

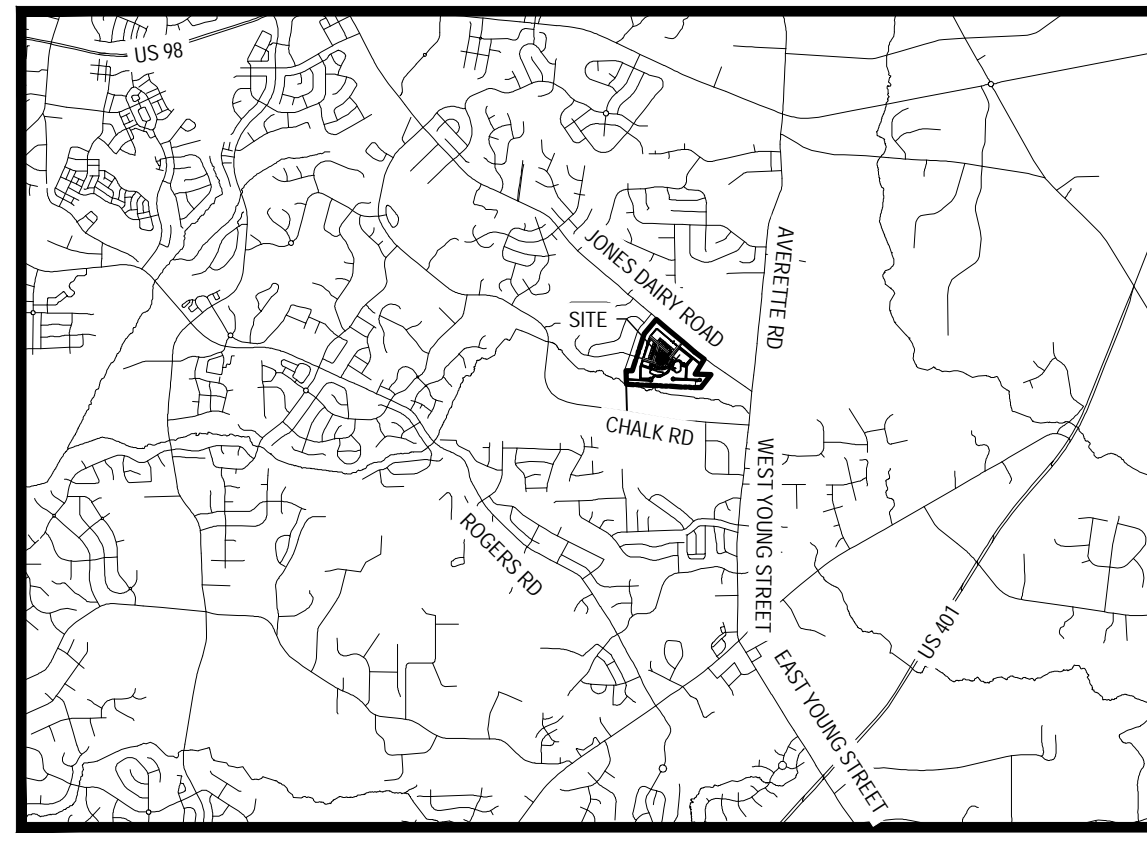


PRESERVE AT JONES DAIRY SOUTH

AMENITY CENTER SITE PLAN : SP 22-05

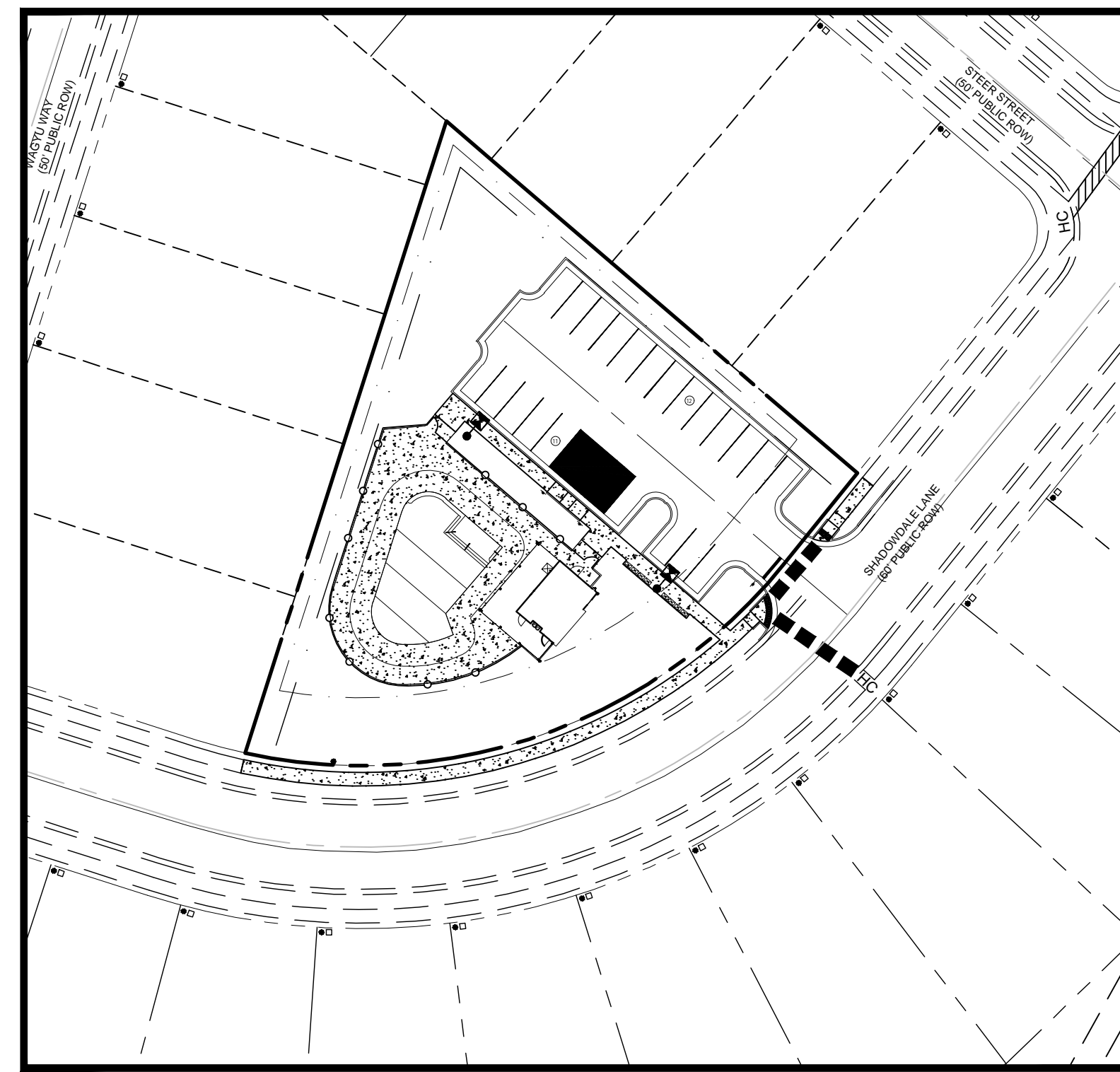
TOWN COMMENTS SUBMITTAL 1: 10.02.23

140 SHADOWDALE LANE
ROLESVILLE, NC 27571
WAKE COUNTY



VICINITY MAP
SCALE: NTS

OWNER	KB HOMES CAROLINAS
SITE ADDRESS	140 SHADOWDALE LANE ROLESVILLE, NC 27571
PIN	1759-88-6764
DB / PG	18362 / 1235
EXISTING USE	VACANT
PROPOSED USE	AMENITY
ZONING	R3
WATERSHED	NEUSE
WATERSHED WATER SUPPLY	UPPER NEUSE
RIVER BASIN	AUSTIN CREEK
FEMA MAP	MAP#3720175900K 7.19.22
GROSS TRACT AREA	0.67 AC



PROJECT PLAN
SCALE: 1" = 50'

Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS
C200	SITE AND UTILITY PLAN
C500	GRADING AND STORM DRAINAGE PLAN
C700	EROSION CONTROL PLAN
C950	POOLHOUSE DETAILS
C951	NCG01 REQUIREMENTS
C952	STANDARD DETAILS
C953	STANDARD DETAILS
C954	STANDARD DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE SCHEDULE NOTES
L102	LANDSCAPE DETAILS
23-0415A	DUKE LIGHTING PLAN

THESE PLANS HAVE BEEN PREPARED USING THE BEST INFORMATION AVAILABLE FROM FIELD SURVEYS PERFORMED BY OTHERS, SITE OBSERVATIONS, AND OTHER AVAILABLE INFORMATION. EXISTING UNDERGROUND FACILITIES AND SUBSURFACE CONDITIONS INDICATED ON THESE DRAWINGS IS LIMITED TO AND IS ONLY AS ACCURATE AS THE INFORMATION PRESENTED TO US BY FIELD SURVEYS PERFORMED BY OTHERS, AND THE ENGINEER MAKES NO WARRANTY TO ANY PART REGARDING THE PRESENCE OR ABSCENCE OF UNDERGROUND FEATURES WHETHER SHOWN ON THESE PLANS OR NOT. THE EXISTING UTILITY LINE LOCATIONS SHOWN SHOULD BE CONSIDERED APPROXIMATE, AND ACTUAL UTILITIES AND CONDITIONS MAY DIFFER FROM THOSE INDICATED. SURFACE OR BURIED ROCK, UNSUITABLE MATERIAL, OR OTHER SOIL CONDITIONS MAY BE ENCOUNTERED DURING CONSTRUCTION. GENERALLY, THESE CONDITIONS ARE NOT NOTED ON THESE PLANS. IT SHOULD BE EXPECTED BY THE OWNER AND CONTRACTOR THAT UNFORSEEN CONDITIONS MAY OR WILL ARISE DURING CONSTRUCTION THAT MAY REQUIRE MODIFICATION OF THESE DESIGN PLANS BY THE ENGINEER. SHOULD UNFORSEEN CONDITIONS BE ENCOUNTERED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF THE NATURE AND EXTENT OF SUCH CONDITIONS SO THAT TIMELY AND APPROPRIATE MEASURES CAN BE TAKEN TO REVISE THESE PLANS AS NECESSARY TO ACCOMMODATE CONDITIONS ENCOUNTERED IN THE FIELD.

OWNER:

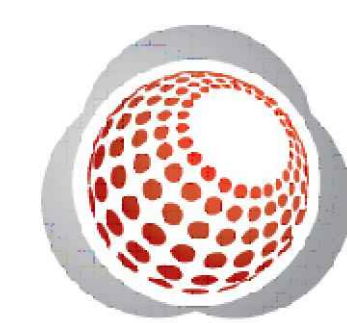
KB HOMES CAROLINA
4506 SOUTH MIAMI BLVD
DURHAM, NC 27703
P: 919.768.7977

DEVELOPER:

KB HOMES CAROLINAS
CONTACT: ROMAN ACOSTA
4506 SOUTH MIAMI BLVD
DURHAM, NC 27703
P: 919.768.7977

ENGINEER:

BATEMAN CIVIL SURVEY COMPANY
DOUGLAS COOPER, PE
2524 RELIANCE AVE.
APEX, NC 27539



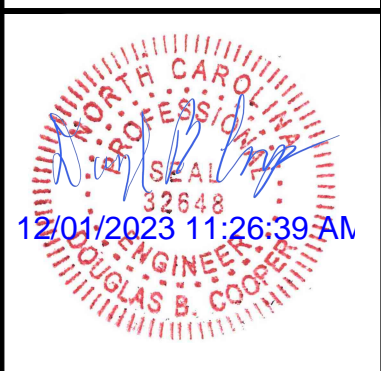
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2524 Reliance Avenue, Apex, North Carolina 27539
Phone: 919.577.1080 Fax: 919.577.1081
NCBELS FIRM No. C-2378



KNOW WHAT IS BELOW
CALL BEFORE YOU DIG

REV #	DATE	DESCRIPTION
1	08.07.23	ROLESVILLE 2ND REVIEW COMMENTS (CAA)
2	10.02.23	ROLESVILLE 3RD REVIEW COMMENTS (BCSC)
3	12.01.23	ROLESVILLE 1ST REVIEW COMMENTS (BCSC)

Date:	10.02.23
Project #:	P230462
SHEET	C000



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NCBELS FRM No. C-2376



PRESERVE AT JONES DAIRY
AMENITY SITE
ROLESVILLE, NC 27571
WAKE COUNTY

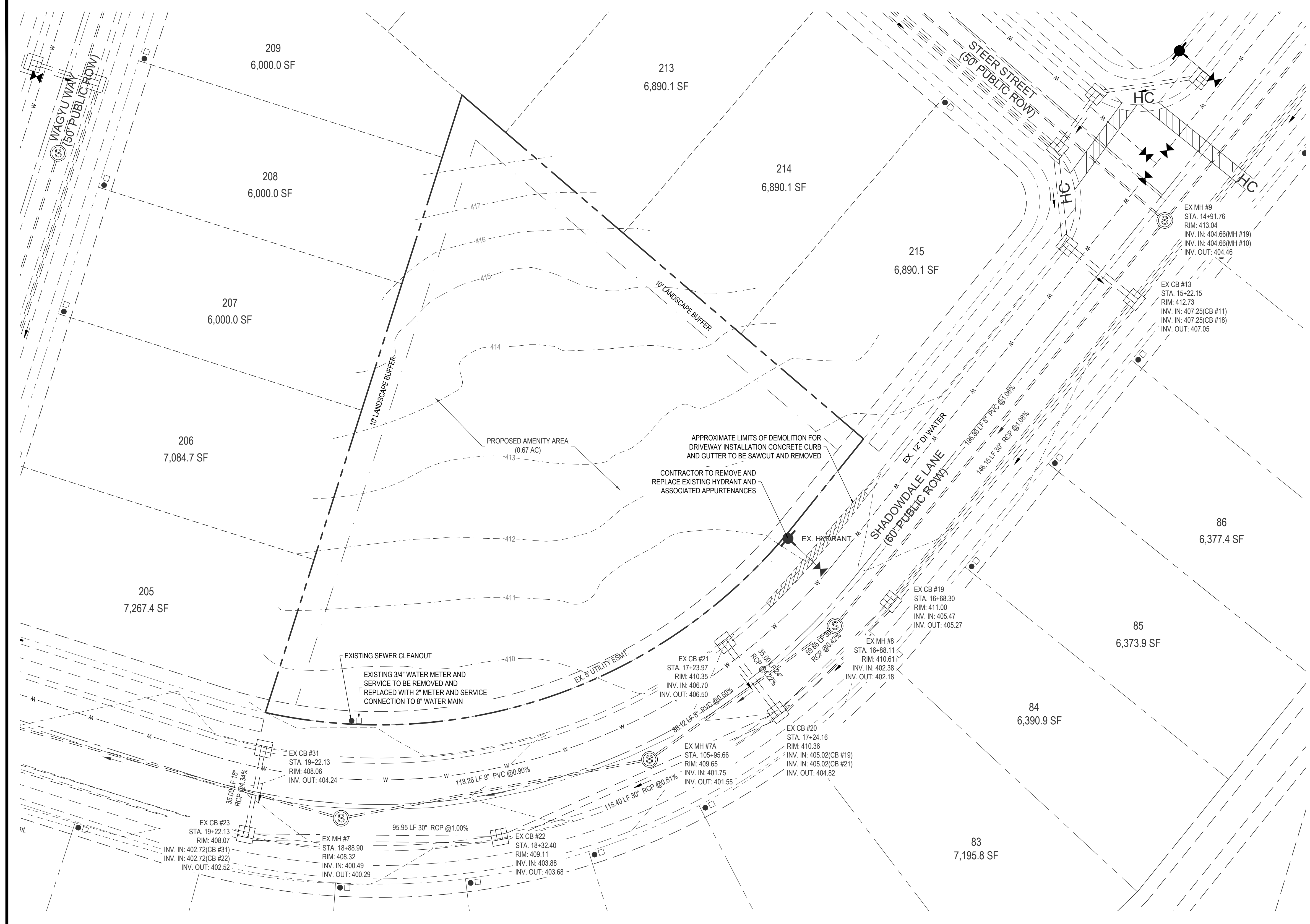
EXISTING CONDITIONS

Design By: *JMW*
Date: 10.02.23
Project #: P230462
SHEET
C100

LEGEND:

	DEMOLITION
	DEMOLITION TREES
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING ELECTRIC POLE
	EXISTING FENCE
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	EXISTING POND
	EXISTING PROPERTY CORNER
	EXISTING RIPARIAN BUFFER
	EXISTING RIGHT-OF-WAY
	EXISTING STREAM
	EXISTING STRUCTURES
	EXISTING TREE LINE
	EXISTING TREES
	EXISTING WETLAND
	IRON PIPE SET

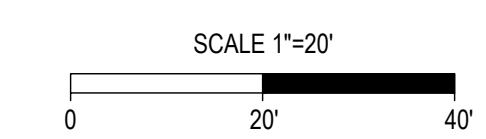
- DEMOLITION NOTES:**
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 - ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 - REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN THE CONSTRUCTION LIMITS.
 - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY THE ENGINEER IMMEDIATELY.
 - THE CONTRACTOR SHALL EMPLOY A QUALIFIED UTILITY LOCATOR SERVICE TO LOCATE ALL UNDERGROUND UTILITIES (INCLUDING, BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, GAS, CABLE AND FIBER OPTIC) WITHIN THE LIMITS OF CONSTRUCTION.
 - VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
 - EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES, ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER INDICATED OR NOT TO BE MODIFIED).
 - GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING, ETC. WITH OWNER.
 - CONTRACTOR SHALL INSPECT ALL EXISTING SIDEWALK AND SHALL REPLACE OR REPAIR ANY BROKEN OR DAMAGED SECTIONS.
 - CONTRACTOR SHALL COMPLY WITH HARNETT COUNTY CONSTRUCTION STANDARDS AND SPECS.
- SITE NOTES:**
- PROPERTY BOUNDARY AND EXISTING CONDITIONS INFORMATION TAKEN FROM A FIELD SURVEY BY CAWTHORNE, MOSS AND PANCIERA, ENTITLED "SURVEY FOR JVC", DATED APRIL, 2018.
 - WETLANDS AND STREAMS HAVE RECEIVED PRELIMINARY JURISDICTION DELINEATION FROM NC DIVISION OF WATER RESOURCES.
 - NO FLOOD HAZARD AREAS WITHIN PROJECT BOUNDARY PER FEMA MAP 37201755900J, DATED MAY 2, 2006.
 - ALL STRIPING TO BE THERMOPLASTIC.
 - ALL EXISTING ELEVATIONS, FEATURES, AND UTILITIES TO BE FIELD VERIFIED.
 - SURVEY INFORMATION BY OTHERS. ENGINEER HAS NOT VERIFIED THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED AND SHALL NOT BE RESPONSIBLE FOR ERRORS OR OMISSION THAT MAY BE INCORPORATED AS A RESULT. THIS SHALL NOT BE CONSIDERED A CERTIFIED SURVEY.

