RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, T
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON
- 3. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT 'STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- 4. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- 6. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

DURING INTERACTRICTURE CLIMMARY

	TOTAL
PHASE 1	
PUBLIC WATER	
12" WATER (COLLECTOR)	2,280 LF
8" WATER (LOCAL)	1,650 LF
$^{3}\!\!/_{\!\!\!4}$ " METERS (WATER STUBS)	112
PUBLIC SEWER	
8" SEWER	3,000 LF
4" LATERALS (SEWER STUBS)	112
ROADWAYS	
FRONTAGE ALONG WAIT AVENUE	2,140 LF
RESIDENTIAL COLLECTORS	2,280 LF
RESIDENTIAL LOCAL	1,650 LF
STREET AND SITE SIGNS	19
PHASE 2	
PUBLIC WATER	
12" WATER (COLLECTOR)	2,695 LF
8" WATER (LOCAL)	5,200 LF
3/4" METERS	184
PUBLIC SEWER	
8" SEWER	5,090 LF
4" LATERALS	184
ROADWAYS	
RESIDENTIAL COLLECTORS	2,695 LF
RESIDENTIAL LOCAL	4,695 LF
ALLEYS	1,750 LF
STREET AND SITE SIGNS	36

FORMER THALES SITE

2208 & 2206 Wait Ave Rolesville, NC 27587

PRELIMINARY PLAT PR 21-01

1ST SUBMITTAL DECEMBER 23, 2020 2ND SUBMITTAL APRIL 1, 2021 3RD SUBMITTAL JANUARY 7, 2022 4TH SUBMITTAL FEBRUARY 18, 2022 5TH SUBMITTAL MARCH 31, 2022

SI	TE DATA
PROJECT NAME:	FORMER THALES SITE
PROJECT NUMBER:	PR 21-01
SITE ADDRESS:	2028 & 2206 WAIT AVE ROLESVILLE, NC 27587
COUNTY:	WAKE
PARCEL PIN #:	1850950449.00, 1860045778.00, 0.00
PARCEL OWNER:	THALES ACADEMY
TOTAL SITE AREA:	93.73 AC
CURRENT ZONING:	R-PUD
PROPOSED ZONING:	R-PUD
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	RESIDENTIAL
PROPOSED # OF LOTS:	293 LOTS
SINGLE FAMILY LOTS	102
28' WIDE TH LOTS	54
24' WIDE TH LOTS (REAR)	97
22' WIDE TH LOTS	40
MINIMUM BUILDING SETBACKS	FRONT: 25' FOR SF / 15' FOR TH
	REAR: 25' FOR SF / 15' FOR TH / 15' FROM CENTERLINE OF ALLEY FOR TH SERVICED BY REAR ALLEY
	SIDE: 5' FOR SF LOTS / 20' SEPARATION FOR TH
	CORNER: 10' FOR BOTH SF AND TH
FLOODPLAINS:	NONE
RIVER BASIN:	NEUSE RIVER BASIN
WATERSHED:	NONE
CONSTRUCTION TYPE:	SINGLE FAMILY ATTACHED AND DETACHED
MAX BUILDING HEIGHT:	35'
LIMITS OF DISTURBANCE:	72.62 AC (3,163,335 SF)
TOTAL IMPERVIOUS AREA:	27.23 AC

Doubling	Deguired Drewided		
Parking	Required	Provided	
Phase 1			
9' X 18' Visitor Spaces	15	16	
22' Townhome Resident Spaces	13	13	
CBU Parking	6	6	
Total Parking	34	35	
Included ADA Spaces	1	2	
Included Van Accesible Spaces	1	1	
Phase 2			
9' X 18' Visitor Spaces	33	33	
22' Townhome Resident Spaces	8	8	
Amenity Area Parking	32	32	
CBU Parking	9	9	
Total Parking	82	82	
Included ADA Accesible Spaces	1	1	
Included Van Accesible Spaces	1	1	

	Phase 1	Phase 2	Future Phase
Total Site Area (AC)	29.75	55.30	8.0
R1 Single Family Lots	53	49	
R1 Single Family Area (AC)	20.18	27.46	
R3 Townhome Lots	59	132	
R3 Townhome Area (AC)	9.57	27.84	
Commercial Area			8.0
Open Space			
Required			
10% R1 Single Family Area (AC)	2.02	2.75	
15% R3 Townhome Area (AC)	1.44	4.18	
35% Active Rec Area (AC)	0.50	1.46	1
Total	3.46	6.93	
Provided			
Active Rec Area (AC)	1.71	2.65	
Passive Open Space (AC)	8.9	22.88	1
Total Open Space (AC)	10.61	25.53	
Density			
Allowed			1
Per Phase (DU/AC)	6	6	1
Entire Site (DU/AC)	8	8	
Townhome (DU/AC)	10	10	
Provided			
Per Phase (DU/AC)	3.76	3.27	1
Entire Site (DU/AC)	3.	13	1
Townhome (DU/AC)	6.17	4.74	
Impervious Area			
Total Impervious Area (AC)	10.27	16.96	
Impervious Area from Buildings (AC)	5.94	8.16	

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.10	GENERAL NOTES
C0.20	TYPICAL SECTIONS & BUFFERS
C1.00	EXISTING CONDITIONS PLAN
C3.00	OVERALL SITE PLAN
C3.01	SITE PLAN NORTHWEST
C3.02	SITE PLAN EAST
C3.03	SITE PLAN SOUTHWEST
C3.10	PAVEMENT AND SIGNAGE PLAN
C3.11	PAVEMENT AND SIGNAGE PLAN
C5.00	GRADING & STORM DRAINAGE PLAN OVERALL
C5.01	GRADING AND DRAINAGE PLAN NORTHWEST
C5.02	GRADING AND DRAINAGE PLAN EAST
C5.03	GRADING AND DRAINAGE PLAN SOUTHWEST
C6.00	UTILITIES PLAN OVERALL
C6.01	UTILITIES PLAN NORTHWEST
C6.02	UTILITIES PLAN EAST
C6.03	UTILITIES PLAN SOUTHWEST
L1.00	LANDSCAPE NOTES
L1.01	OVERALL LANDSCAPE PLAN
L1.02	LANDSCAPE PLAN NORTHWEST
L1.03	LANDSCAPE PLAN EAST
L1.04	LANDSCAPE PLAN SOUTHWEST
L3.00	OVERALL OPEN SPACE PLAN
L3.01	OPEN SPACE PLAN NORTHWEST
L3.02	OPEN SPACE PLAN EAST

PREVIOUS SUP CONDITIONS (SUP 18-01)

THE SPECIAL USE PERMIT APPROVAL IS MADE SUBJECT TO THE FOLLOWING CONDITIONS 1. THE PROPOSED DEVELOPMENT HAS AN OVERALL DENSITY OF FOUR UNITS PER GROSS ACRE FOR RESIDENTIAL USES ACROSS THE TRACT TO DEVELOP 143 SINGLE-FAMILY LOTS ON APPROXIMATELY 58.17 ACRES AND SCHOOL/ INSTITUTIONAL USES ON APPROXIMATELY 36.51 ACRES EXCLUDING FUTURE STREET DEDICATIONS. THE APPLICANT WISHES TO DEFER SUBMITTING DETAILED SITE PLAN FOR TYPE AND DEVELOPMENT DENSITY FOR A PARTICULAR SITE OR PHASE BE GRANTED ON THE CONDITION THAT NO DEVELOPMENT OF THE SITE TAKE PLACE UNTIL THE TOWN BOARD OF COMMISSIONERS APPROVE A DETAIL SITE PLAN OR PRELIMINARY SUBDIVISION PLAT FOR THE SITE AS AN AMENDMENT TO THE SPECIAL USE PERMIT AS PROVIDED IN SECTION 6.2.7 (5) PROCEDURES FOR APPROVAL OF A PLANNED UNIT DEVELOPMENT.

2. THE TIA REPORT RECOMMENDS THE FOLLOWING ROADWAY IMPROVEMENTS BE PERFORMED TO ACCOMMODATE THE PROJECTED THALES ACADEMY SITE TRAFFIC BASED ON THE CAPACITY ANALYSIS PRESENTED IN THE REPORT. THE FOLLOWING IS A CONDITION FOR DEVELOPMENT OF THIS PUD MASTER

A. NC 98 AT AVERETTE ROAD:

I. CONSTRUCT AN EXCLUSIVE EASTBOUND RIGHT-TURN LANE ON NC 98 WITH 200 FEET OF STORAGE AND APPROPRIATE TAPERS. II. PROVIDE A NORTHBOUND LEFT-TURN LANE ON AVERETTE ROAD WITH 250 FEET OF STORAGE

AND APPROPRIATE TAPERS III. MODIFY THE TRAFFIC SIGNAL TO ACCOMMODATE THE RECOMMENDED LANEAGE.

B. AVERETTE ROAD AT OLD PEARCE ROAD AND PROPOSED THALES WAY: I. PROVIDE A NORTHBOUND LEFT-TURN LANE ON AVERETTE ROAD WITH 100 FEET OF STORAGE AND APPROPRIATE TAPERS.

II. CONSTRUCT AND EXCLUSIVE FREE-FLOW SOUTHBOUND RIGHT-TURN LANE ON AVERETTE ROAD WITH 100 FEET OF STORAGE AND APPROPRIATE TAPERS. III. CONSTRUCT THALES WAY STREET IMPROVEMENT AS A FOUR-LANE SECTION TO THE PROPOSED CLASSICAL COURT STUB STREET INTERSECTION APPROXIMATELY 800 FEET WEST

 $\underline{\mathsf{NOTE:}} \ \mathsf{PLEASE} \ \mathsf{REFERENCE} \ \mathsf{SUP} \ \mathsf{21-01} \ \mathsf{FOR} \ \mathsf{PROPOSED} \ \mathsf{CONDITIONS} \ \mathsf{PERTAINING} \ \mathsf{TO} \ \mathsf{THIS} \ \mathsf{PRELIMINARY} \ \mathsf{PLAT}.$

STORM-WATER INFORMATION

	PHASE 1	PH4	SE 2
DRAINAGE AREA	SCM #1	SCM #2	SCM #3
On-site Drainage Area	20.30	25.63	6.54
Off-site Drainage Area	2.88	0.00	3.11
TOTAL DRAINAGE (AC)	23.18	25.63	9.65
IMPERVIOUS AREA			
On-site Buildings/Lots	5.94	7.20	0.96
On-site Roadways/Sidewalk	4.33	7.76	1.04
Off-site Areas	0.00	0.00	0.51
Existing Built Upon Area	0.00	0.00	0.00
TOTAL IMPERVIOUS (AC)	10.27	14.96	2.51
%IMPERVIOUS	44%	58%	26%

	PHASE 1	PHASE 2		
RAINAGE AREA	SCM #1	SCM #2	SCM #3	
n-site Drainage Area	20.30	25.63	6.54	
ff-site Drainage Area	2.88	0.00	3.11	
OTAL DRAINAGE (AC)	23.18	25.63	9.65	
IPERVIOUS AREA				
n-site Buildings/Lots	5.94	7.20	0.96	
n-site Roadways/Sidewalk	4.33	7.76	1.04	
ff-site Areas	0.00	0.00	0.51	
isting Built Upon Area	0.00	0.00	0.00	
OTAL IMPERVIOUS (AC)	10.27	14.96	2.51	
IMPERVIOUS	44%	58%	26%	

CLIENT

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - GEOMATICS

 $\frac{1}{2}$ RESIDENT PARKING SPOT FOR EVERY 22' TOWNHOME WITH 3 BEDROOMS ((25 / 2) + (15 / 2) = 21 RESIDENT SPACES) (CALCULATED PER PHASE)

1 PARKING SPACE FOR EVERY 100 SF OF GATHERING SPACE IN THE AMENITY AREA CLUBHOUSE (3156 SF / 100 SF = 32 AMENITY AREA SPACES)

PARKING SPACES WILL BE REQUIRED; SEE CALCULATIONS BELOW FOR VISITOR PARKING SPACES REQUIRED.

