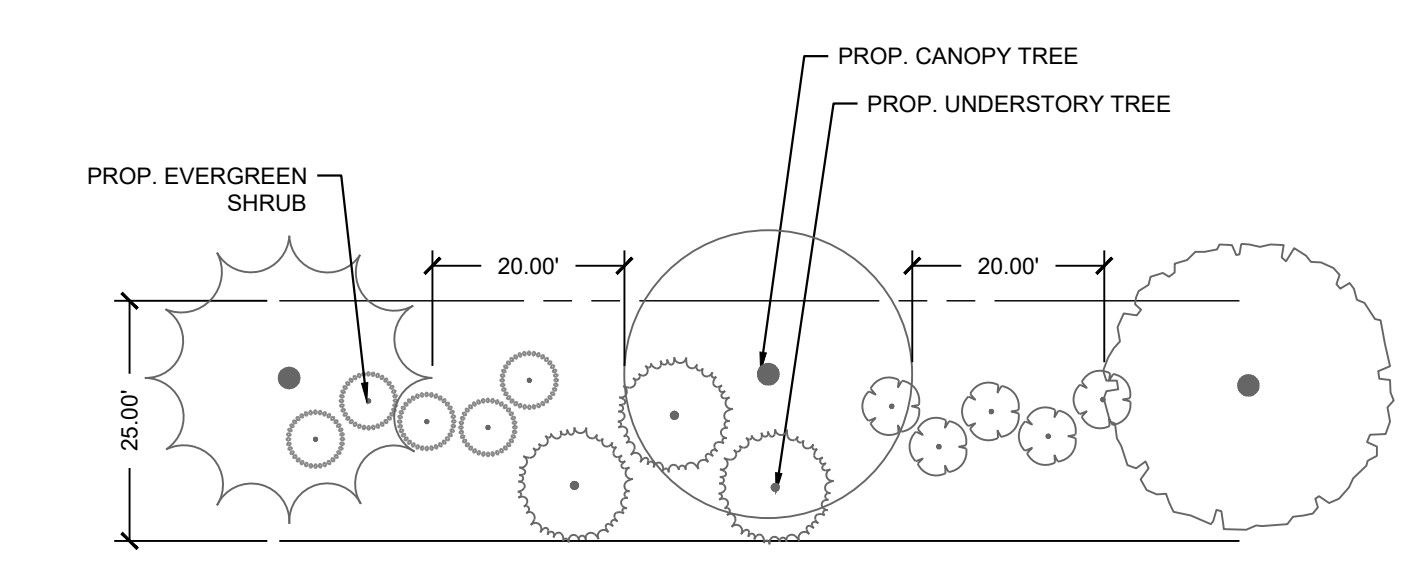
**TYPE "D" STREET FRONT BUFFER**  
 SCALE: 1" = 20'

**30' STREET FRONT TYPE 'D' BUFFER (TYP.):**  
 1 DECIDUOUS OR EVERGREEN TREE / 40' OF FRONTAGE  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE  
 REQUIREMENT WITHIN BUFFER WHERE APPLICABLE



**TYPE "D" STREET FRONT BUFFER**  
 SCALE: 1" = 20'

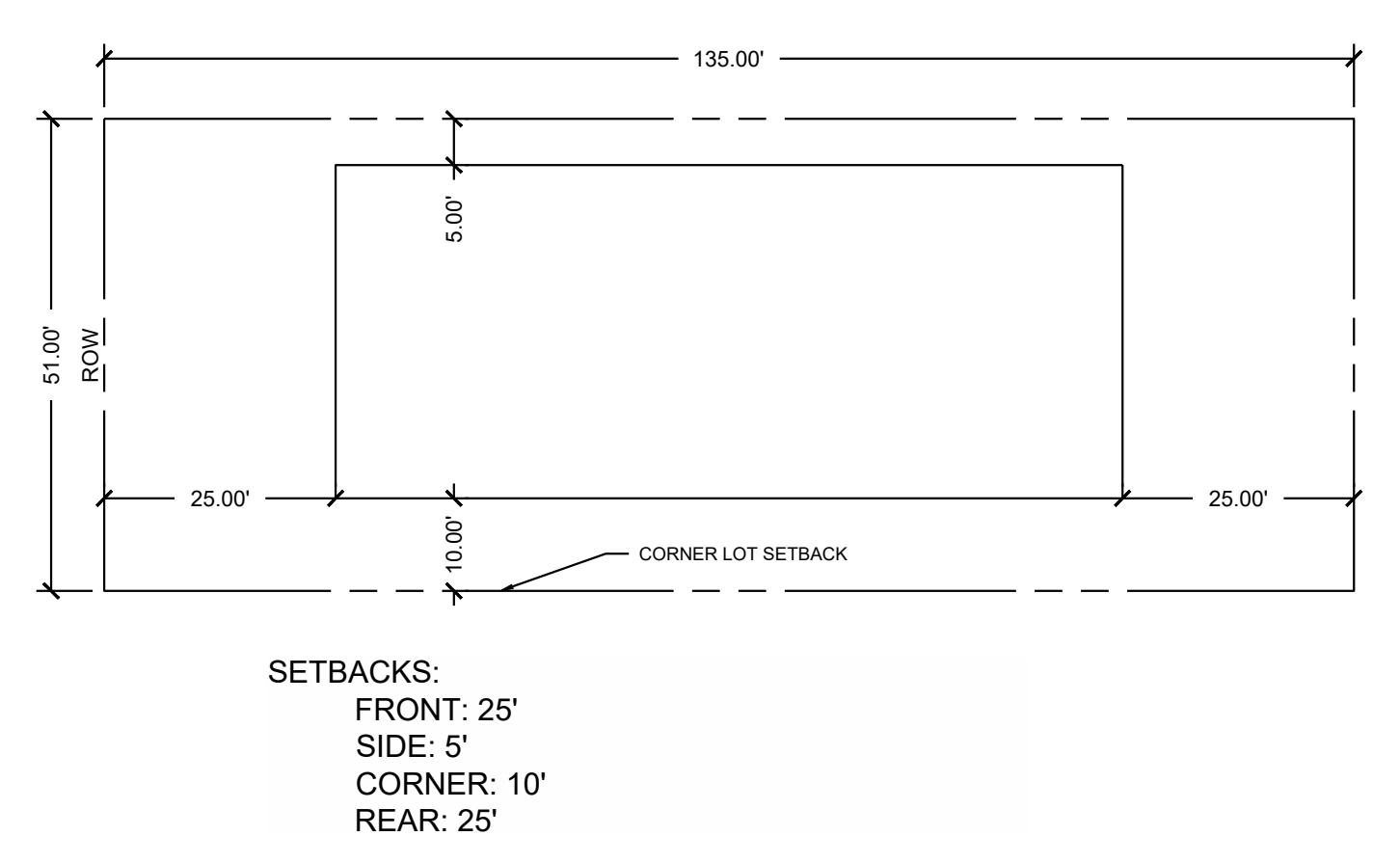
**10' STREET FRONT TYPE 'D' BUFFER (TYP.):**  
 1 DECIDUOUS OR EVERGREEN TREE / 40' OF FRONTAGE  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE  
 REQUIREMENT WITHIN BUFFER WHERE APPLICABLE



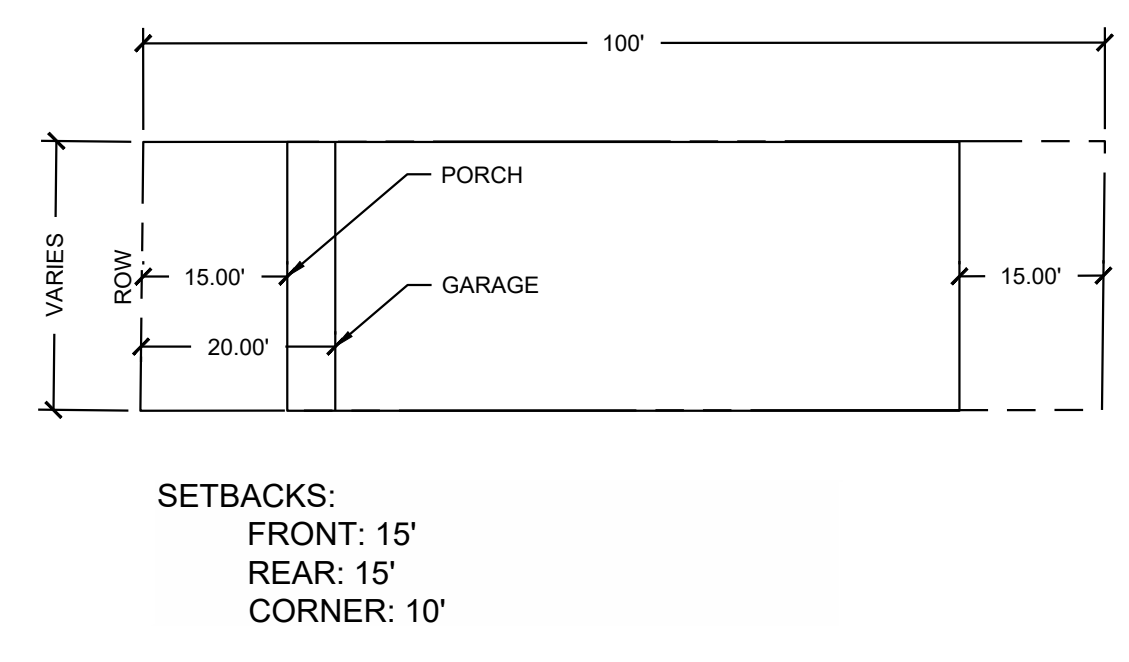
**TYPE "B" LANDSCAPE BUFFER**  
 SCALE: 1" = 20'

**25' TYPE 'B' BUFFER (TYP.):**  
 CANOPY TREES AT 20' MIN. HEIGHT - < 20' BETWEEN MATURE CANOPIES  
 50% EVERGREEN SHRUBS REQ. AT MIN. OF 3' IN HEIGHT  
 NOTE: EXISTING CANOPY TREES TO PARTIALLY FULFILL CANOPY TREE  
 REQUIREMENT WITHIN BUFFER WHERE APPLICABLE

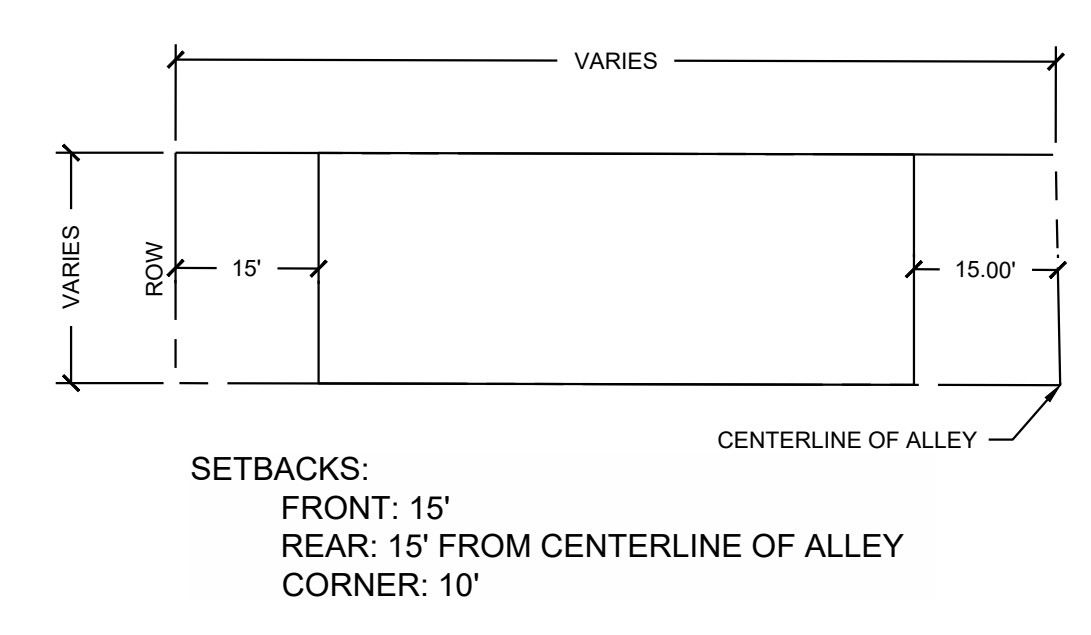
NOTE:  
 • BUFFER REQUIREMENTS SHOWN ON L1.00  
 • BUFFER LOCATIONS SHOWN ON SITE PLAN



**R1 SINGLE FAMILY  
 RESIDENTIAL LOT**



**R3 TOWNHOUSE LOT**



**R3 TOWNHOUSE LOT  
 REAR LOADED ALLEY**

L:\Projects\2019\C19003 - Wal Road\DWGS - Preliminary Plat\Sheets\C19003-C0.00 Cover.dwg Apr 01, 2022 - 11:39am

Client:  
 PULTE HOMES  
 CHRIS RAUGHLLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:  


ALL  
 SUT  
 TC  
 TC  
 DR

Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION

Scale:  
 0 50 100 200  
 SCALE: 1"=100'  
 NORTH

Project:  
**FORMER THALES  
 SITE**

Issued for:  
**PRELIMINARY PLAT**

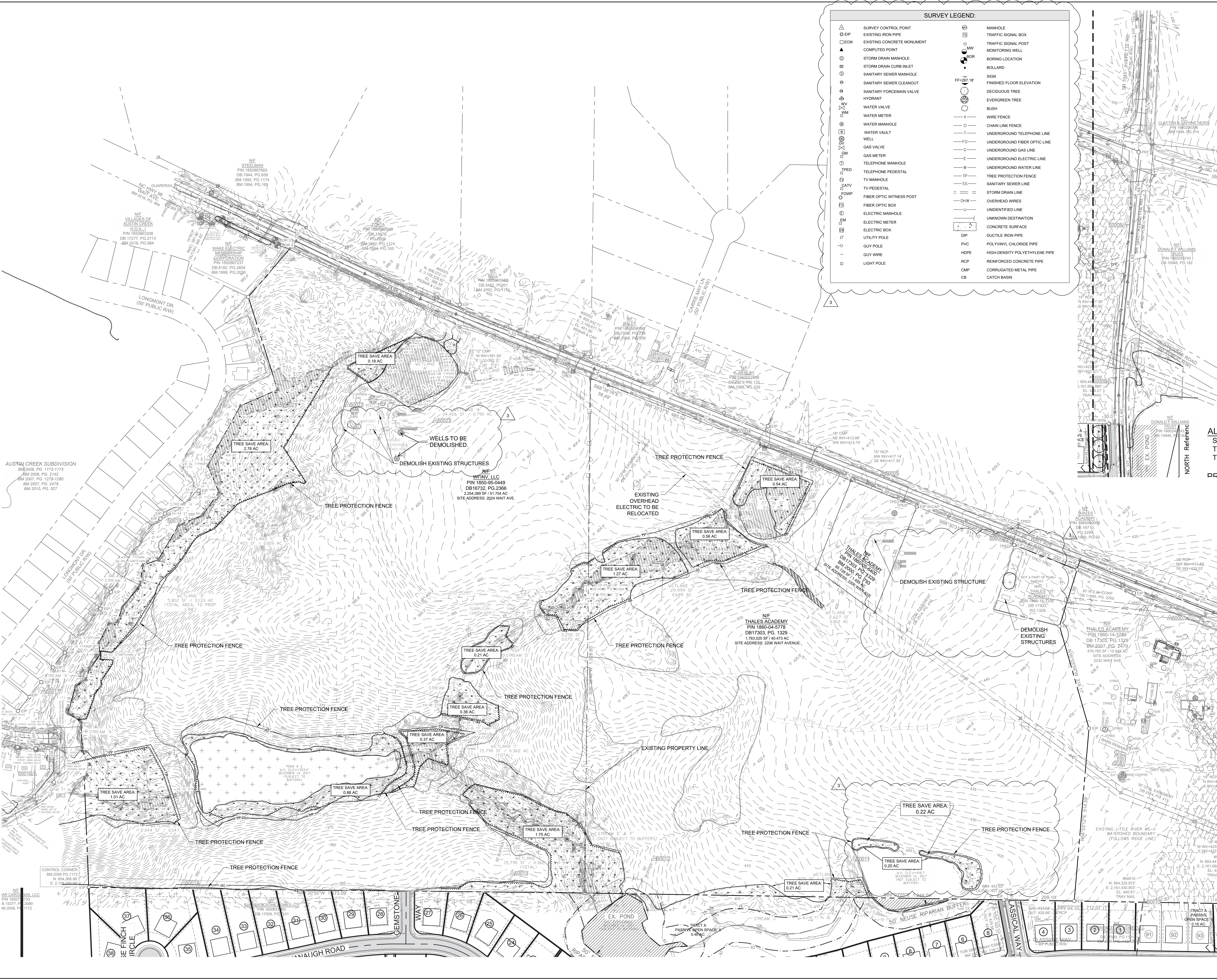
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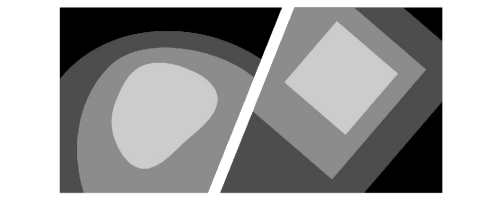
Title:  
**EXISTING CONDITIONS  
 PLAN**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB  
**C1.00**