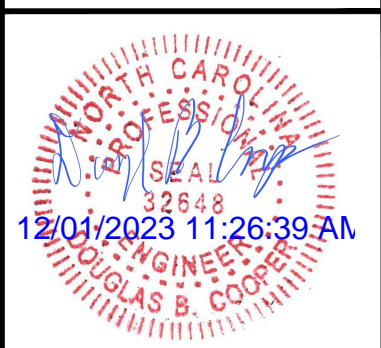


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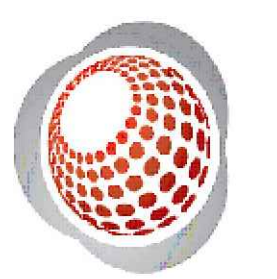
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REV#	DATE	DESCRIPTION
1	08.07.23	ROLESVILLE 2ND REVIEW COMMENTS (CAA)
2	10.02.23	ROLESVILLE 3RD REVIEW COMMENTS (BCSC)
3	11.10.23	ROLESVILLE 1ST REVIEW COMMENTS (BCSC)





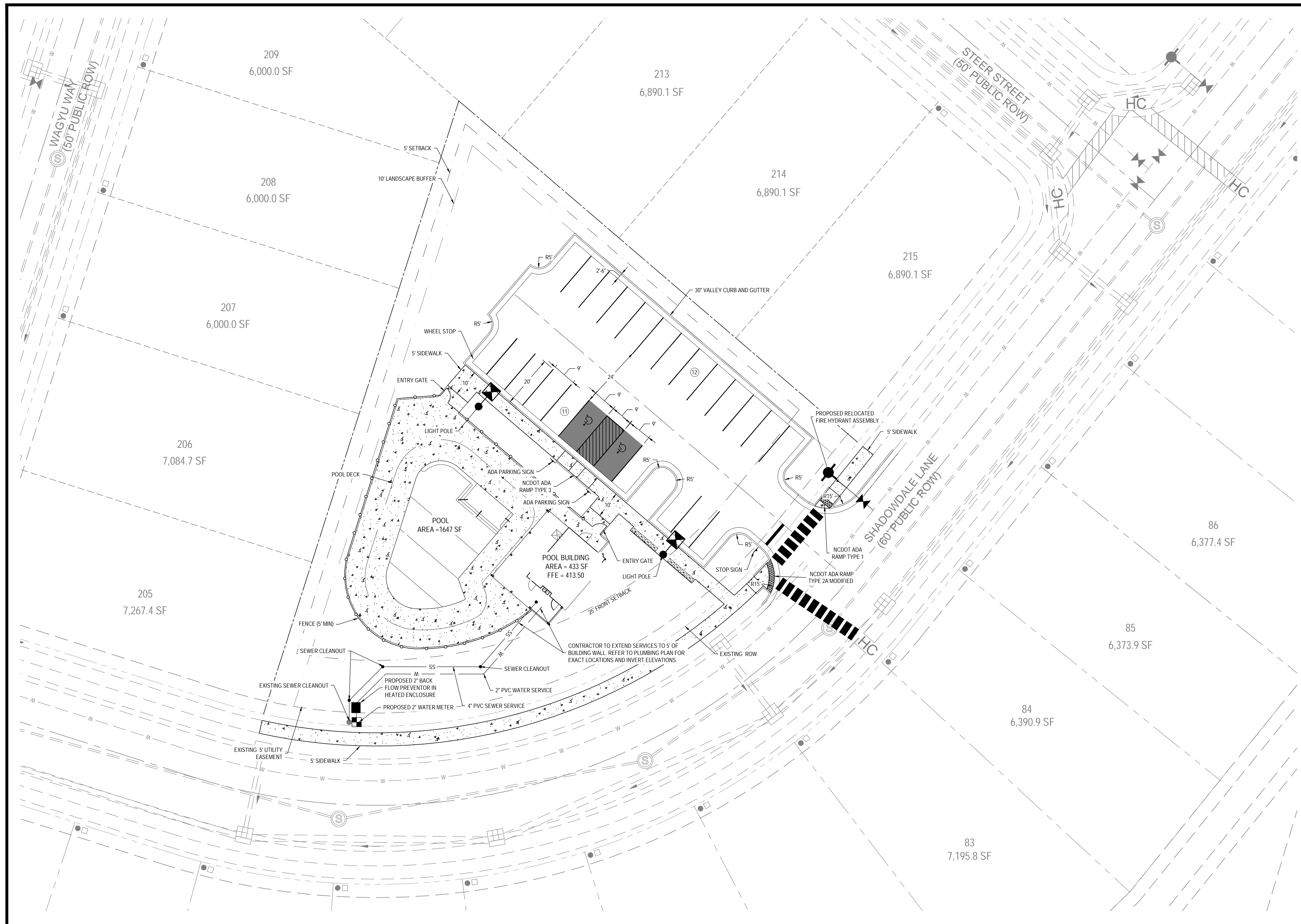
Bateman Civil Survey Company
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NCBELS FRM No. C-2376



PRESERVE AT JONES DAIRY
AMENITY SITE
ROLESVILLE, NC 27571
WAKE COUNTY

SITE AND UTILITY PLAN

Design By: *JMW*
Date: 10.02.23
Project #: P230462
SHEET
C200

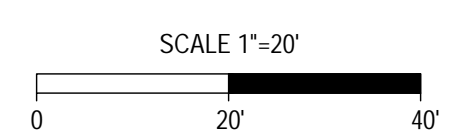
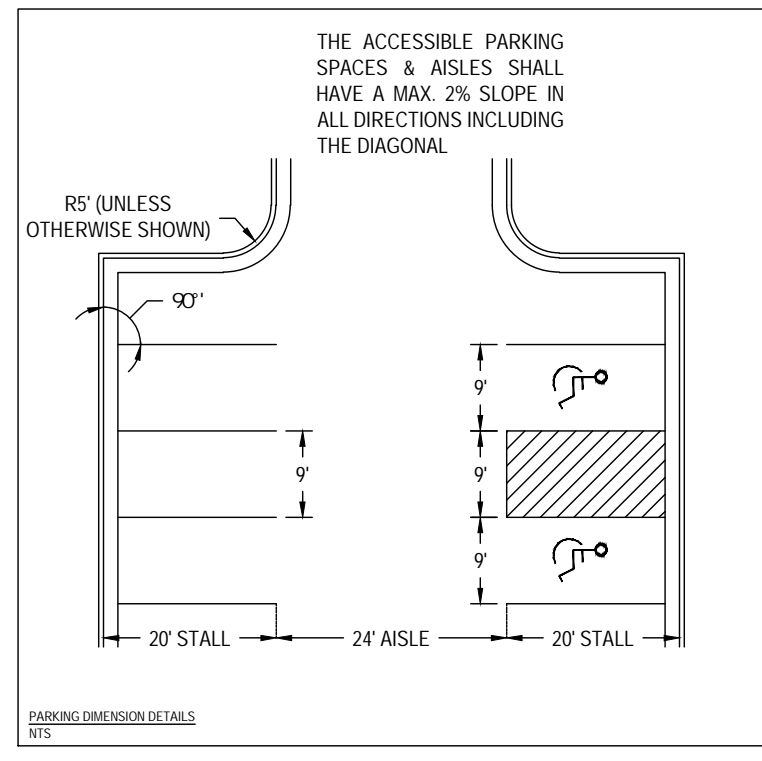
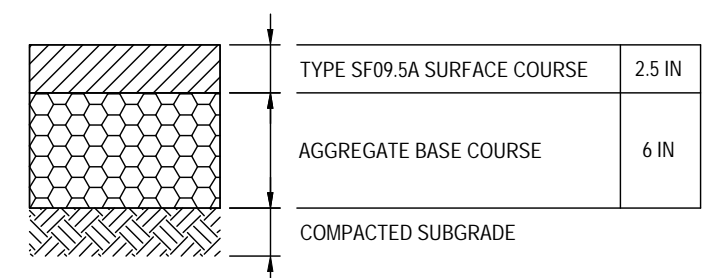


- SITE NOTES**
- PROPERTY BOUNDARY AND EXISTING CONDITIONS INFORMATION TAKEN FROM A FIELD SURVEY BY CAWTHORNE, MOSS AND PANCIERA, ENTITLED "SURVEY FOR JVC", DATED APRIL, 2018.
 - WETLANDS AND STREAMS HAVE RECEIVED PRELIMINARY JURISDICTION DELINEATION FROM NC DIVISION OF WATER RESOURCES.
 - NO FLOOD HAZARD AREAS WITHIN PROJECT BOUNDARY PER FEMA MAP 3720175900J, DATED MAY 2, 2006.
 - ALL STRIPING TO BE THERMOPLASTIC.
 - ALL EXISTING ELEVATIONS, FEATURES, AND UTILITIES TO BE FIELD VERIFIED.

- TRAFFIC CONTROL NOTES**
- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- | SIGN | MUTCD STANDARD | SIZE |
|----------------|----------------|---------------|
| STOP SIGN | R1-1 | 30-IN X 30-IN |
| VAN ACCESSIBLE | R7-8A | 12-IN X 6-IN |
- ALL SIGNS SHALL BE MOUNTED WITH A 5-FT MINIMUM VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB GALVANIZED STEEL U-CHANNEL POST SET IN 18-IN DEEP X 8-IN DIAMETER CONCRETE FOOTING. SIGNS MOUNTED ADJACENT TO SIDEWALKS MUST BE MOUNTED WITH 7-FT MINIMUM VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN.
 - ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND NCDOT STANDARDS AND PROJECT SPECIFICATIONS.
- | MARKINGS | NCDOT STANDARD | SIZE | COLOR |
|------------------------|----------------|-------|--------|
| PARKING SPACE | 1205.01 | 4-IN | WHITE |
| NO PARKING - FIRE LANE | 1205.01 | 4-IN | YELLOW |
| STOPBAR | 1205.01 | 24-IN | WHITE |
| CROSSWALK | 1205.07 | 8-IN | WHITE |
- *NO PARKING - FIRE LANE MARKINGS SHALL CONSIST OF A 4-IN SOLID YELLOW STRIPE AND 8-IN HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS. STRIPPING SHALL BE PLACED AS INDICATED BY THE FOLLOWING LINE TYPE
- ALL PAVEMENT MARKINGS SHALL BE RESIN TYPE PAINT AS REQUIRED BY THE TOWN

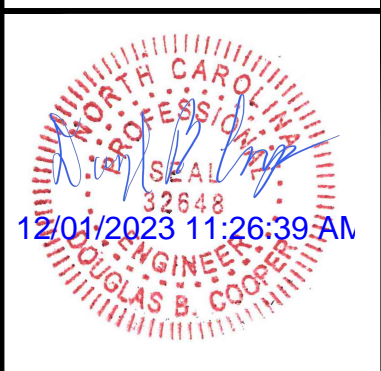
SITE DATA	
OWNER	KB HOMES CAROLINAS
SITE ADDRESS	4506 SOUTH MIAMI BLVD DURHAM, NC 27703
PIN	1759-88-6764
EXISTING USE	VACANT
PROPOSED USE	AMENITY
ZONING	R3
WATERSHED	NUESE
WATERSHED WATER SUPPLY	UPPER NUESE
RIVER BASIN	AUSTIN CREEK
FEMA MAP	MAP#3720175900K 7.19.22
GROSS TRACT AREA	0.67 AC
BUILDING SETBACKS - AMENITY	
PRIMARY STREET	25'
SIDE STREET	5'
SIDE LOT LINE	5'
REAR LOT LINE	5'
PARKING SETBACKS - AMENITY	
PRIMARY STREET (MIN.)	25'
SIDE STREET (MIN.)	5'
SIDE LOT LINE (MIN.)	5'
REAR LOT LINE (MIN.)	5'
PARKING	
DECK AREA REQUIRED	1 SPACE / 300 SF
	1647/300 = 6 SPACES
CABANA REQUIRED	1/100SF
	1090/100 = 11
MAIL KIOSK REQUIRED	2 PER CUP
	2
TOTAL REQUIRED	19
TOTAL PROVIDED	23
ADA PARKING CALCS	1 TO 25 = 1
ADA PARKING REQUIRED	1SPACES
ADA PARKING PROVIDED	2 SPACES
IMPERVIOUS	
NET TRACT AREA	0.67 AC (29185 SF)
EXISTING IMPERVIOUS	0 AC (0 SF)
POLYDECK	0.08 AC (3528 SF)
SIDEWALKS	0.01 AC (380 SF)
AMENITY BUILDING	0.02 AC (960 SF)
ROADWAY B-B	0.19 AC (8157 SF)
TOTAL IMPERVIOUS	0.30 AC (13,395 SF)
IMPERVIOUS PERCENTAGE	46%

PAVEMENT LEGEND	
[Pattern]	LIGHT DUTY ASPHALT (SEE DETAIL SHEET)
[Pattern]	LIGHT DUTY CONCRETE (SEE DETAIL SHEET)



REV #	DATE	DESCRIPTION
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IMPORTANT NOTE MH AND CB TOP ELEVATION
 1. MANHOLE TOP ELEVATIONS ARE SOFTWARE GENERATED BASED ON PROPOSED ROADWAY PROFILE AND DISTANCE FROM CENTERLINE. THE ELEVATIONS SHOWN ARE RELIABLE BUT MUST BE FIELD VERIFIED DURING CONSTRUCTION STAKING PRIOR TO INSTALLATIONS.
 2. CATCH BASIN TOP ELEVATIONS ARE SOFTWARE GENERATED BASED ON THE TOP OF BACK OF CURB ELEVATION. THESE ELEVATIONS ARE FOUND TO BE RELIABLE DURING REVIEW, HOWEVER SOME TOPS MAY REQUIRE ADJUSTMENTS IN THE FIELD.
 3. ALL RIM ELEVATIONS MUST BE FIELD VERIFIED DURING CONSTRUCTION STAKING PROCESS PRIOR TO INSTALLATIONS.

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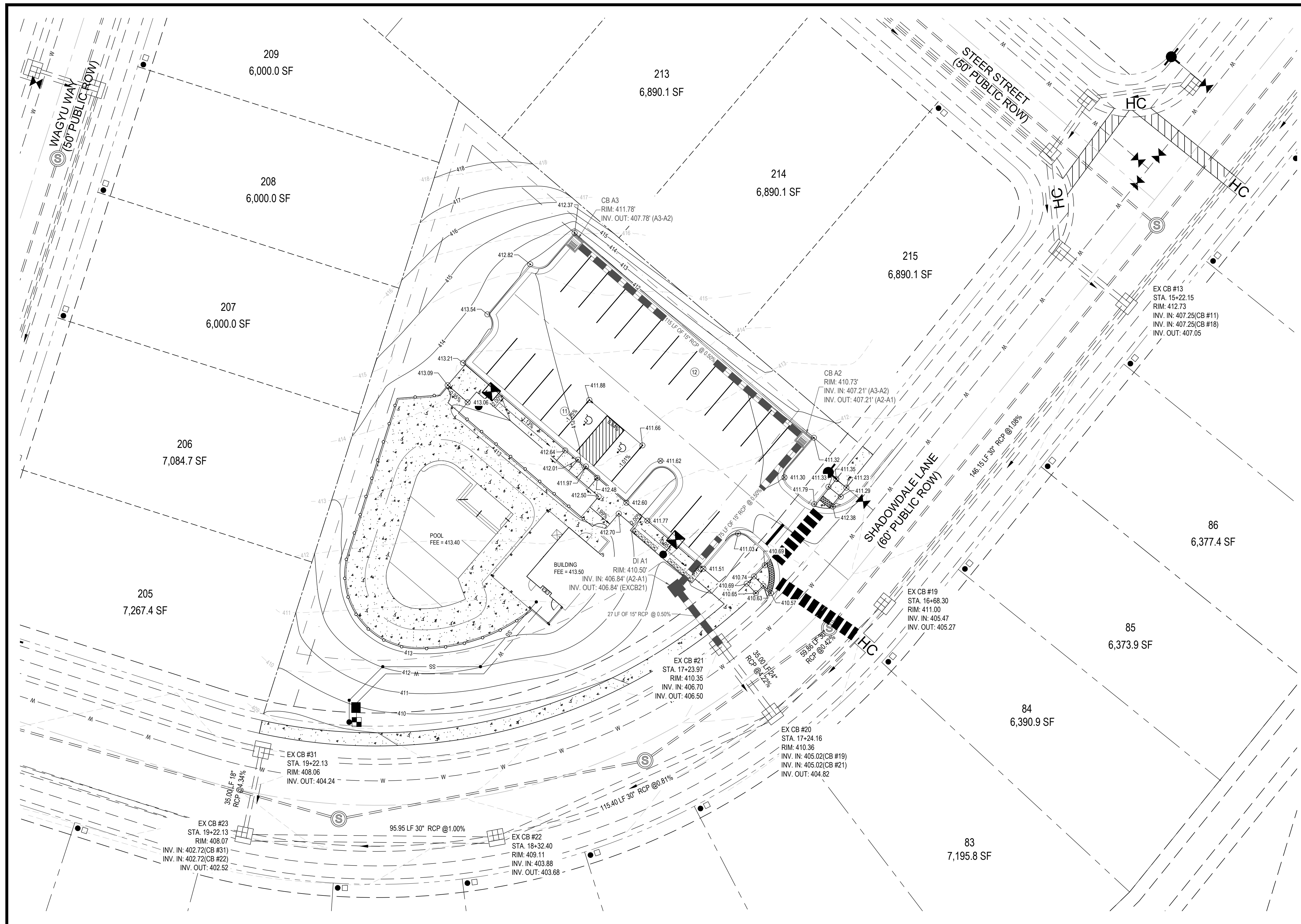


**PRESERVE AT JONES DAIRY
 AMENITY SITE**
 ROLESVILLE, NC 27571
 WAKE COUNTY

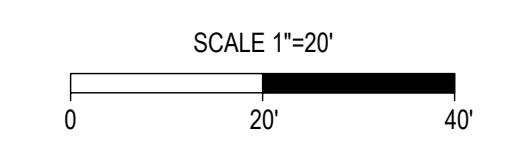
GRADING AND STORM DRAINAGE PLAN

Design By: *JMW*
 Date: 10.02.23
 Project #: P230462

SHEET
 C500



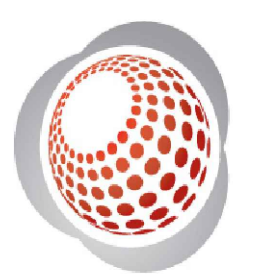
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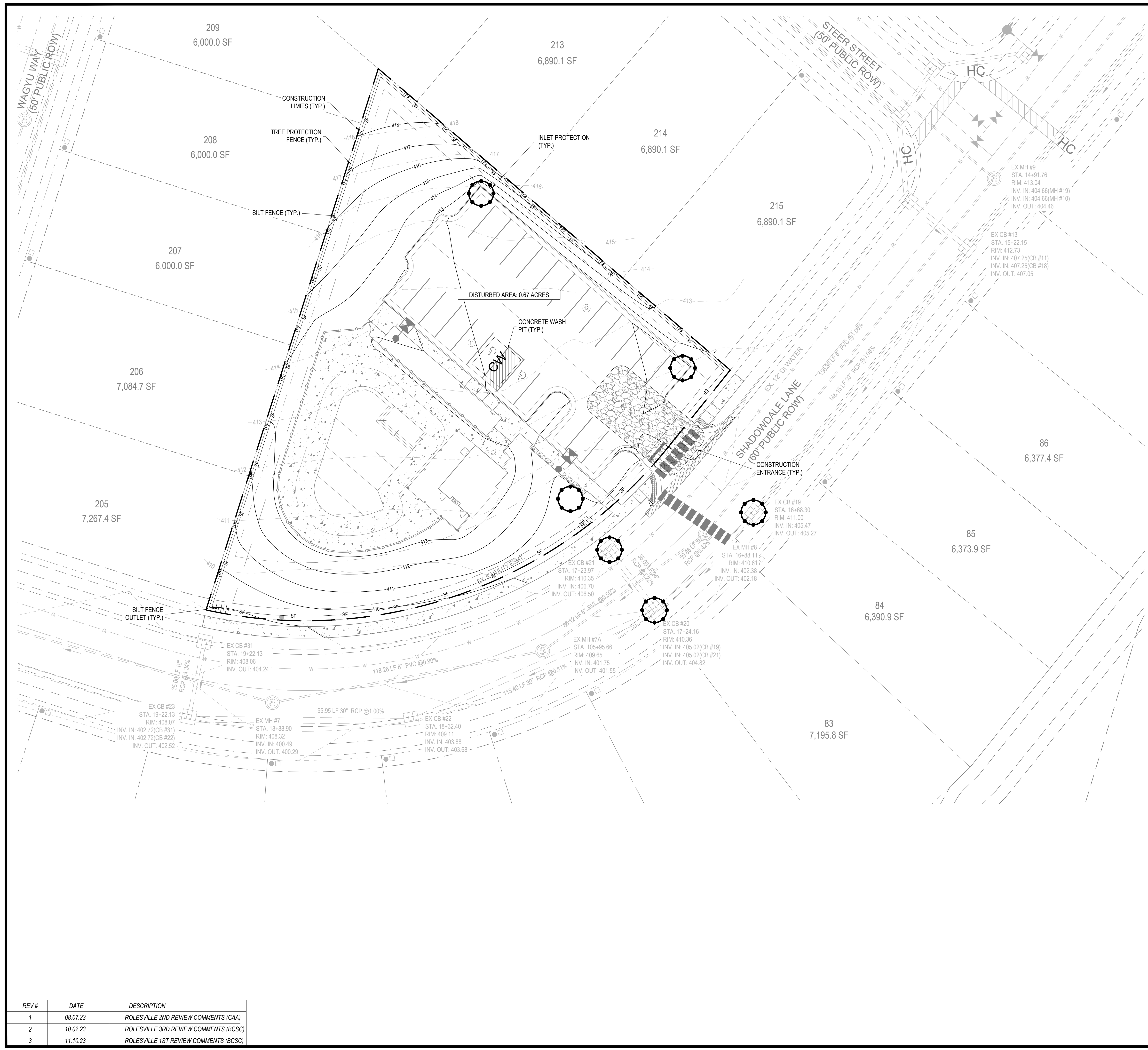