* ALL TOWNHOMES LARGER THAN 22' IN WIDTH WILL PROVIDE 4 PARKING SPACES (2-CAR GARAGE AND DRIVEWAY) AND ARE SELF PARKED. NO OFF-STREET RESIDENT

ALL TOWNHOMES 22' IN WIDTH WILL PROVIDE 2 PARKING SPACES (1-CAR GARAGE AND DRIVEWAY). ADDITIONAL OFF-STREET RESIDENT PARKING WILL BE PROVIDED

GEOTECHNICAL ENGINEERING

TRAFFIC ENGINEERING



PULTE HOME COMPANY.LLC 1225 CRESCENT GREEN DRIVE CARY, NC 27613 CONTACT: CHRIS RAUGHLEY 919.816.1100 (T)



STEWART INC. - CIVIL CONTACT: RIYAD BAROUDI, PE PROJECT MANAGER 704.334.7925 (T) RBAROUDI@STEWARTINC.COM

1 VISITOR PARKING SPACE FOR EVERY 4 TOWNHOMES (191 / 4 = 48 VISITOR SPACES)

STEWART INC. - LANDSCAPE ARCHITECTURE CONTACT: EMILY MICHELLE BLACKWELL, PLA, CLARB, ASLA LANDSCAPE ARCHITECT 704.909.3512 (T) EBLACKWELL@STEWARTINC.COM

STEWART INC. - GEOMATICS CONTACT: FRANK G. MUNDY, II, PLS DIRECTOR OF GEOMATICS 919.380.8752 (F) FMUNDY@STEWARTINC.COM

Existing Tree Preservation Area (AC)

FROEHLING & ROBERTSON, INC

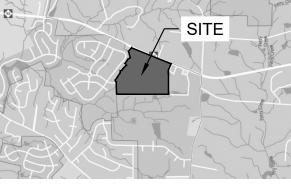
310 HUBERT STREET

RALEIGH, NC 27603

919.828.3441 (T)



STANTECH 801 JONES FRANKLIN ROAD, SUITE 300 RALEIGH, NC 27606 CONTACT: MATT PEACH 919.865.7375 (T) MATT.PEACH@STANTECH.COM PULTE HOMES CHRIS RAUGHLEY 1224 CRESCENT GREEN PHONE (919)816-1100



NORTH

PRELIMINARY - DO NOT **USE FOR CONSTRUCTION**



FORMER THALES

Issued for:

PRELIMINARY PLAT

02/17/2022 4TH SUBMITTAL 03.31.2022 5TH SUBMITTAL

No. Date Description

COVER SHEET

Project number: C19003 Sheet #: Approved by:

5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS.

7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING

8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE

11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS

LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES.

DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED

CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S

REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE

12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000

1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON THE PROPERTY OF

THE BENEFIT OF A TITLE REPORT AND THEREFORE MAY NOT REPRESENT ALL ENCUMBRANCES UPON THIS

2. THE PROPERTY LINES SHOWN HEREON HAVE BEEN CONFIRMED FROM A SURVEY BY STEWART ENGINEERING DATED FEBRUARY 7, 2018, PROPERTY LINES SHOWN TAKEN FROM REFERENCES SHOWN HEREON.

3. HORIZONTAL DATUM IS NAD 83 (2011). NO NCGS MONUMENTS WERE FOUND WITHIN 2000 FEET. THE NORTH

CAROLINA STATE PLANE COORDINATES (SPC) FOR THIS PROJECT WERE PRODUCED WITH STATIC GPS

4. THE INITIAL STATE PLANE POSITIONS FOR THIS SURVEY WERE SCALED FROM GRID TO GROUND FROM 805,932.71' N.

2,159,677.79' E, ALL DISTANCES ARE HORIZONTAL GROUND. AREAS COMPUTED BY COORDINATE GEOMETRY.

5. THE TOPOGRAPHIC AND PLANIMETRIC MAPPING FOR THIS PROJECT WAS PRODUCED BY PHOTOGRAMMETRIC

ACCURACYSTANDARDS FOR 1" = 50' MAPPING SCALE WITH 1 FOOT CONTOURS AS PUBLISHED BY THE USGS.

NATIONAL MAP ACCURACY STANDARDS. THE DATE OF LADAR ACQUISITION AND AERIAL PHOTOGRAPHY WAS

DESIGNATION/MARKING SERVICES WERE PERFORMED AS A PART OF THIS SURVEY. CONTRACTOR SHALL FIELD

8. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTIES LIE IN ZONES X, AN AREA DETERMINED TO BE OUTSIDE

9. WETLANDS SHOWN HEREON WERE DELINEATED BY ECOLOGICAL ENGINEERING AND IS DEPICTED ON A WETLANDS

3720186000J BEARING AN EFFECTIVE DATE OF MAY 2, 2006 WERE USED TO DETERMINE THE FLOOD ZONE. EXACT

THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE FLOOD INSURANCE RATE MAPS IDENTIFIED AS 3720185000J &

PLANIMETRIC AND TOPOGRAPHIC FEATURES THAT LIE IN AREAS DELINEATED AS "OBSCURE" MAY NOT ADHERE TO

OBSERVATIONS AND PROCESSED WITH ONLINE POSITIONING USER SERVICE (OPUS) SOLUTIONS.

METHODS FROM LIDAR DATA AND AERIAL PHOTOGRAPHY IN ACCORDANCE WITH NATIONAL MAP

6. UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE-GROUND VISIBLE EVIDENCE. NO UTILITY

7. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.

TAKEN ON DECEMBER 14, 2017 WITH A PHOTOGRAPHY SCALE OF 1" =300'...

DESIGNATION CAN ONLY BE DETERMINED BY AN ELEVATION CERTIFICATE.

SKETCH MAP. THEY HAVE NOT BEEN FIELD VERIFIED BY USACE OR NCDWR.

VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.

WFINV, LLC; PIN NO'S 1850950449, 1860056400, 1860045778 & 1860143789. THIS SURVEY WAS PERFORMED WITHOUT

MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT

COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE

CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.

AT THE CONTRACTOR'S EXPENSE.

SITE ON A DAILY BASIS.

EXISTING CONDITION NOTES:

THROUGHOUT THE PROJECT FOR RECORD KEEPING.

THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.

COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.

ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE

2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.

CURB UNLESS OTHERWISE NOTED.

SITE NOTES:

THE CONTRACTOR SHALL REFERENCE THE ARCHITECTURAL PLANS FOR DIMENSIONS, JOINTS AND INLAY SPECIFICATIONS NEAR THE BUILDING AND COURTYARD. THE CONTRACTOR SHALL PROVIDE JOINTS IN WALKWAYS EVERY TEN (10) FEET MAXIMUM, OR AS INDICATED ON ARCHITECTURAL PLANS SHEETS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE

CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND

3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM UNLESS OTHERWISE APPROVED IN WRITING

FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.

4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION. 5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF

6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.

7. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.

8. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS.

9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.

PAVEMENT JOINT; MATCH WIDTH OF EXISTING WALKWAY.

ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.

10. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN

11. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.

12. ALL CURB TAPERS ARE SIX (6') FEET LONG UNLESS OTHERWISE SHOWN ON PLAN. 13. WHERE NEW SIDEWALK ADJOINS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE

14. WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 6.5' WIDE AS MEASURED FROM THE FACE OF CURB.

OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. TIE NEW SIDEWALKS INTO NEAREST EXISTING

15. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.

16. SIGHT TRIANGLES - NOTHING OVER 30" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES.

17. THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY OR PROJECT APPROVAL

18. HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.11 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND GRADING SPOT ELEVATIONS. IF THE EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE 1/12 FOR 6-FEET OR A MAXIMUM CROSS SLOPE OF 1:48 AND A 36" MINIMUM LANDING, THE

CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION. HANDICAP RAMPS SHALL BE INSTALLED PER THE PLANS AND SPECIFICATIONS AND THE NC BUILDING CODE. A

REPRESENTATIVE PRIOR TO INSTALLATION 19. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR

CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

CONDITIONS PRECLUDE THIS REQUIREMENT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR OWNER'S

MAXIMUM SLOPE OF 1/12 FOR 6-FEET AND A MAXIMUM CROSS SLOPE OF 1:48 SHALL BE PROVIDED. IF EXISTING

1. UNLESS OTHERWISE NOTED, ALL MANHOLES SHALL BE PRE-CAST CONCRETE STRUCTURES.

UTILITY NOTES:

2. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF UNDERGROUND UTILITIES (WATER, SEWER, STORM, ELECTRICAL, GAS, OR OTHER) FOR THIS PROJECT WITH THE BUILDING PLANS. THE UTILITY CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE INSTALLATION OF ALL UTILITY SERVICES TO WITHIN FIVE (5) FEET OF THE BUILDING CONNECTION POINT.

3. THE CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.

4. THE CONTRACTOR SHALL COORDINATE ALL PEDESTRIAN AND VEHICULAR INTERRUPTIONS WITH OWNER'S REPRESENTATIVE AT LEAST 72 HOURS PRIOR TO BEGINNING WORK.

5. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INSIDE THE PUBLIC RIGHT OF WAY PRIOR TO RECEIPT AND COMPLIANCE WITH ALL APPLICABLE NCDOT PERMITS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY FLAGGERS AND TRAFFIC CONTROL DURING ALL WORK INSIDE THE PUBLIC RIGHTS OF WAY.

6. THE CONTRACTOR SHALL NOT RE-USE ANY FIRE HYDRANT REMOVED AS PART OF THIS PROJECT. ANY FIRE HYDRANT SHOWN TO BE REMOVED OR RELOCATED SHALL BE REPLACED WITH A NEW FIRE HYDRANT MEETING THE LOCAL JURISDICTIONAL REQUIREMENTS AND STANDARDS.

. ALL EXISTING SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. DEPTHS OF EXISTING UTILITIES SHOWN IN PROFILE VIEWS ARE BASED ON STANDARD ASSUMPTIONS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION, DEPTH, SIZE AND MATERIAL OF ANY AND ALL SUB-SURFACE CONDITIONS REFERENCED IN THESE PLANS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.

8. ELEVATIONS OF UTILITIES ARE GIVEN TO THE EXTENT OF INFORMATION AVAILABLE, WHERE ELEVATIONS ARE NOT GIVEN AT POINTS OF EXISTING UTILITY CROSSINGS, SUCH ELEVATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND REPORTED TO THE ENGINEER, WHEN UNKNOWN LINES ARE EXPOSED. THEIR LOCATIONS AND ELEVATIONS SHALL ALSO BE REPORTED TO THE ENGINEER.

9. UNDERGROUND UTILITIES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OF PARKING AREA, DRIVES, CURB AND GUTTER OR CONCRETE WALKS / PADS. IF UTILITIES SHOWN ON THIS PLAN CANNOT BE INSTALLED PRIOR TO INSTALLATION OF IMPERVIOUS (ASPHALT / CONCRETE) CONDUIT SHALL BE INSTALLED FOR THE "FUTURE" UTILITY INSTALLATION.

10. AS-BUILT DOCUMENTATION REQUIREMENTS: PRIOR TO APPROVAL FROM LOCAL JURISDICTION OR ENGINEER THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS (IN BOTH PAPER AND ELECTRONIC FORMAT (CAD / PDF) PREPARED AND SEALED BY A PROFESSIONAL LAND SURVEYOR SHOWING ALL UTILITY INSTALLATION. HORIZONTAL AND VERTICAL INFORMATION SHALL BE PROVIDED FOR WATER, SEWER, STORM INCLUDING ALL STRUCTURES, VALVES, HYDRANTS, AND OTHER APPURTENANCES.

WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM EXISTING OR PROPOSED SEWERS,

a. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE

b. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED

AT ONE SIDE OF A BENCH OF UNDISTURBED EARTH. AND WITH THE ELEVATION OF THE BOTTOM

UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10-FOOT HORIZONTAL SEPARATION IN WHICH

WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER; OR

OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP TO THE SEWER.

2. CROSSING A WATER MAIN OVER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS

OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE

WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR

BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND

WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.

3. CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS

UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS

SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO

MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON

a. A 24" VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY

SEWER LINES OR BOTH THE SANITARY AND THE STORM LINES SHALL BE CONSTRUCTED OF

EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE

PAVING PATTERN NOTES:

PLANS AND SITE DETAILS.

1. END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF SIZE PAVER UNLESS OTHERWISE NOTED. USE OVERSIZE PAVERS WHERE PATTERN ENDS ON A UNIT SMALLER THAN HALF SIZE.

2. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS AS INDICATED ON THIS PLAN. REFERENCE LAYOUT PLANS FOR FURTHER PAVING LAYOUT INFORMATION.