**SURVEY LEGEND:**

△	SURVEY CONTROL POINT	⊙	MANHOLE
○	EIP	⊠	TRAFFIC SIGNAL BOX
□	EXISTING CONCRETE MONUMENT	⊡	TRAFFIC SIGNAL POST
▲	COMPUTED POINT	⊙	MONITORING WELL
⊙	STORM DRAIN MANHOLE	⊙	BORING LOCATION
⊙	STORM DRAIN CURB INLET	⊙	BOLLARD
⊙	SANITARY SEWER MANHOLE	⊙	SIGN
⊙	SANITARY SEWER CLEANOUT	⊙	FINISHED FLOOR ELEVATION
⊙	SANITARY FORCEMAIN VALVE	⊙	DECIDUOUS TREE
⊙	HYDRANT	⊙	EVERGREEN TREE
⊙	WATER VALVE	⊙	BUSH
⊙	WATER METER	⊙	WIRE FENCE
⊙	WATER MANHOLE	⊙	CHAIN LINK FENCE
⊙	WATER VAULT	⊙	UNDERGROUND TELEPHONE LINE
⊙	WELL	⊙	UNDERGROUND FIBER OPTIC LINE
⊙	GAS VALVE	⊙	UNDERGROUND GAS LINE
⊙	GAS METER	⊙	UNDERGROUND ELECTRIC LINE
⊙	TELEPHONE MANHOLE	⊙	UNDERGROUND WATER LINE
⊙	TELEPHONE PEDESTAL	⊙	TREE PROTECTION FENCE
⊙	TV MANHOLE	⊙	SANITARY SEWER LINE
⊙	TV PEDESTAL	⊙	STORM DRAIN LINE
⊙	FIBER OPTIC WITNESS POST	⊙	OVERHEAD WIRES
⊙	FIBER OPTIC BOX	⊙	UNIDENTIFIED LINE
⊙	ELECTRIC MANHOLE	⊙	UNKNOWN DESTINATION
⊙	ELECTRIC METER	⊙	CONCRETE SURFACE
⊙	ELECTRIC BOX	⊙	DUCTILE IRON PIPE
⊙	UTILITY POLE	⊙	PVC
⊙	GUY POLE	⊙	POLYVINYL CHLORIDE PIPE
⊙	GUY WIRE	⊙	HDPE
⊙	LIGHT POLE	⊙	HIGH-DENSITY POLYETHYLENE PIPE
		⊙	RCP
		⊙	REINFORCED CONCRETE PIPE
		⊙	CMP
		⊙	CORRUGATED METAL PIPE
		⊙	CB
		⊙	CATCH BASIN





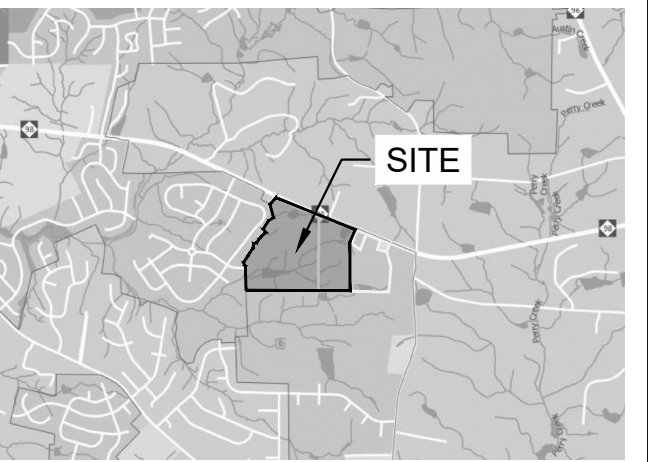
# STEWART

223 S. WEST ST., #100 FIRM LICENSE #: C-1051  
 RALEIGH, NC 27603 www.stewartnc.com  
 T 919.380.8750 PROJECT #: C19003

Client:

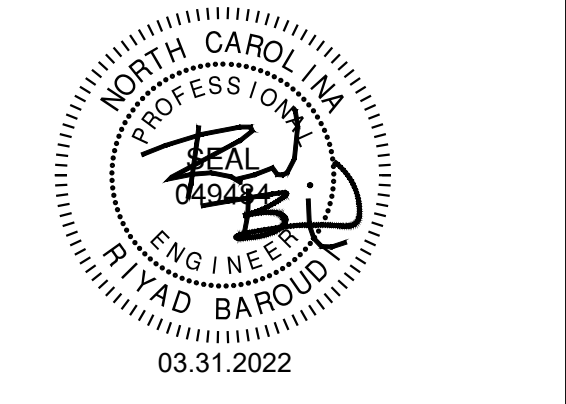
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 CHRIS RAUHLLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:



Seal:

**PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION**



SCALE: 1" = 100'

Project:

**FORMER THALES  
 SITE**

Issued for:

**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	1/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

Title:

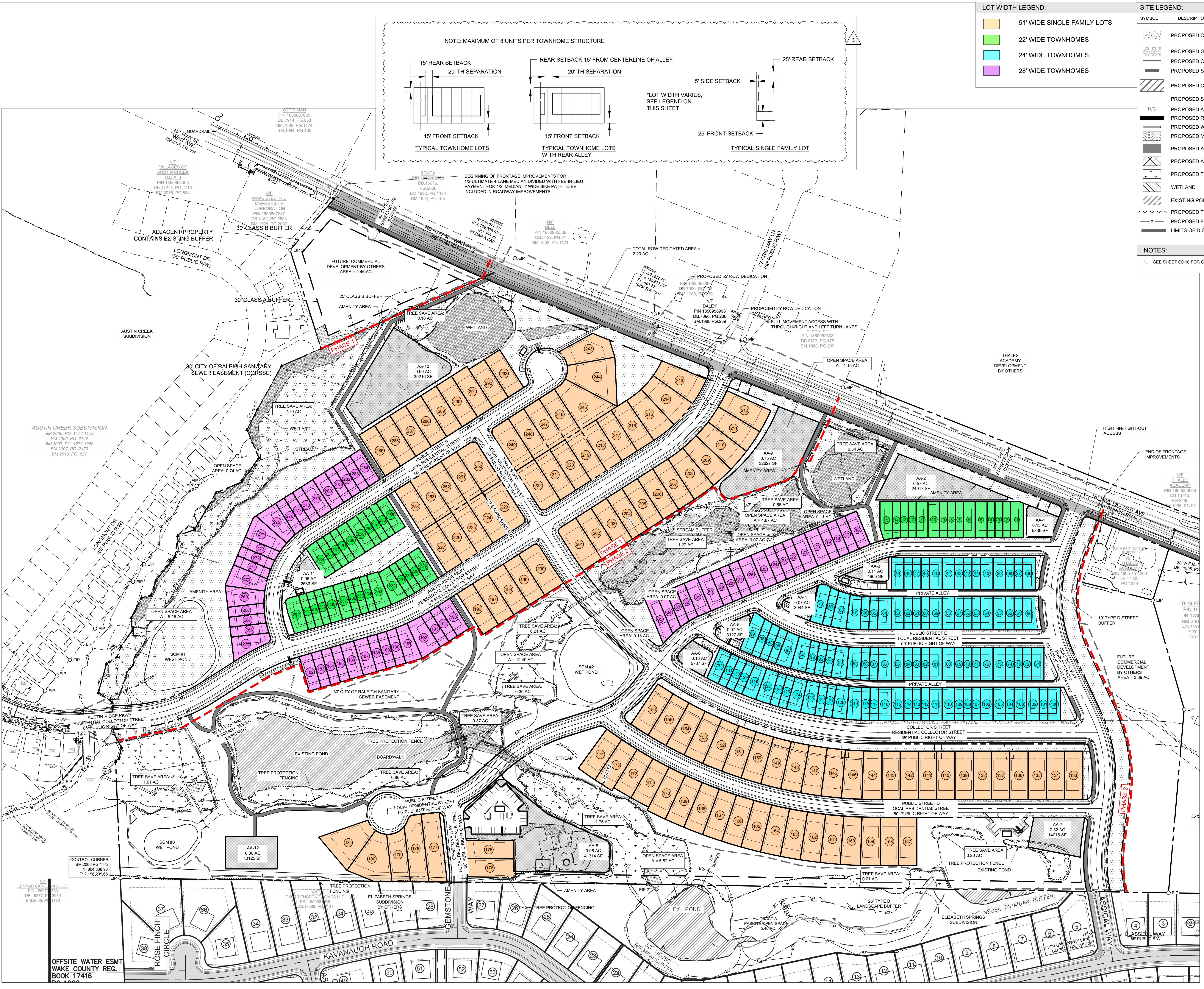
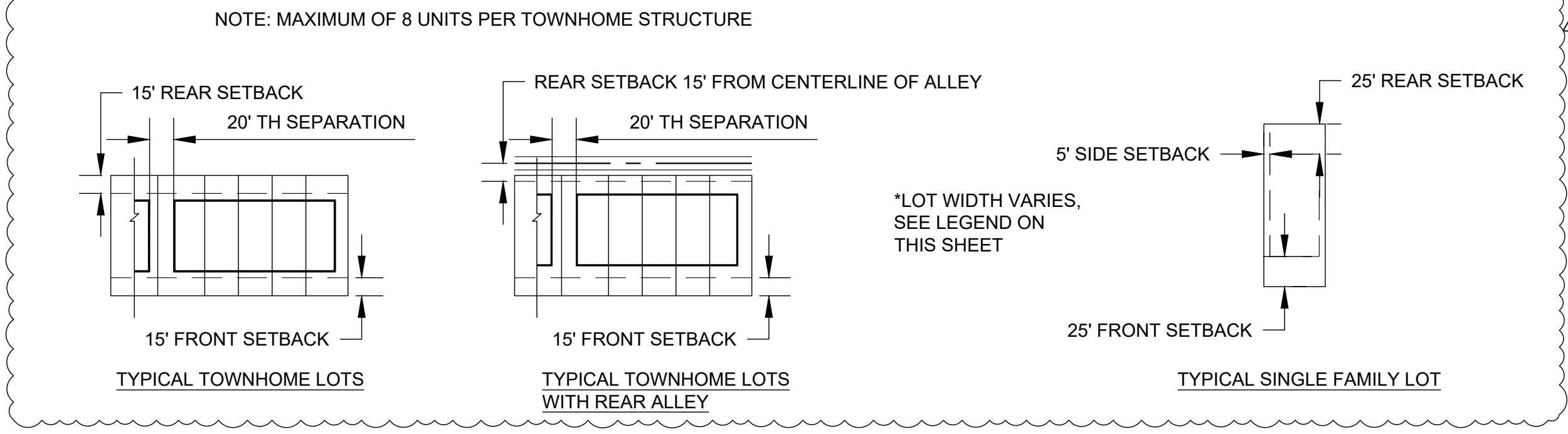
**OVERALL SITE PLAN**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB **C3.00**

	51' WIDE SINGLE FAMILY LOTS
	22' WIDE TOWNHOMES
	24' WIDE TOWNHOMES
	28' WIDE TOWNHOMES

SYMBOL	DESCRIPTION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRAVEL
	PROPOSED CURB & GUTTER
	PROPOSED STOP BAR
	PROPOSED CROSSWALK
	PROPOSED SIGN
	PROPOSED ADA PARKING SPACE
	PROPOSED RETAINING WALL
	PROPOSED WHEEL STOP
	PROPOSED MULCH
	PROPOSED ASPHALT TRAIL
	PROPOSED AMENITY AREA
	PROPOSED TREE SAVE AREA
	WETLAND
	EXISTING POND
	PROPOSED TRELLINE
	PROPOSED FENCE
	LIMITS OF DISTURBANCE

NOTES:  
 1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.



L:\Projects\2019\C19003 - Wake Road\DWG\C3.00 - Preliminary Plat\C3.00 Site Planning Mar 31, 2022 - 9:20pm

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

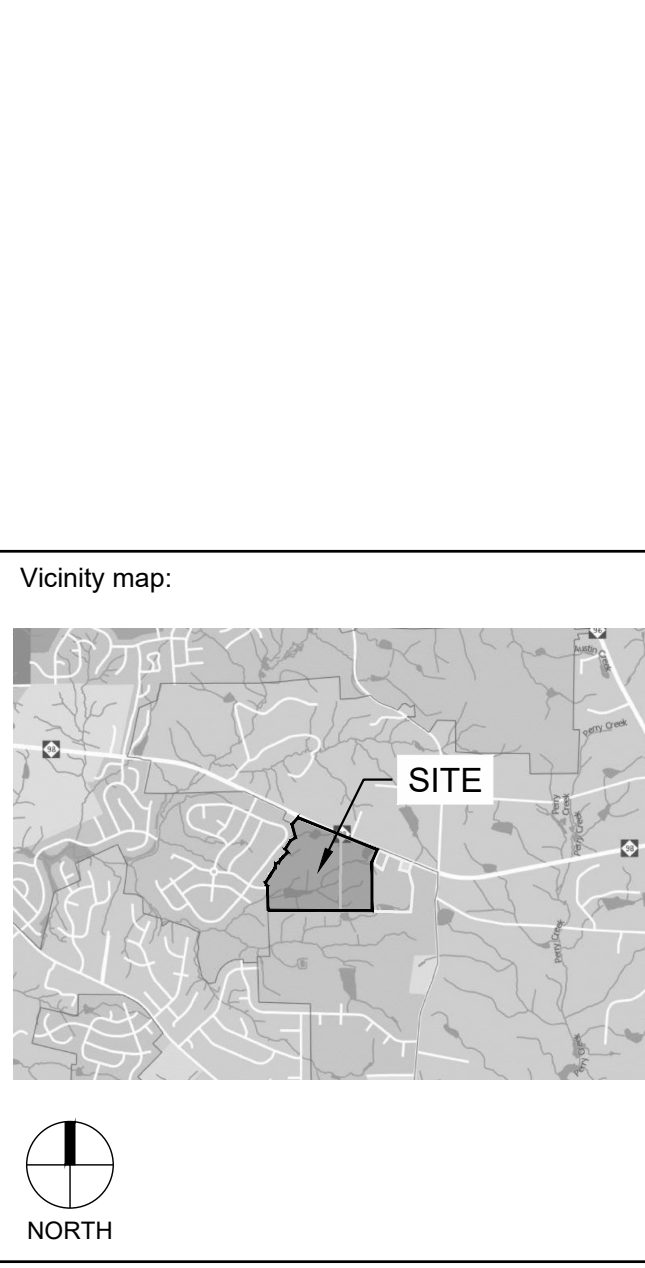
SITE LEGEND:	
SYMBOL	DESCRIPTION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRAVEL
	PROPOSED CURB & GUTTER
	PROPOSED STOP BAR
	PROPOSED CROSSWALK
	PROPOSED SIGN
	PROPOSED ADA PARKING SPACE
	PROPOSED RETAINING WALL
	PROPOSED WHEEL STOP
	PROPOSED MULCH
	PROPOSED ASPHALT TRAIL
	PROPOSED AMENITY AREA
	PROPOSED TREE SAVE AREA
	WETLAND
	EXISTING POND
	PROPOSED TREELINE
	PROPOSED FENCE
	LIMITS OF DISTURBANCE

NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.



Client:

PULTE HOMES  
CHRIS RAUGHLY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Project:

**FORMER THALES SITE**

Issued for:

**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	1/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL

Title:

**SITE PLAN NORTHWEST**

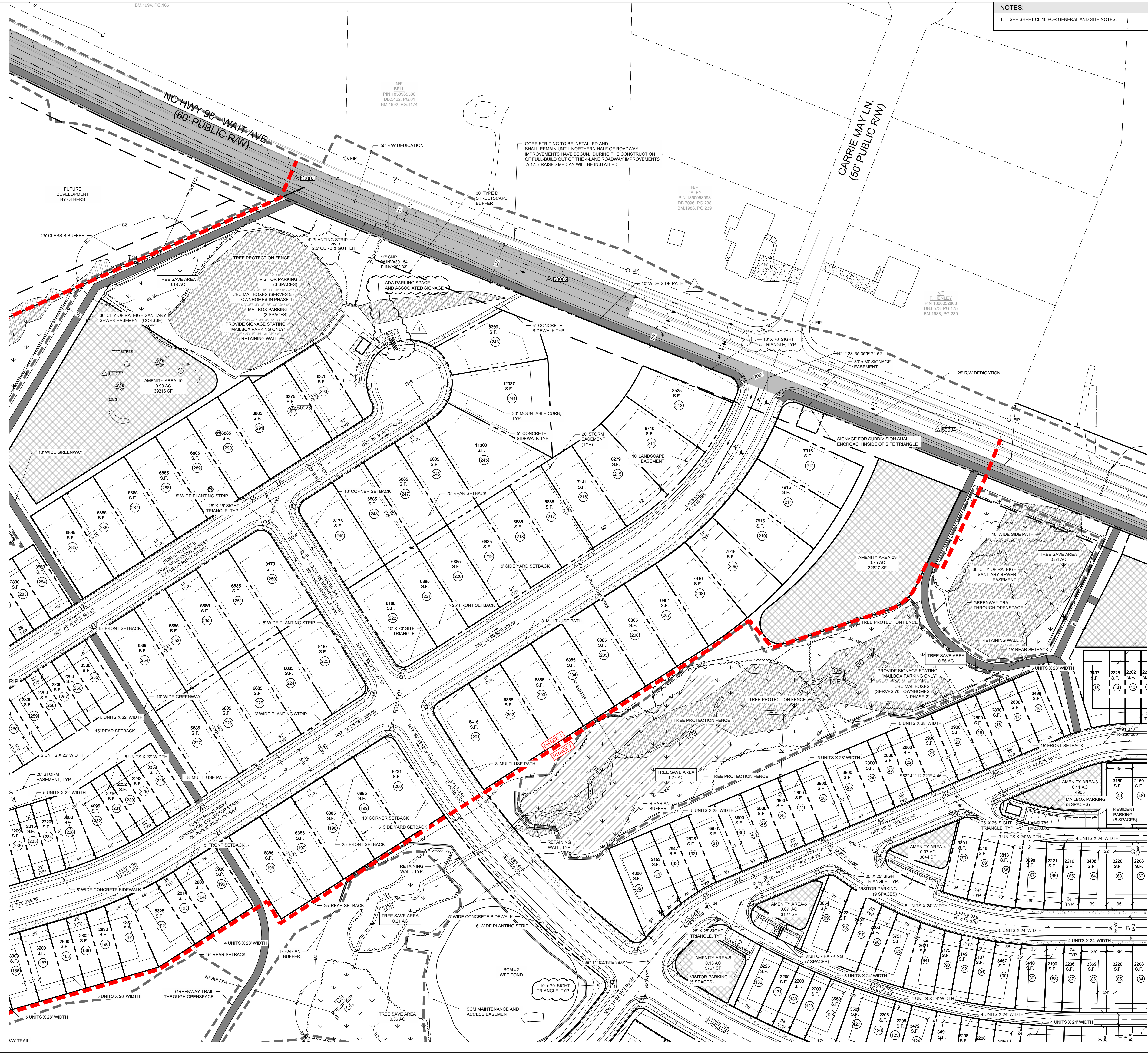
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	1/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL

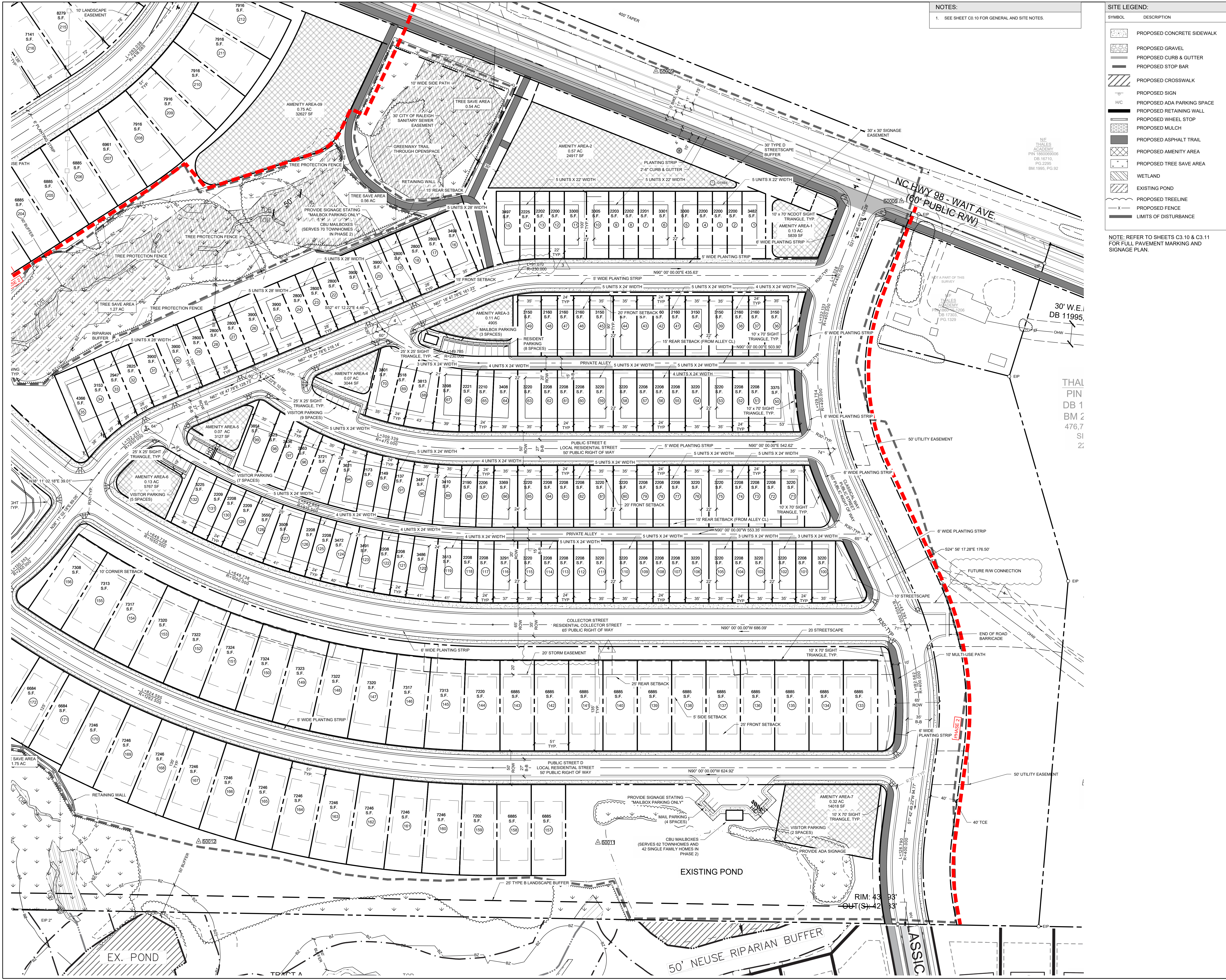
Project number: C19003 Sheet #:

Issued Date: 12.23.2020

Drawn by: MD **C3.01**

Approved by: RGB





**NOTES:**  
 1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

**SITE LEGEND:**

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Pattern]	PROPOSED SIGN
[Pattern]	PROPOSED ADA PARKING SPACE
[Pattern]	PROPOSED RETAINING WALL
[Pattern]	PROPOSED WHEEL STOP
[Pattern]	PROPOSED MULCH
[Pattern]	PROPOSED ASPHALT TRAIL
[Pattern]	PROPOSED AMENITY AREA
[Pattern]	PROPOSED TREE SAVE AREA
[Pattern]	WETLAND
[Pattern]	EXISTING POND
[Pattern]	PROPOSED TREELINE
[Pattern]	PROPOSED FENCE
[Pattern]	LIMITS OF DISTURBANCE

NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

**STEWART**

223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 FIRM LICENSE #: C-1051  
 www.stewartinc.com  
 PROJECT #: C19003

**Client:**

PULTE HOMES  
 CHRIS RAUGHLAY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

**Vicinity map:**

**Seal:**

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

03.31.2022

**Scale:**

SCALE: 1" = 50'

**Project:**

FORMER THALES SITE

**Issued for:**

PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	01/07/2022	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03.31.2022	5TH SUBMITTAL
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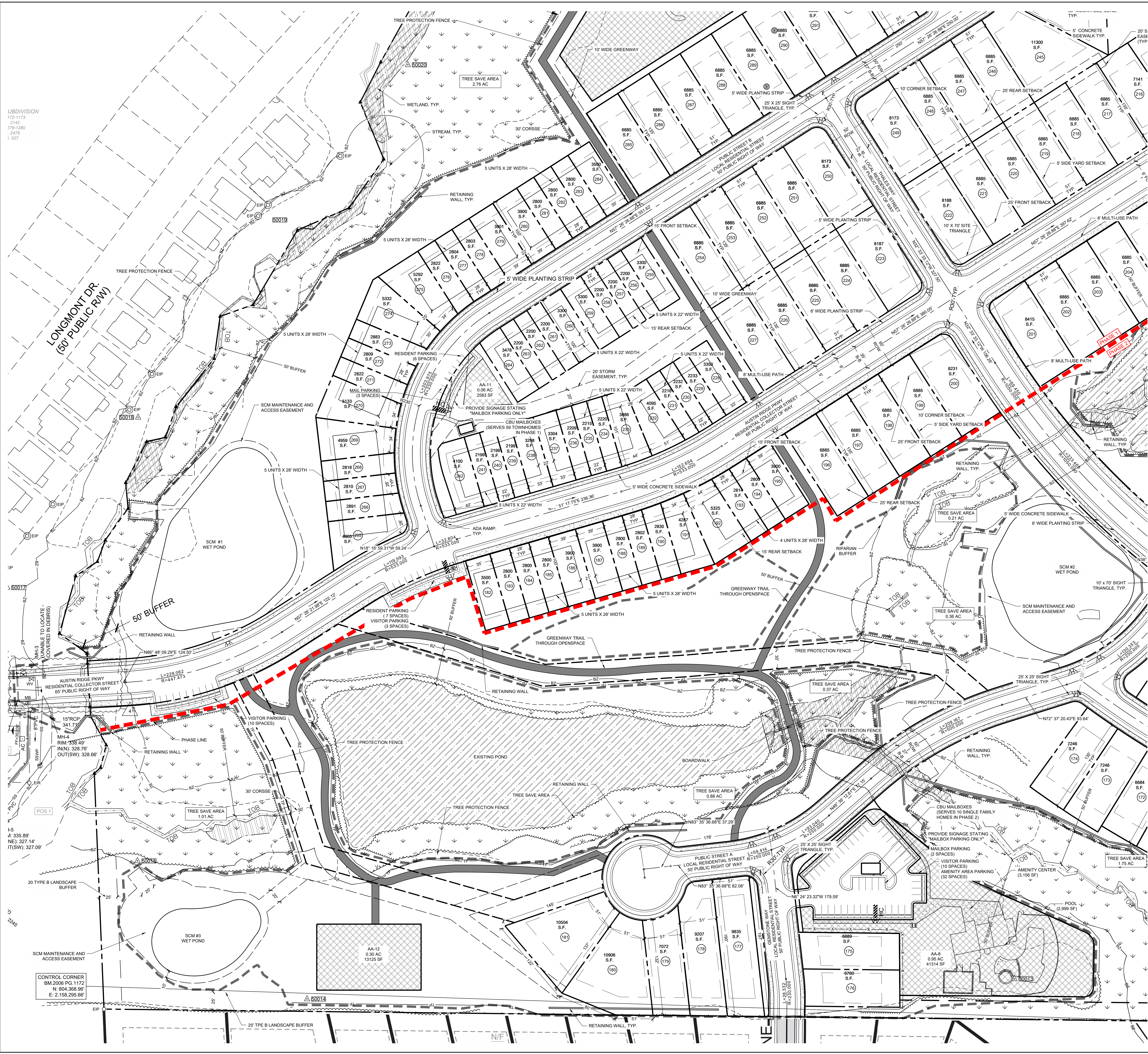
**Title:**

SITE PLAN EAST

Project number: C19003 Sheet #: C3.02  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB

L:\Projects\2019\C19003 - Wait Road\DWG\Site - Preliminary Plat\SitePlanEast\C3.02 Site Plan East Apr 01, 2022 - 1:17pm

UBDIVISION  
172-1173  
2142  
279-1280  
2479  
1-327



**SITE LEGEND:**

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED CURB & GUTTER
[Pattern]	PROPOSED STOP BAR
[Pattern]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED MULCH
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED AMENITY AREA
[Symbol]	PROPOSED TREE SAVE AREA
[Symbol]	WETLAND
[Symbol]	EXISTING POND
[Symbol]	PROPOSED TRELISE
[Symbol]	PROPOSED FENCE
[Symbol]	LIMITS OF DISTURBANCE

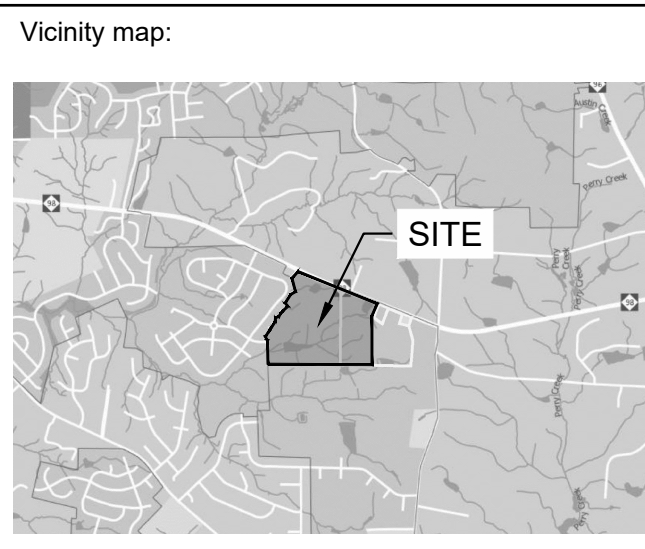
NOTE: REFER TO SHEETS C3.10 & C3.11 FOR FULL PAVEMENT MARKING AND SIGNAGE PLAN.

**NOTES:**  
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

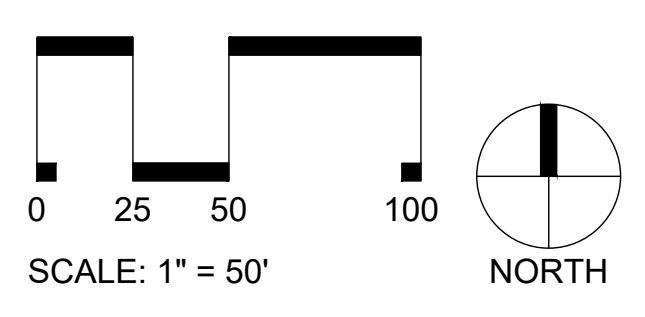


Client:  
PULTE HOMES  
CHRIS RAUGHLAY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

223 S. WEST ST., #1100  
RALEIGH, NC 27603  
FIRM LICENSE # C-1051  
WWW.STEWARTINC.COM  
PROJECT # C19003



Seal:  
PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

Title:  
**SITE PLAN SOUTHWEST**

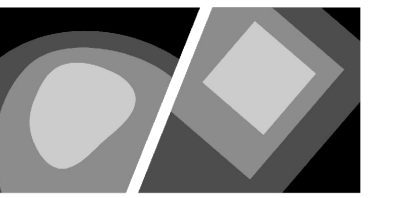
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	01/07/2022	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL
5		
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Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: MD  
Approved by: RGB

**C3.03**

L:\Projects\2019\C19003 - West Road\DWG\C3.03 Site Plan.dwg Apr 01, 2022 - 11:43am



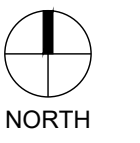
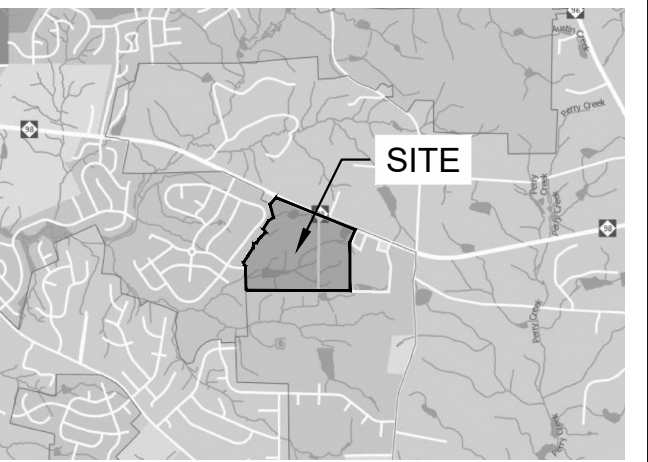


# STEWART

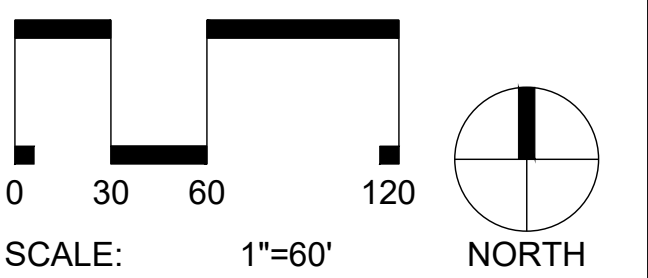
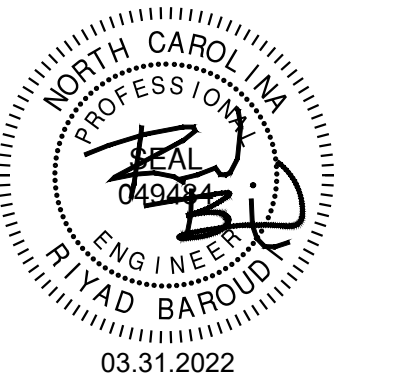
223 S. WEST ST., #1100 FIRM LICENSE # C-1051  
RALEIGH, NC 27603 www.stewartinc.com  
T 919.380.8750 PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (619)816-1100

Vicinity map:



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project: FORMER THALES SITE

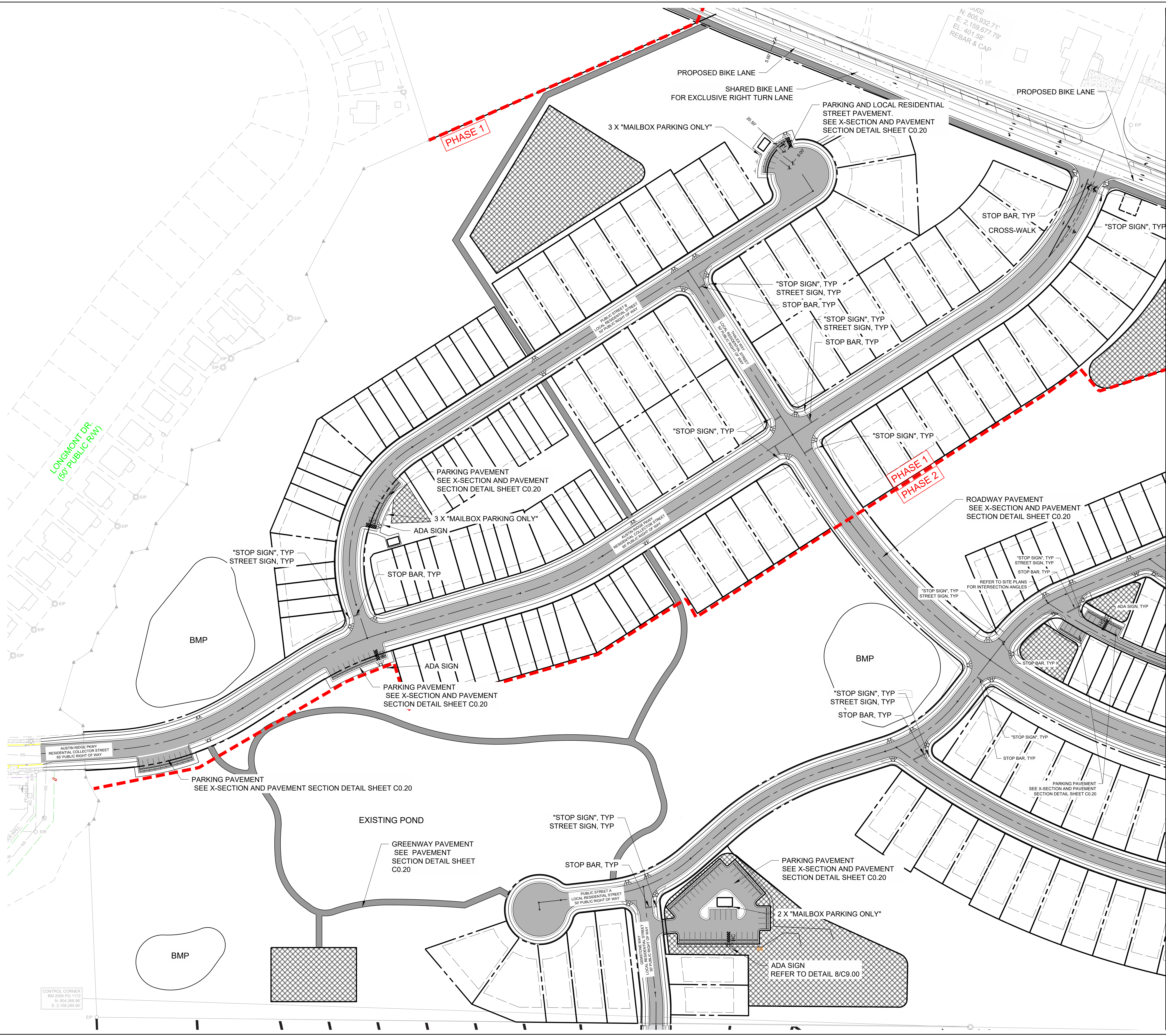
Issued for: PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	02/17/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL

Title: PAVEMENT AND SIGNAGE PLAN

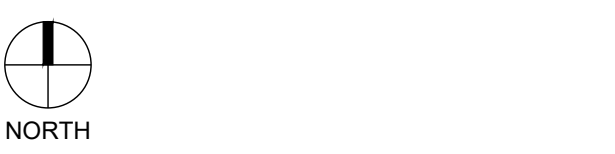
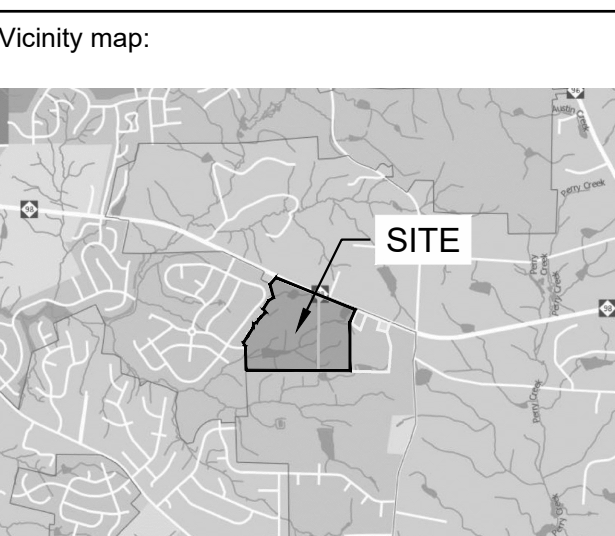
Project number: C19003 Sheet #: C3.10  
Issued Date: 12.23.2020  
Drawn by: RB  
Approved by: RGB

MATCHLINE  
REFER TO SHEET C3.11

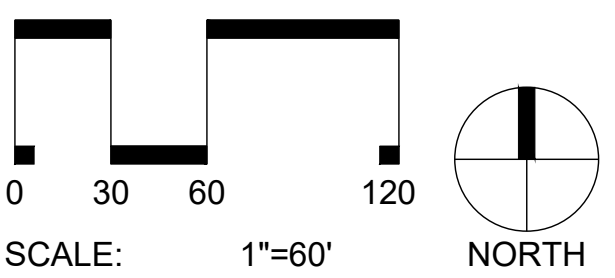
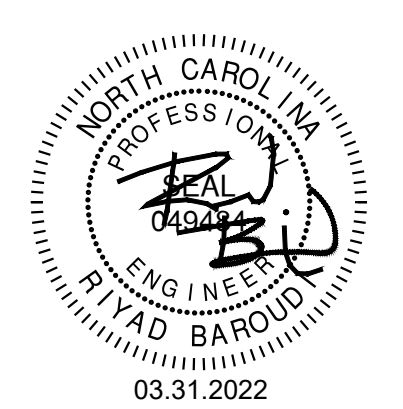


L:\Projects\2019\C19003 - Wail Road\DWGS\3 - Preliminary Plat\3-Sheets\C19003-C3.10-Pavement and Signage.dwg Apr 01, 2022 - 11:43am

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
**PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION**



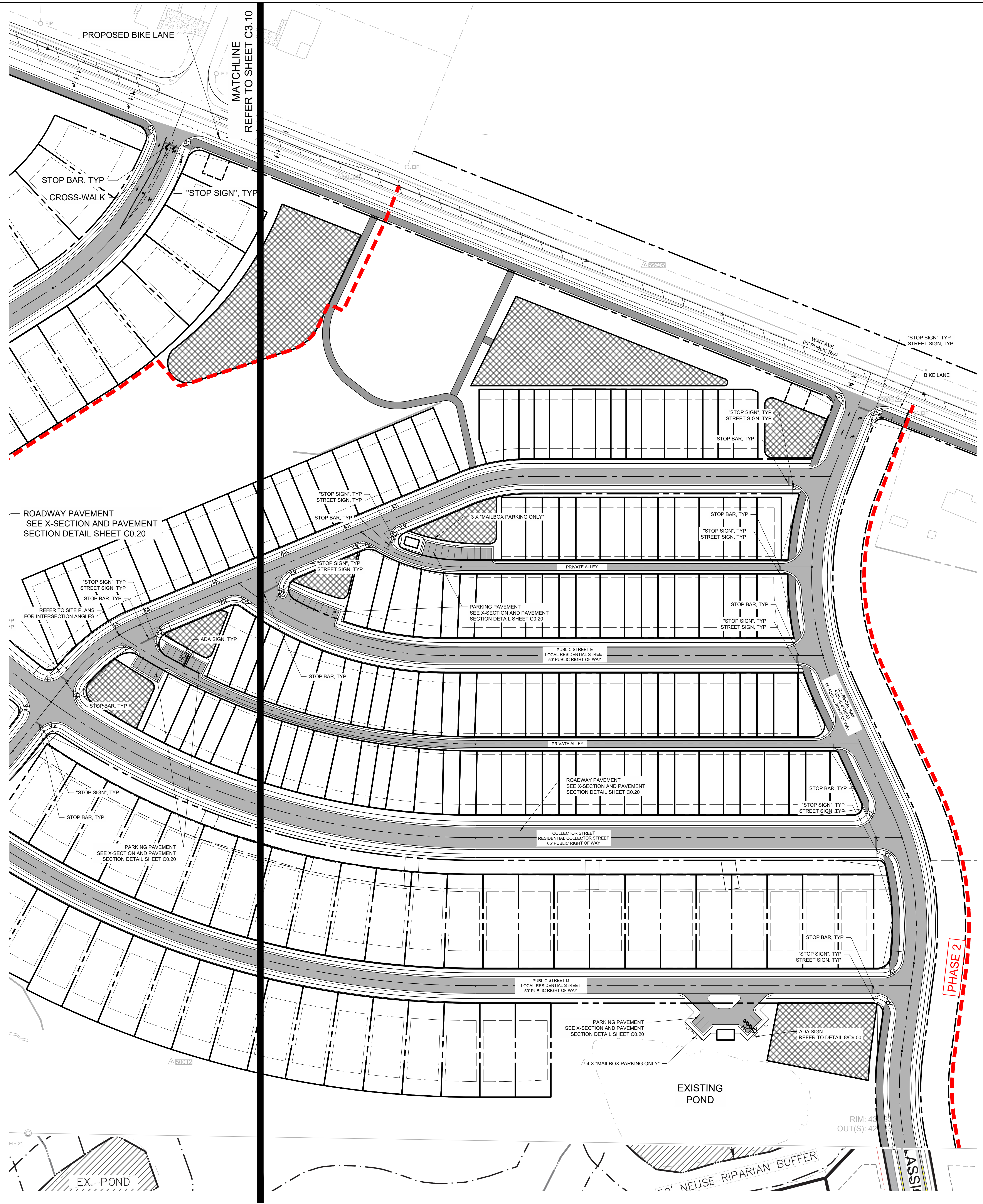
Project:  
**FORMER THALES  
 SITE**

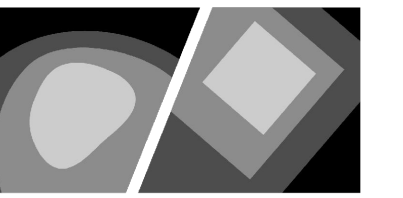
Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	4TH SUBMITTAL
4	03/31/2022	5TH SUBMITTAL

Title:  
**PAVEMENT AND  
 SIGNAGE PLAN**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: RB  
 Approved by: RGB  
C3.11





**STEWART**

223 S. WEST ST., #1100 FIRM LICENSE # C-1051  
RALEIGH, NC 27603 www.stewartinc.com PROJECT # C19003  
T 919.380.8750

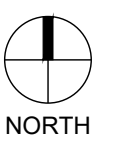
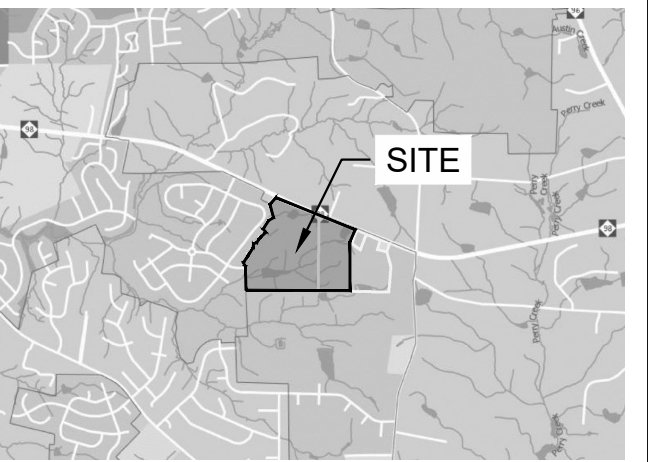
Client:

PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

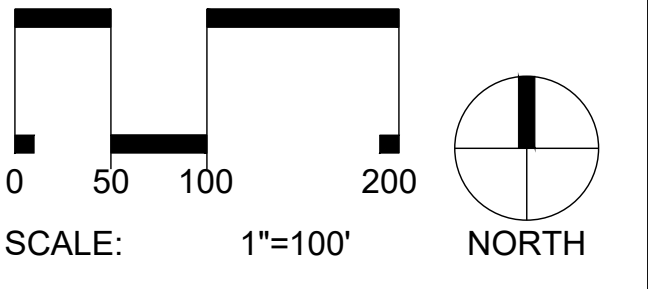
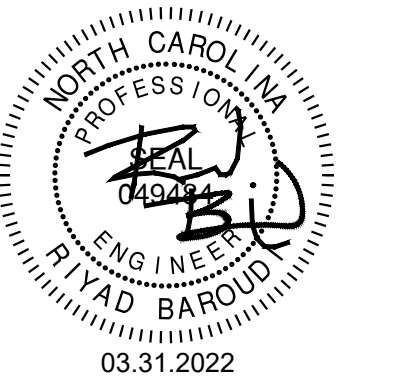
GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
	LIMITS OF DISTURBANCE	N/A
	PROPOSED MAJOR CONTOUR	N/A
	PROPOSED MINOR CONTOUR	N/A
	EXISTING MAJOR CONTOUR	N/A
	EXISTING MINOR CONTOUR	N/A
	PROPOSED STORM DRAINAGE	#/C9.XX
	PROPOSED JUNCTION BOX	#/C9.XX
	PROPOSED CATCH BASIN	#/C9.XX
	PROPOSED AREA DRAIN	#/C9.XX
	RIPRAP DISSIPATOR	#/C9.XX
	FLOW DIRECTION	N/A
	PROPOSED ELEVATION	N/A
	TOP/BOTTOM OF CURB	N/A
	TOP/BOTTOM OF WALL	N/A

NOTES:  
1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

Vicinity map:



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



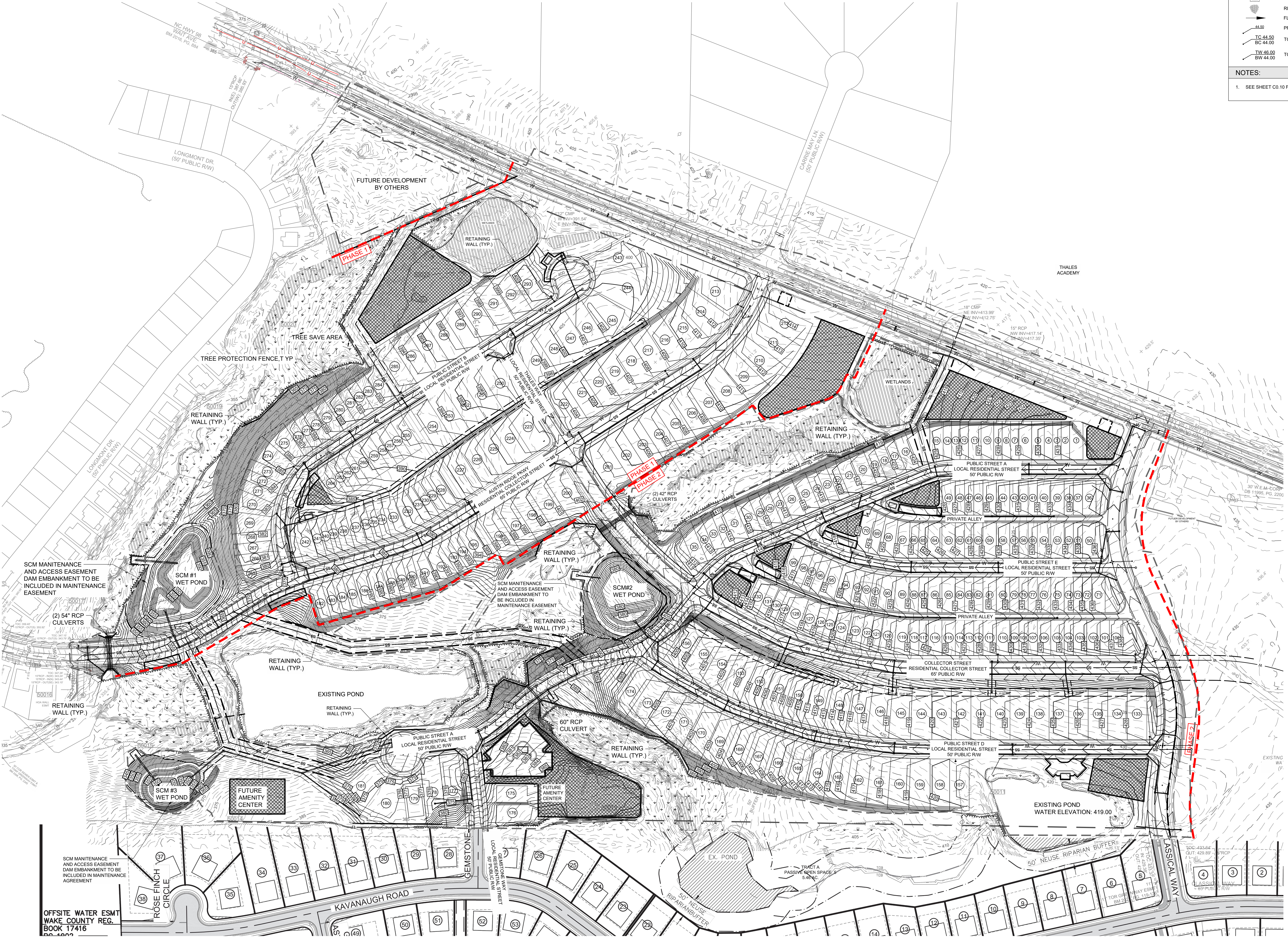
Project: FORMER THALES SITE

Issued for: PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03.31.2022	5TH SUBMITTAL

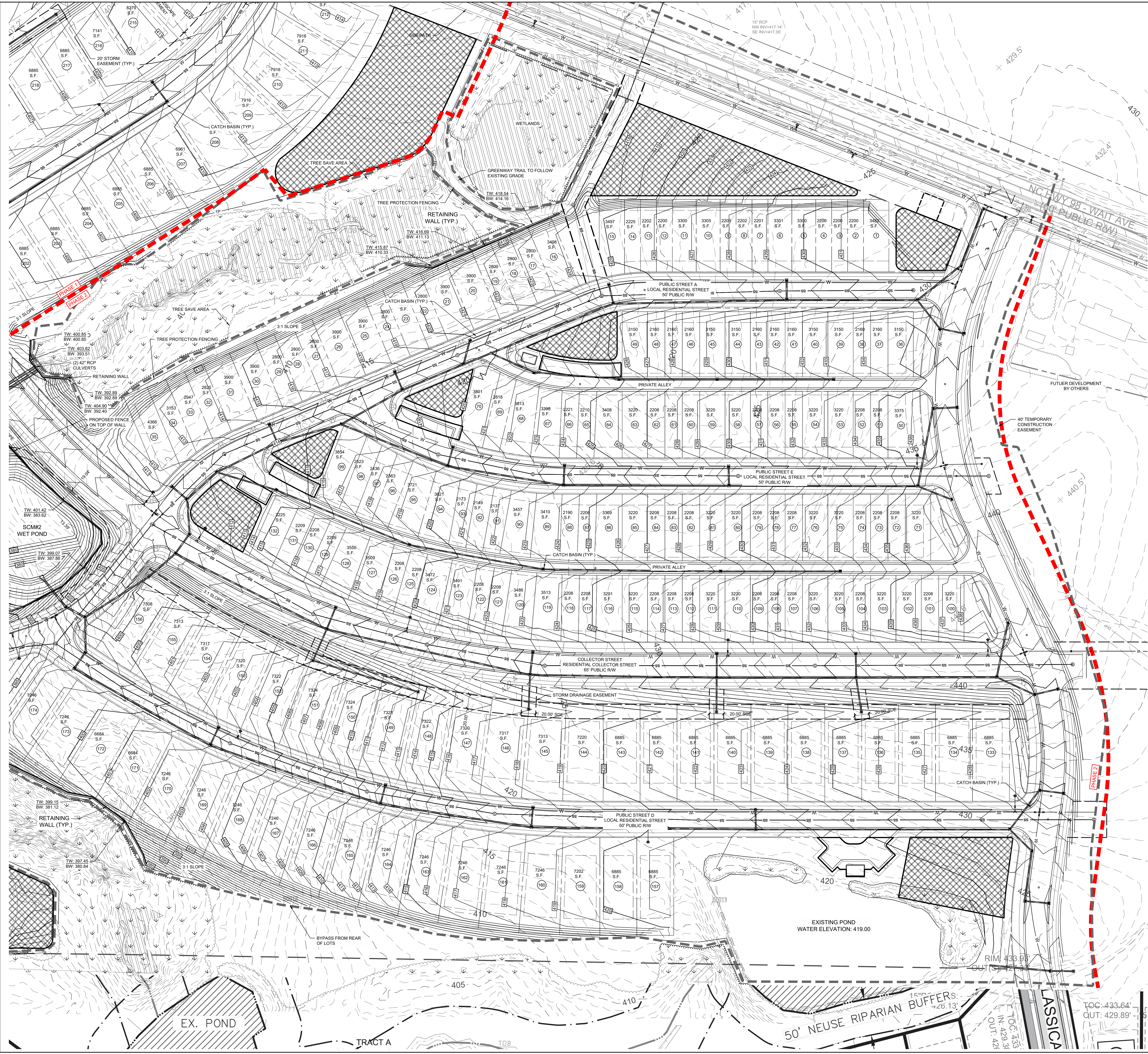
Title: GRADING & STORM DRAINAGE PLAN OVERALL