PRESERVE AT JONES DAIRY
AMENITY SITE

ROLESVILLE, NC 27571
WAKE COUNTY

EROSION CONTROL PLAN

Design By: *JMW*
Date: 10.02.23
Project #: P230462
SHEET
C700



LEGEND:

	CHECK DAM
	INLET PROTECTION
	CONSTRUCTION ENTRANCE
	EXISTING MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	FLOW LINE
	LIMITS OF DISTURBANCE
	PROPOSED MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	ROCK PIPE INLET PROTECTION
	SEDIMENT BASIN BAFFLES
	SILT FENCE
	SILT FENCE OUTLET
	SKIMMER
	TEMPORARY DIVERSION DITCH
	TREE PROTECTION FENCE
	TREE PROTECTION / SILT FENCE COMBINATION
	CONCRETE WASH PIT

WAKE COUNTY SEEDING SPECIFICATIONS

SEEDBED PREPARATION:

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO SIX INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLE SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE MIXTURE BELOW).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT SAEC ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

MIXTURE:

AGRICULTURAL LIMESTONE	2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER	1,000 LBS/ACRE - 10-10-10
SUPERPHOSPHATE	500 LBS/ACRE - 20% ANALYSIS
MULCH	2 TONS/ACRE - SMALL GRAIN STRAW
ANCHOR	ASPHALT EMULSION AT 300 GAL/ACRE

SEEDING SCHEDULE:

FOR SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1):

DATE	TYPE	PLANTING RATE
AUG 15-NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1-MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE
MAR 1-APR 15	TALL FESCUE	300 LBS/ACRE
APR 15-JUN 30	MULLED COMMON BERMIUDAGRASS	25 LBS/ACRE
JUL 1-AUG 15	TALL FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS**	125 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MILLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)

FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 TO 2:1):

DATE	TYPE	PLANTING RATE
MAR 1-JUN 1	SERICEA LESPEDEZA (SCARIFIED) AND USE THE FOLLOWING COMBINATIONS:	50 LBS/ACRE (SERICEA LESPEDEZA);
MAR 1-APR 15	ADD TALL FESCUE	120 LBS/ACRE
MAR 1-JUN 30	OR ADD WEEPING LOVE GRASS	10 LBS/ACRE
MAR 1-JUN 30	OR ADD MULLED COMMON BERMIUDAGRASS	25 LBS/ACRE
JUN 1-SEPT 1	TASS FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS	120 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MILLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)
SEPT 1-MAR 1	SERICEA LESPEDEZA (UNMULLED - UNSCARIFIED) AND TALL FESCUE AND ABRUZZI RYE	70 LBS/ACRE (SERICEA LESPEDEZA); 100 LBS/ACRE (TALL FESCUE); 25 LBS/ACRE

WAKE COUNTY CONSTRUCTION REQUIREMENTS:

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE WATERSHED MANAGER, JEEVAN NEUPANE, PE (919-819-8907), OBTAIN A LAND-DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSION SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL WATERSHED MANAGER, JEEVAN NEUPANE, PE (919-819-8907) FOR AN ONSITE INSPECTION TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS. SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUIDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WATERSHED MANAGER, JEEVAN NEUPANE, PE (919-819-8907) FOR SITE INSPECTION.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE WATERSHED MANAGER, JEEVAN NEUPANE, PE (919-819-8907), OBTAIN A CERTIFICATE OF COMPLETION.

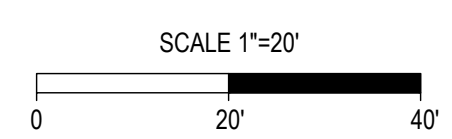
WAKE COUNTY STOCKPILE REQUIREMENTS:

- A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE PROVIDED AROUND ALL PROPOSED STOCKPILES.
- STOCKPILES SHALL BE SET BACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
- STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
- STOCKPILE SLOPES SHALL BE 2:1 OF FLATTER.
- APPROVED BMPs SHALL BE PROVIDED TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM STOCKPILE.
- STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.
- ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
- OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).

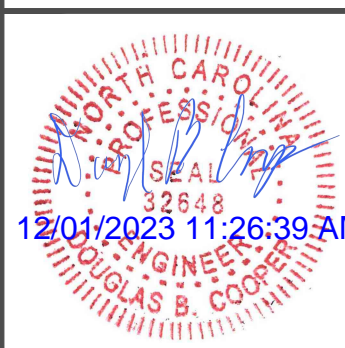
STOCKPILE MAINTENANCE REQUIREMENTS:

- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED TO REDUCE EROSION.
- TARPS SHALL BE KEVED IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE, THE FINANCIALLY RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY TO DESIGNATE A NEW FINANCIALLY RESPONSIBLE PARTY FOR THE STOCKPILE.
- THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- A VEGETATIVE BUFFER SHALL BE ESTABLISHED AND MAINTAINED AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

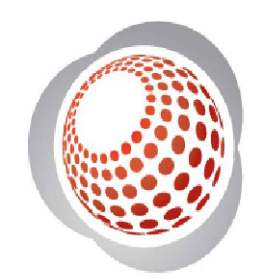
REV #	DATE	DESCRIPTION
1	08.07.23	ROLESVILLE 2ND REVIEW COMMENTS (CAA)
2	10.02.23	ROLESVILLE 3RD REVIEW COMMENTS (BCSC)
3	11.10.23	ROLESVILLE 1ST REVIEW COMMENTS (BCSC)



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 Engineers • Surveyors • Planners
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 Phone: 919.577.1080 Fax: 919.577.1081
 NCBELS FIRM No. C-2376



PRESERVE AT JONES DAIRY
 AMENITY SITE
 ROLESVILLE, NC 27571
 WAKE COUNTY

POOLHOUSE DETAILS

Design By: JMW
 Date: 10.02.23
 Project #: P230462

SHEET
 C950

RIGHT ELEVATION
1/4" = 1'-0"

FLOOR PLAN
3/8" = 1'-0"

DCI

433 SF BATH, PUMP, ELEC
486 SF COVERED PORCH
BATHHOUSE PLANS

Planning Sheet

PROJECT #: 2023
 DATE ISSUED: 10/02/2023
 DRAWING BY: JMW
 CHECKED BY: JMC

D. CLUGSTON
 ARCHITECTURAL DEVELOPMENT, LLC

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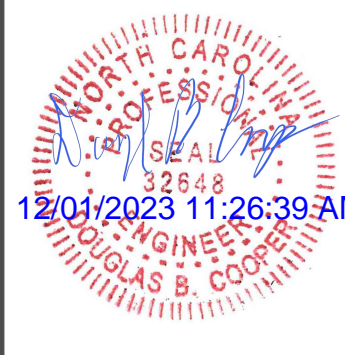


NOTES: TYPICAL POOL SITE RENDERING PROVIDED BY DEVELOPER. PLAYGROUND EQUIPMENT IS NOT PROPOSED FOR POOL SITE BUT IS TO BE INSTALLED IN DEDICATED LOCATIONS ELSEWHERE IN DEVELOPMENT AS SHOWN ON THE APPROVED SITE PLAN

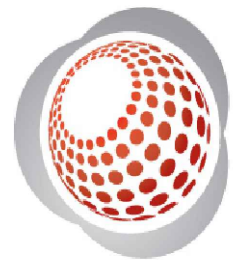


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PRESERVE AT JONES DAIRY
AMENITY SITE
ROLESVILLE, NC 27571
WAKE COUNTY

NCG01 REQUIREMENTS

Design By: JMW
Date: 10.02.23
Project #: P230462

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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, and Timeframe variations. Rows include perimeter dikes, high quality water zones, and various slope categories.

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Table comparing Temporary Stabilization and Permanent Stabilization techniques, including methods like grass seed, hydroseeding, geotextiles, and mulch.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction...
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures...
3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants...
4. Provide ponding area for containment of treated stormwater before discharging offsite...
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- 1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible...
4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste...
5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
6. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- 1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
6. Anchor all lightweight items in waste containers during times of high winds.
7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
8. Dispose waste off-site at an approved disposal facility.
9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.
4. Containment must be labeled, sized and placed appropriately for the needs of site.
5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable stone access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection.

Table with 3 columns: Inspect, Frequency (during normal business hours), and Inspection records must include. Rows cover rain gauge, E&S Measures, Stormwater discharge, Perimeter of site, Streams or wetlands, and Ground stabilization measures.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S Plan Documentation
The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit.

Table with 2 columns: Item to Document and Documentation Requirements. Rows include E&S plan documentation, grading phase, ground cover, maintenance and repair, and corrective actions.

2. Additional Documentation to be Kept on Site
In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
(b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements.
3. Documentation to be Retained for Three Years
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