ABBREVIATIONS FOR SPECIFIC HARDSCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SET'S HARDSCAPE & FURNISHINGS PLANS, PAVING PATTERN

2. REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR

3. CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCK-UPS FOR ALL CAST IN PLACE CONCRETE

3. PAVERS ABUTTING TRUNCATED DOMES SHALL BE A CONTRASTING COLOR.

FURTHER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE

4. ALIGN ALL TRUNCATED DOME PAVER JOINTS WITH ABUTTING PAVER JOINTS.

5. PROVIDE CONTINUOUS EXPANSION JOINTS BETWEEN BACK OF CURB AND ADJOINING PAVEMENT.

6. PROVIDE CONTINUOUS EXPANSION JOINT BETWEEN ALL VERTICAL SURFACES AND ADJOINING PAVEMENT.

7. ALL DIMENSIONS MEASURED TO CENTERLINE OF JOINTS.

MATERIALS AND FURNISHINGS NOTES:

FOR APPROVAL BY LANDSCAPE ARCHITECT.

8. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.

9. ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.

10. ALIGN ALL JOINTS, CORNERS AND EDGES AS SHOWN.

11. FINAL LAYOUTS TO BE APPROVED BY LANDSCAPE ARCHITECT

SIGNAGE, STRIPING AND MARKING NOTES:

PERPENDICULAR TO THE ROADWAY / DRIVE LANE.

PER DOT STANDARDS

Vicinity map:

223 S. WEST ST., #1100

PULTE HOMES

CHRIS RAUGHLEY

CARY, NC 27518

PHONE (919)816-1100

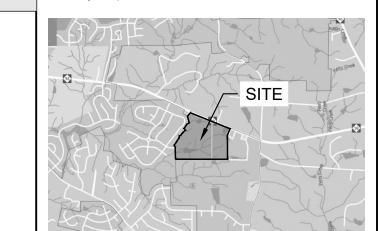
1224 CRESCENT GREEN

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PROJECT #: C19003

RALEIGH, NC 27603

T 919.380.8750



SPECIFICATIONS. PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT. CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR

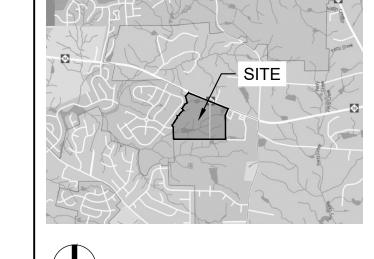
ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF

ALL PAVEMENT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) SHALL BE THERMOPLASTIC

REFLECTIVE PAINT. MATERIALS AND DIMENSIONS SHALL CONFORM TO NCDOT STANDARDS AND

INSTALLATION. SIGNAGE LEADING ONTO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY

4. ADA SYMBOLS SHOWN THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE



NORTH Seal:

PRELIMINARY - DO NOT



DEMOLITION NOTES:

ON THIS PLAN.

- 1. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO
- 2. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
- 3. CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND RAISED TO BE FLUSH WITH NEW GRADE.
- 4. ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.
- i. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" (TELEPHONE 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL."
- 6. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- 7. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.

8. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED

- 9. REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.
- 10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS.
- 11. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION

TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.

- 12. EROSION CONTROL PERMIT SHALL BE OBTAINED AND ONSITE PRIOR TO BEGINNING DEMOLITION. 13. ITEMS DESIGNATED TO BE SALVAGED AND/OR RE-USED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED
- 14. WHERE UTILITIES ("TO BE REMOVED") IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL EXECUTE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PIPE, AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 15. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE UPSTREAM OF THE SYSTEM. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION.
- 16. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE INTERRUPTION TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, SIDEWALK AND CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION VIDEO OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.
- 18. ALL MATERIALS, FURNISHINGS, UTILITIES, AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 19. WHERE UTILITIES ARE SHOWN TO BE "REMOVED", CONTRACTOR SHALL INCLUDE NECESSARY PLUG OR VALVES TO ENSURE UTILITY LINES TO REMAIN WILL CONTINUE TO BE IN SERVICE. COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.
- 20. CONTRACTOR SHALL PROVIDE PEDESTRIAN INGRESS / EGRESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD

GRADING AND STORM DRAINAGE NOTES:

- CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION OPERATIONS.
- THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1/12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NON-CURB CUT RAMPS SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH 5' LANDINGS AT THE BOTTOM AND TOP OF RAMP.
- 3. ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 12" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.
- 5. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM. (BOTH PUBLIC AND PRIVATE). THIS SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING CO.
- 6. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION
- 7. INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT.
- 9. TIE ROOF LEADERS WHERE POSSIBLE TO UNDERGROUND STORM SYSTEM. CONTRACTOR TO FIELD VERIFY

8. INTERIM GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT PONDING.

- LOCATE AND INSTALL WHERE POSSIBLE OR AS SHOWN ON PLANS. WHERE ROOF LEADERS DAYLIGHT AT GRADE A SPLASH BLOCK APPROVED BY THE OWNER'S REPRESENTATIVE SHALL BE INSTALLED.
- 10. MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND AISLE SHALL NOT EXCEED 2% IN ANY
- 11. PROPOSED CONTOURS ARE APPROXIMATE. SPOT ELEVATIONS AND ROADWAY PROFILES SHALL BE USED IN CASE OF DISCREPANCY.
- 12. PLACE BACKFILL AND FILL MATERIALS IN LAYER NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.
- 13. SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL SLOPE NOT LESS THAN 1/20 AWAY FOR MINIMUM DISTANCE OF 10 FEET. ALTERNATIVE METHOD SHALL BE PROVIDED TO DIVERT WATER AWAY FROM FOUNDATION VIA SWALES SLOPED AT A MINIMUM OF 2% OR IMPERVIOUS SURFACES SLOPED AWAY A MINIMUM OF 2% AWAY FROM BUILDING.
- REQUIRED TO MEET NEW FINISHED GRADES.

14. CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS

15. CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS.

16. TOP OF WALL ELEVATIONS INDICATE THE ELEVATION AT THE TOP OF THE CAP, UNLESS OTHERWISE NOTED.

17. BOTTOM OF WALL ELEVATIONS INDICATE THE ELEVATION OF THE FINISHED GRADE.

SEWER NOTES:

POINT OF CROSSING.

- 1. SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING
- 2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.

4. SEPARATION OF SANITARY SEWERS AND STORM SEWERS:

FERROUS MATERIALS

- MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATERTIGHT, BOLTED LIDS.
- 4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES: 4" SEWER SERVICE - 2.00% SLOPE 6" SEWER SERVICE - 1.00% SLOPE 8" SEWER SERVICE - 0.50% SLOPE

PROPOSED UTILITY SEPARATION:

- 5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. MAXIMUM SPACING BETWEEN CLEANOUTS SHALL BE 75 FEET.
- 6. SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW: 4" SEWER SERVICE - SCH 80 6" SEWER SERVICE - SCH 80 8" SEWER SERVICE - SDR-35
- 7. SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM ANY INFLOW OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY.
- 8. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.

WATER NOTES:

- AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI-AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM B88. IF PVC WATERLINE IS INDICATED ON THE PLANS IT SHALL MEET THE REQUIREMENTS OF AWWA C-900; CLASS 200.
- 2. ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
- LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 600. MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION. TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS APART. IF CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
- 4. THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS PRIOR TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER
- 5. PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.

FORMER THALES

Issued for:

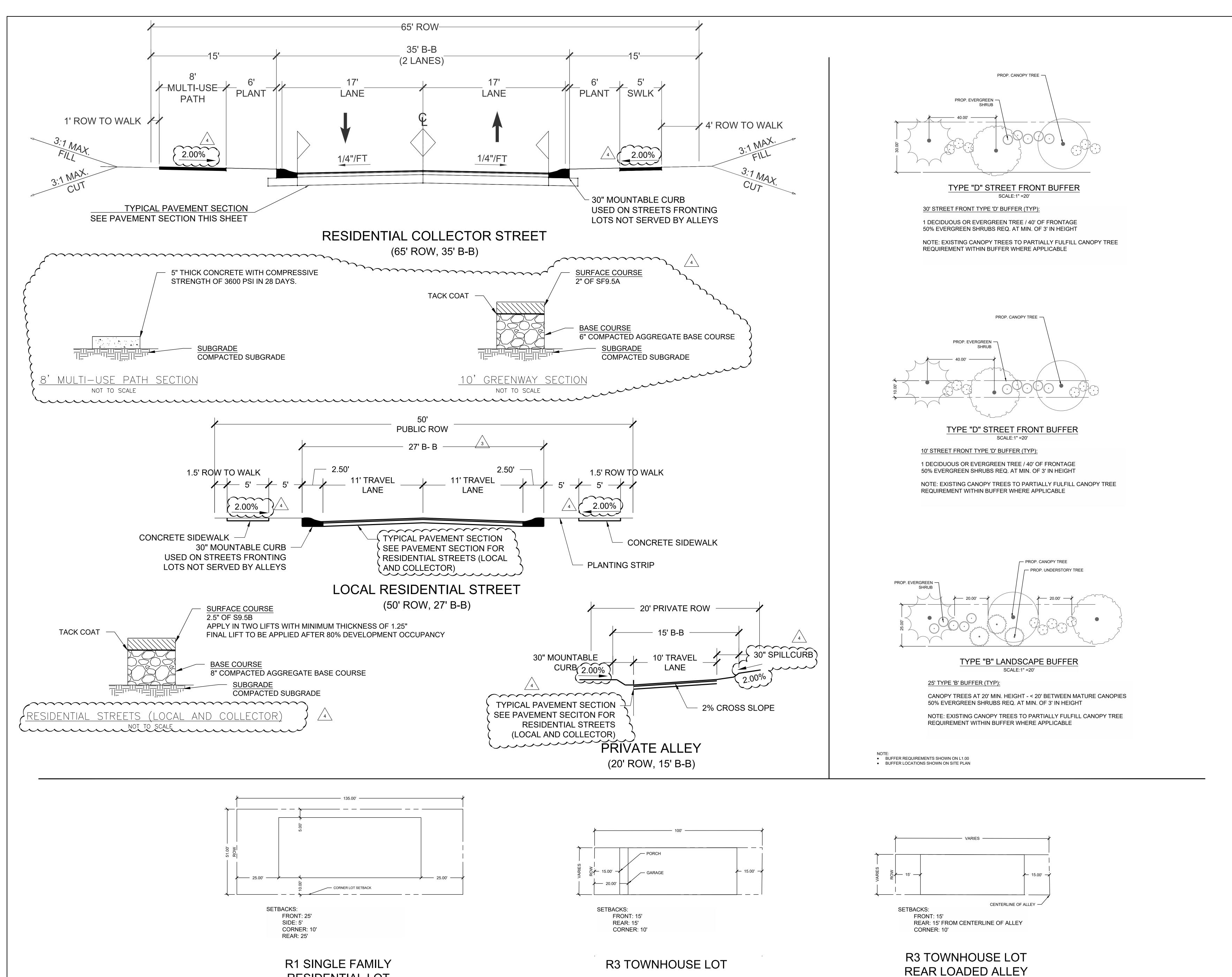
PRELIMINARY PLAT

1	4/01/2021	2ND SUBMITTAL
2	12/23/2021	3RD SUBMITTAL
4	03.31.2022	5TH SUBMITTAL

GENERAL NOTES

Date Description

Project number: C19003 Sheet #:



RESIDENTIAL LOT

STEWART

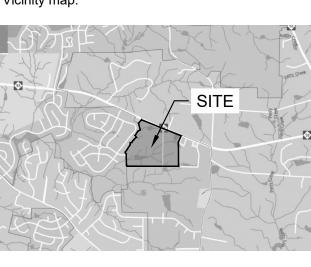
223 S. WEST ST., #1100
RALEIGH, NC 27603

FIRM LICENSE #: C-1051
www.stewartinc.com

80.8750 PROJECT #

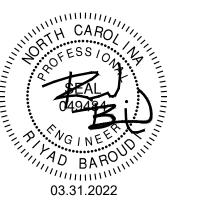
PULTE HOMES CHRIS RAUGHLEY 1224 CRESCENT GREEN CARY, NC 27518 PHONE (919)816-1100

Vicinity map



NORTH

Seal:
PRELIMINARY - DO NOT
USE FOR CONSTRUCTION



Project:

FORMER THALES SITE

SCALE: N.T.S.