Project number: C19003 Sheet #: C5.00  
Issued Date: 12.23.2020  
Drawn by: J.P.  
Approved by: RGB



L:\Project\2019\C19003 - West Road\DWG\CS-0 - Preliminary Plat\CS-Sheets\C19003-CS-00 Grading & Storm Drainage Plan.dwg Mar 31, 2022 - 9:23am





**GRADING LEGEND:**

SYMBOL	DESCRIPTION	DETAIL REFERENCE
---	LIMITS OF DISTURBANCE	N/A
---	PROPOSED MAJOR CONTOUR	N/A
---	PROPOSED MINOR CONTOUR	N/A
---	EXISTING MAJOR CONTOUR	N/A
---	EXISTING MINOR CONTOUR	N/A
---	PROPOSED STORM DRAINAGE	#/C/XX
○	PROPOSED JUNCTION BOX	#/C/XX
□	PROPOSED CATCH BASIN	#/C/XX
□	PROPOSED AREA DRAIN	#/C/XX
→	RIPRAP DISSIPATOR	#/C/XX
→	FLOW DIRECTION	N/A
○	PROPOSED ELEVATION	N/A
---	TOP/BOTTOM OF CURB	N/A
---	TOP/BOTTOM OF WALL	N/A

**NOTES:**

- SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

**STEWART**  
 223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.380.8750  
 www.stewartinc.com  
 FIRM LICENSE # C-1051  
 PROJECT # C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:

Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**

Scale:  
  
 SCALE: 1"=120' NORTH

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03.31.2022	5TH SUBMITTAL
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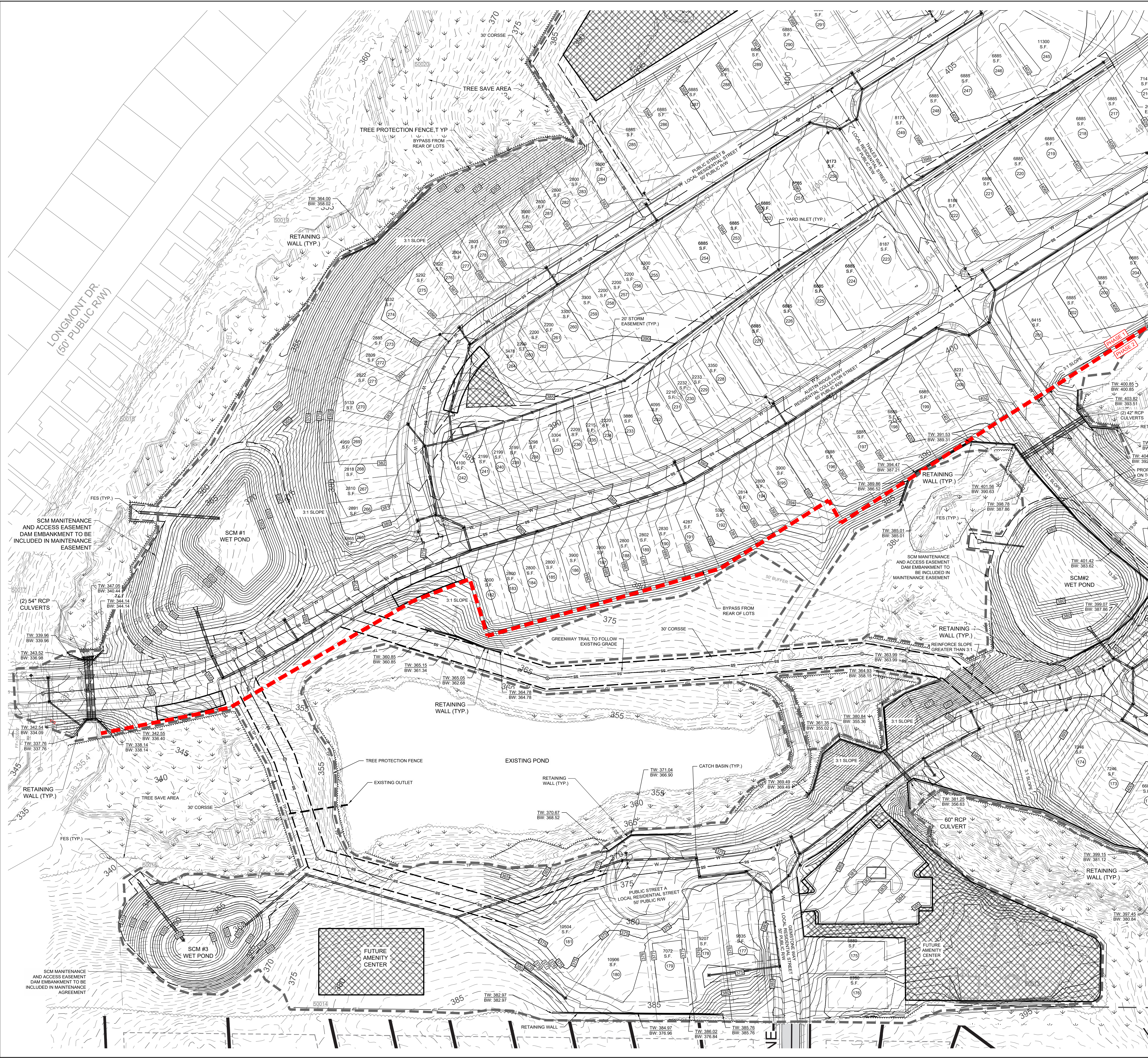
Title:  
**GRADING AND DRAINAGE PLAN EAST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: J.P.  
 Approved by: RGB

**C5.02**

TOC: 433.64'  
 OUT: 429.89'

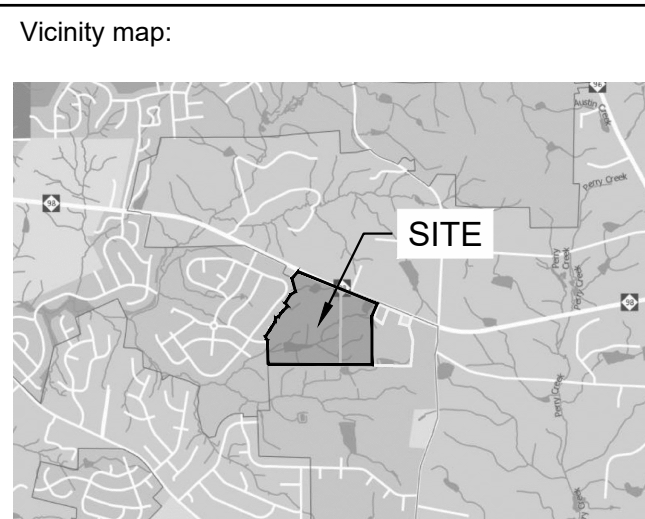
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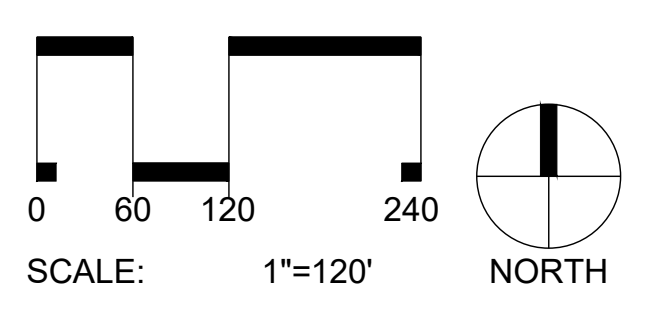
GRADING LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
	LIMITS OF DISTURBANCE	N/A
	PROPOSED MAJOR CONTOUR	N/A
	PROPOSED MINOR CONTOUR	N/A
	EXISTING MAJOR CONTOUR	N/A
	EXISTING MINOR CONTOUR	N/A
	PROPOSED STORM DRAINAGE	#/C&XX
	PROPOSED JUNCTION BOX	#/C&XX
	PROPOSED CATCH BASIN	#/C&XX
	PROPOSED AREA DRAIN	#/C&XX
	RIPRAP DISSIPATOR	#/C&XX
	FLOW DIRECTION	N/A
	PROPOSED ELEVATION	N/A
	TOP/BOTTOM OF CURB	N/A
	TOP/BOTTOM OF WALL	N/A

**STEWART**  
 223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.360.8750  
 www.stewartinc.com  
 FIRM LICENSE # C-1051  
 PROJECT # C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION



Project:  
**FORMER THALES  
 SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

Title:  
**GRADING AND  
 DRAINAGE PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: J.P. **C5.03**  
 Approved by: R.G.B.

L:\Projects\2016\03\03 - Wait Road\DWG\03 - Preliminary Plat\03-C6.00 Utility Plan.dwg, Apr 01, 2022 - 11:46am

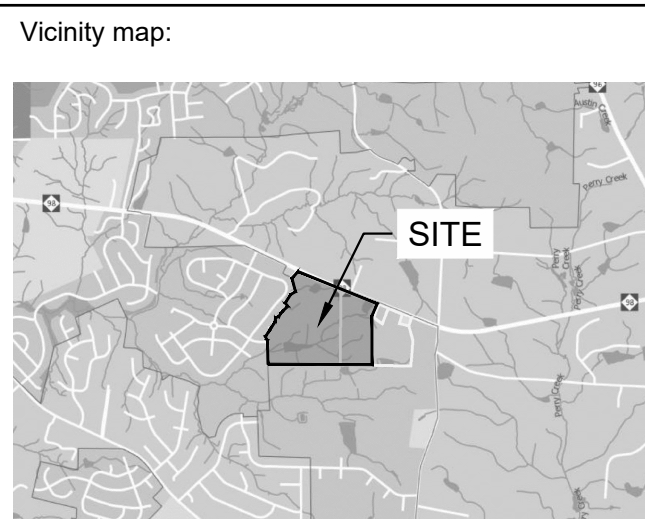
UTILITY LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
---	EXISTING WATER LINE	N/A
---	PROPOSED WATER LINE	#C9.XX
---	EXISTING SANITARY SEWER LINE	N/A
---	PROPOSED SANITARY SEWER LINE	#C9.XX
---	PROPOSED FIRE HYDRANT	#C9.XX
---	PROPOSED WATER VALVE	#C9.XX
---	EXISTING SANITARY SEWER MANHOLE	N/A
---	PROPOSED SANITARY SEWER MANHOLE	#C9.XX
---	PROPOSED CLEANOUT	#C9.XX
---	PROPOSED FDC	#C9.XX
---	PROPOSED BACKFLOW METER	#C9.XX
---	PROPOSED POST INDICATOR VALVE (PIV)	#C9.XX
---	GREASE INTERCEPTOR	#C9.XX
---	30' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

NOTES:  
1. SEE SHEET C6.10 FOR GENERAL AND UTILITY NOTES.

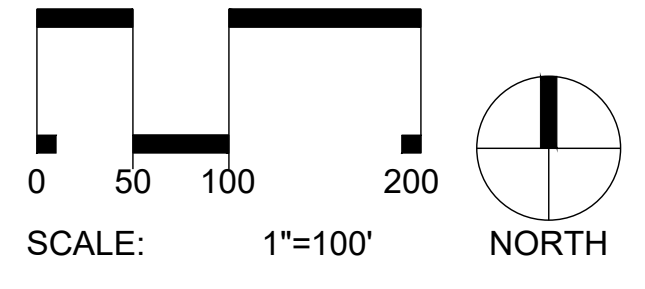
223 S. WEST ST., #1100  
RALEIGH, NC 27603  
T 919.380.8750  
www.stewartinc.com

FIRM LICENSE # C-1051  
PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION



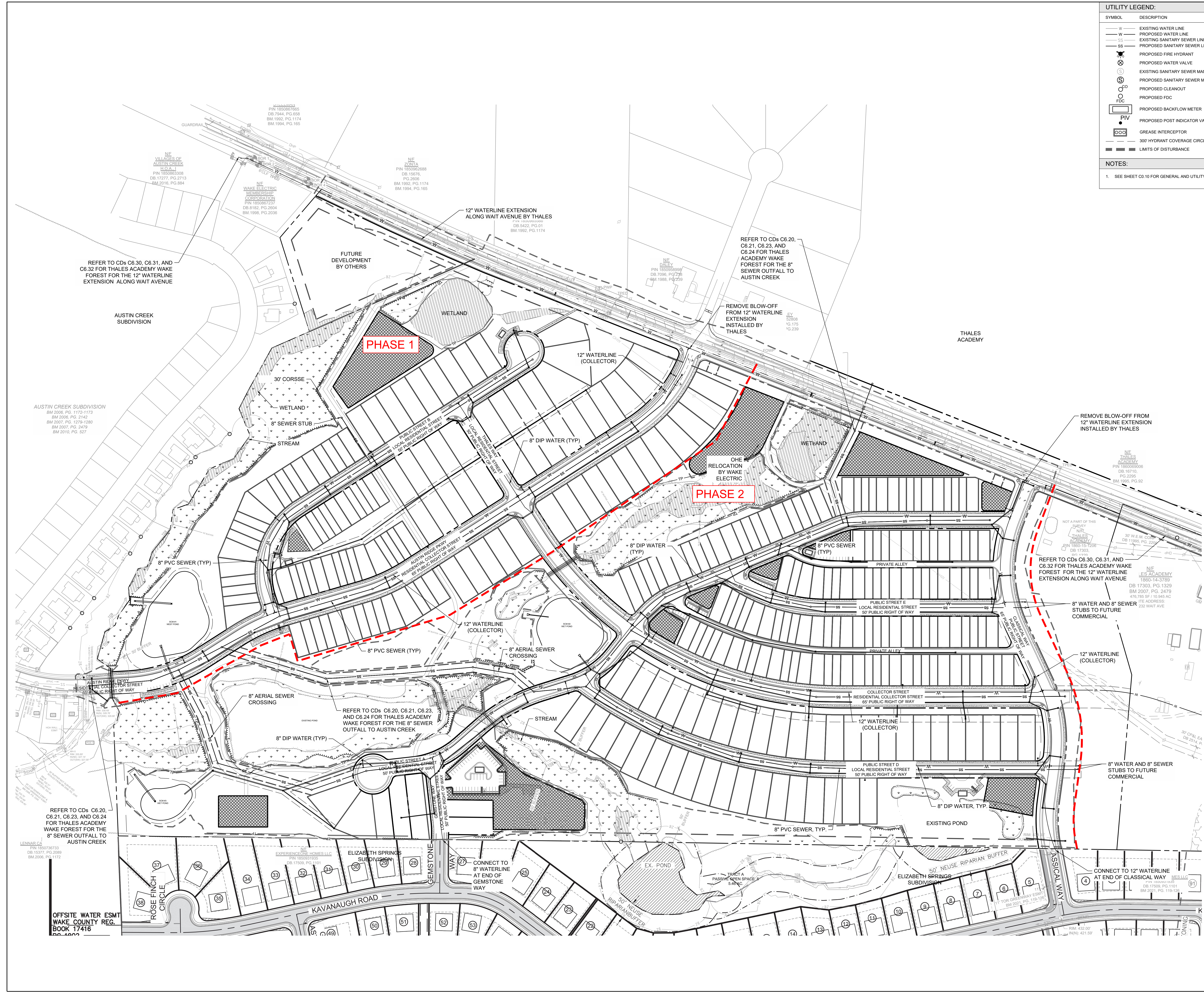
Project: FORMER THALES SITE

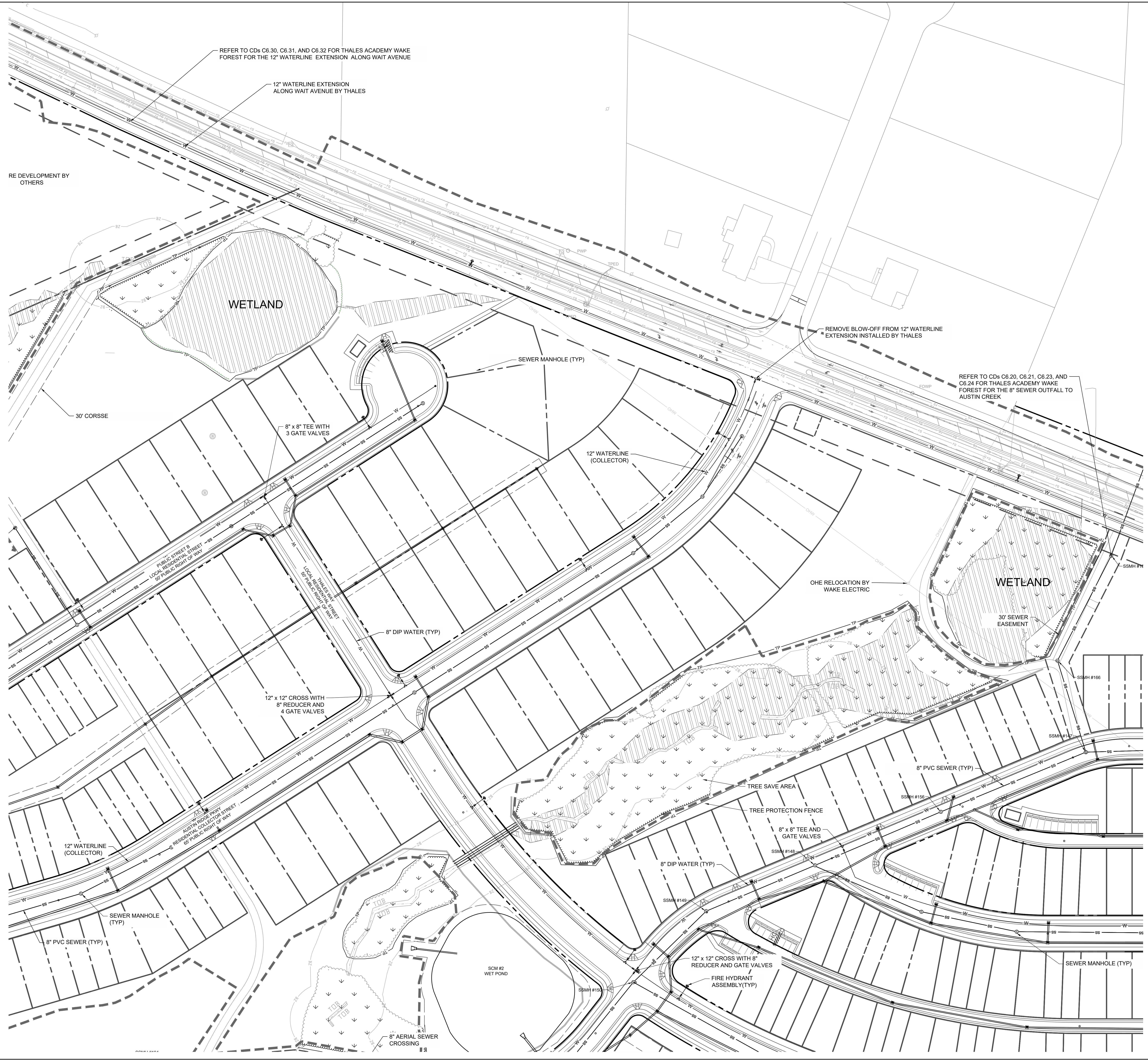
Issued for: PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