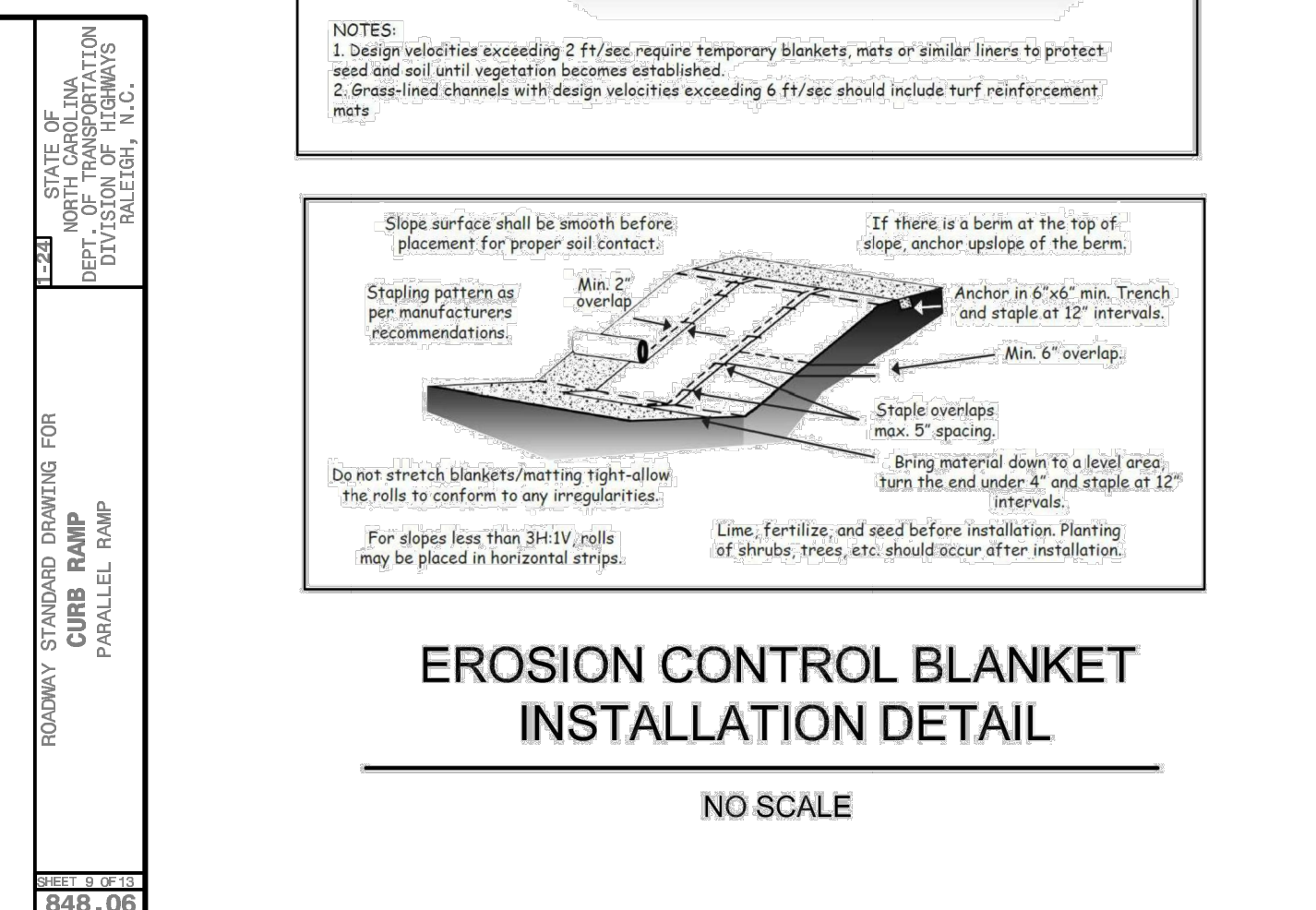
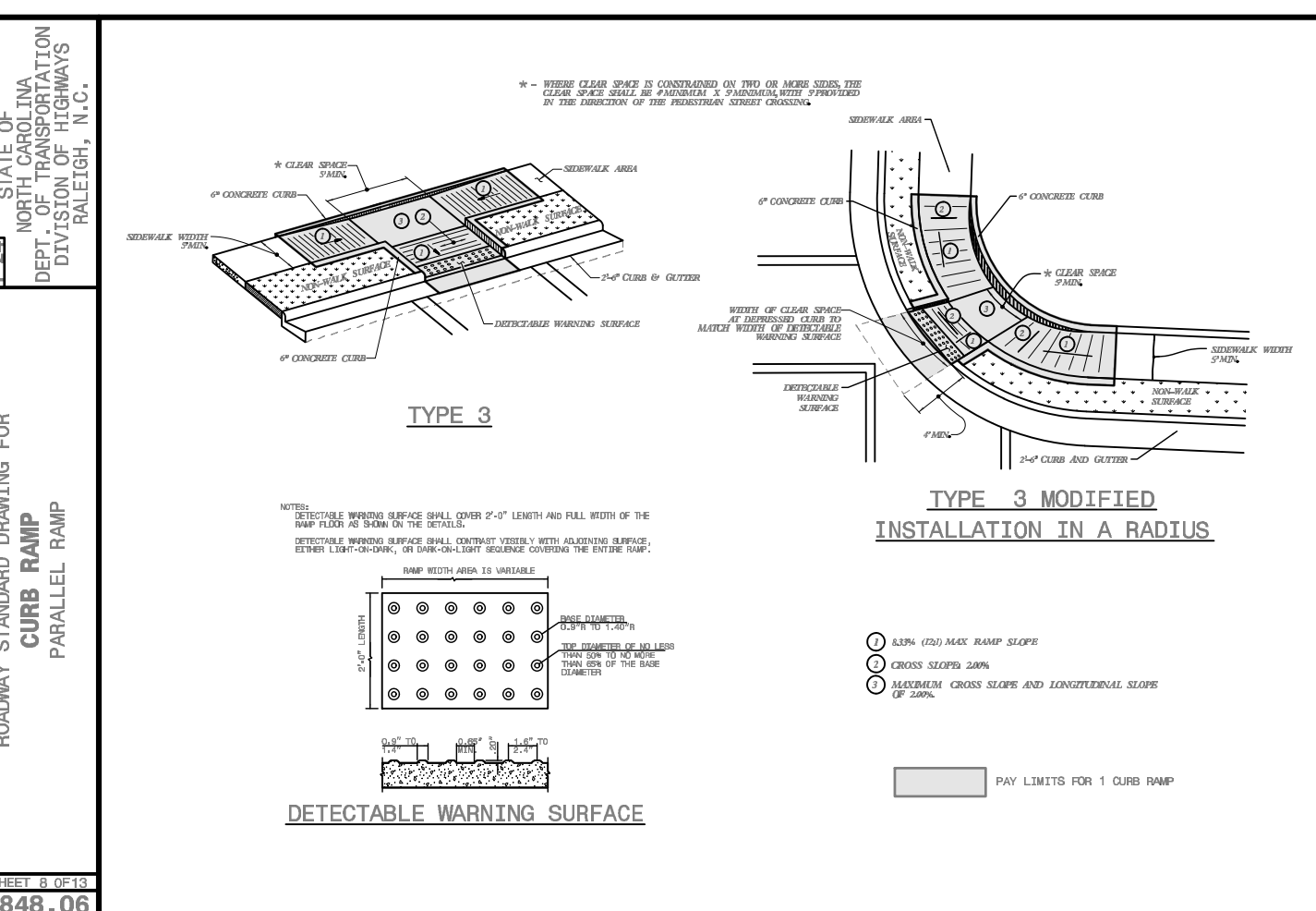
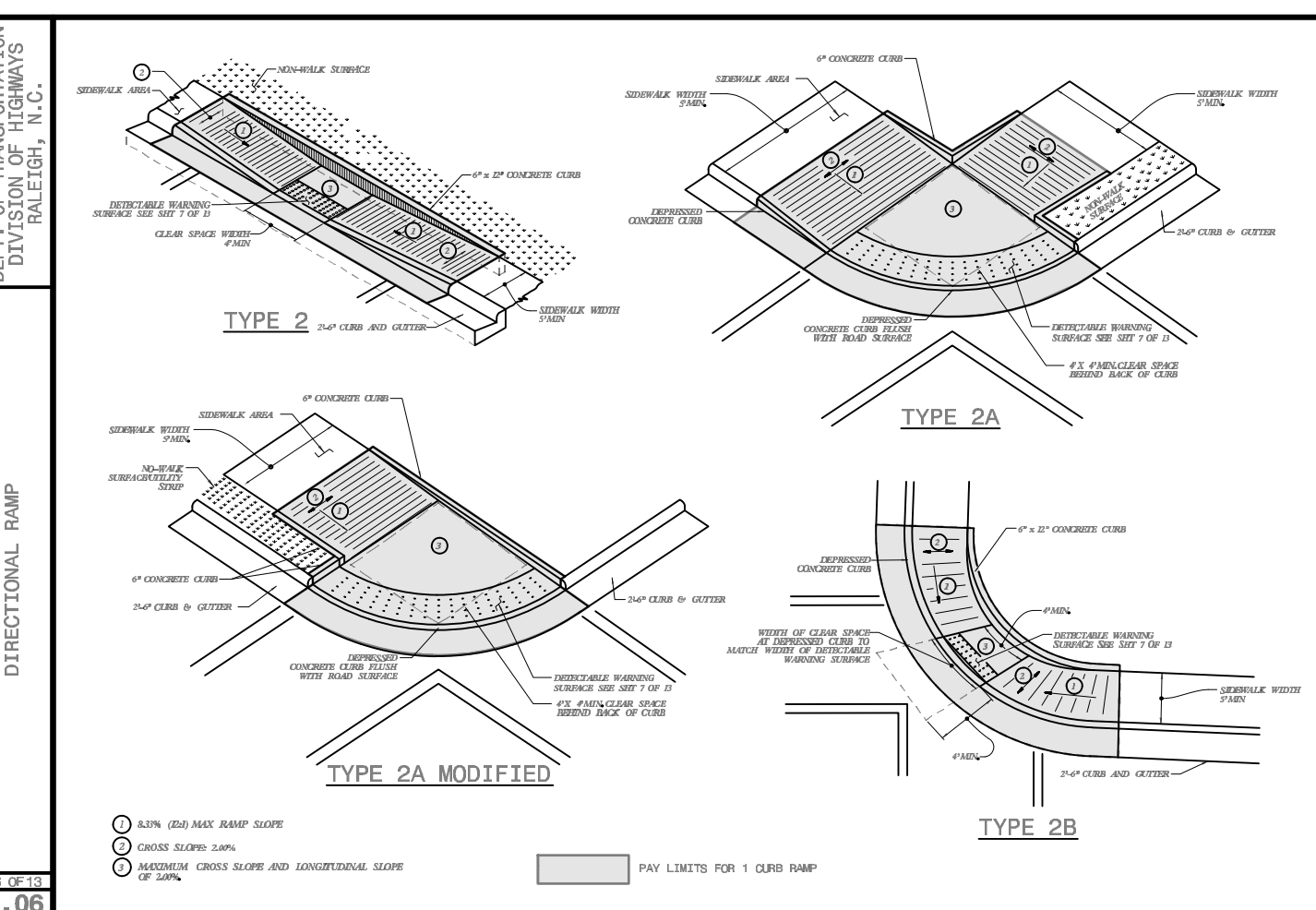
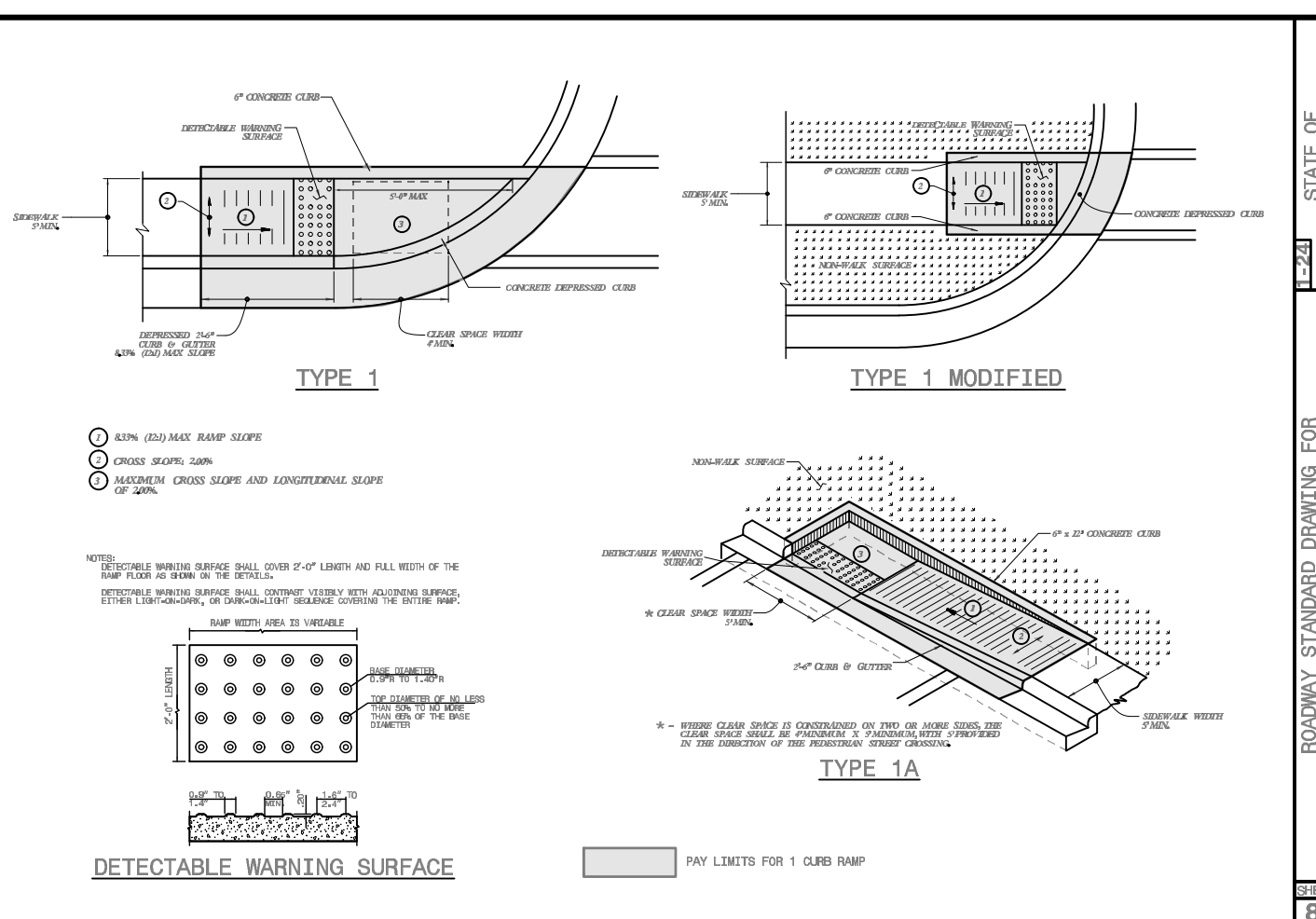
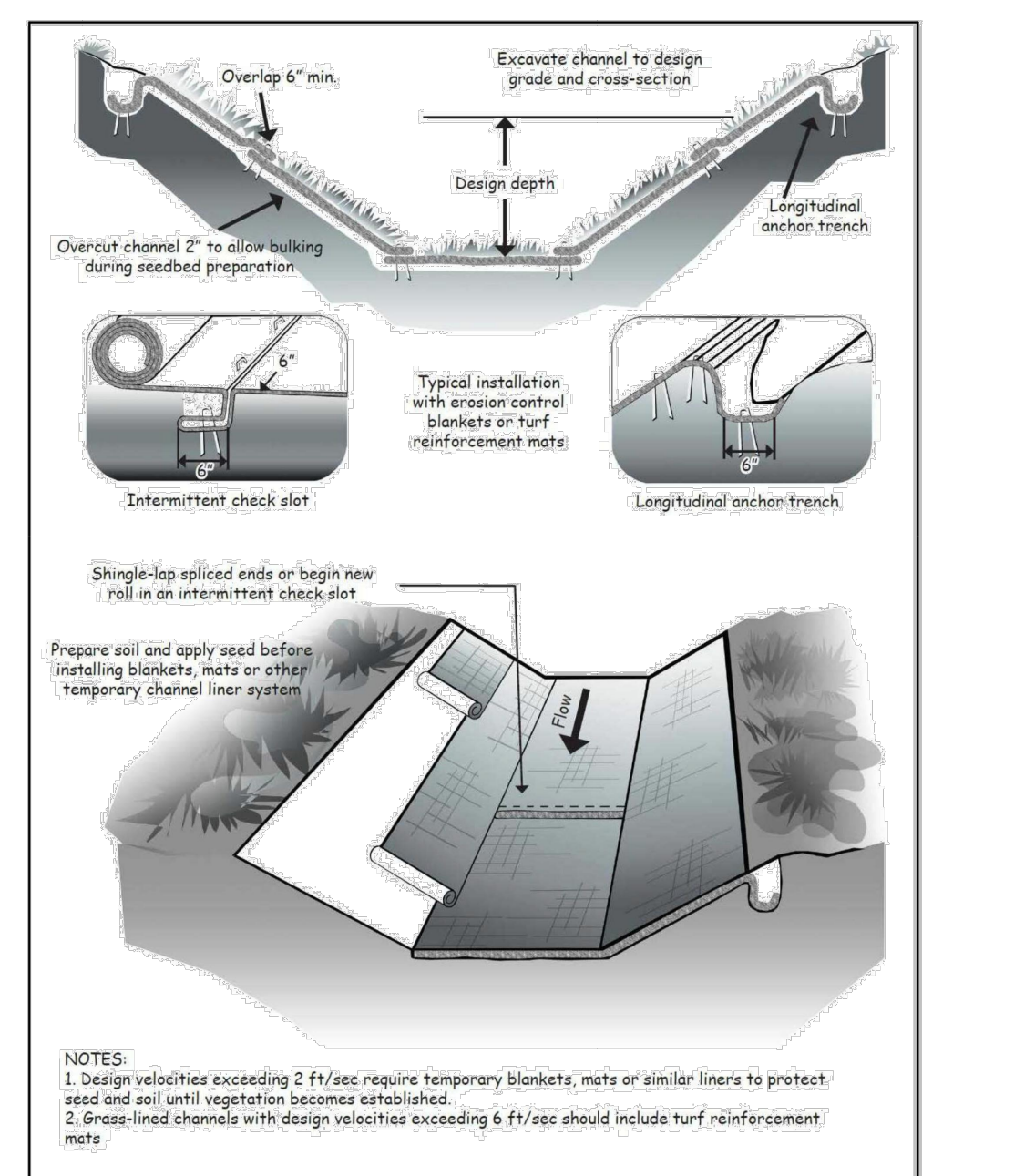
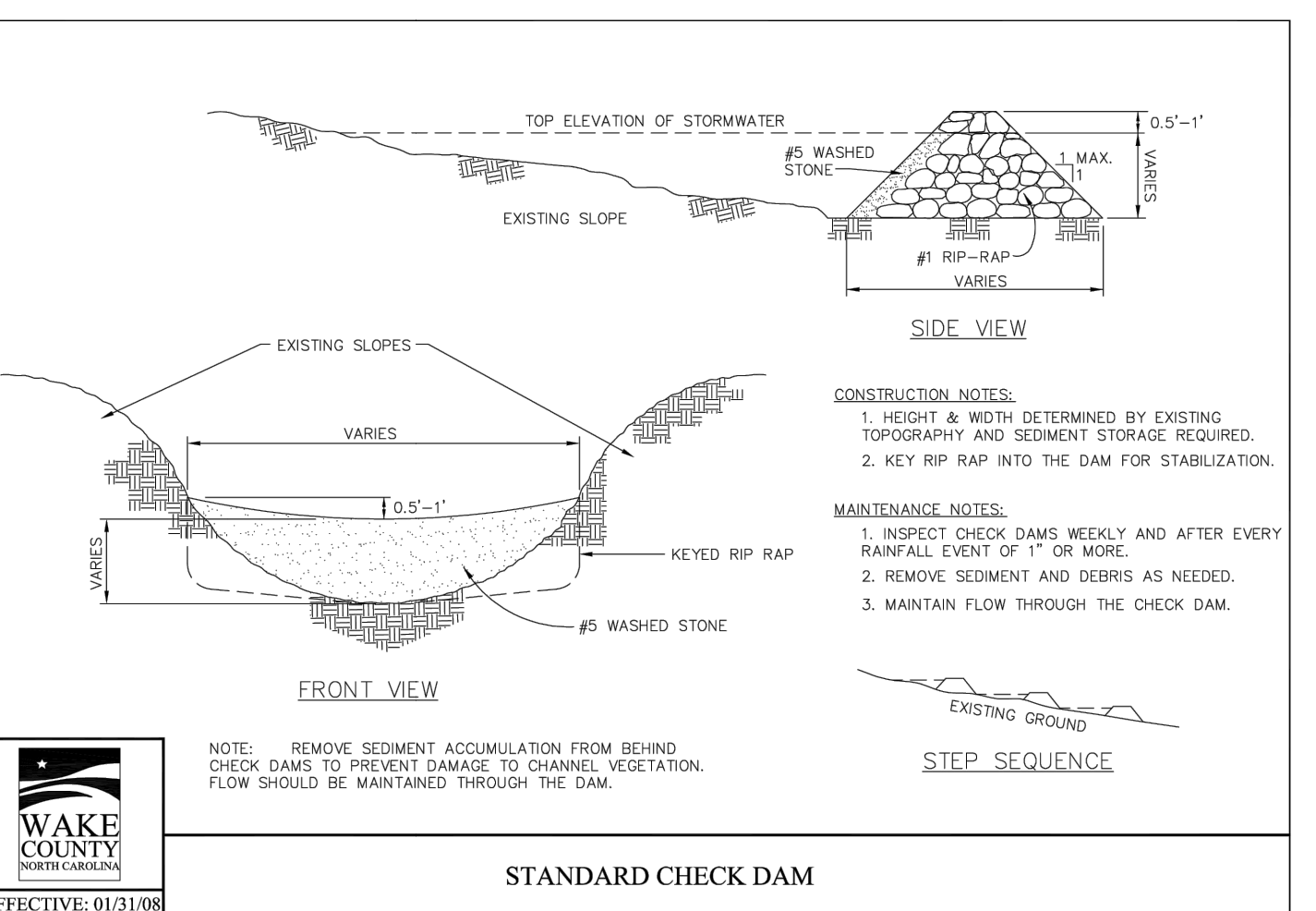
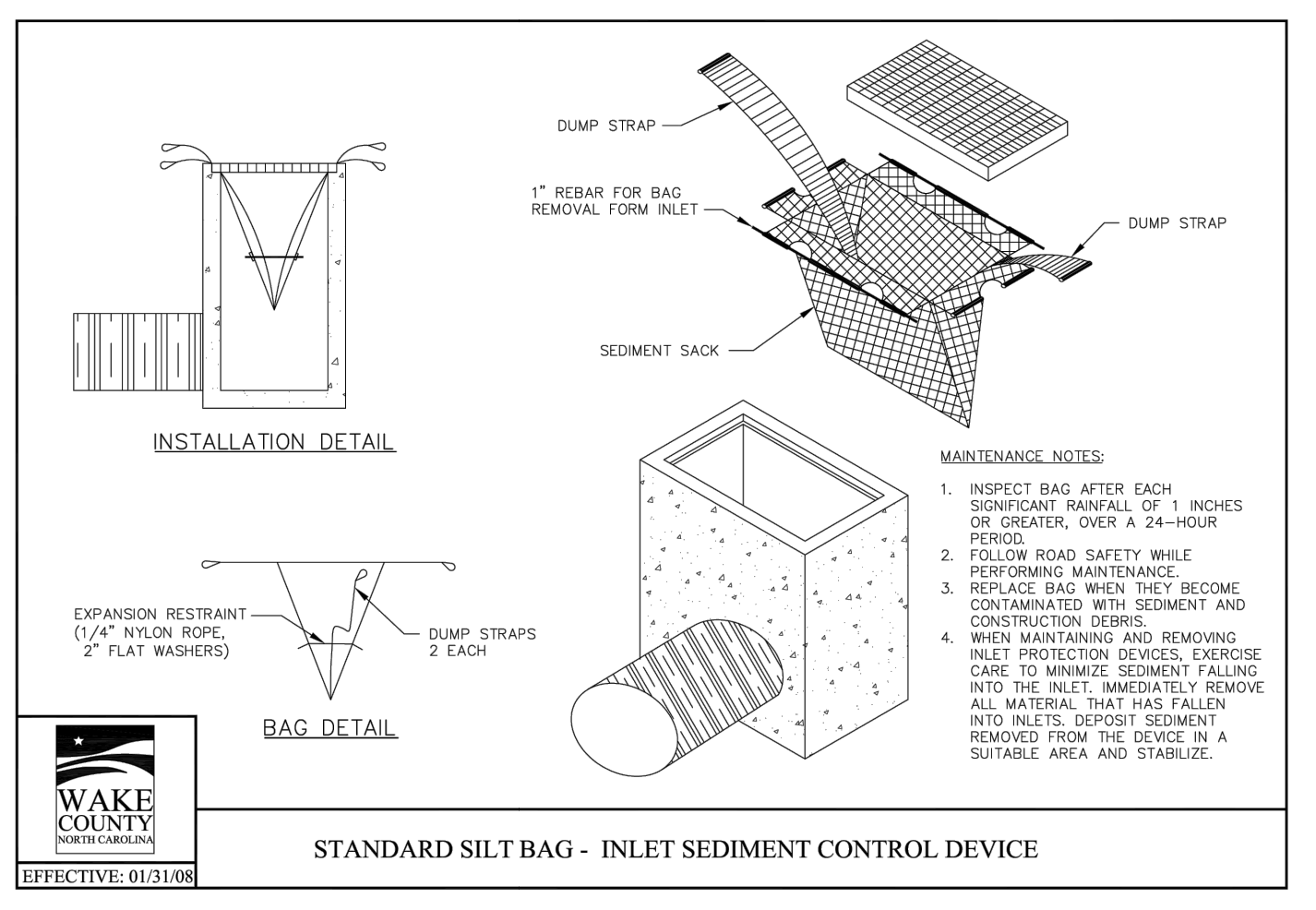
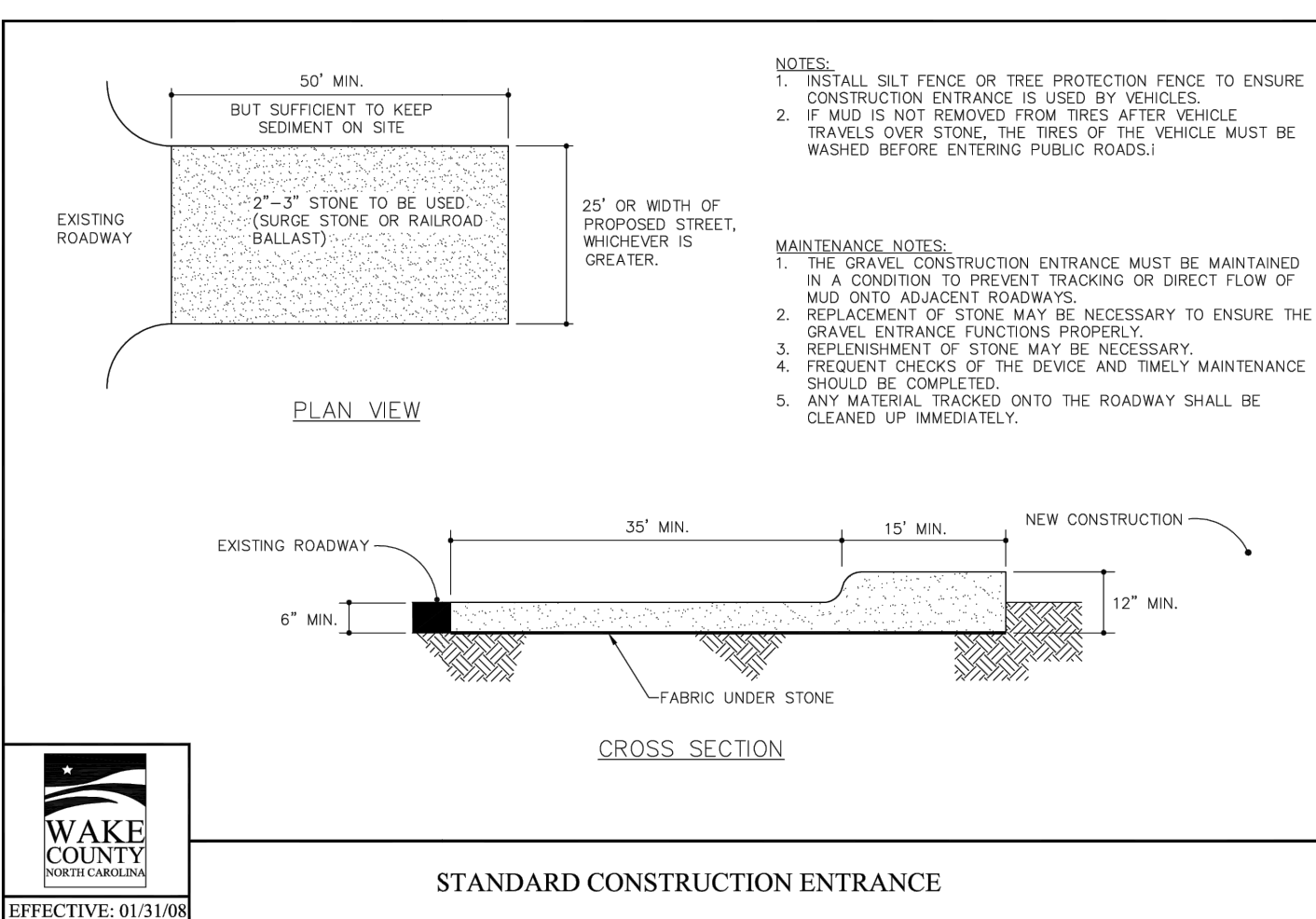
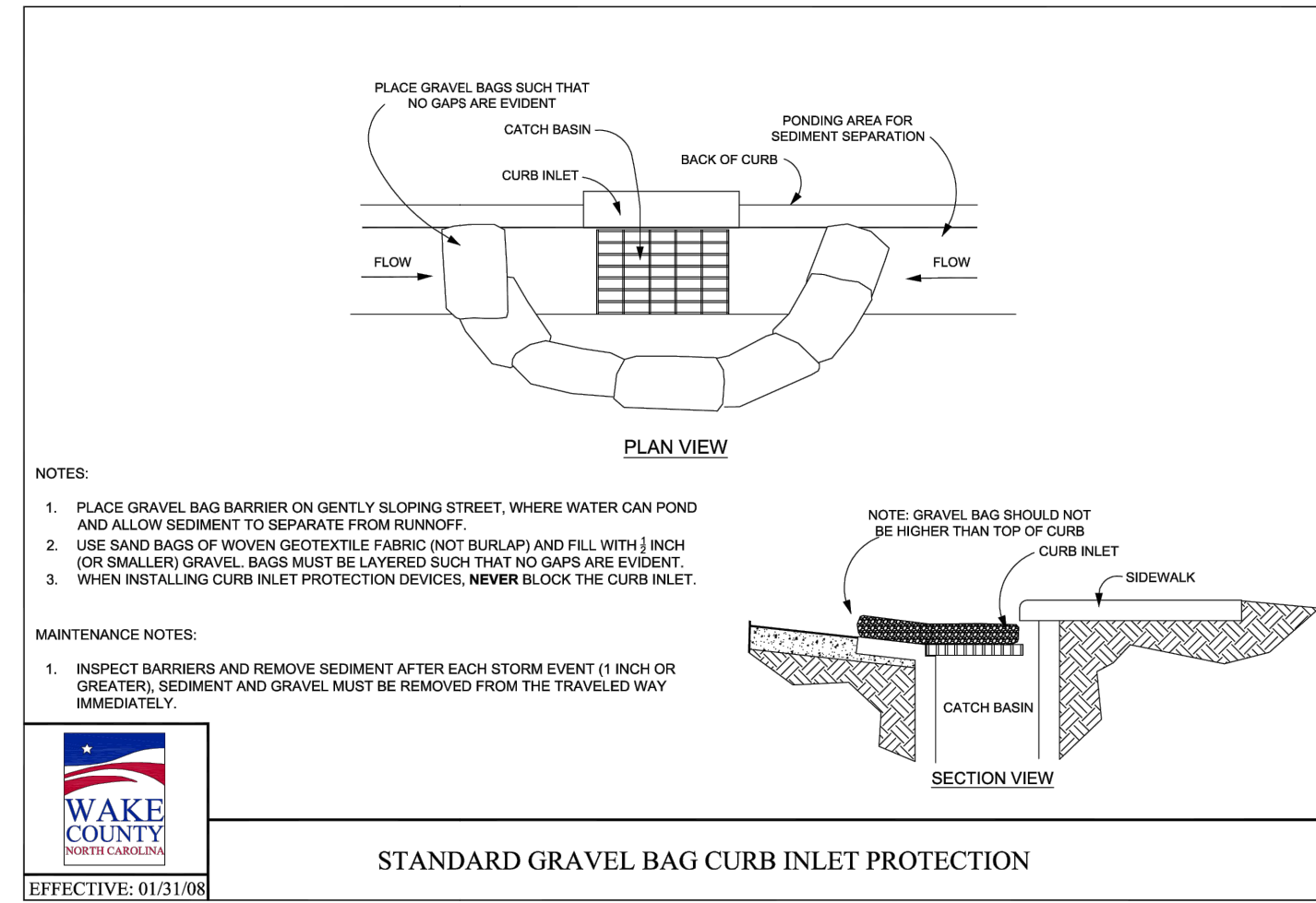
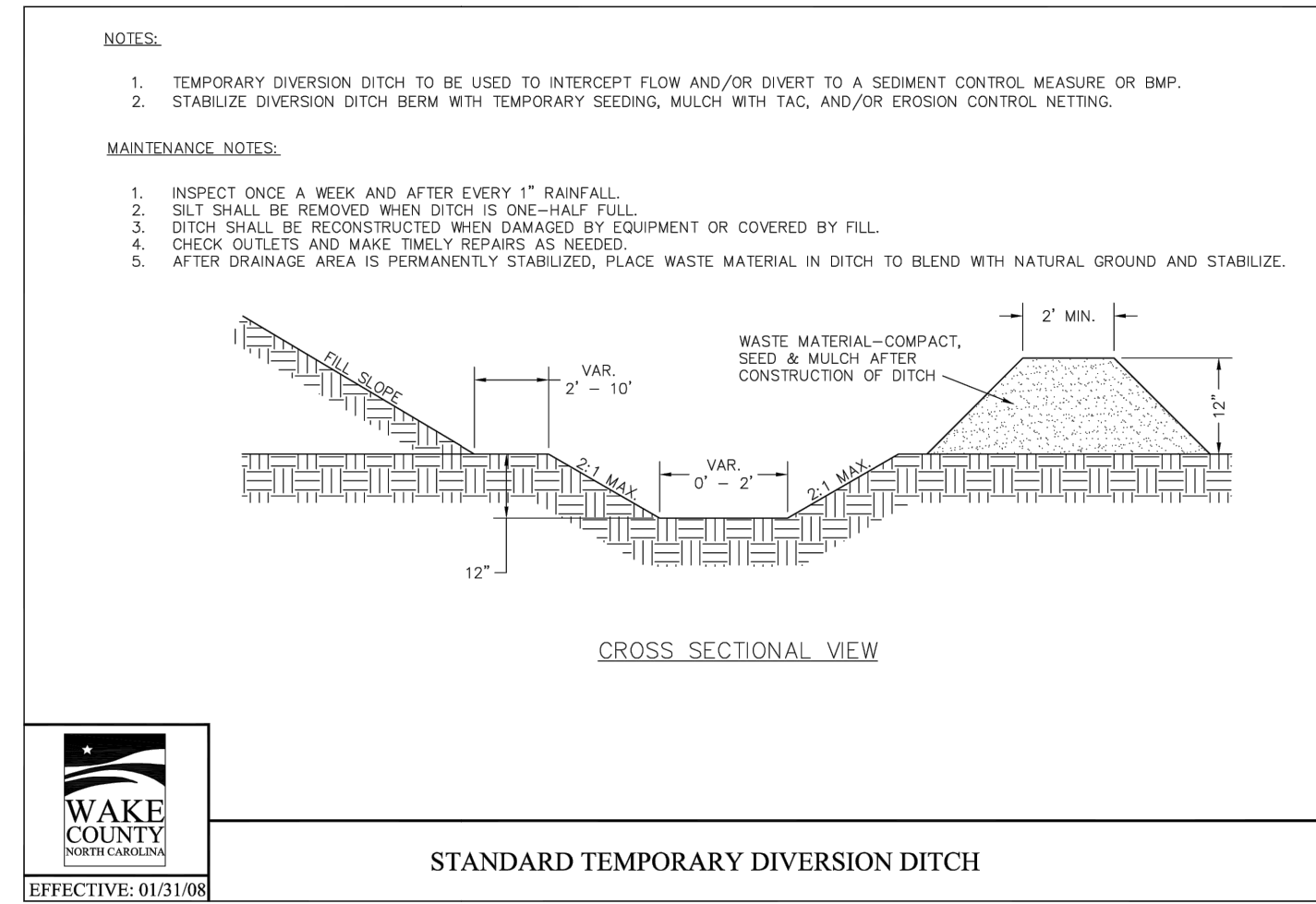
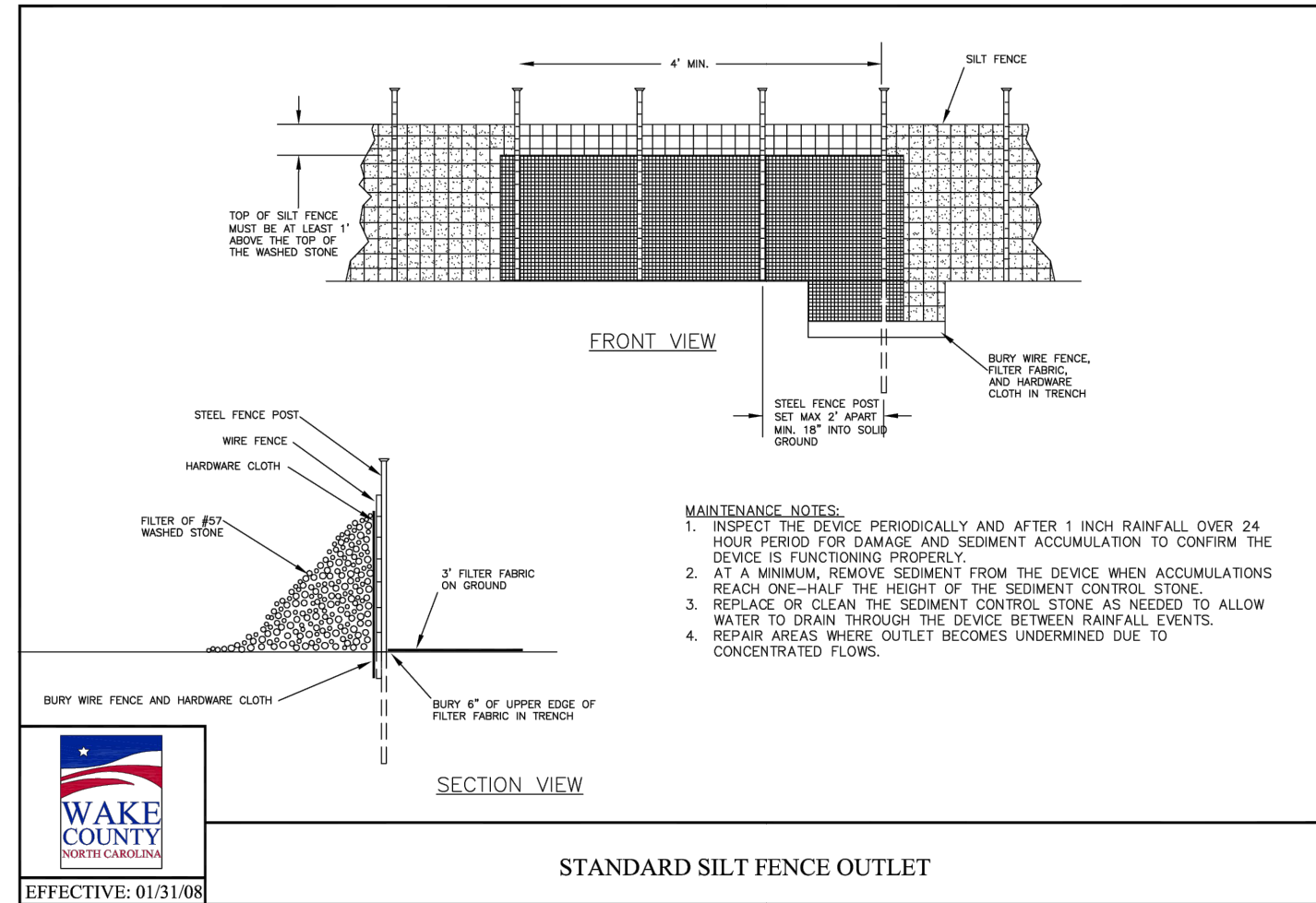
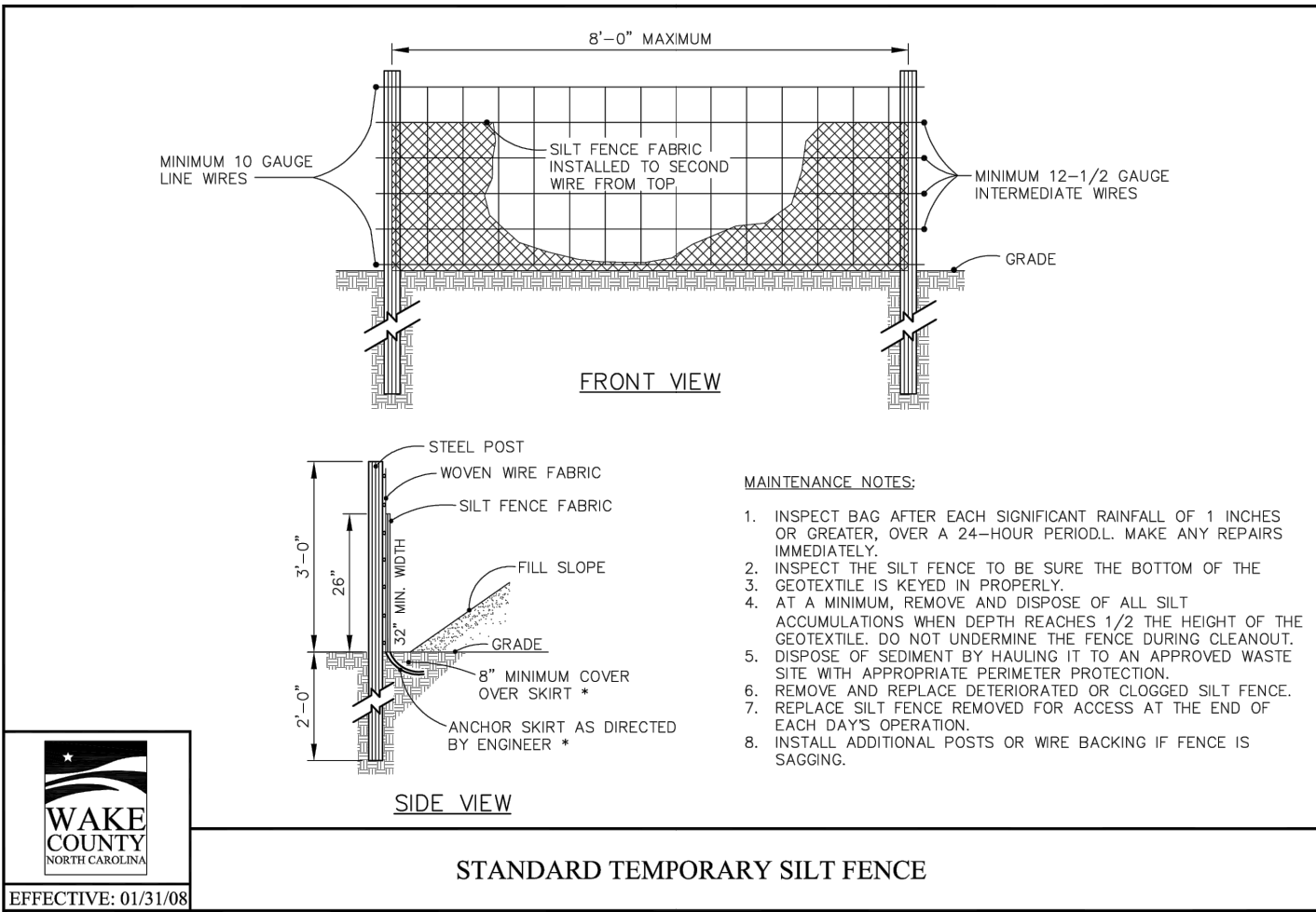
- (a) The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur.
(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit.
(c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin.
(d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
(e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
(f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