PRELIMINARY PLAT

 No.
 Date
 Description

 1
 4/01/2021
 2ND SUBMITTAL

 2
 12/23/2021
 3RD SUBMITTAL

 3
 02/17/2022
 4TH SUBMITTAL

 4
 03.31.2022
 5TH SUBMITTAL

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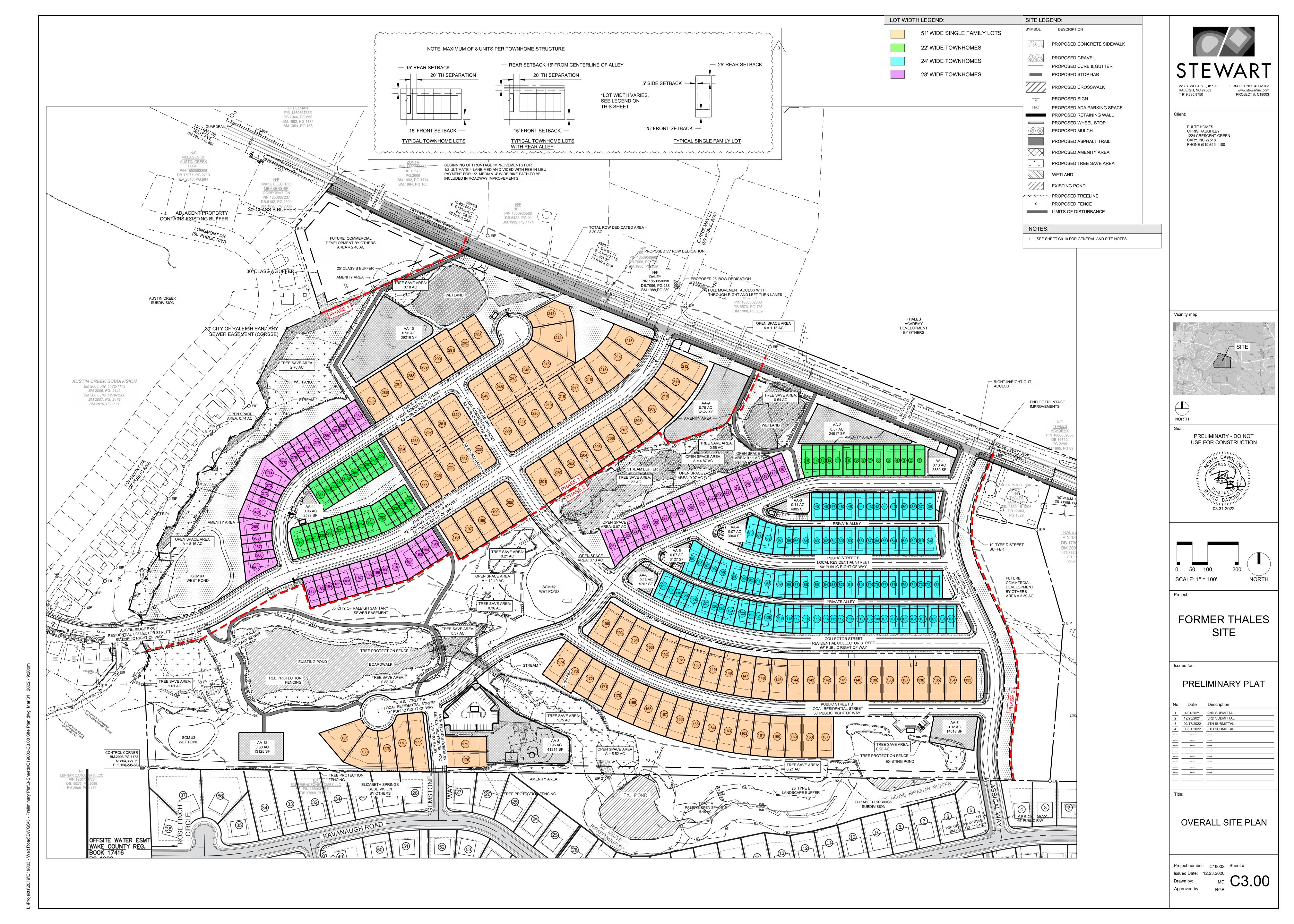
TYPICAL SECTIONS & BUFFERS

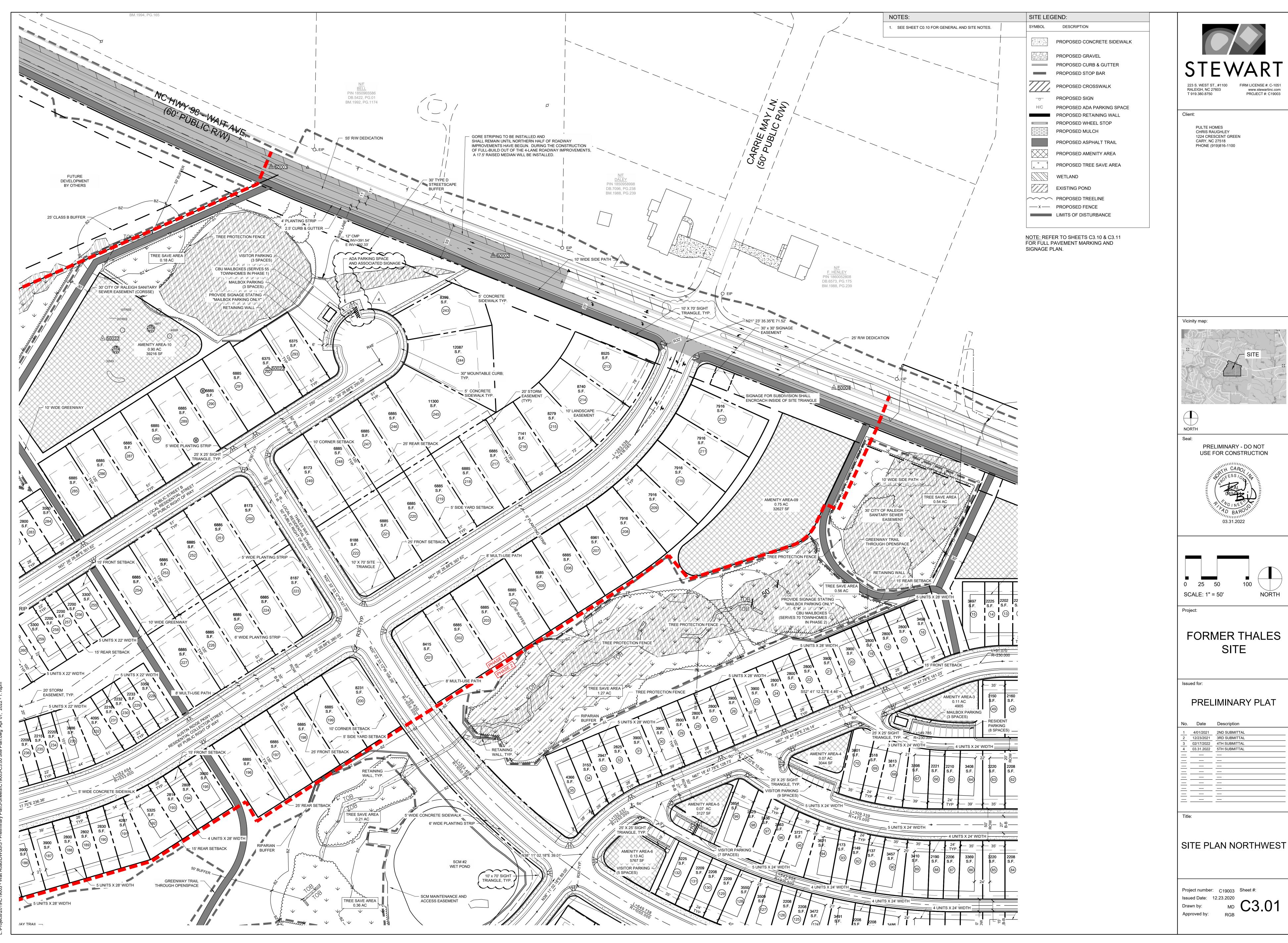
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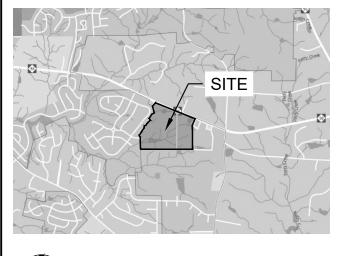
Issued Date: 12.23.2020