Title: UTILITIES PLAN OVERALL

Project number: C19003 Sheet #: C6.00  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB





UTILITY LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
— W —	EXISTING WATER LINE	N/A
— W —	PROPOSED WATER LINE	#/C9.XX
— SS —	EXISTING SANITARY SEWER LINE	N/A
— SS —	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊗	PROPOSED FIRE HYDRANT	#/C9.XX
⊗	PROPOSED FIRE VALVE	#/C9.XX
⊙	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
⊙	PROPOSED BACKFLOW METER	#/C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
⊙	30' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

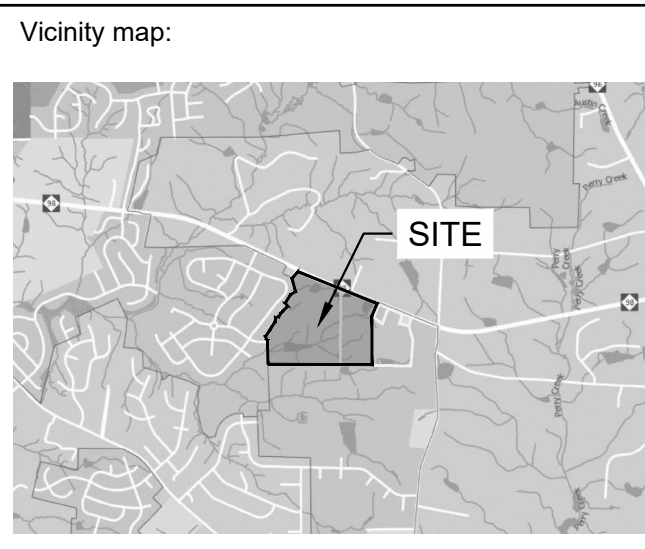
**NOTES:**

- SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

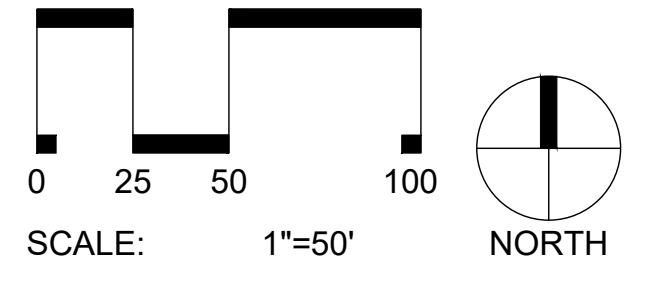
223 S. WEST ST., #1100  
RALEIGH, NC 27603  
919.380.8750

FIRM LICENSE # C-1051  
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PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Seal:  
PRELIMINARY - DO NOT  
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Project:  
**FORMER THALES  
SITE**

Issued for:  
**PRELIMINARY PLAT**

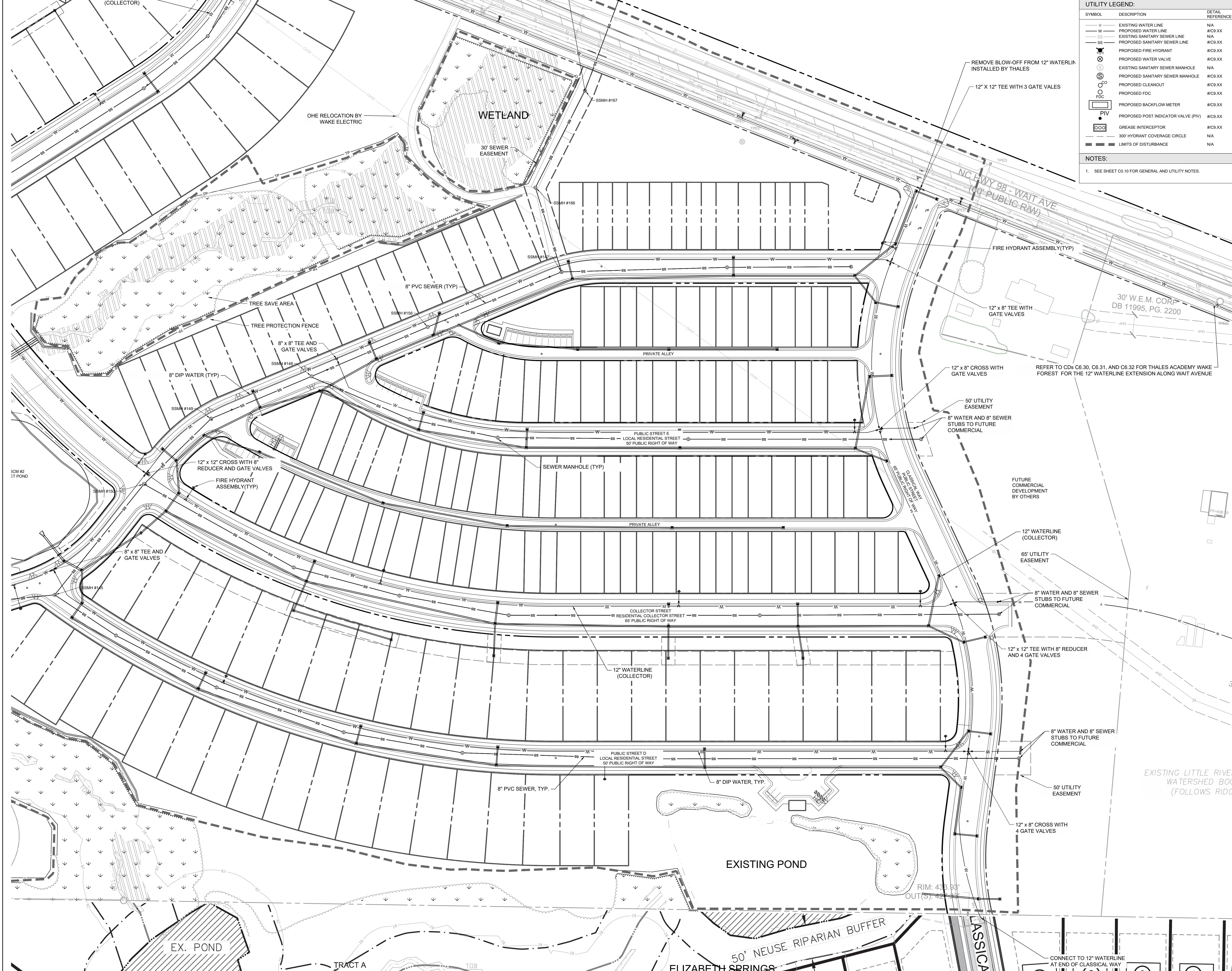
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**UTILITIES PLAN  
NORTHWEST**

Project number: C19003 Sheet #: **C6.01**  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB

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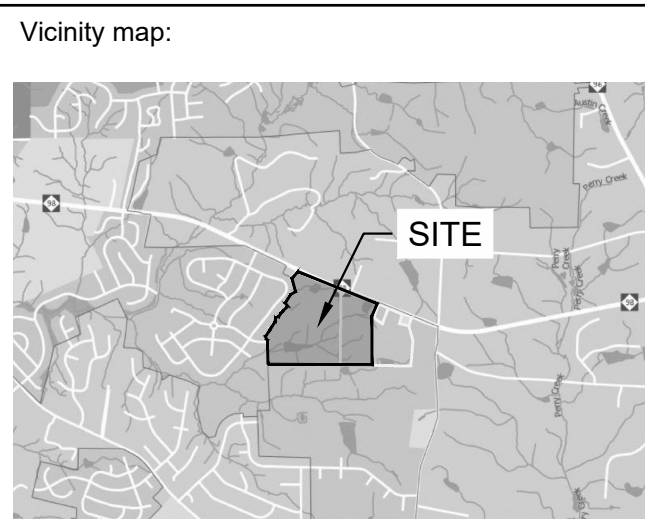
UTILITY LEGEND:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
— W	EXISTING WATER LINE	N/A
- - - W	PROPOSED WATER LINE	#/C9.XX
— SS	EXISTING SANITARY SEWER LINE	N/A
- - - SS	PROPOSED SANITARY SEWER LINE	#/C9.XX
⊗	PROPOSED FIRE HYDRANT	#/C9.XX
⊙	PROPOSED WATER VALVE	#/C9.XX
⊕	EXISTING SANITARY SEWER MANHOLE	N/A
⊙	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
⊙	PROPOSED CLEANOUT	#/C9.XX
⊙	PROPOSED FDC	#/C9.XX
⊙	PROPOSED BACKFLOW METER	#/C9.XX
⊙	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
⊙	GREASE INTERCEPTOR	#/C9.XX
⊙	300' HYDRANT COVERAGE CIRCLE	N/A
---	LIMITS OF DISTURBANCE	N/A

**NOTES:**  
 1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

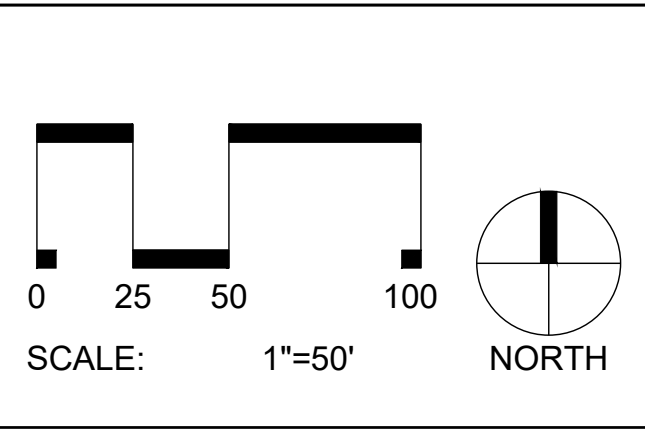
223 S. WEST ST., #1100  
 RALEIGH, NC 27603  
 T 919.380.8750

FIRM LICENSE #: C-1051  
 www.stewartinc.com  
 PROJECT #: C19003

Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100



Seal:  
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

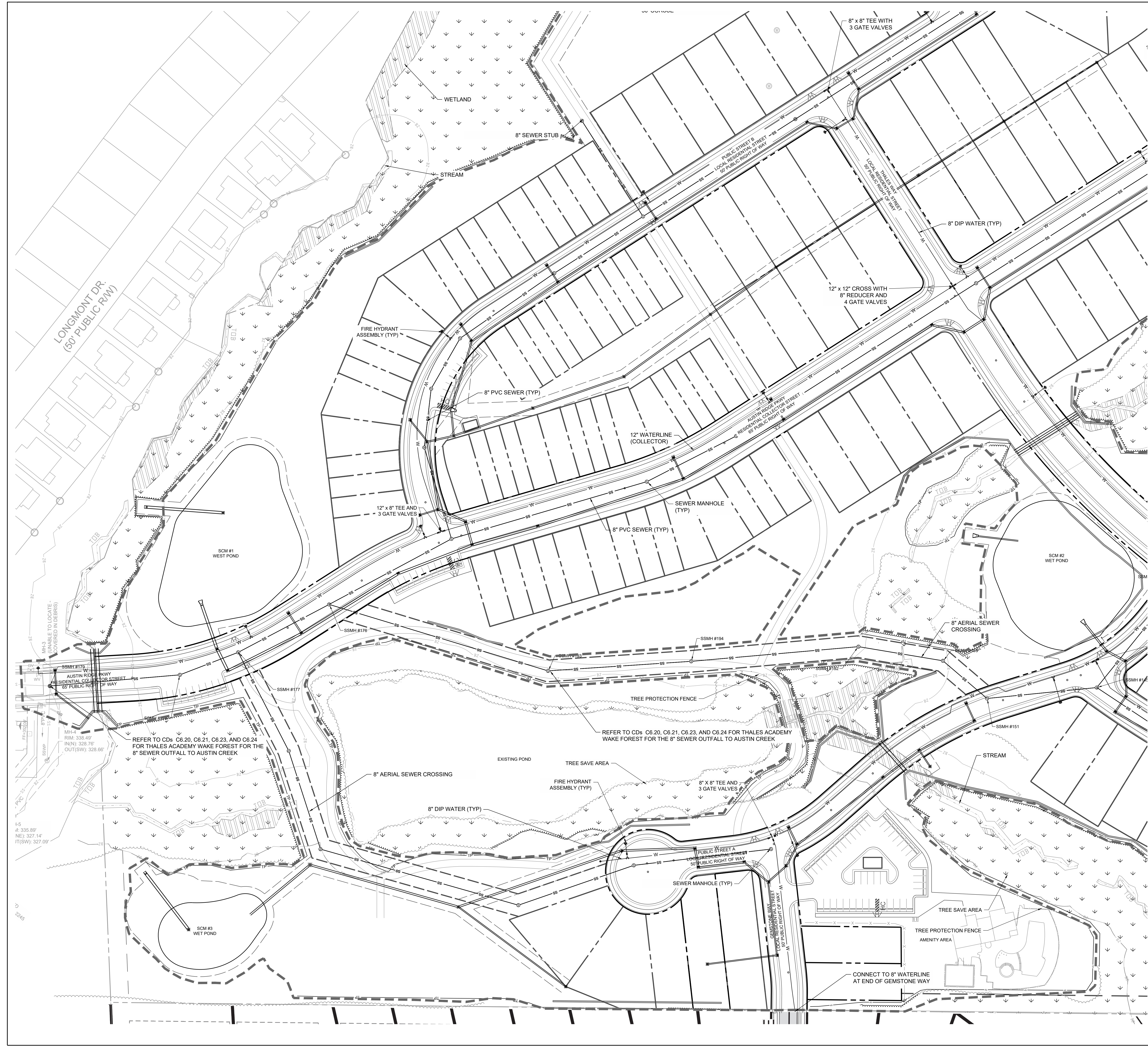
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**UTILITIES PLAN EAST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB

C6.02

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**UTILITY LEGEND:**

SYMBOL	DESCRIPTION	DETAIL REFERENCE
W	EXISTING WATER LINE	N/A
W	PROPOSED WATER LINE	#C9.XX
SS	EXISTING SANITARY SEWER LINE	N/A
SS	PROPOSED SANITARY SEWER LINE	#C9.XX
⊕	PROPOSED FIRE HYDRANT	#C9.XX
⊕	PROPOSED WATER VALVE	#C9.XX
⊕	EXISTING SANITARY SEWER MANHOLE	N/A
⊕	PROPOSED SANITARY SEWER MANHOLE	#C9.XX
⊕	PROPOSED CLEANOUT	#C9.XX
⊕	PROPOSED FDC	#C9.XX
⊕	PROPOSED BACKFLOW METER	#C9.XX
⊕	PROPOSED POST INDICATOR VALVE (PIV)	#C9.XX
⊕	GREASE INTERCEPTOR	#C9.XX
⊕	300' HYDRANT COVERAGE CIRCLE	N/A
⊕	LIMITS OF DISTURBANCE	N/A

**NOTES:**

- SEE SHEET C6.10 FOR GENERAL AND UTILITY NOTES.



Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

Vicinity map:



Scale:

SCALE: 1"=50'

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3		
4	03/31/2022	5TH SUBMITTAL

Title:  
**UTILITIES PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: MD  
 Approved by: RGB  
**C6.03**

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Table with 6 columns: Buffer name, Type, Length (LF), Planting requirement, Required Trees Total [# per #LF], Required Evergreen Trees [50% Total trees], Required Shrubs [continuous shrub border, avg 5'o.c.]