Table with 3 columns: REV #, DATE, DESCRIPTION. Rows show revision history for review comments.

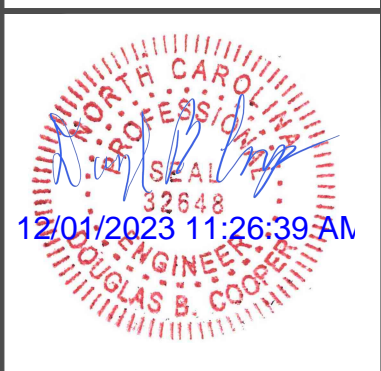


NOTES:
1. CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
2. LOCATE CURB RAMPS AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMPS OR MARKINGS AS SHOWN, CONTACT THE SIGNALING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
3. COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4"x4" CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
4. SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
5. REFER TO THE PAVEMENT MARKING PLANS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATION OR LOCATE AS DIRECTED BY THE ENGINEER.
6. TERMINATE PARKING A MINIMUM OF 20' FROM THE BACK OF PEDESTRIAN CROSSWALK.
7. CONSTRUCT CURB RAMPS A MINIMUM OF 4' WIDE.
8. CONSTRUCT THE RUNNING SLOPE OF THE RAMP 0.33% MAXIMUM.
9. ALLOW A LE CROSS SLOPE ON SIDEWALKS AND CURB RAMPS WILL BE 2% MAXIMUM.
10. CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
11. CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
12. CONSTRUCT CLEAR SPACES FOR SIDEWALK A MINIMUM OF 4'-4" WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT CLEAR SPACES FOR MEDIAN ISLANDS A MINIMUM OF 4'-6" WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. IF CONSTRUCTED ON TWO OR MORE SIDES, THE CLEAR SPACE SHALL BE 4' MINIMUM X 5' MINIMUM, WITH 5' PROVIDED IN THE DIRECTION OF THE PEDESTRIAN STREET CROSSING.
13. TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PAVING OVER OR THROUGH THE ISLAND.
14. SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'X5' CLEAR SPACE AT THE TOP OF RAMPS, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
15. CURB RAMPS WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP, WHERE THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE, OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
16. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01.
17. PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
18. DETECTABLE WARNING SURFACES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
19. DETECTABLE WARNING SURFACES WILL CONTRAST VISIBLY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.

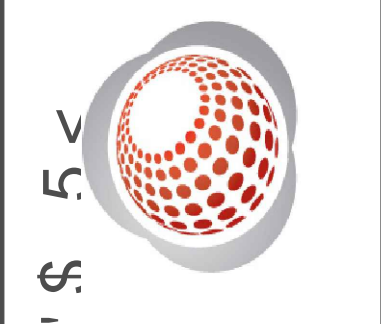
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FINAL DRAWING
FOR REVIEW ONLY