Drawn by: MD
Approved by: RGB

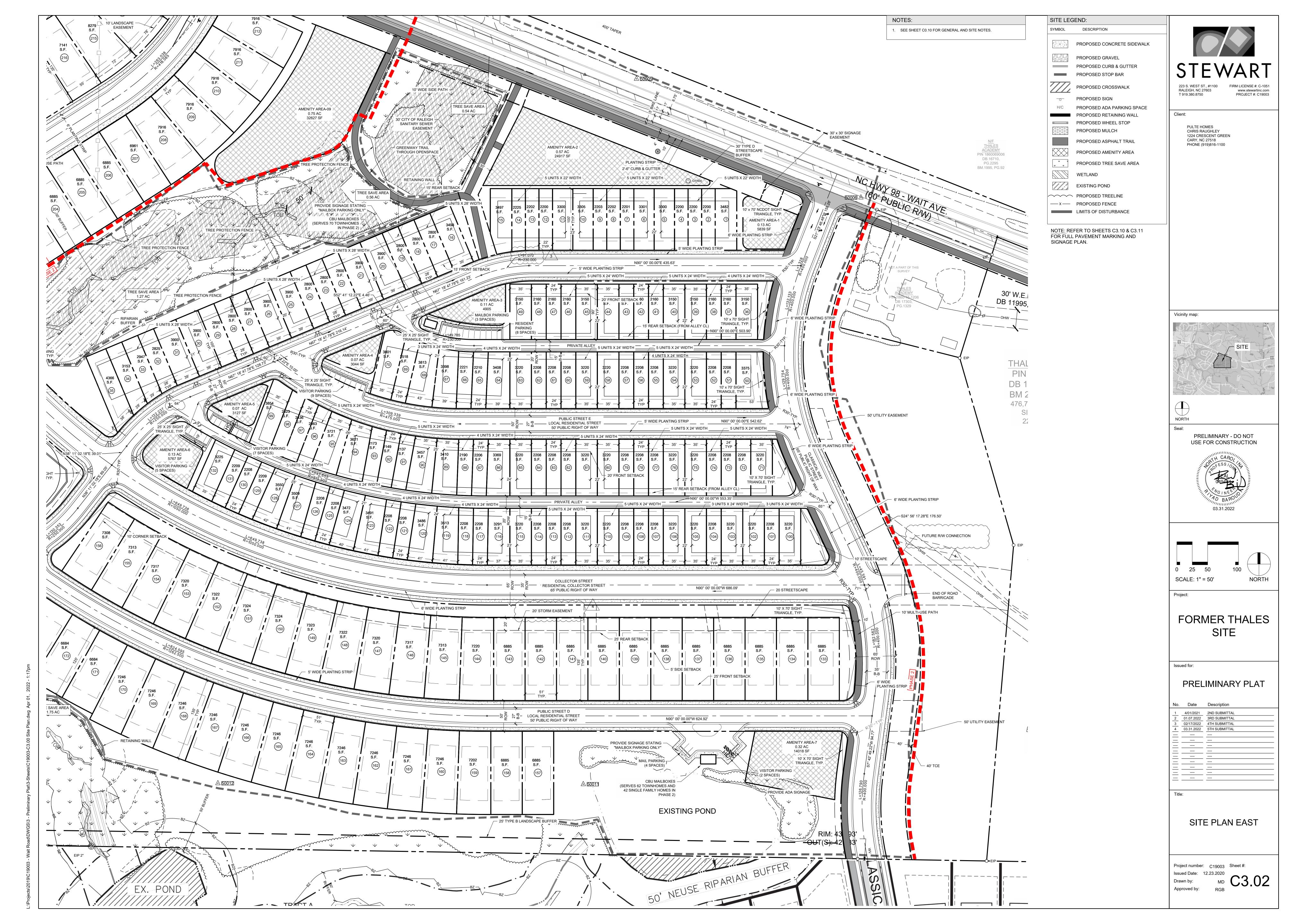


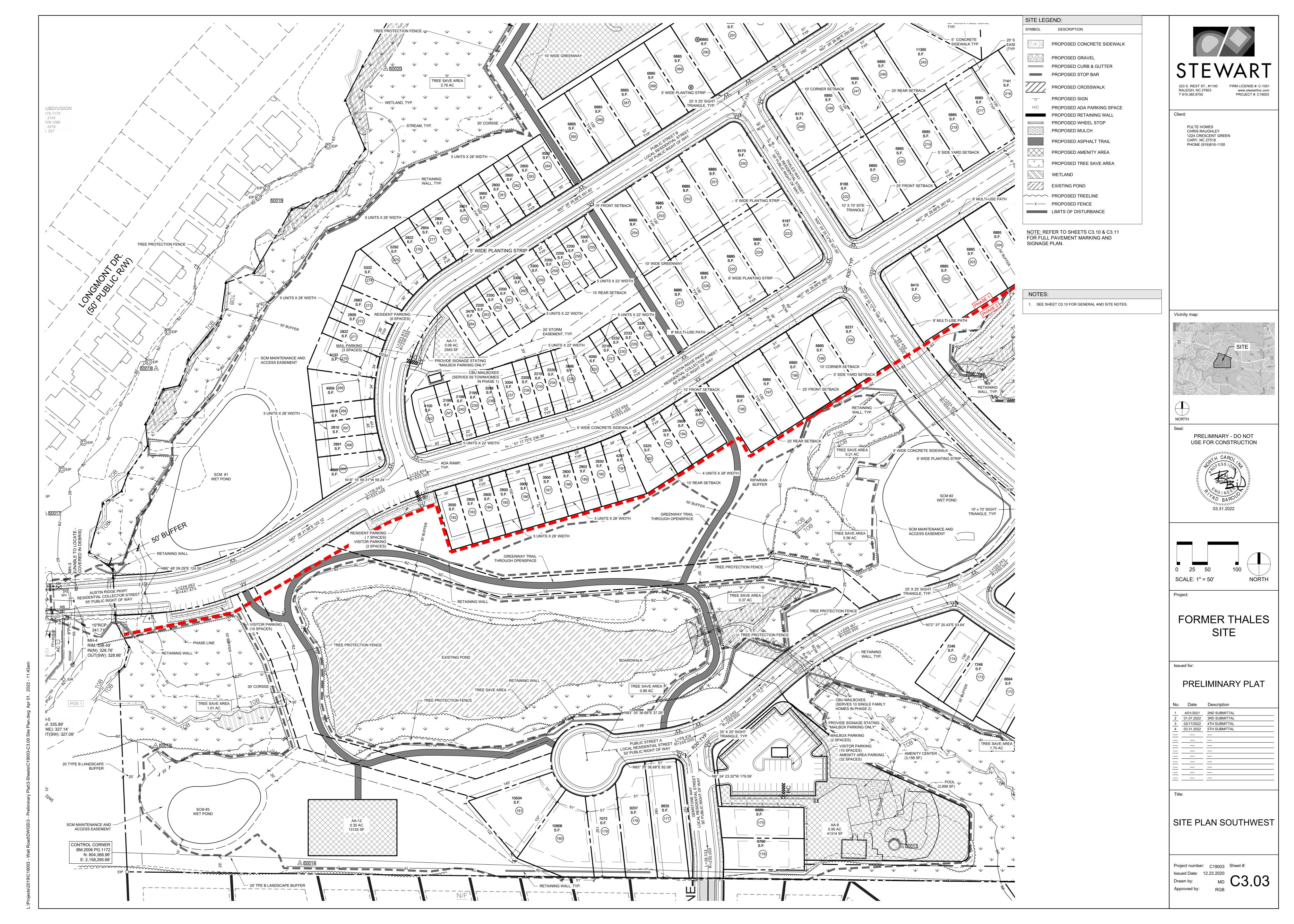


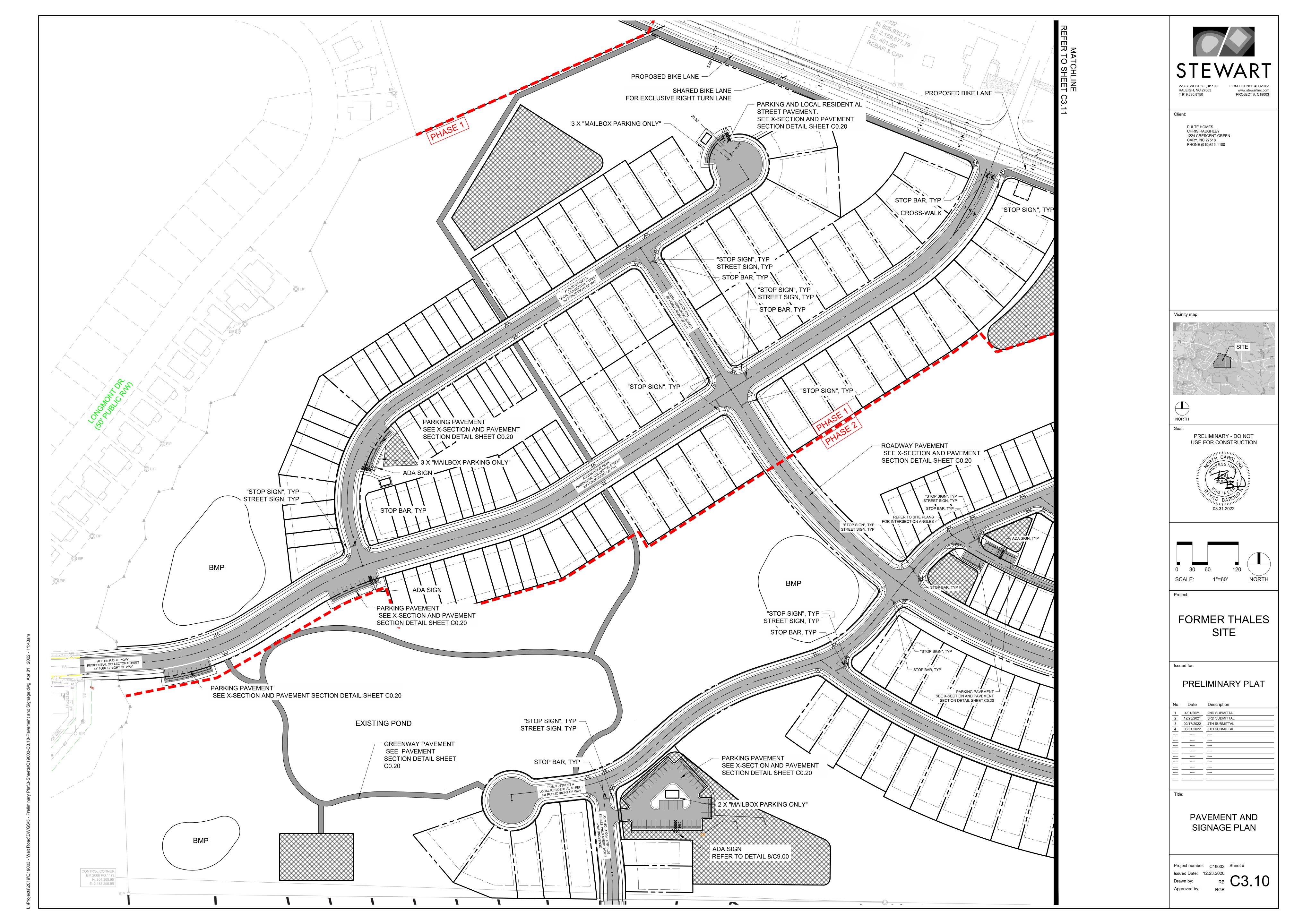


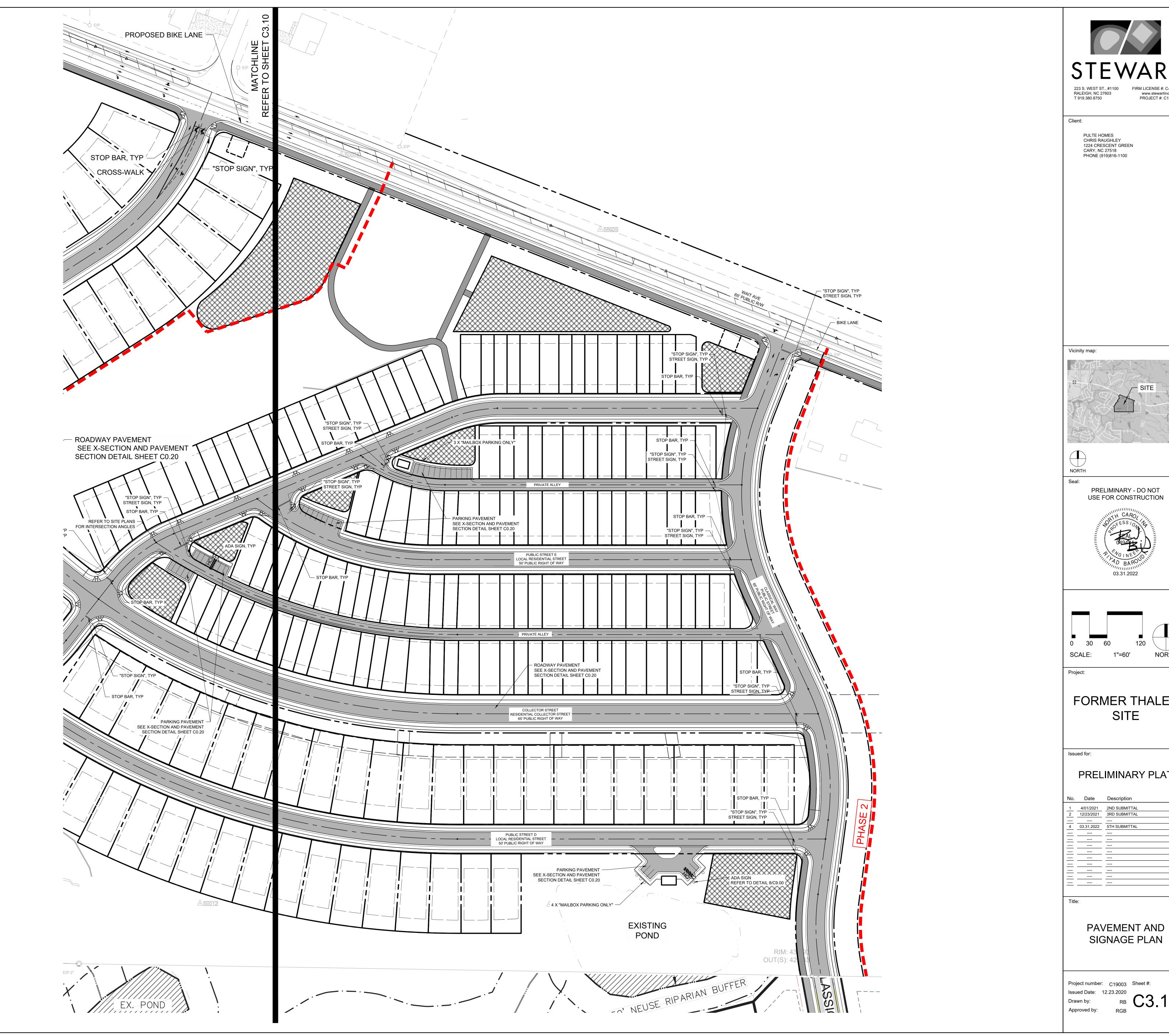


4/01/2021	2ND SUBMITTAL
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03.31.2022	5TH SUBMITTAL