Table with 7 columns: Street Name, Side of Street, Collector, Length (LF), Tree spacing (LF), Required Trees, Provided Trees

LANDSCAPE NOTES

- 1. VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- 2. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
- 3. THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- 4. LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
- 5. ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- 6. TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES."
- 7. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
- 8. ROOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY. CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING SIGNS.
- 9. SEED BED PREPARATION: ALL AREAS TO BE SEEDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
- 10. ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
- 11. SOIL SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING TO NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE COMPLIANCE.
- 12. SHREDDED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMENDED WITH UP TO ONE THIRD PINE BARK MULCH. PIECES SHOULD BE NO LARGER THAN WHAT PASSES THROUGH A ONE INCH SCREEN. IF ADDITIONAL SOIL IS REQUIRED FOR BACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SAUCER HEIGHT IS 6 INCHES.
- 13. TOP OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.
- 14. FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. PLASTIC FIBER BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3'S OF TOTAL HEIGHT OF ROOT BALL.
- 15. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL, ORANGE FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUNDS MANAGEMENT.
- 16. USE STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE TERRA-SORB (OR EQUAL) AS PER MANUFACTURERS RECOMMENDATIONS, FOR AREAS NOT UNDER IRRIGATION.
- 17. USE "BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT.
- 18. LANDSCAPING/C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

STREET TREE SCHEDULE

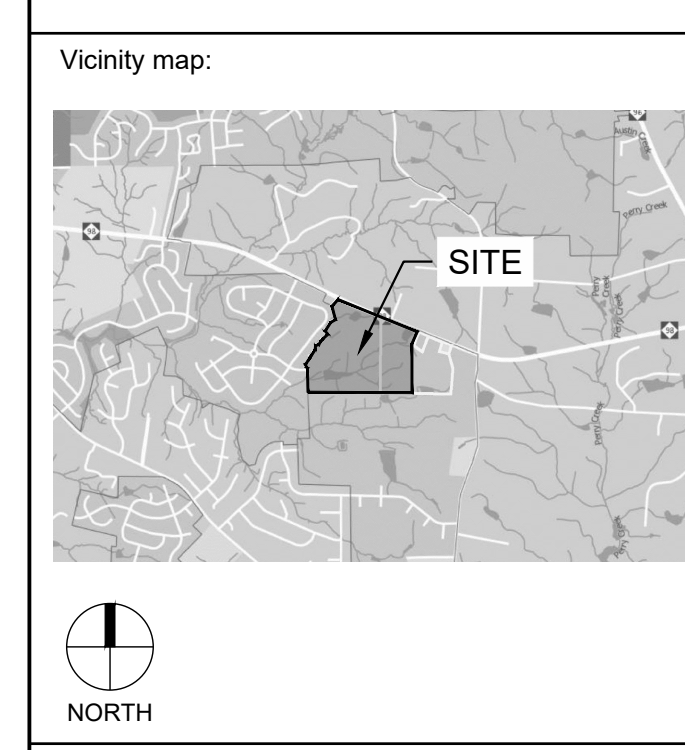
Table with 8 columns: TREES, CODE, QTY, BOTANICAL / COMMON NAME, CONTAINER, CALIPER, HEIGHT, SPACING, NOTES

NOTES

- 1. TREES IN BUFFER ALONG CLASSICAL WAY WILL BE COUNTED TOWARD STREET TREE REQUIREMENT.

STEWART logo and company information: 223 S. WEST ST., #1100 RALEIGH, NC 27603, FIRM LICENSE # C-1051, T 919.380.8750, PROJECT # C19003

Client: PULTE HOMES, CHRIS RAUGHLEY, 1224 CRESCENT GREEN, CARY, NC 27518, PHONE (919)816-1100



Seal: PRELIMINARY - DO NOT USE FOR CONSTRUCTION. A circular professional seal for M. BLACKBURN, dated 03-31-2022.

Project: FORMER THALES SITE

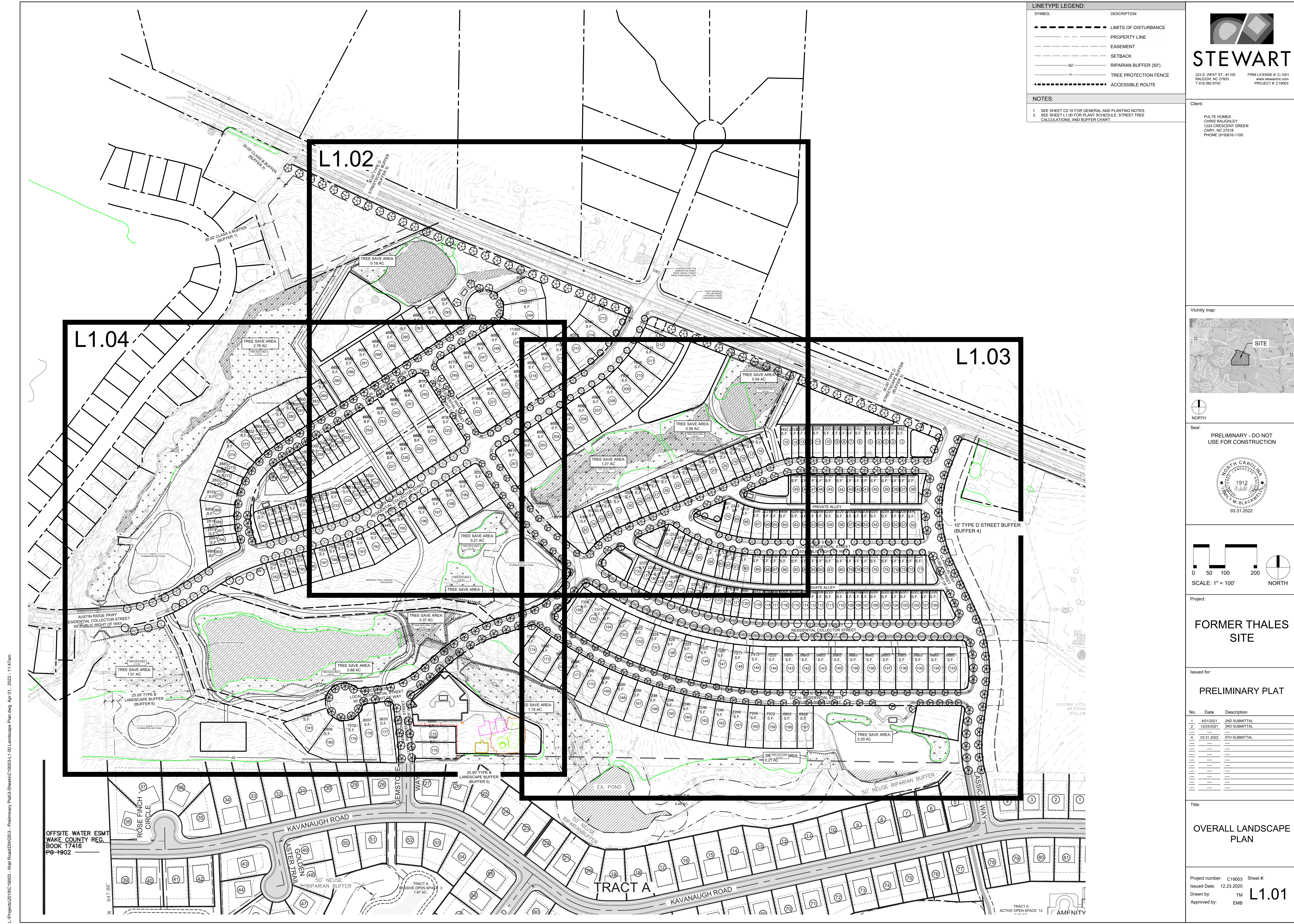
Issued for: PRELIMINARY PLAT

Table with 3 columns: No., Date, Description. Shows revision history for the preliminary plat.

Title: LANDSCAPE NOTES

Project number: C19003 Sheet #: L1.00  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB

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**LINETYPE LEGEND:**

SYMBOL	DESCRIPTION
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE
---	EASEMENT
---	SETBACK
---	RIPIARIAN BUFFER (50')
---	TREE PROTECTION FENCE
---	ACCESSIBLE ROUTE

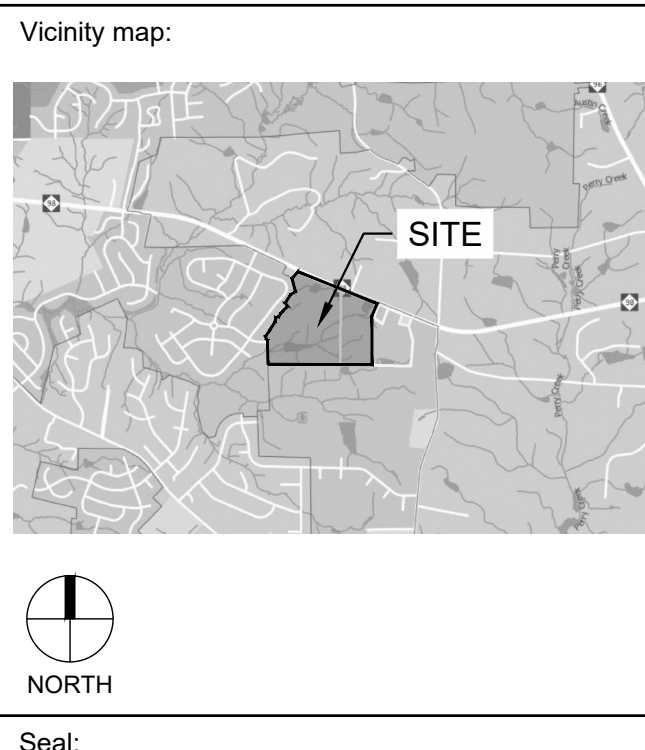
- NOTES:**
- SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.
  - SEE SHEET L1.00 FOR PLANT SCHEDULE, STREET TREE CALCULATIONS, AND BUFFER CHART.

223 S. WEST ST., #1100  
RALEIGH, NC 27603  
T 919.380.8750

FIRM LICENSE # C-1051  
www.stewartinc.com  
PROJECT # C19003

**Client:**

PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100



Seal:

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

**Project:**

FORMER THALES SITE

**Issued for:**

PRELIMINARY PLAT

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

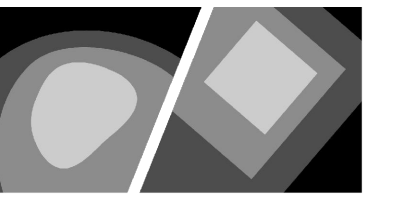
**Title:**

OVERALL LANDSCAPE PLAN

Project number: C19003 Sheet #: L1.01  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB

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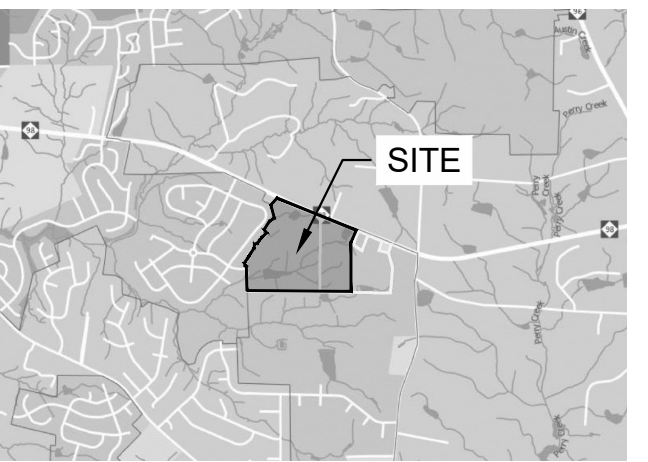


**STEWART**

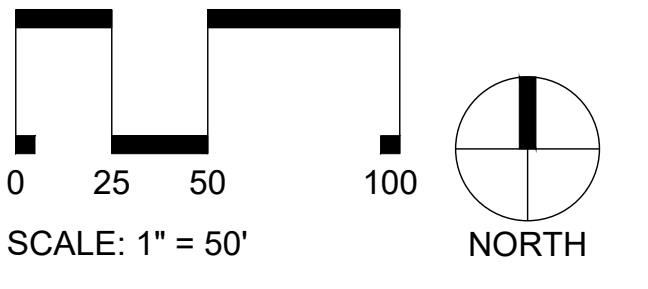
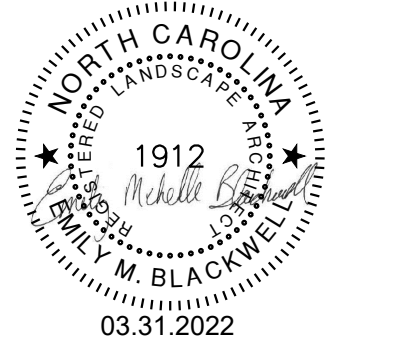
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RALEIGH, NC 27603 www.stewartinc.com  
T 919.380.8750 PROJECT # C19003

Client:  
PULTE HOMES  
CHRIS RAUGHLEY  
1224 CRESCENT GREEN  
CARY, NC 27516  
PHONE (919)816-1100

Vicinity map:



Seal:  
**PRELIMINARY - DO NOT  
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SCALE: 1" = 50' NORTH

Project:  
**FORMER THALES  
SITE**

Issued for:  
**PRELIMINARY PLAT**

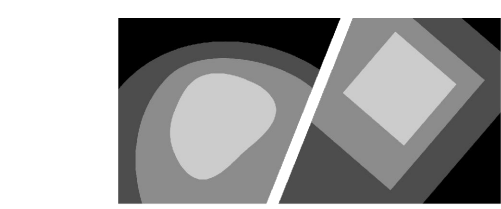
No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title:  
**LANDSCAPE PLAN EAST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB **L1.03**



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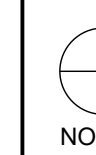
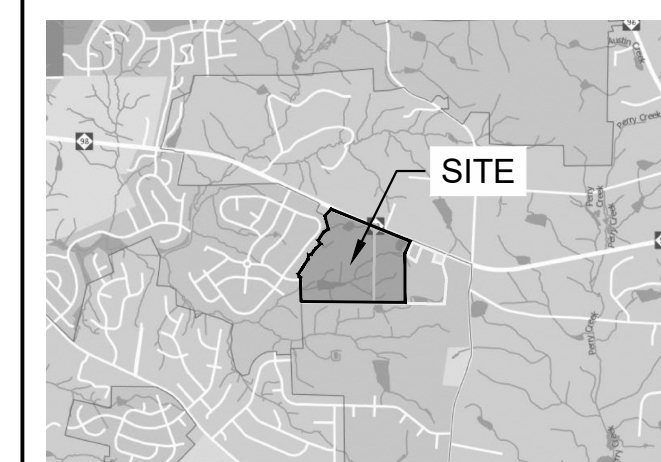
**STEWART**

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 RALEIGH, NC 27603 www.stewartinc.com  
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Client:

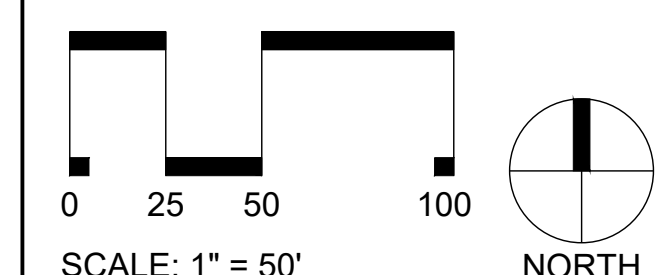
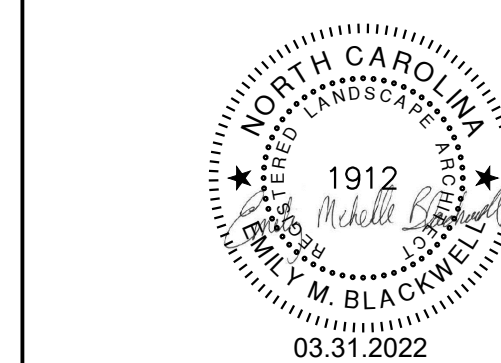
FULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919) 816-1100

Vicinity map:



Seal:

**PRELIMINARY - DO NOT  
 USE FOR CONSTRUCTION**



Project:

**FORMER THALES  
 SITE**

Issued for:

**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3		
4	03-31-2022	5TH SUBMITTAL

Title:

**LANDSCAPE PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #: **L1.04**  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB



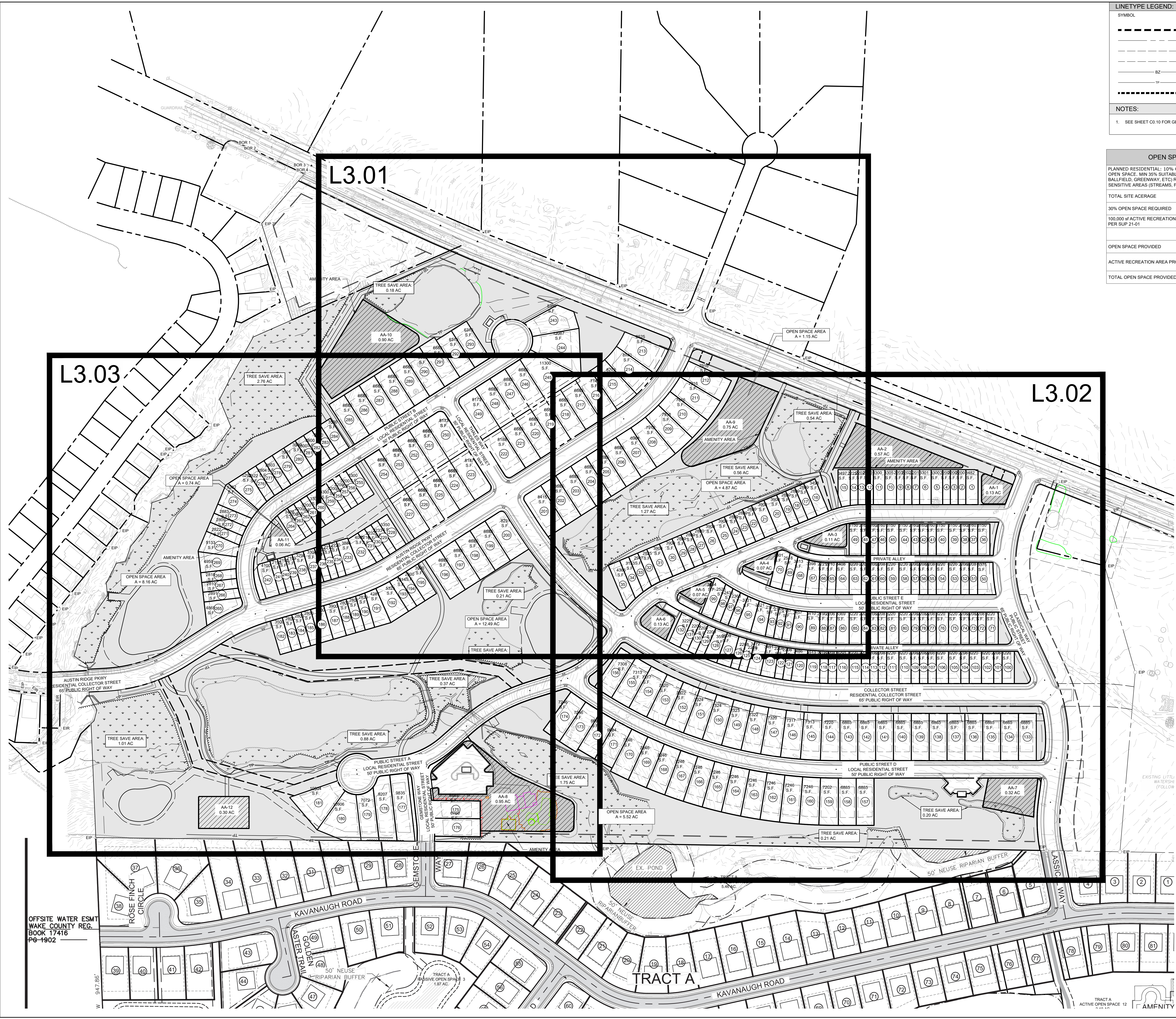
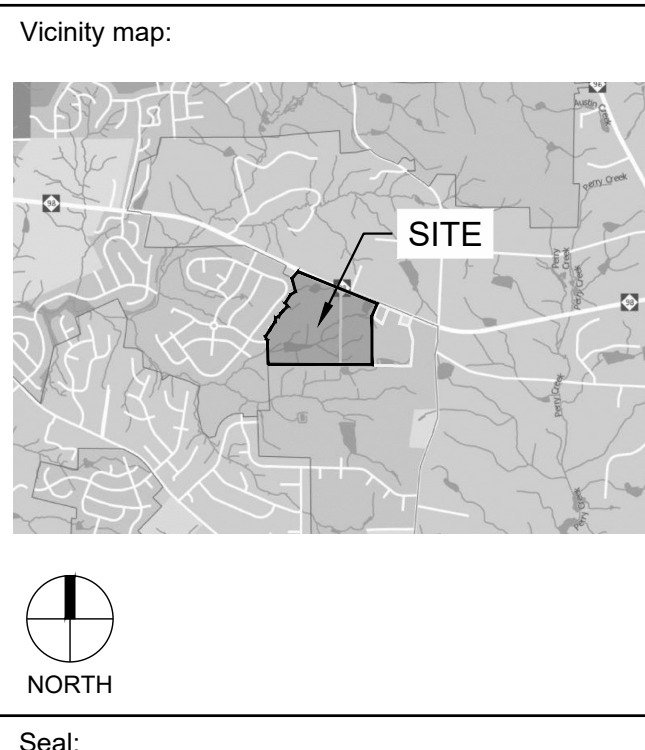
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Client:  
 PULTE HOMES  
 CHRIS RAUGHLEY  
 1224 CRESCENT GREEN  
 CARY, NC 27518  
 PHONE (919)816-1100

LINTYPE LEGEND:	
SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	PROPERTY LINE
	EASEMENT
	SETBACK
	RIPIARIAN BUFFER (50')
	TREE PROTECTION FENCE
	ACCESSIBLE ROUTE

NOTES:  
 1. SEE SHEET C0.10 FOR GENERAL AND PLANTING NOTES.

OPEN SPACE REQUIREMENTS	
PLANNED RESIDENTIAL: 10% OF THE GROSS ACREAGE IS REQUIRED TO BE OPEN SPACE. MIN 35% SUITABLE FOR ACTIVE RECREATION (PLAY AREA, BALLFIELD, GREENWAY, ETC) REMAINING 65% CAN BE FOR ENVIRONMENTALLY SENSITIVE AREAS (STREAMS, FLOODPLAIN, WETLAND, ETC).	
TOTAL SITE ACREAGE	85.08 AC (3,706,085 SF)
30% OPEN SPACE REQUIRED	25.52 AC (1,111,825 SF)
100,000 sq ft ACTIVE RECREATION AREA REQUIRED PER SUP 21-01	2.30 AC (100,000 SF)
OPEN SPACE PROVIDED	36.85 AC (1,605,186 SF)
ACTIVE RECREATION AREA PROVIDED	4.59 AC (199,744 SF)
TOTAL OPEN SPACE PROVIDED	<b>36.85 AC (1,605,186 SF)</b>



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Project: **FORMER THALES SITE**

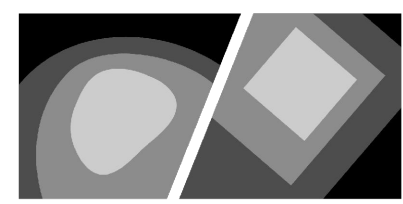
Issued for: **PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

Title: **OVERALL OPEN SPACE PLAN**

Project number: C19003 Sheet #: **L3.00**  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB





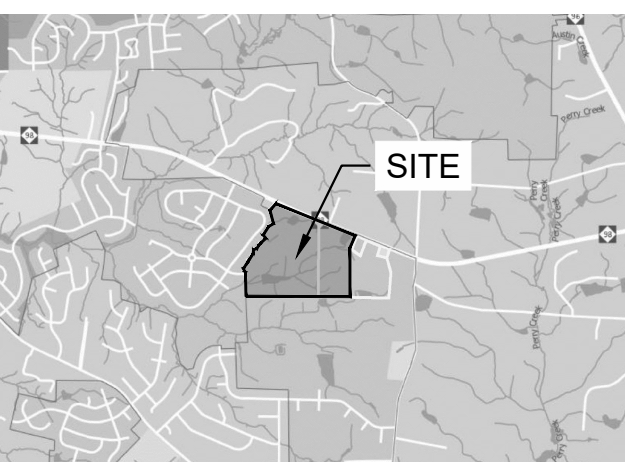
**STEWART**

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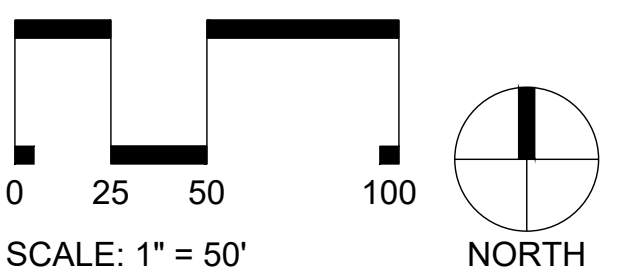
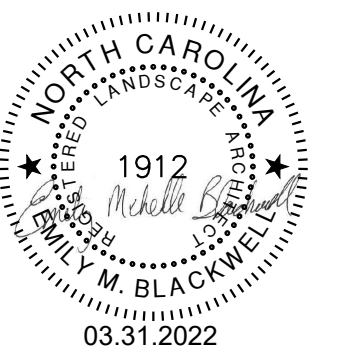
Client:

PULTE HOMES  
CHRIS RAUGHLLEY  
1224 CRESCENT GREEN  
CARY, NC 27518  
PHONE (919)816-1100

Vicinity map:



Seal:  
PRELIMINARY - DO NOT  
USE FOR CONSTRUCTION



Project:

**FORMER THALES  
SITE**

Issued for:

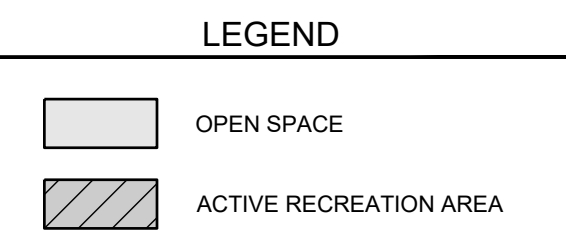
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	03/31/2022	5TH SUBMITTAL

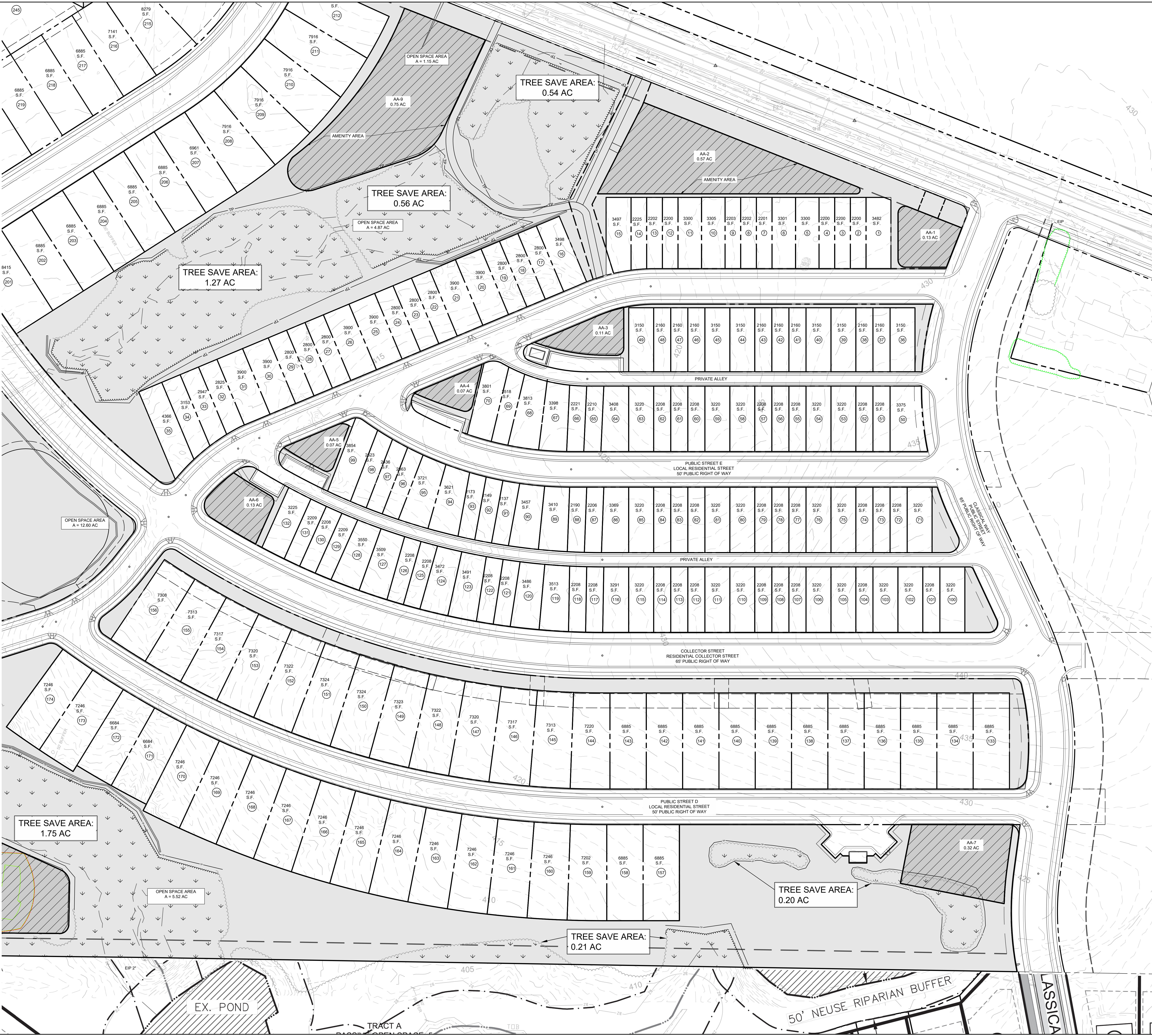
Title:

**OPEN SPACE PLAN  
NORTHWEST**

Project number: C19003 Sheet #:  
Issued Date: 12.23.2020  
Drawn by: TM  
Approved by: EMB **L3.01**



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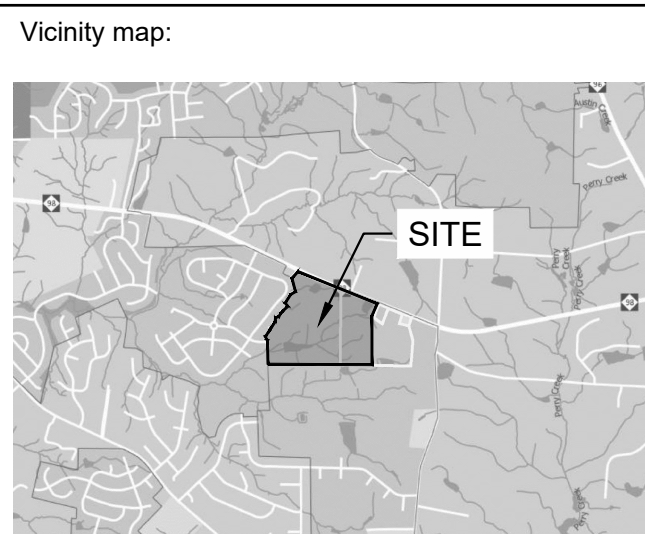


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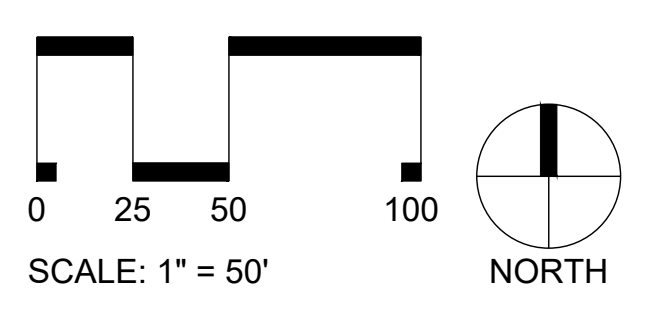
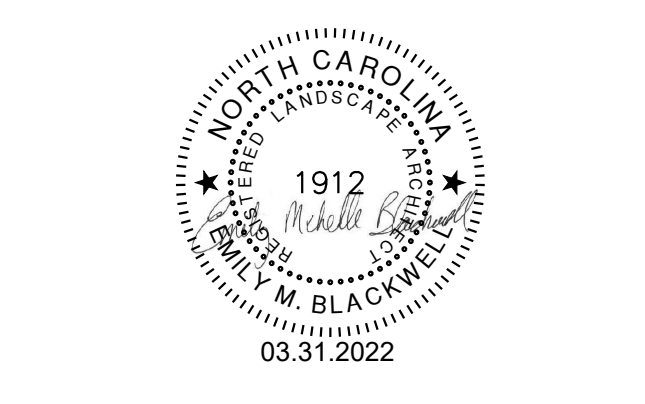
- OPEN SPACE
- ACTIVE RECREATION AREA

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 223 S. WEST ST., #1100  
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Client:  
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 CHRIS RAUHLLEY  
 1224 CRESCENT GREEN  
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Seal:  
**PRELIMINARY - DO NOT USE FOR CONSTRUCTION**



Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3	---	---
4	03.31.2022	5TH SUBMITTAL
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Title:  
**OPEN SPACE PLAN EAST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM  
 Approved by: EMB  
**L3.02**

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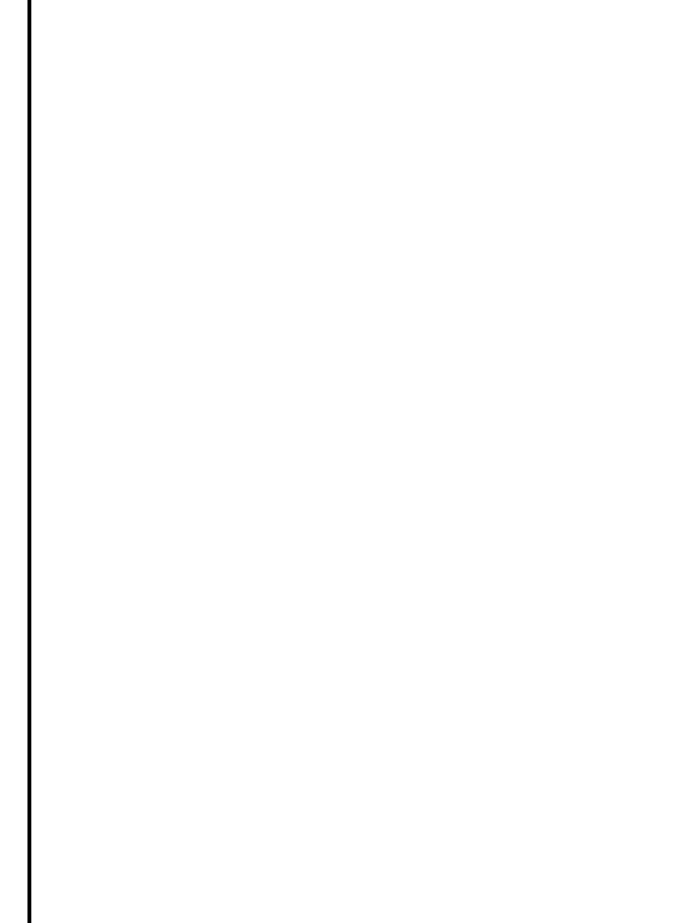


**LEGEND**

- OPEN SPACE
- ACTIVE RECREATION AREA

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PROJECT # C19003

Client:  
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 1224 CRESCENT GREEN  
 CARY, NC 27518  
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Seal:  
  
 NORTH

Scale:  
  
 SCALE: 1" = 50'  
 NORTH

Project:  
**FORMER THALES SITE**

Issued for:  
**PRELIMINARY PLAT**

No.	Date	Description
1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
3		
4	03.31.2022	5TH SUBMITTAL

Title:  
**OPEN SPACE PLAN  
 SOUTHWEST**

Project number: C19003 Sheet #:  
 Issued Date: 12.23.2020  
 Drawn by: TM **L3.03**  
 Approved by: EMB

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