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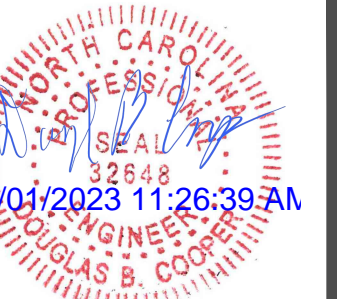
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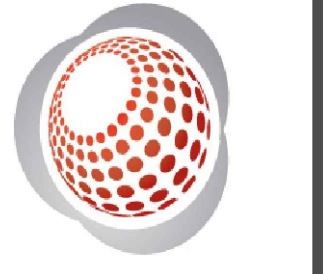
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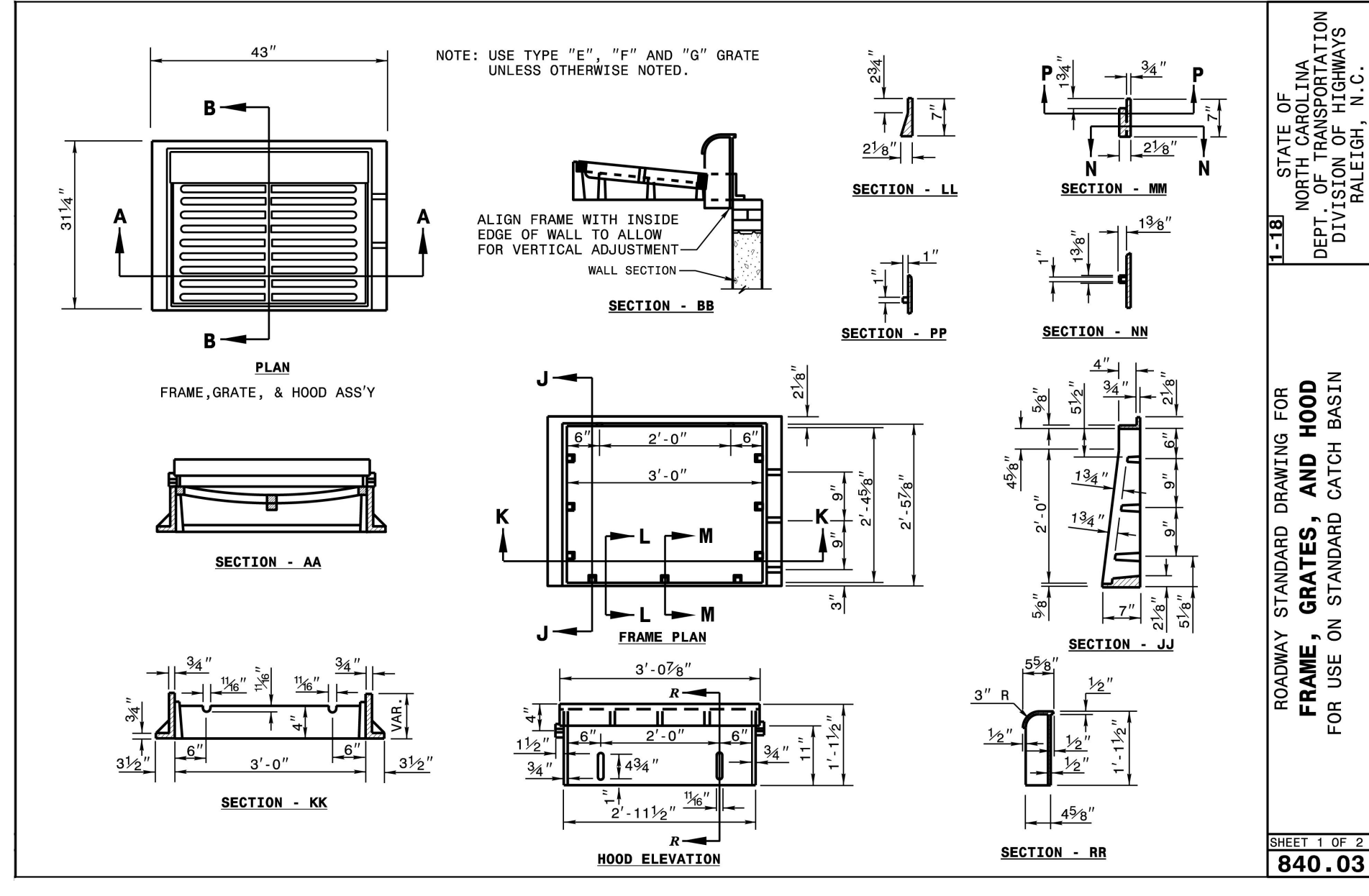
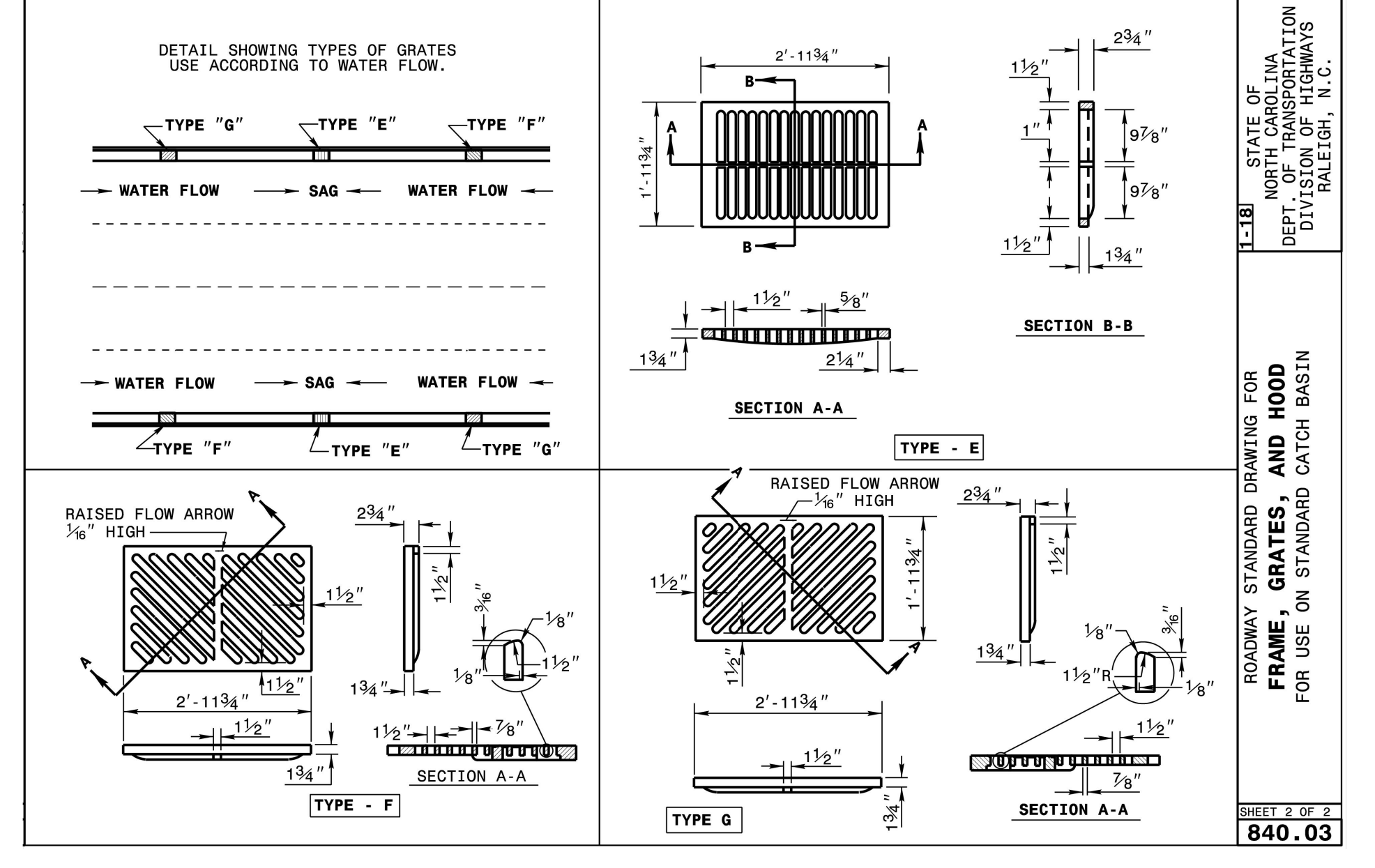
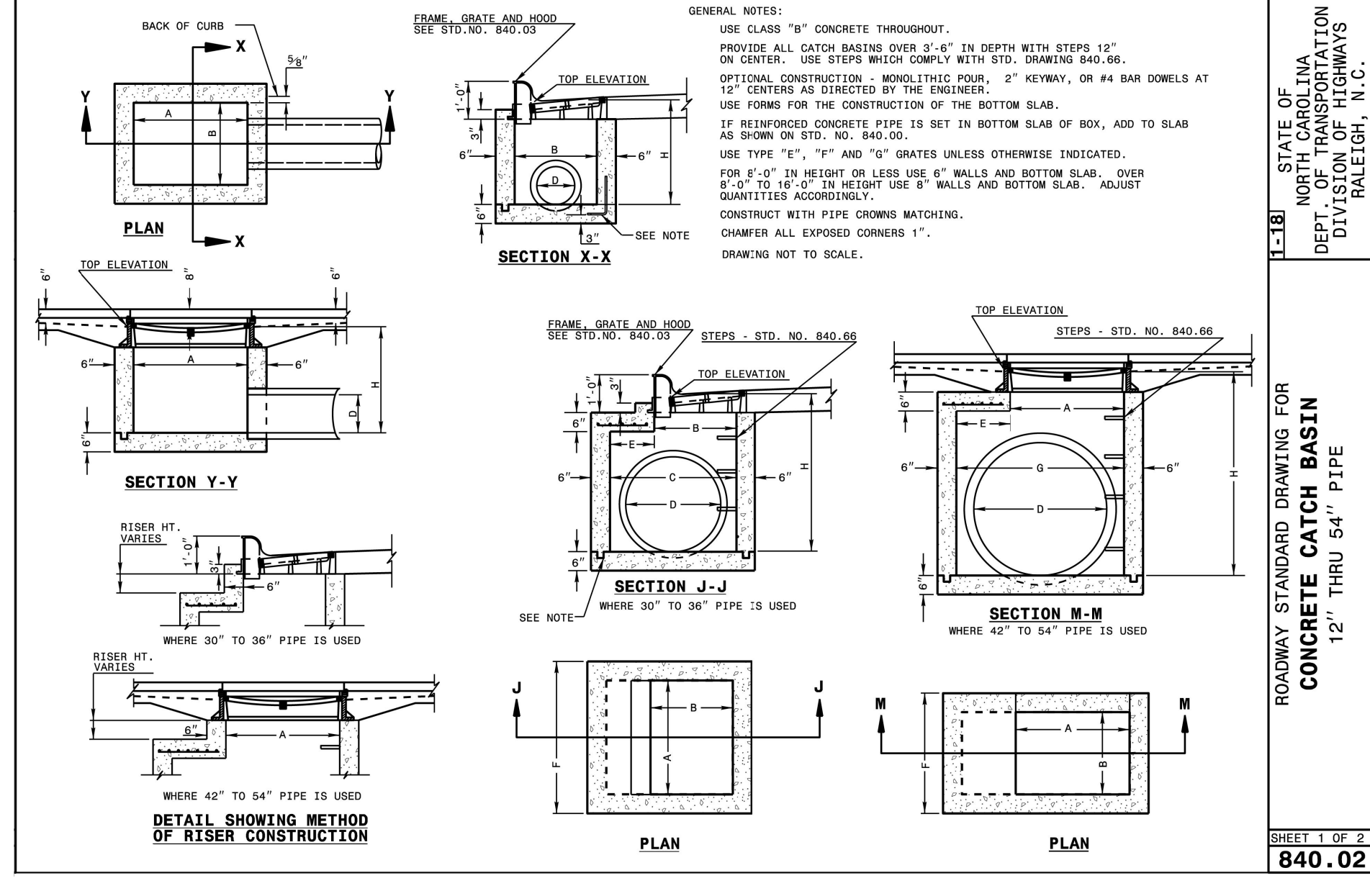
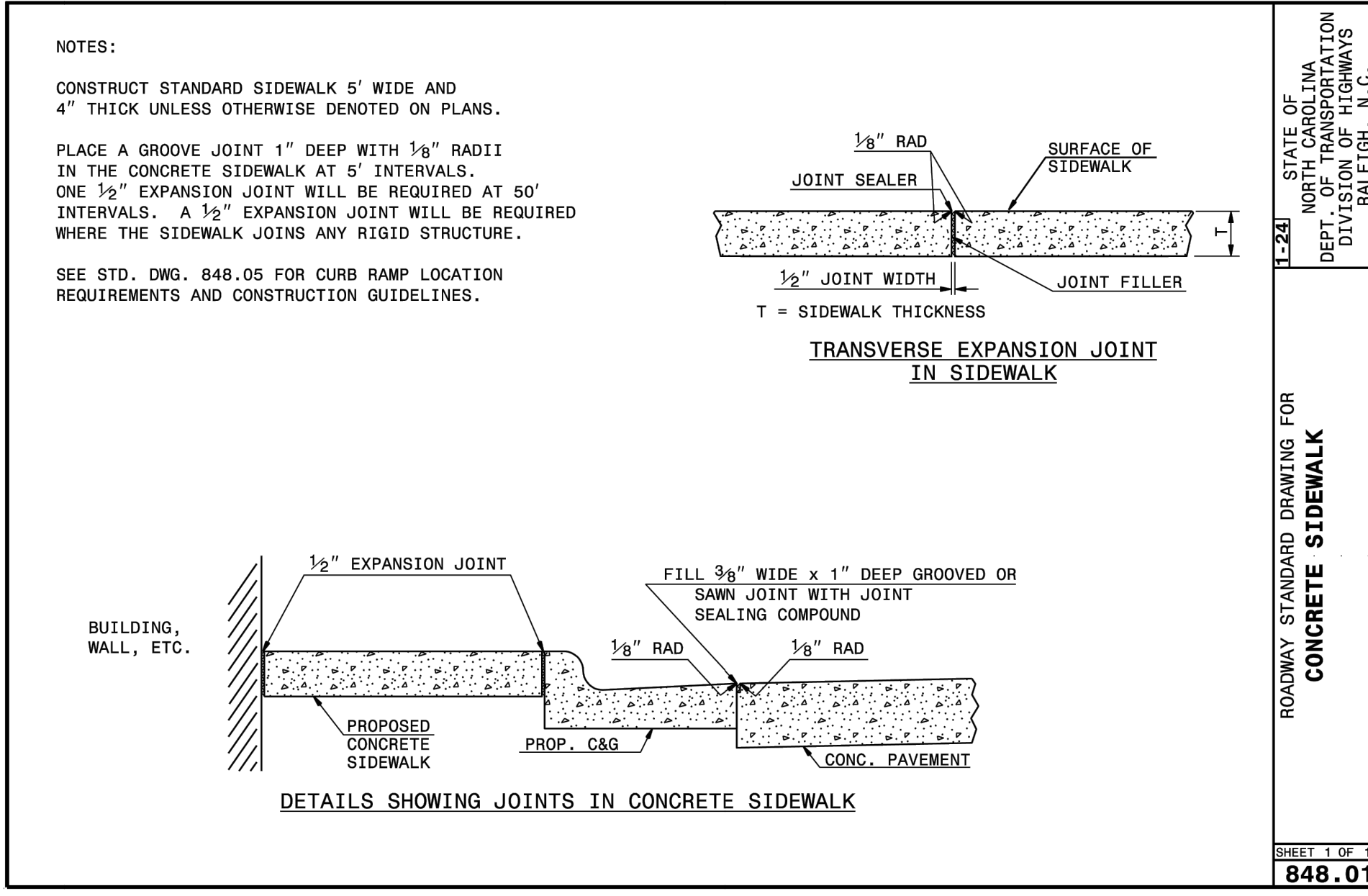
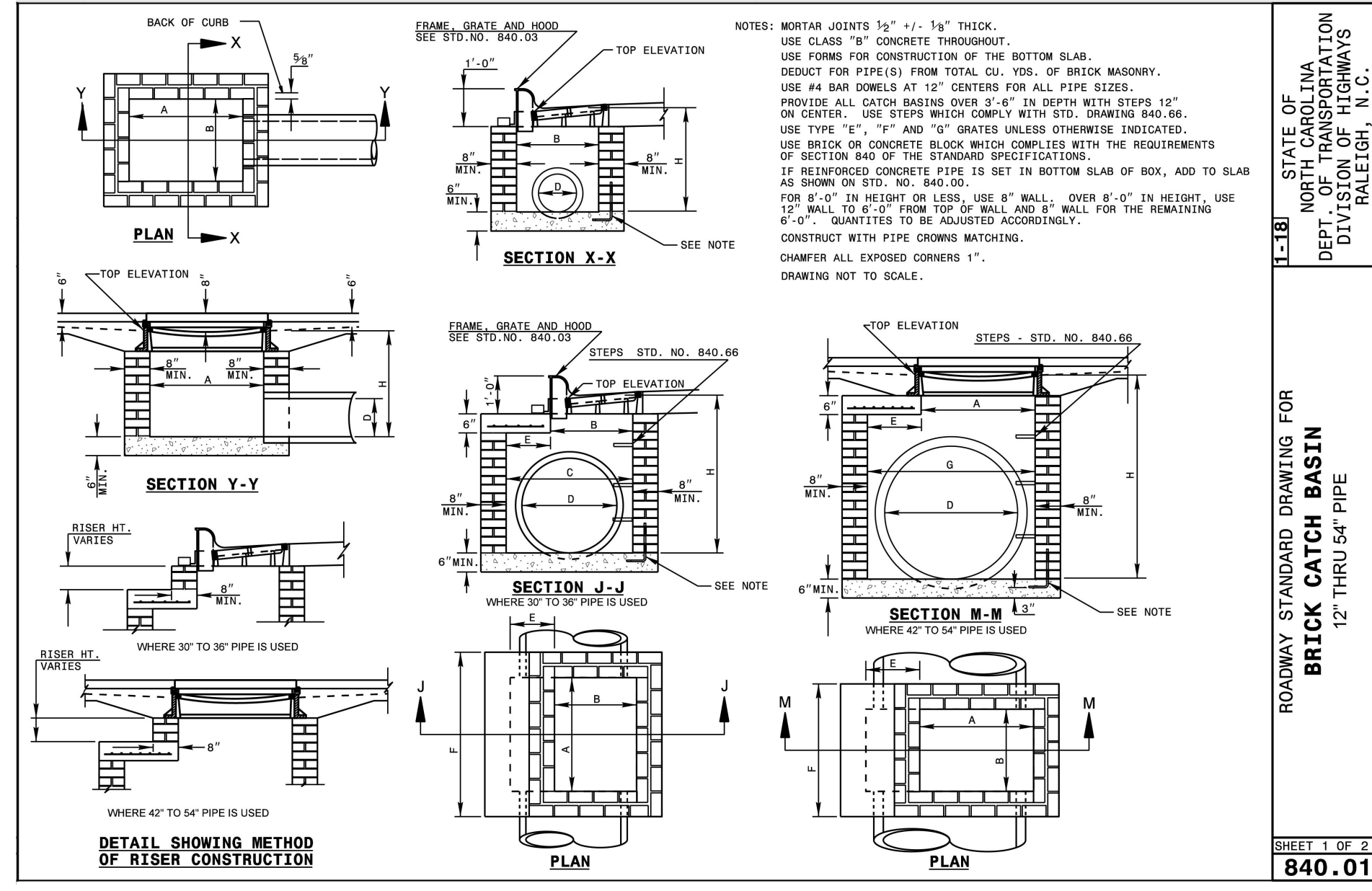
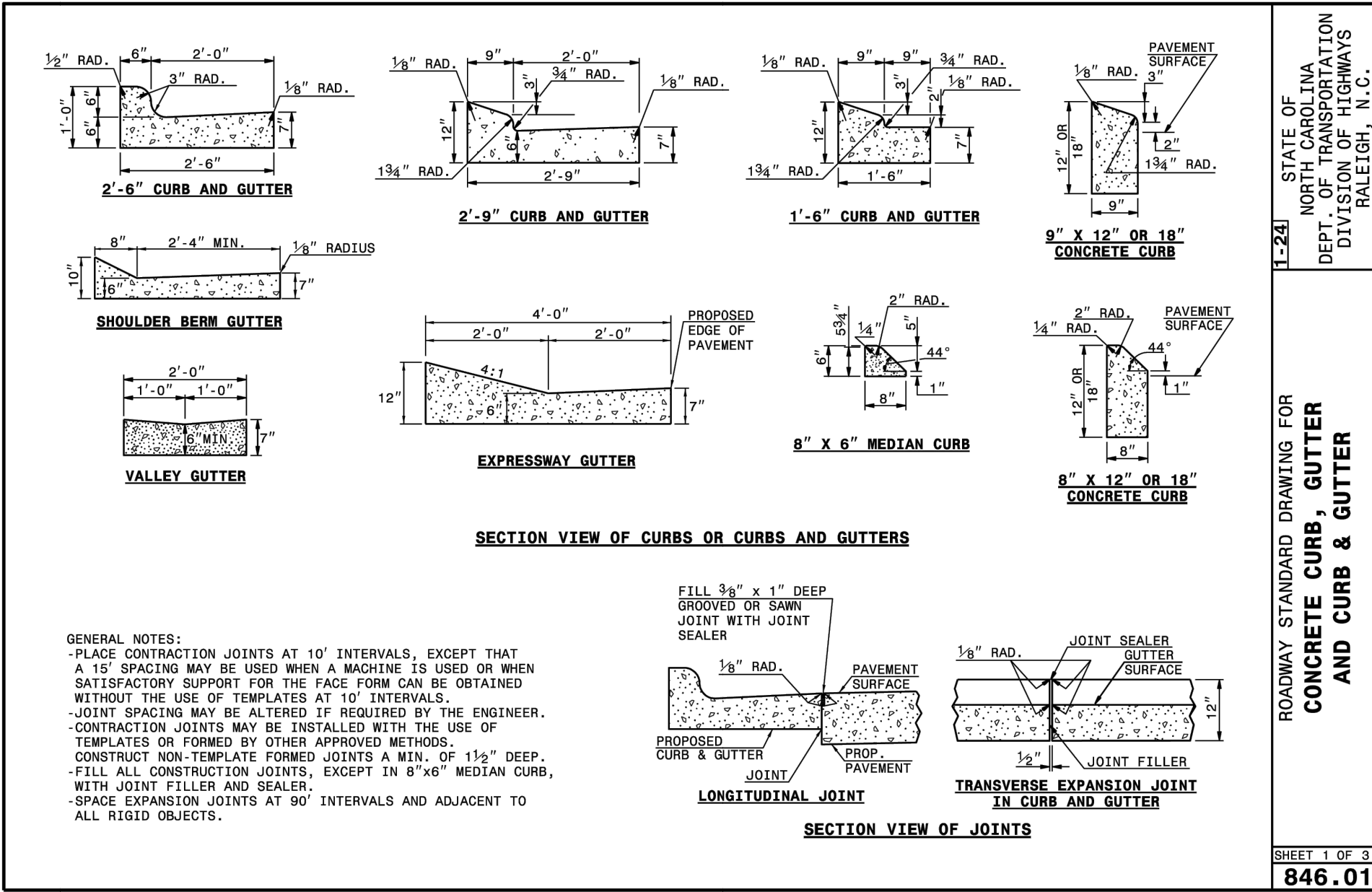
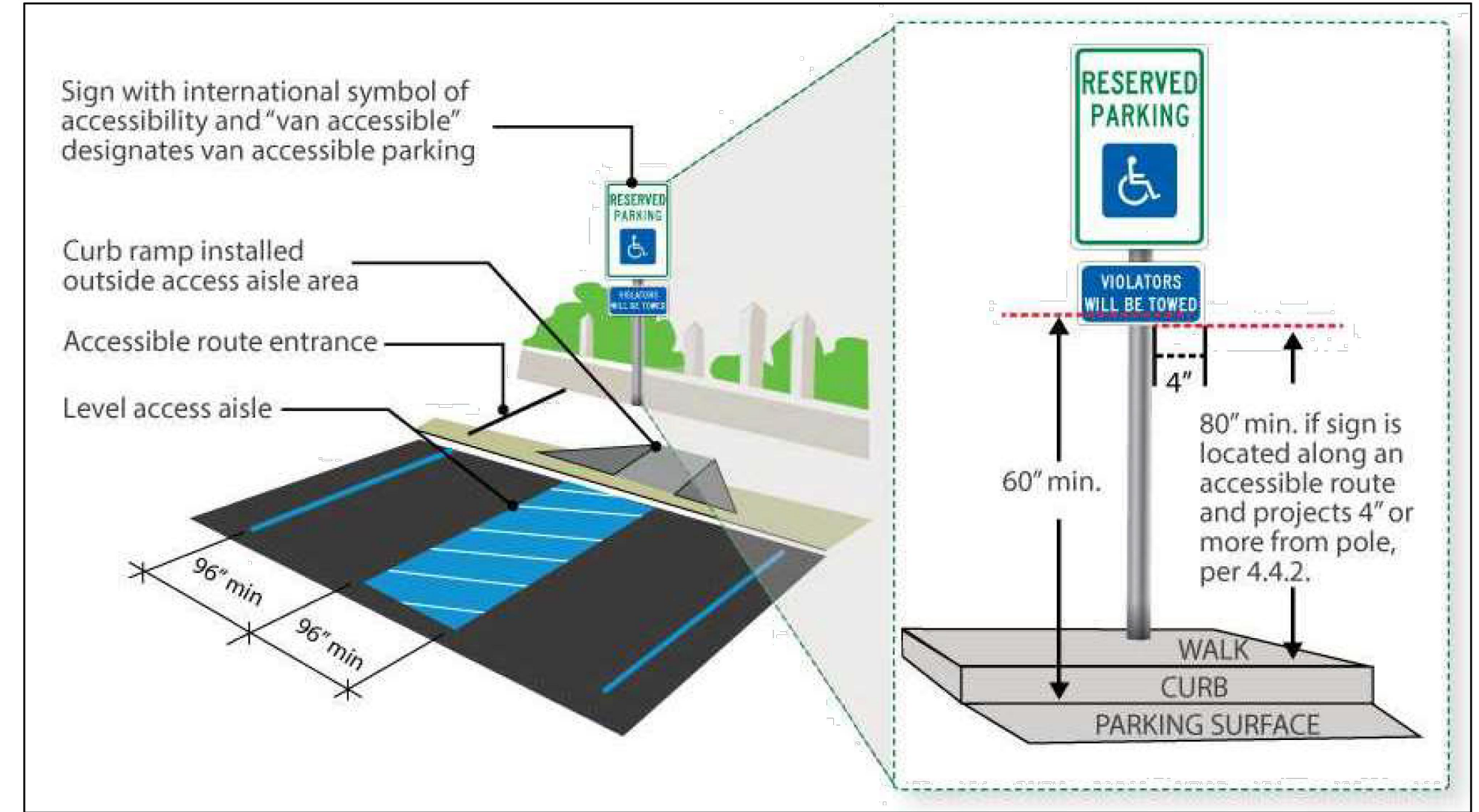