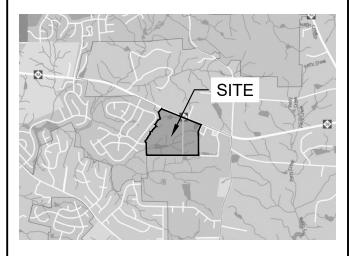










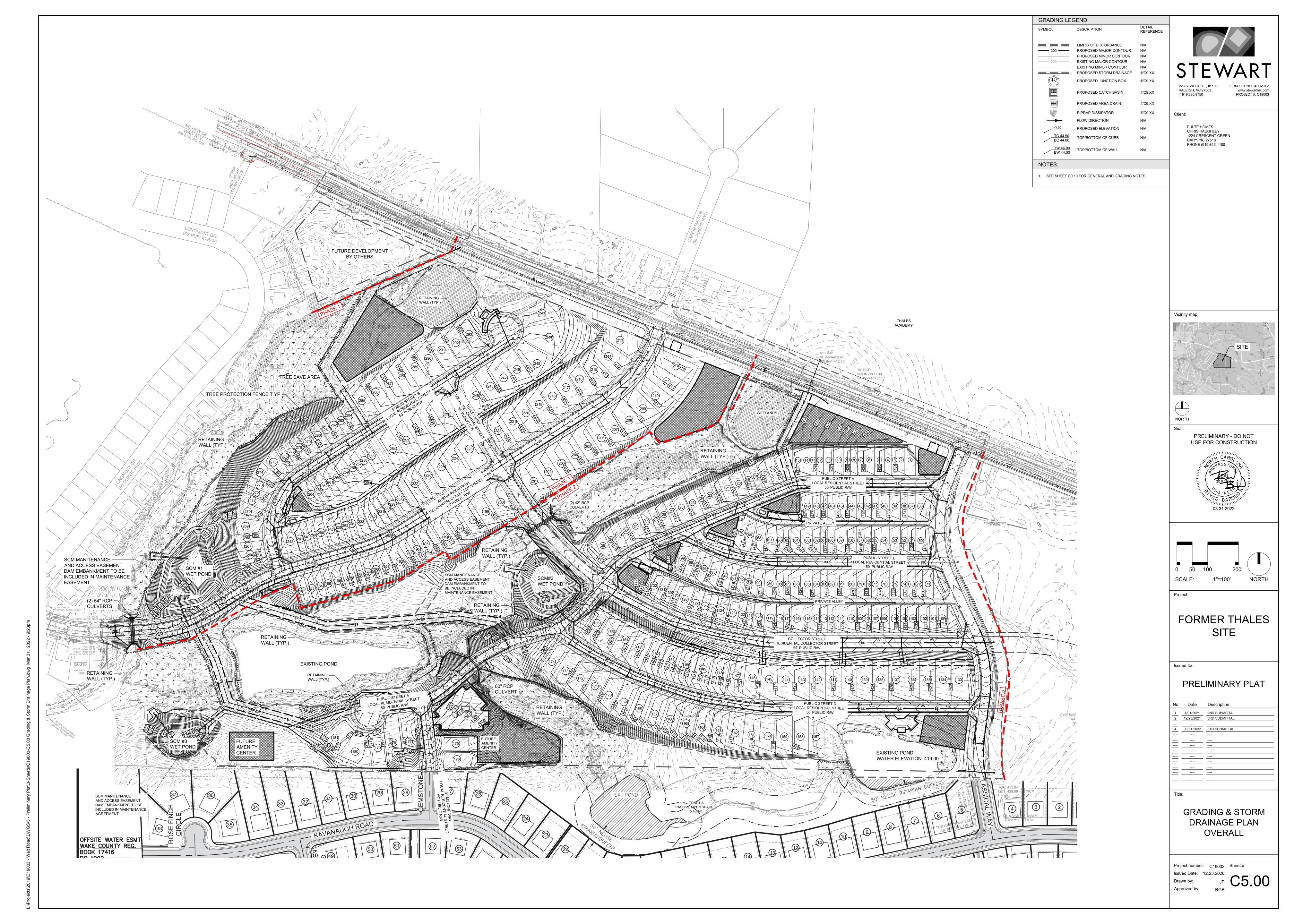




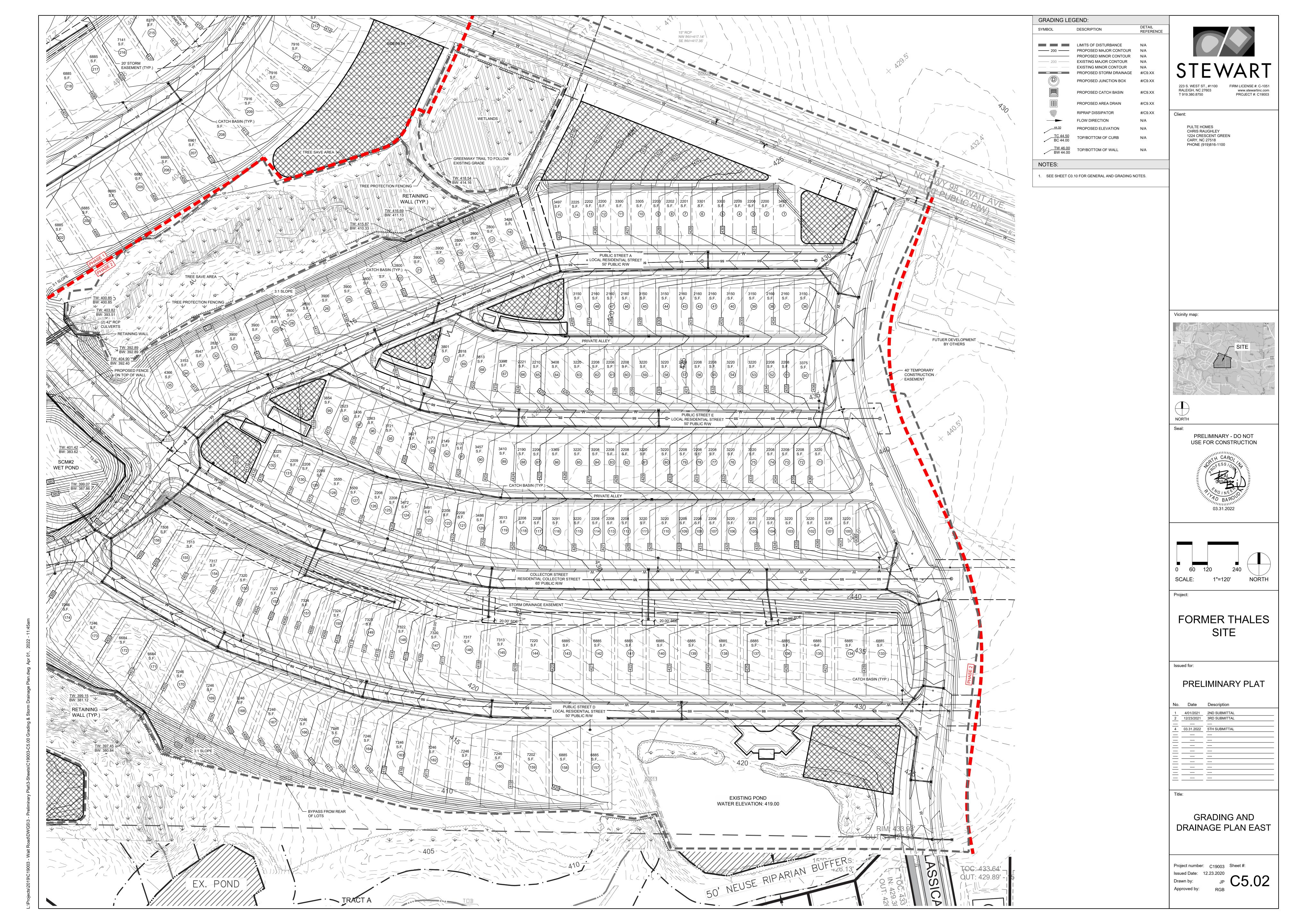
NORTH

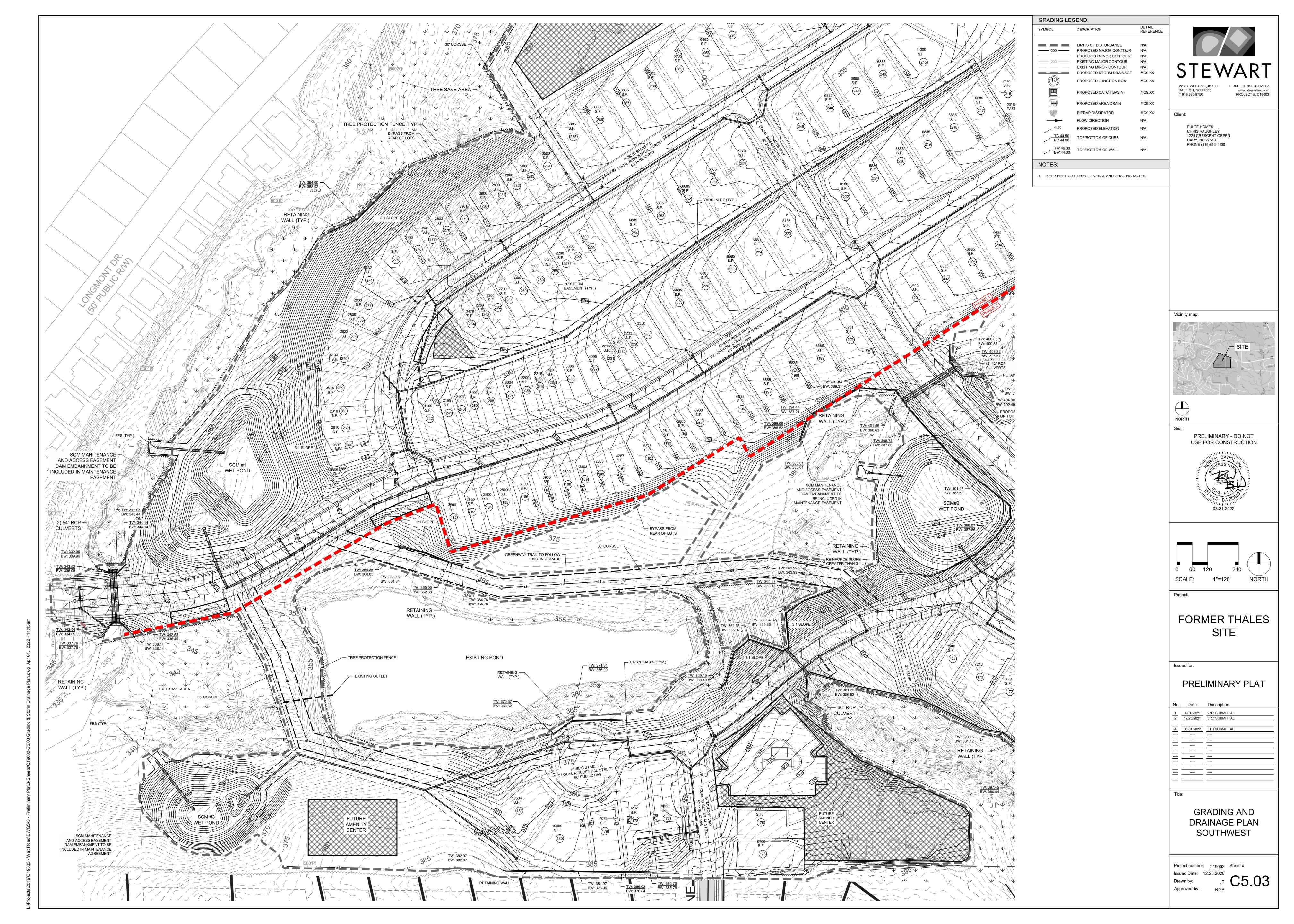
FORMER THALES

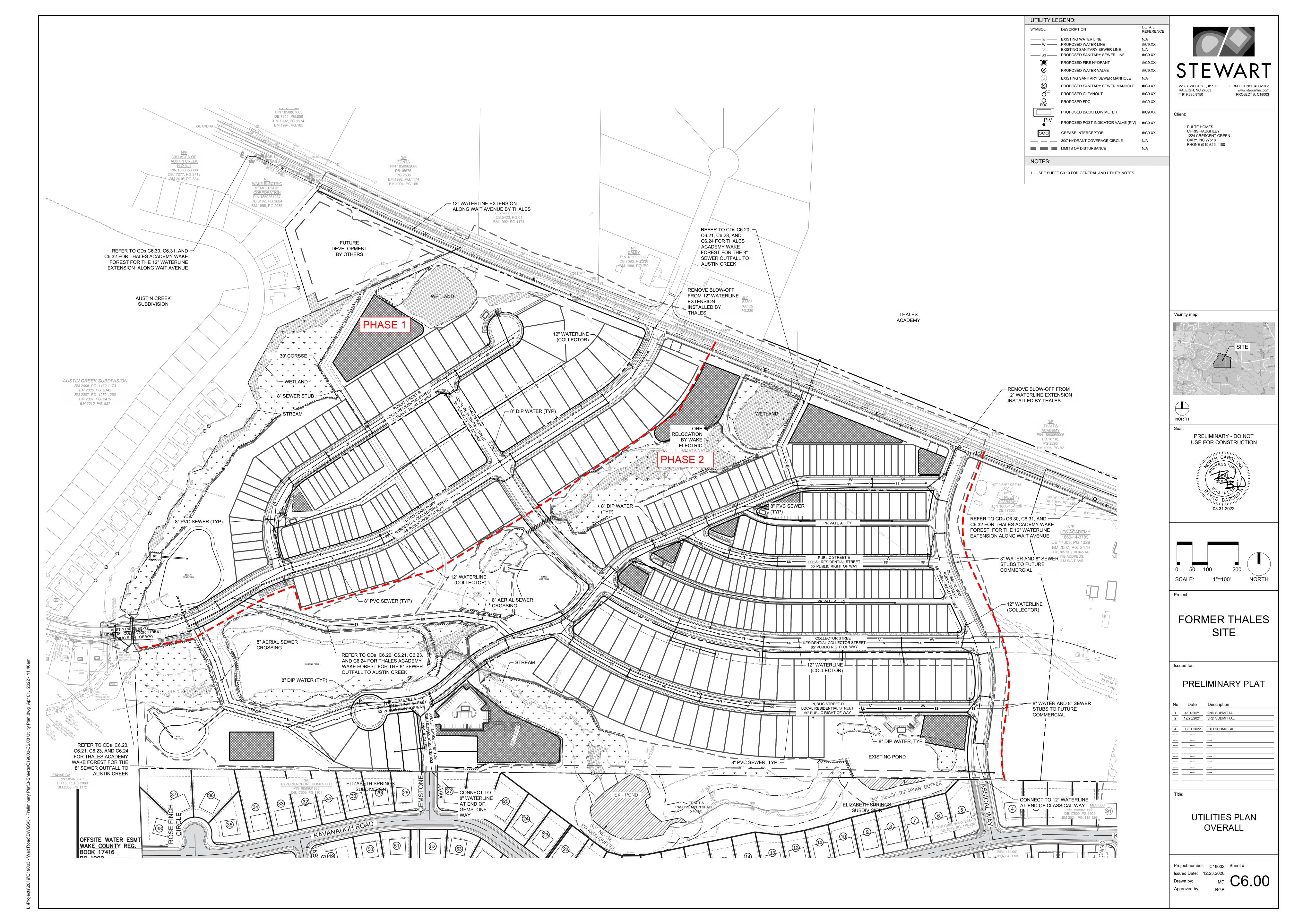
PRELIMINARY PLAT

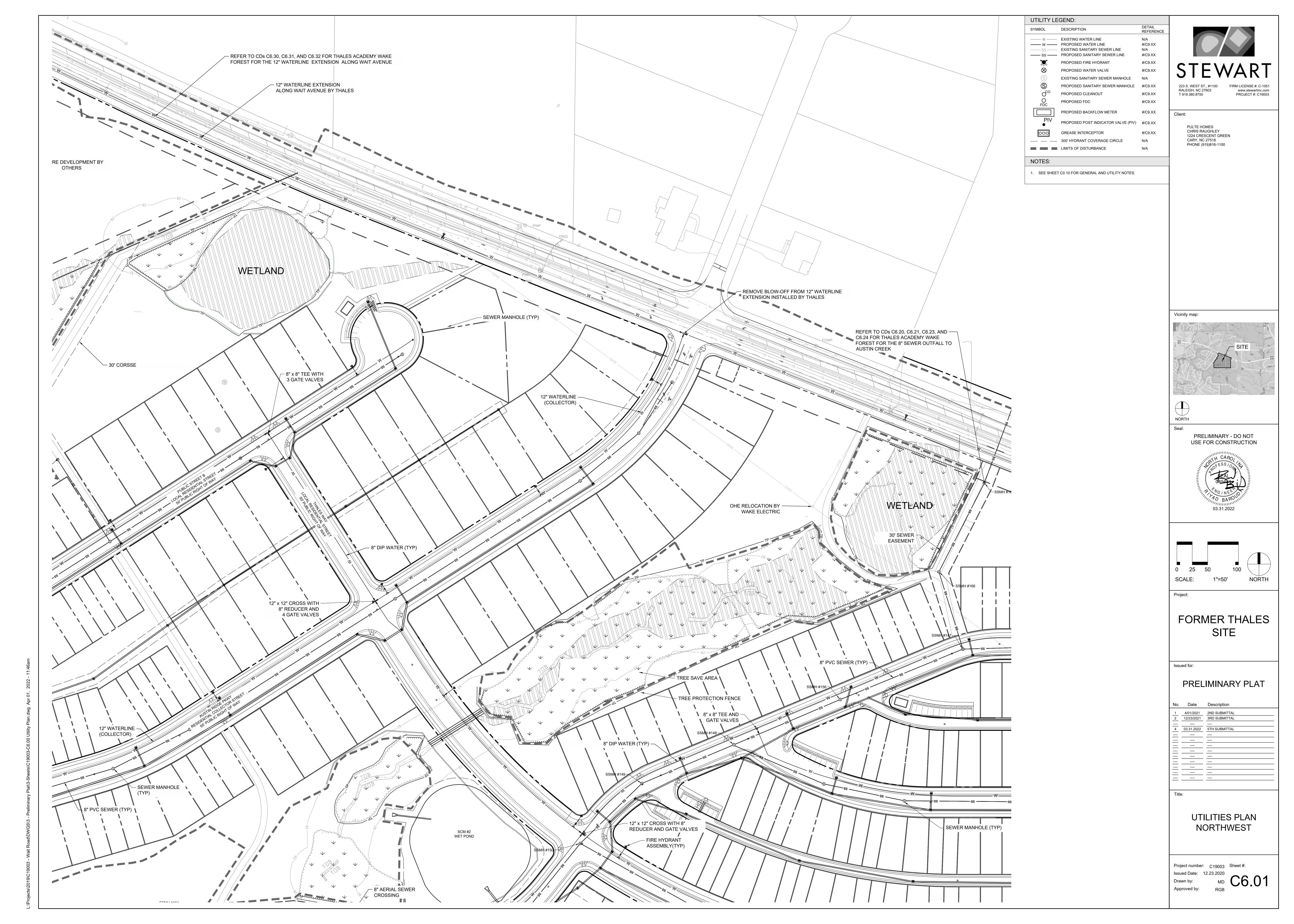


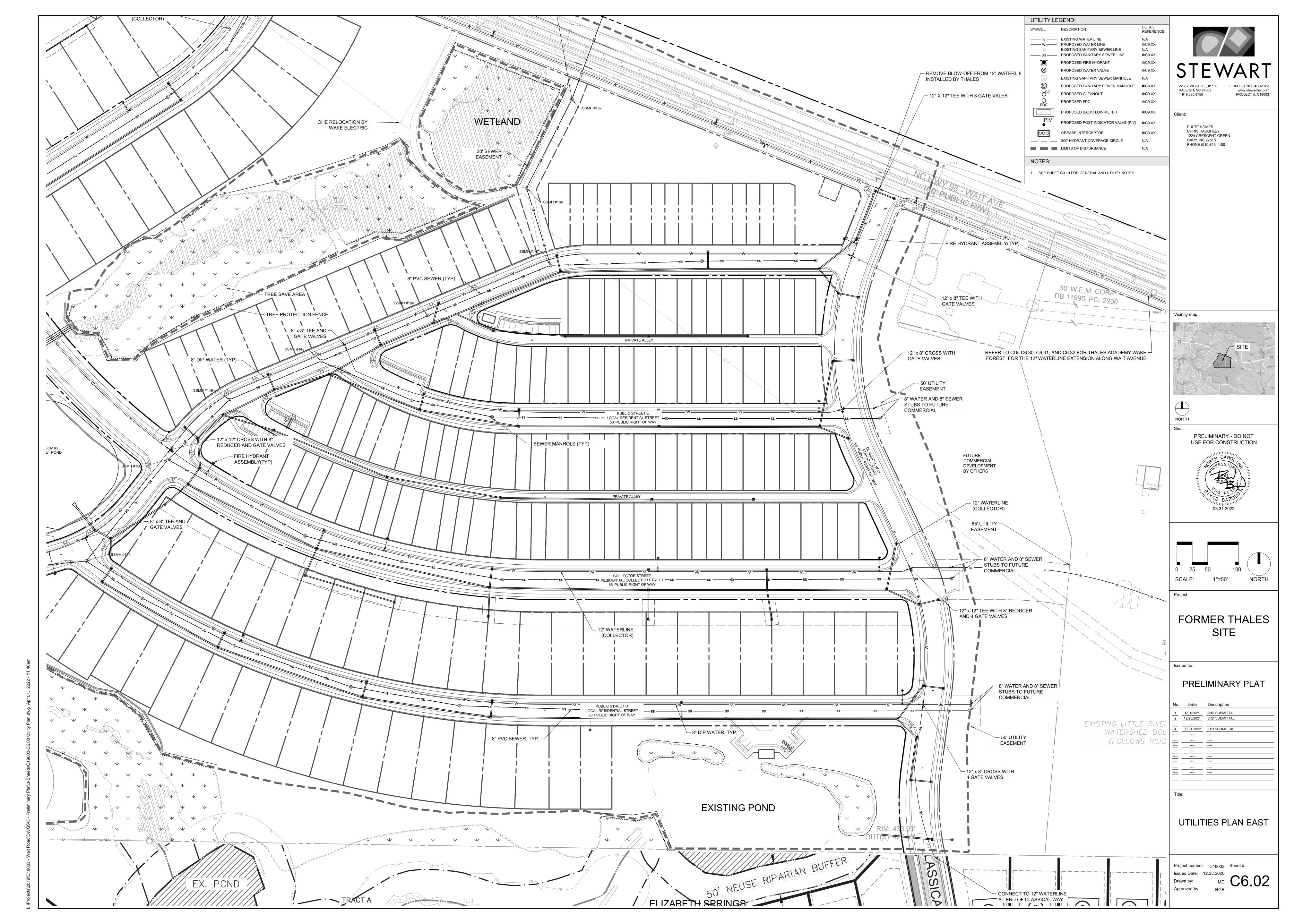


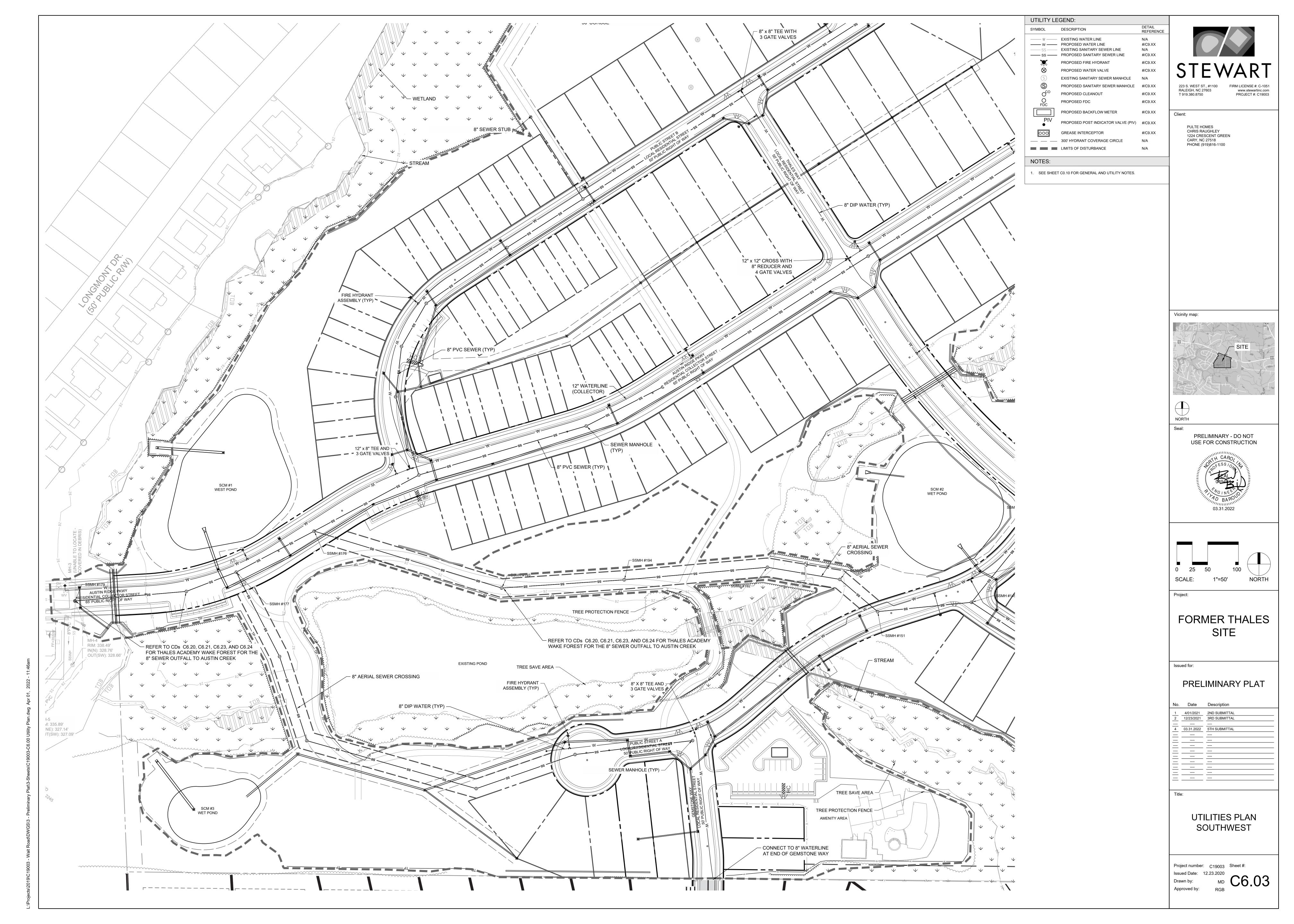












BUFFER TABLE								
				Required Trees	Required Evergreen Trees	Required Shrubs		
Buffer name	Туре	Length (LF)	Planting requirement	Total [# per #LF]	[50% Total trees]	border, avg 5'o.c.]		
Buffer 1	30' Type D	244	1 tree / 40' Frontage; 50% evergreen	7	4	49		
Buffer 2	30' Type D	122	1 tree / 40' Frontage; 50% evergreen	4	2	25		
Buffer 3	30' Type D	2132	1 tree / 40' Frontage; 50% evergreen	54	27	427		
Buffer 4	10' Type D	730	1 tree / 40' Frontage; 50% evergreen	19	10	146		
Buffer 5	25' Type B	273	1 tree / 20' Frontage; 50% evergreen	14	7	55		
Buffer 6	25' Type B	200	1 tree / 20' Frontage; 50% evergreen	10	5	40		