PRESERVE AT JONES DAIRY
AMENITY SITE
ROLESVILLE, NC 27571
WAKE COUNTY

STANDARD DETAILS

Design By: JMW
Date: 10.02.23
Project #: P230462

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REV#	DATE	DESCRIPTION
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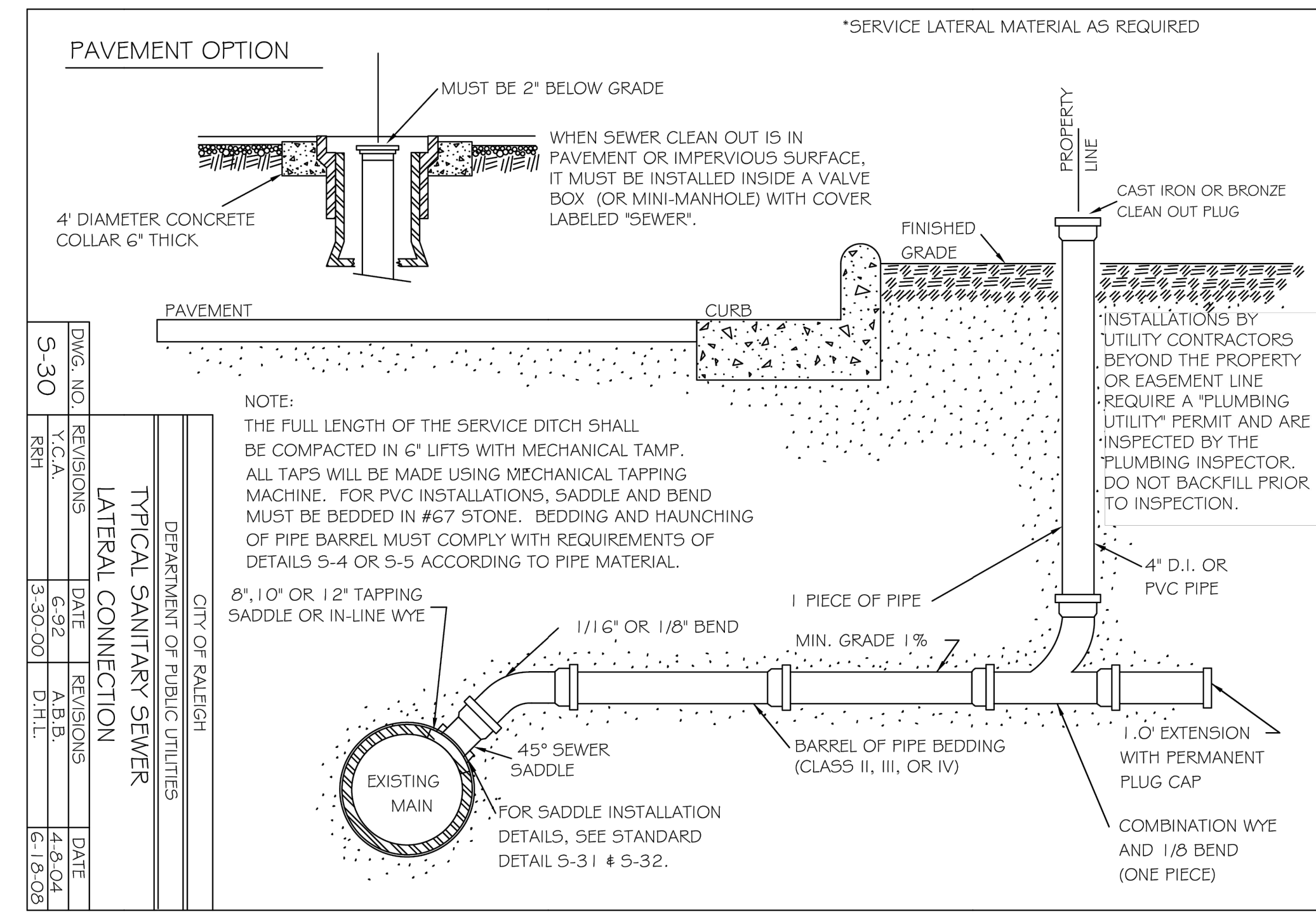
PRESERVE AT JONES DAIRY
AMENITY SITE

ROLESVILLE, NC 27571
WAKE COUNTY

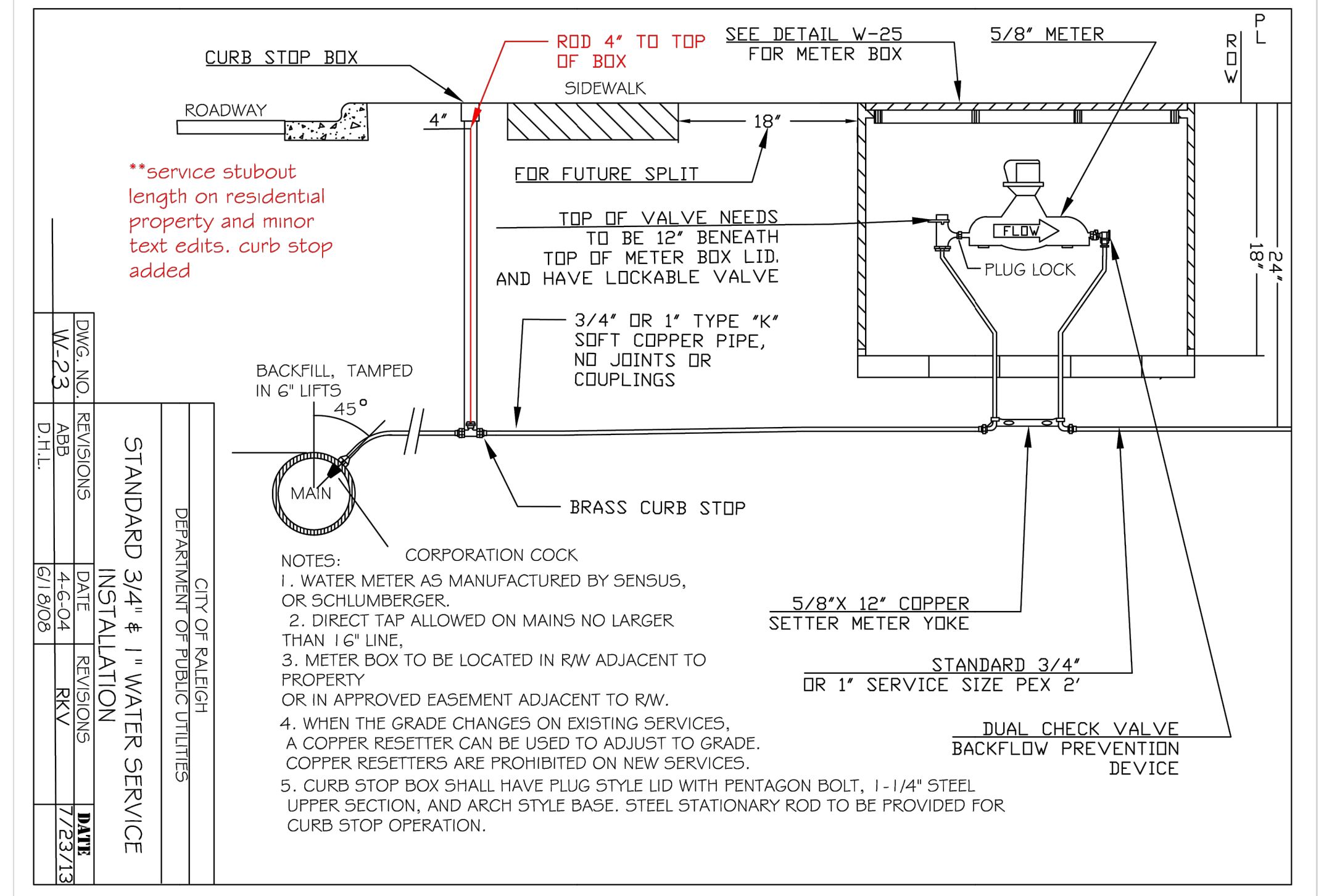
STANDARD DETAILS

Design By: *JMW*
Date: 10.02.23
Project #: P230462

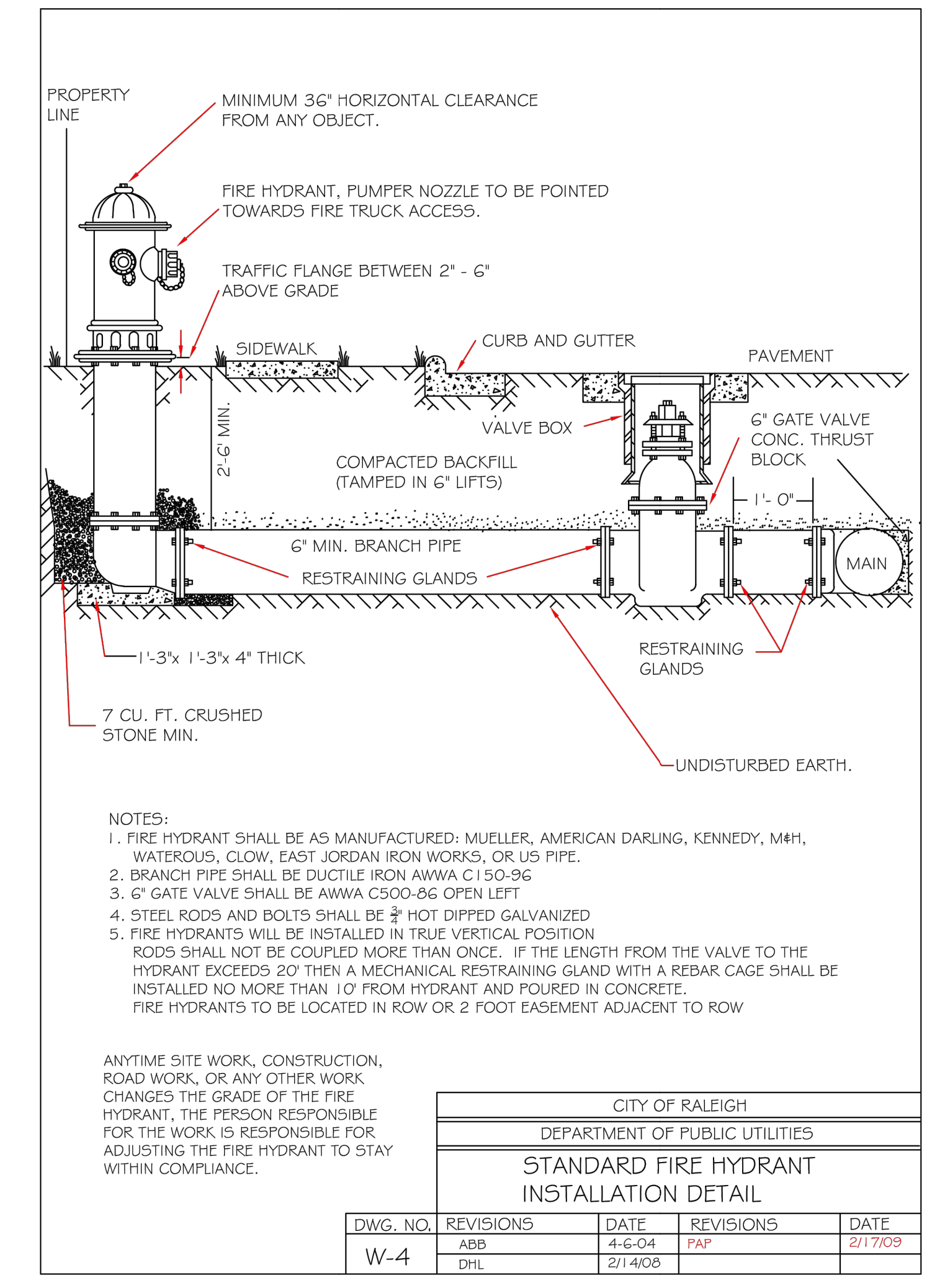
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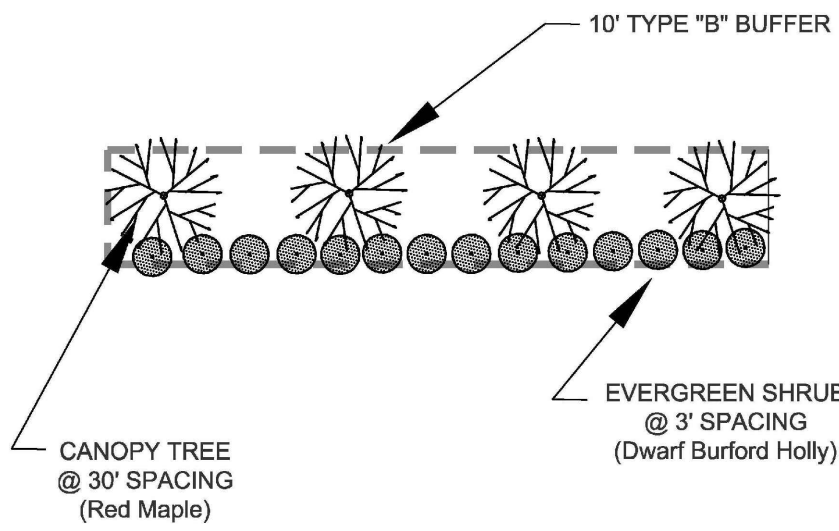
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REV #	DATE	DESCRIPTION
1	08.07.23	ROLESVILLE 2ND REVIEW COMMENTS (CAA)
2	10.02.23	ROLESVILLE 3RD REVIEW COMMENTS (BCSC)
3	11.10.23	ROLESVILLE 1ST REVIEW COMMENTS (BCSC)

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1.0 GENERAL NOTES:

- 1.1 THIS IS PLAN FOR LANDSCAPE PURPOSES ONLY.
1.2 UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED BY THE OWNER, LANDSCAPE ARCHITECT, OR THEIR REPRESENTATIVES. PLEASE CALL BEFORE YOU DIG. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN.
1.3 THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS TO ENSURE THAT THE NEW WORK SHALL FIT INTO THE EXISTING SITE IN THE MANNER INTENDED AND AS SHOWN ON THE DRAWINGS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING ANY WORK IN THE AREA INVOLVING DISCREPANCIES. NOTIFICATION SHALL BE MADE IN THE FORM OF A DRAWING OR SKETCH INDICATING FIELD MEASUREMENTS AND NOTES RELATING TO THE AREA.
1.4 ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN ALL LICENSES AND PERMITS REQUIRED FOR THE PERFORMANCE OF HIS WORK.
1.5 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM ALL WORK IN A MANNER THAT PROTECTS COMPLETED WORK BY OTHERS, SUCH AS CURBS, UTILITIES, STORM DRAINAGE, FENCES, DRIVEWAY APRONS, DRIVES, VEGETATION, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF SATISFACTORY REPAIR OF ALL DAMAGES IN KIND RESULTING FROM HIS/FHER FAILURE TO COMPLY.
1.6 THE CONTRACTOR IS TO VERIFY ALL QUANTITIES SHOWN ON THE PLAN. IF DISCREPANCIES OCCUR, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY.
1.7 THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE DURING THE GUARANTEE PERIOD.



Notes: This buffer serves as a semi-opaque screen from the ground up to a height of at least three feet. Canopy trees shall reach a height of at least 20 feet at maturity and have no unobstructed openings greater than 20 feet between canopies. This buffer may include a wall, an earthen berm, an opaque or semi-opaque fence existing or planted vegetation, or any appropriate combination of these elements to achieve the desired opacity. At least 50 percent of the required shrubs must be of the evergreen species. Shrubbery is to be planted sufficiently close together to form an opaque screen within three years after planting.

LANDSCAPE LEGEND:

- (6) RI LANDSCAPE - BUFFER (10' - TYPE 'B')
(6) RI LANDSCAPE - PARKING
(50 sf) SOD LANDSCAPE - TURF / SOD
POOL - WATER SURFACE
POOL - CONCRETE DECK
POOL - RESTROOMS
POOL - FENCE
UTILITY - WATER LINE
UTILITY - WATER SERVICE LINE
UTILITY - SEWER LINE
UTILITY - SEWER SERVICE LINE
UTILITY - SEWER MANHOLE
UTILITY - STORM DRAINAGE

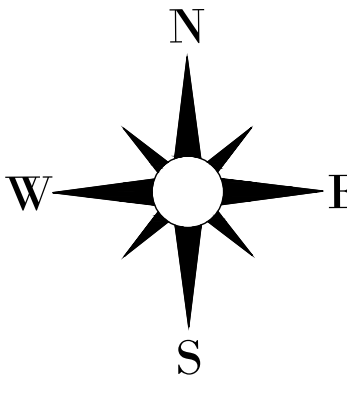
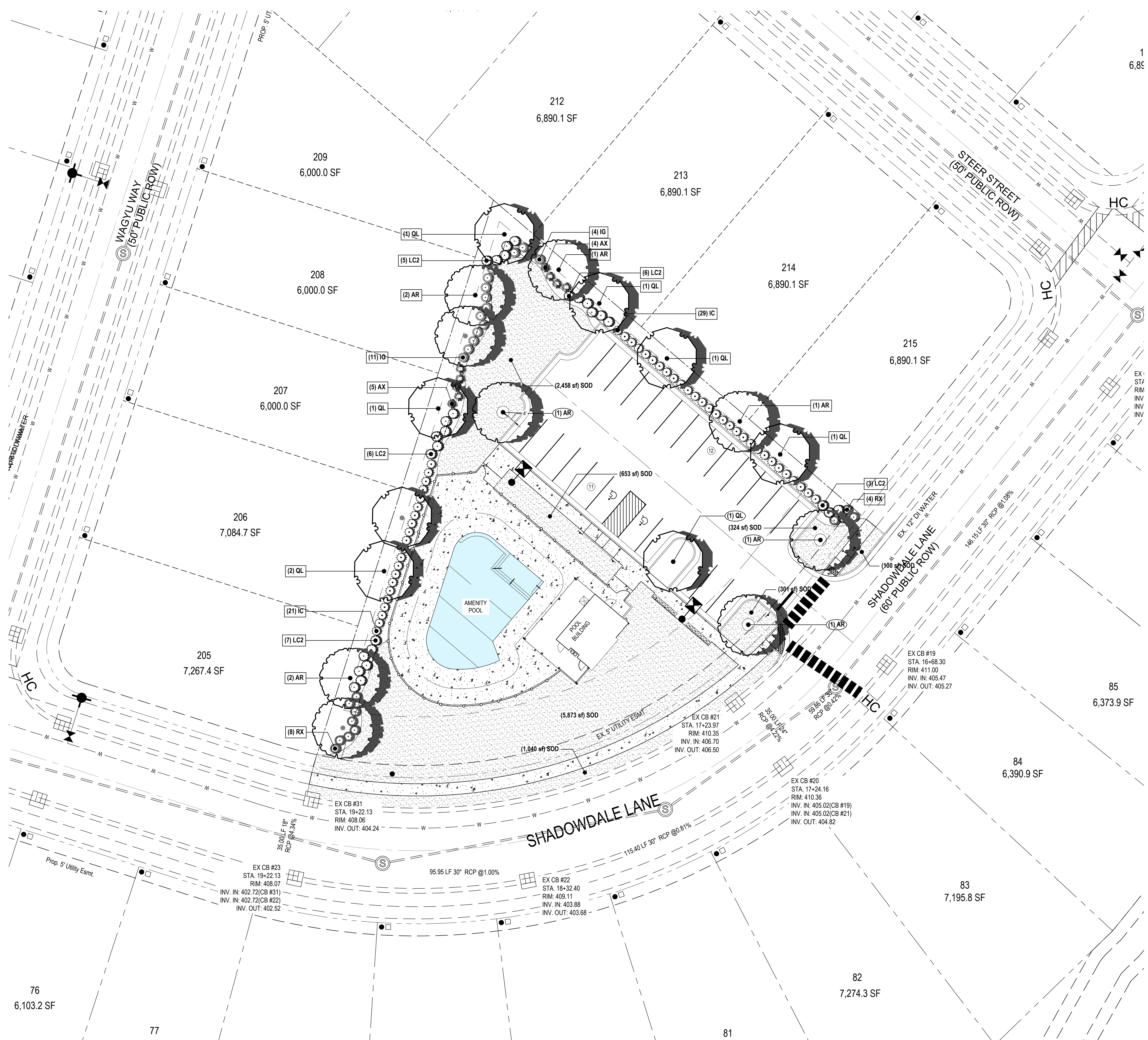


Table with 3 columns: REV#, DATE, DESCRIPTION. Row 1: 1, 08.07.23, ROLESVILLE 2ND REVIEW COMMENTS (CA). Row 2: 2, 10.02.23, ROLESVILLE 3RD REVIEW COMMENTS (BCS). Row 3: 3, 11.10.23, ROLESVILLE 1ST REVIEW COMMENTS (BCS).