STREET TREE REQUIREMENTS									
Street Name Side of Street Collector Length (LF) Tree spacing (LF) Required Trees Provided Tree									
Wait Ave	South Side		2193	50 4	44	51			
Austin Ridge Pkwy	North Side	Х	1813	50	37	42			
	South Side	Х	1961	50	40	48			
Collector St	North Side	Х	1588	50	32	40			
	South Side	Х	1682	50	34	43_			
Classical Way	West Side		823	40	21 /4	21			
	East Side		1090	40	28	28			
Gemstone Way	West Side		200	40	5	5			
	East Side		215	40	6	6			
Public Street A	North Side		2087	40	53	53			
	South Side		1822	40	46	46			
Public Street B	North Side		1266	40	32	32			
	South Side		1138	40	29	29			
Public Street D	North Side		1351	40	34	34			
	South Side		1409	40	36	36			
Public Street E	North Side		749	40	19	19			
	South Side		837	40	21	21			
Thales Way	West Side		264	40	7	7			
	East Side		264	40	7	7			

LANDSCAPE NOTES

- 1. VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES OR INACCURACIES IN THE PLANS TO THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- 2. LANDSCAPE WORK SHALL INCLUDE THE FURNISHING, INSTALLATION, AND WARRANTY OF ALL PLANTING MATERIALS WITHIN THE PROJECT AREA.
- 3. THE LANDSCAPE CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTING. DAMAGES TO UTILITIES CAUSED BY THE LANDSCAPE OPERATION SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
- 4. LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON THE SITE.
- 5. ALL TREES TO BE A MINIMUM OF 2" IN CALIPER AND MUST MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- 6. TREE PROTECTION NOTE: TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT AND SHALL INCLUDE WARNING SIGNS POSTED IN BOTH ENGLISH AND SPANISH, AS FOLLOWS: "NO TRESPASSING/TREE PROTECTION AREA/PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ÁRBOLES."
- 7. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
- 8. ROOT ZONE PROTECTION AREA: VARIES BASED ON LOCAL JURISDICTION HAVING AUTHORITY.
 CONTRACTOR SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS. NO DISTURBANCE ALLOWED
 WITHIN THIS AREA. AREA MUST BE PROTECTED WITH BOTH TREE PROTECTION FENCING AND WARNING
- 9. SEED BED PREPARATION: ALL AREAS TO BE SEEDED ARE TO BE RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. ALL DEBRIS, ROCKS, ETC. LARGER THAN .5" ARE TO BE REMOVED. ALL LARGE CONCENTRATIONS OF GRAVEL & DEBRIS REGARDLESS OF SIZE ARE TO BE REMOVED PRIOR TO SEEDING OR PLANTING.
- 10. ALL PLANT BED AREAS ARE TO RECEIVE A MINIMUM OF 6" OF APPROVED TOPSOIL.
- 11. SOIL SHOULD BE TESTED AND AMENDED WITH LIME AND FERTILIZER FOR HARDWOOD TREES ACCORDING TO NCDA PROCEDURES. SCARIFY PLANT PIT WALLS. CONSULT LANDSCAPE ARCHITECT FOR ALTERNATE COMPLIANCE.
- 12. SHREDDED HARDWOOD MULCH 3" DEEP EXCEPT AT CROWN OF PLANT UNLESS OTHERWISE NOTED. FLARE AT CROWN SHOULD BE REVEALED. BACKFILL CONSISTS OF THOROUGHLY BROKEN UP NATIVE SOIL. TOTAL VOLUME OF BACKFILL SHOULD BE AMENDED WITH UP TO ONE THIRD PINE BARK MULCH. PIECES SHOULD BE NO LARGER THAN WHAT PASSES THROUGH A ONE INCH SCREEN. IF ADDITIONAL SOIL IS REQUIRED FOR BACKFILL DUE TO DETRIMENTAL SUBSOIL DRAINAGE CONDITIONS, USE SOIL SIMILAR TO EXISTING NATIVE SOIL. ADDITIONAL SOIL TO BE APPROVED BY LANDSCAPE ARCHITECT. MAXIMUM SAUCER HEIGHT IS 6
- 13. TOP OF ROOTBALL TO BE RAISED 2-3 INCHES ABOVE EXISTING GRADE.
- 14. FOR B&B PLANTS, NATURAL FIBER BURLAP SHOULD BE TURNED DOWN BY 1/3 TOTAL HEIGHT OF ROOT BALL. PLASTIC FIBER BURLAP AND WIRE BASKETS SHOULD BE REMOVED TO 2/3'S OF TOTAL HEIGHT OF ROOT BALL.
- 15. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB THROUGHOUT THE WARRANTY PERIOD. IF STABILIZATION IS NECESSARY SEE STAKING IN TREE DETAIL, ORANGE FLAGGING TAPE SHOULD BE ATTACHED TO SUPPORT WIRE. STAKING SHOULD BE REMOVED BY CONTRACTOR AT END OF ONE YEAR WARRANTY PERIOD OR AS DIRECTED BY GROUNDS MANAGEMENT.
- 16. USE STANDARD "GATOR" BAGS FOR WATERING TREES IN AREAS NOT UNDER IRRIGATION. INCORPORATE TERRA-SORB (OR EQUAL) AS PER MANUFACTURERS RECOMMENDATIONS, FOR AREAS NOT UNDER IRRIGATION
- 17. USE "BIO-BARRIER" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION FOR TREES THAT WILL BE PLANTED WITHIN 10' OF PAVEMENT
- 18. LANDSCAPING/C.O. STANDARDS NOTE: ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

	STREET TREE SCHEDULE									
	TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPACING	NOTES	
		ACRU	73	ACER RUBRUM RED MAPLE	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER	
4		QUAL	125	QUERCUS ALBA WHITE OAK	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER	
		TICO (146	TILIA CORDATA ITTLELEAF LINDEN	B&B	2.5 IN	8 FT	40 FT O.C.	STRONG CENTRAL LEADER	
	\odot	ULPA	117	ULMUS PARVIFOLIA LACEBARK ELM	B&B	2.5 IN	8 TO 10 FT	40 FT O.C.	STRONG CENTRAL LEADER	
		ZSVG	107	ZELKOVA SERRATA 'VILLAGE GREEN' JAPANESE ZELKOVA	B&B	2.5 IN	8`-10` HT	40 FT O.C.	STRONG CENTRAL LEADER	

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)ER	223 S. WEST ST., #1100 RALEIGH, NC 27603 T 919.380.8750	FIRM LICENSE #: C-1051 www.stewartinc.com PROJECT #: C19003
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Client:

PULTE HOMES

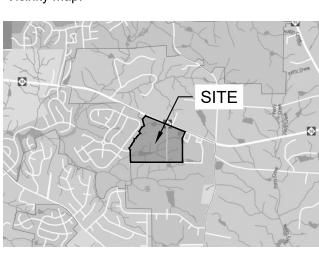
CHRIS RAUGHLEY 1224 CRESCENT GREEN

CARY, NC 27518

PHONE (919)816-1100

 TREES IN BUFFER ALONG CLASSICAL WAY WILL BE COUNTED TOWARD STREET TREE REQUIREMENT.

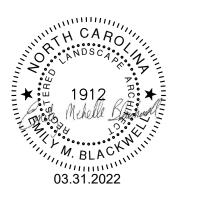
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USE FOR CONSTRUCTION



Project:

FORMER THALES SITE

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PRELIMINARY PLAT

 No.
 Date
 Description

 1
 4/01/2021
 2ND SUBMITTAL

 2
 12/23/2021
 3RD SUBMITTAL

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 5TH SUBMITTAL

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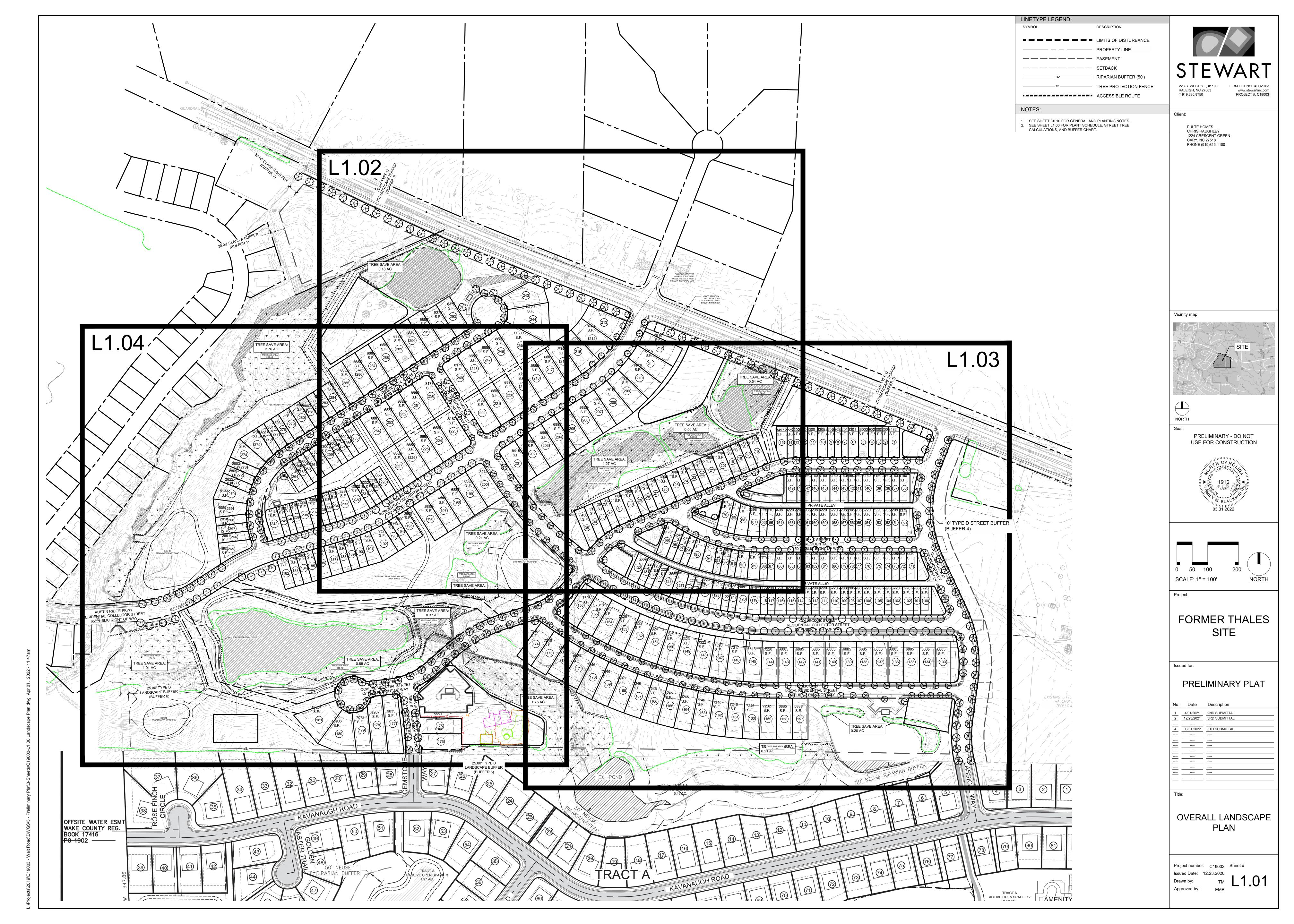
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LANDSCAPE NOTES

Project number: C19003 Sheet #:

Issued Date: 12.23.2020

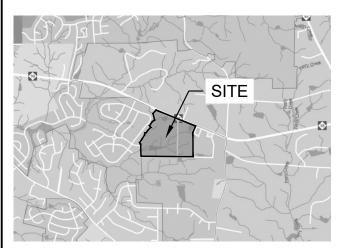
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Approved by: EMB







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NORTH