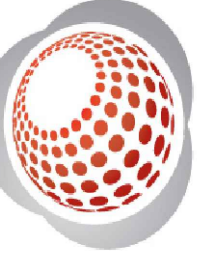
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF WILSONS MILLS, CLAYTON, JOHNSTON COUNTY AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS

REFER TO C100 FOR ALL SITE DETAILS AND CALCULATIONS.

FINAL DRAWING FOR REVIEW ONLY

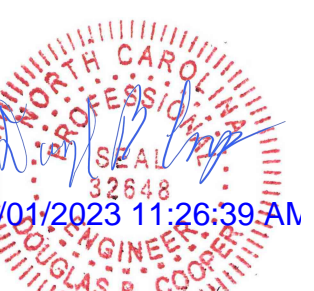


Bateman Civil Survey Company
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NCBELS FIRM No. C-2376



PRESERVE AT JONES DAIRY AMENITY SITE
LANDSCAPE PLAN
ROLESVILLE, NC 27571
WAKE COUNTY

Design By: JMW
Date: 10.02.23
Project #: P230462
SHEET L100



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PRESERVE AT JONES DAIRY
AMENITY SITE
ROLESVILLE, NC 27571
WAKE COUNTY

LANDSCAPE SCHEDULE / NOTES

Design By: *JMW*
Date: 10.02.23
Project #: P230462

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L101

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF WILSON MILLS, CLAYTON, JOHNSTON COUNTY AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS

PLANT SCHEDULE								
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
	AR	9	Acer rubrum 'Autumn Flame' / Autumn Flame Red Maple	3" Cal.	B&B	min. 12'	6'-8'	
	QL	8	Quercus laurifolia / Laurel-leaved Oak	3" Cal.	B&B	min. 12'	6'-8'	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
	AX	9	Abelia x grandiflora / Glossy Abelia	5 gal.	Cont.	min. 24"	18"-24"	
	IC	50	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	5 gal.	Cont.	min. 24"	18"-24"	
	IG	15	Ilex glabra 'Compacta' / Compact Inkberry	5 gal.	Cont.	min. 24"	18"-24"	
	LC2	27	Loropetalum chinense rubrum 'Ruby' / Ruby Fringe Flower	7 gal.	Cont.	min. 24"	24"-30"	
	RX	12	Rhododendron x 'Conlec' / Autumn Royalty® Encore® Azalea	5 gal.	Cont.	min. 24"	18"-24"	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT	SPREAD	REMARKS
	SOD	10,749 sf	Eremochloa ophiuroides / Centipede Sod	---				(OR APPROVED EQUAL)

1.0 GENERAL NOTES:

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- THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE IMPROVEMENTS, INCLUDING SEEDING, FOR ONE FULL YEAR AS REQUIRED BY THE SPECIFICATIONS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL PLANT MAINTENANCE DURING THE GUARANTEE PERIOD.

2.0 LANDSCAPE NOTES:

2.1 SOIL AMENDMENTS SHALL BE APPLIED ANNUALLY ACCORDING TO THE FOLLOWING CHART:

TREES	SOIL AMENDMENTS	RATE	SIZE OR SQ. FT.
	10-6-4 FERTILIZER	10 LBS	1,000 SQ. FT.
SHRUBS	SOIL AMENDMENTS	RATE	SIZE OR SQ. FT.
	10-6-4 FERTILIZER	5 LBS	100 SQ. FT.
PERENNIALS & GROUNDCOVERS	SOIL AMENDMENTS	RATE	SIZE OR SQ. FT.
	14-14-14 FERTILIZER	3 LBS	100 SQ. FT.
	COMPOST	3 YDS	1,000 SQ. FT.
SEASONAL COLOR - ANNUAL BED PREPARATION	SOIL AMENDMENTS	RATE	SIZE OR SQ. FT.
	14-14-14 FERTILIZER	3 LBS	100 SQ. FT.
	COMPOST	1.5 YDS	1,000 SQ. FT.
CONTAINERS AND/OR POTS	SOIL AMENDMENTS	RATE	SIZE OR SQ. FT.
	14-14-14 FERTILIZER	3 LBS	100 SQ. FT.

- ALL PLANTS EXCEPT SPECIFICALLY NOTED SPECIES, WILL BE NURSERY GROWN. THEY SHALL BE TYPICAL OF THEIR SPECIES CULTIVAR OR VARIETY. THEY SHALL BE SOUND, HEALTHY, AND VIGOROUS, AND SHALL BE FREE OF DISEASE AND ANY EVIDENCE OF INSECTS. IF IN LEAF, THEY SHALL BE DENSELY FOLIATED, WITHOUT LEAF SPOTS, DISCOLORATION, CURL, WILTING, CHLOROSIS OR DAMAGE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. UNLESS SPECIFIED IN THE PLANT SCHEDULE, TREES WITH BROKEN, CROOKED OR MULTIPLE LEADERS WILL NOT BE ACCEPTED. TREES WILL BE REJECTED IF THEY HAVE BARK ABRASIONS, SUN SCALD DAMAGE, DISFIGURING KNOTS OR PRUNING CUTS MORE THAN 1-1/4 INCHES IN DIAMETER WHICH HAVE NOT COMPLETELY GROWN OVER.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH, OF DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS, AND MEET THE MINIMUM AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, LATEST EDITION. ROOT BALLS OF PLANTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS, OR FROST.
- ROOTBALL MASS WHICH IS LOOSE WITHIN CONTAINER, OR WHICH IS SMALLER THAN THE CONTAINER WHEN REMOVED, SHALL BE REJECTED. PEAT OR FIBER POTTED PLANTS SHALL BE ROOTED THROUGH ALL SIDES AND BOTTOM OF POTS.
- SHOOTS AND RHIZOMES SHALL EXHIBIT TURGOR AND SHOOTS SHALL BE LIGHTLY COLORED. BODIES OF TUBERS AND BULBS SHALL BE RIGID TO THE TOUCH. PROPAGULES WHOSE SHOOTS AND BODIES ARE SOFT OR MUSHY TO THE TOUCH, OR WHOSE SHOOTS LACK TURGOR OR ARE DARK COLORED SHALL BE REJECTED.
- CALIPER SHALL BE MEASURED AT SIX (6") INCHES ABOVE THE ROOTBALL. HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "Y" CROTCHES THAT COULD BE POINT OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION. WHERE TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
- HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE HEIGHT OF THE TOP OF THE PLANT. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH.
- SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH PLANTS ARE TO BE JUDGED.
- THE SUPPLIER OF ALL PLANTS SHALL CERTIFY THAT THE ORIGIN OF THE PLANT IS FROM HARDINESS ZONES 6 OR 7, FROM THE EASTERN OR CENTRAL PORTIONS OF THE UNITED STATES, PRIOR TO PLANTING UNLESS AGREED TO OTHERWISE WITH THE LANDSCAPE ARCHITECT.
- FINE GROUND, TRIPLE SHREDDED BARK MULCH, SUCH AS NATURE'S HELPER OR APPROVED EQUAL, IS TO BE USED FOR ALL PERENNIAL/ANNUAL BEDS WITHIN THE GLADE/ENTRY PLAZA AND ALL PLANT MATERIAL ALONG THE EDGES OF BUILDING FOUNDATIONS. ALL REMAINING MULCH TO BE PINE STRAW.
- PRIOR TO PLANTING, ANY TOPSOIL TO BE SPREAD SHALL BE TESTED BY AN APPROVED SOIL TESTING LABORATORY OR AGRICULTURAL EXTENSION SERVICE LABORATORY. TESTS SHALL INCLUDE MECHANICAL AND CHEMICAL ANALYSIS. A SOILS REPORT SHALL INCLUDE RECOMMENDATIONS FOR THE ADDITION OF FERTILIZER AND ADJUSTMENTS TO PH, OR OTHER AMENDMENTS AND INDICATE THE AMOUNT OF ORGANIC MATTER. A WRITTEN REVIEW OF SAID ANALYSIS AND RECOMMENDATIONS IS REQUIRED TO BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND OWNER 15 DAYS PRIOR TO INSTALLATION.
- ACCEPTABLE TOPSOIL SHALL BE A FERTILE, FRIABLE NATURAL LOAM, UNIFORM IN COMPOSITION, FREE OF STONES, LIMBS, PLANTS AND THEIR ROOTS, AND OTHER EXTRANEUS MATTER OVER 1/4 INCH IN DIAMETER. THE SOIL SHALL BE CAPABLE OF SUSTAINED PLANT GROWTH AND HAVE A 5% MINIMUM ORGANIC CONTENT. IN SITUATIONS WHICH REQUIRE A CUSTOM TOPSOIL OR STRUCTURAL SOIL, THE SOIL MIXTURE SPECIFICATION WILL BE PROVIDED BY THE LANDSCAPE ARCHITECT.
- IF ADDITIONAL ORGANIC MATERIAL IS REQUIRED, COMPOST, LEAF MOLD, ECOLOGY - A LOW PH COMPOSED SEWAGE SLUDGE PRODUCT, OR OTHER APPROVED ORGANIC MATERIAL SHALL BE THOROUGHLY DISCED INTO THE TOPSOIL AREA.

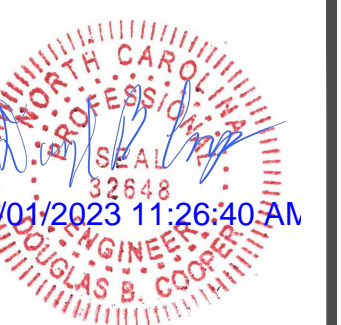
3.0 INSTALLATION:

- PRIOR TO PLANTING, THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTED GRADES ARE AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE OWNER OR LANDSCAPE ARCHITECT IF ADJUSTMENTS TO PLANT PLACEMENT MAY BE REQUIRED DUE TO FIELD CONDITIONS AND FINAL GRADING.
- PRIOR TO PLANTING, THE CONTRACTOR SHALL LAY OUT THE EXTEND OF THE PLANT BEDS AND THE PROPOSED LOCATIONS FOR B&B PLANTS FOR REVIEW BY OWNER AND/OR LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
- TOPSOIL SHALL BE SPREAD TO FINISH GRADE OVER THE ENTIRE ROUGH GRADED AREA TO BE LANDSCAPED. AFTER TOPSOIL IS APPLIED, THE SOIL SHALL BE SCARIFIED AS NEEDED TO BREAK UP ANY REMAINING COMPACTION.
- PLANTING HOLES FOR CONTAINER GROWN POTS SHALL BE ONE FOOT (1') DEEP, PLUS THE CONTAINER DEPTH IN WHICH THE PLANT HAS BEEN GROWN AND TWO FEET (2') WIDER THAN THE CONTAINER.
- WHEN PLANTING HOLES FOR B&B PLANTS, THE CROWN OF THE ROOTBALL SHALL BE HIGHER AFTER SETTLING THAN THE ADJACENT SOIL. THE PLANTING HOLE SHALL BE EXCAVATED ONE FOOT (1') DEEP, PLUS THE ROOTBALL DEPTH AND TWO FEET (2') WIDER THAN THE ROOTBALL.
- BACKFILL THE PLANTING HOLES WITH IN-SITU SOIL MATERIAL REMOVED FOR PLANTING AFTER REMOVING ALL STONES, ROOTS AND OTHER DEBRIS GREATER THAN 1/2" IN DIAMETER. A MYCORRHIZAL INNOCULANT SHALL BE ADDED TO THE BACKFILL PER THE MANUFACTURER'S INSTRUCTIONS. FOLLOWING THE BACKFILLING, WATER TO THE POINT OF SOIL SATURATION AND TAMP TO COMPACT BACKFILL MIXTURE. ADD EXISTING SOIL TO BRING THE FINAL GRADE IN THE PLANTING HOLE TO THE SURROUNDING SOIL SURFACE. RAKE THE UNUSED EXISTING SOIL OUTSIDE THE PLANTING HOLES, TAKING CARE NOT TO MOUND THE SOIL OR TO SIGNIFICANTLY ALTER THE EXISTING GRADES AND THEN PLACE MULCH AT OP ENTIRE PLANTING HOLE. (SEE APPLICABLE PLANTING DETAILS FOR THICKNESS) THE PLANTING HOLE AREAS MUST NOT BE DEPRESSED BELOW THE SURROUNDING SOIL SURFACE ELEVATIONS.
- ALL PLANTS SHALL BE WATERED IMMEDIATELY AFTER PLANTING UNTIL THE SOIL IS SATURATED. PLANTS SHALL BE WATERED A MINIMUM OF EVERY TWO WEEKS, SHOULD THE SOILS DRY, UNTIL ACCEPTANCE BY THE OWNER. DURING DRY CONDITIONS, WATER AS REQUIRED TO MAINTAIN PLANTS IN A WILT FREE CONDITION.
- ALL CONTRACTORS SHALL BE REQUIRED TO COMPLETELY REMOVE ALL TRASH, DEBRIS, AND EXCESS MATERIALS FROM THE WORK AREA AND THE PROPERTY (ESPECIALLY AT ALL CURB, GUTTERS, AND SIDEWALKS) DAILY DURING INSTALLATION.
- ALL DISTURBED, NON-VEGETATED SLOPES SHALL BE PLANTED WITH AN ANNUAL RYE GRASS OR AN APPROVED EQUAL BEFORE INSTALLATION AT THE RECOMMENDED RATE TO STABILIZE AREA, OR OTHER EQUIVALENT EROSION CONTROL MEASURES.
- LARGE GROWN PLANTS ARE NOT TO BE PLANTED IN FRONT OF WINDOWS, UNDER BUILDING OVERHANGS, OR IN DRAINAGE SWALES. SHRUBS PLANTED NEAR H.V.A.C. UNITS TO BE LOCATED SO THAT SHRUBS AT MATURITY WILL MAINTAIN ONE (1) FOOT AIRSPACE BETWEEN UNIT AND PLANT. ANY PLANTING WHICH IS SHOWN ADJACENT TO CONDENSOR UNITS SHALL BE PLANTED AS REQUIRED TO SCREEN THE UNITS. SHOULD THE CONDENSOR UNITS BE INSTALLED IN LOCATIONS DIFFERENT FROM THOSE DEPICTED ON THE PLANS, WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LANDSCAPE ARCHITECT AND INSTALL THE MATERIALS AROUND THE CONDENSOR UNITS AND TO ADJUST OTHER ADJACENT PLANTINGS ACCORDINGLY.
- TREE STAKING AND GUYING SHALL BE COMPLETED PER DETAILS IN THIS SET OF LANDSCAPE PLANS. THE CONTRACTOR SHALL ENSURE THAT TREES REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- BURLAP, TAGS, AND TWINE SHALL BE REMOVED AND BURLAP IS TO BE ROLLED BACK ONE-THIRD ON ALL B&B PLANT MATERIAL. ANY SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED FROM PLANT MATERIAL.
- SHRUBS, BULBS, AND GROUNDCOVERS SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN ON PLANTING PLANS AND IN APPLICABLE PLANTING DETAILS.
- THE AMERICAN WITH DISABILITIES ACT (ADA) STANDARDS REQUIRE THAT A SEVEN (7) FOOT VERTICAL CLEARANCE BE MAINTAINED FROM TREE BRANCHES TO FINISHED GRADE WHERE PEDESTRIAN SIDEWALKS AND/OR TRAILS ARE LOCATED. THE CONTRACTOR IS TO ADJUST TREE PLANTINGS IN THE FIELD SLIGHTLY TO MINIMIZE BRANCH OVERHANG.
- SHRUBS, GROUNDCOVERS, AND PERENNIALS PLANTED ON SLOPES GREATER THAN 3:1 SHALL HAVE A NATURAL FIBER GEO-TEXTILE WOVEN MESH MATERIAL PINNED TO GROUND PER MANUFACTURER'S SPECIFICATIONS. GROUNDCOVER BEDS SHALL HAVE TWO (2) INCHES OF GROUND LEAF COMPOST SPREAD ONTO SLOPE PRIOR TO PLACING MESH. EXCAVATE PLANT PITS THROUGH MESH.
- ALL TREE PITS, SHRUB BEDS AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS IN THIS SET OF LANDSCAPE PLANS.
- THE CONTRACTOR MUST CONTACT THE OWNER AT LEAST 10 WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). THE CONTRACT MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS AND PLANT ANY MISSING PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASONS.
- GROUPS OF SHRUBS, PERENNIALS, GROUNDCOVERS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINE. ALL MULCHED BED EDGES SHALL BE CURVILINEAR IN SHAPE FOLLOWING THE CONTOUR OF THE PLANT MASS. TREES LOCATED WITHIN FOUR (4) FEET OF PLANT BEDS SHALL SHARE THE SAME MULCH BED.
- TREES SHALL BE LOCATED A MINIMUM OF THREE (3) FEET OR FOUR (4) FEET FROM WALLS AND WALKS WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN ACTUAL SIZE OF AREA AND PLANS, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT AND/OR OWNER WILL RESULT IN CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS.
- ALL SEASONAL COLOR SHALL BE TRIANGULARLY SPACED AT SPACING SHOWN IN THE PLANTING DETAIL IN THIS SET OF LANDSCAPE PLANS. THE CONTRACTOR SHALL INSTALL THE FIRST ROTATION, WHICH IS IN SEASON AT THE TIME THAT ADJACENT PLANTINGS ARE INSTALLED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REGRADE, HYDROSEED, STRAW MULCH, AND TACK ALL EXISTING LAWN AREAS DISTURBED AS A RESULT OF HIS/her WORK.
- TREES AND SHRUBS SHALL BE LOCATED WITH A MINIMUM SEPARATION OF 36" FROM CURB FACES PER UDO EXHIBIT 4-6 AND UDO APPENDIX G ("PROTECTION OF TREES AND VEGETATION FROM VEHICLE OVERHANG")

4.0 TREE PROTECTION:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING DAMAGE TO EXISTING TREES LOCATED ALONG ACCESS AND HAIL ROADS, AND ADJACENT TO, OR WITHIN BUILDING CONSTRUCTION SITES AND MATERIAL AND EQUIPMENT STORAGE AREAS. THOSE TREES TO BE SAVED SHALL BE FLAGGED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES AND FENCING SO AS TO DIVERT AND DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC AWAY FROM TREES. THE BARRICADES AND FENCING TYPE SHALL BE AS SHOWN ON THE CIVIL CONSTRUCTION DOCUMENTS.
- MATERIALS SHALL NOT BE STORED, NOR VEHICLES PARKED WITHIN THE DRIP-LINE OF THE TREE UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT OR OWNER.
- VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER EXPOSED ROOTS AND ROADS SHALL NOT BE LOCATED WITHIN THE DRIP-LINE OF TREES UNLESS APPROVAL IS OBTAINED FROM THE LANDSCAPE ARCHITECT.
- ALL TREES INTENDED TO BE SAVED WHICH HAVE BEEN DAMAGED DUE TO CONSTRUCTION PRACTICES, SHALL BE INSPECTED AND TREATED BY A CERTIFIED ARBORIST, OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- NO CUTTING OR FILLING OF EXISTING GRADE, TRENCHING OR PRUNING SHALL OCCUR UNLESS SPECIFICALLY DIRECTED BY THE CONSTRUCTION DOCUMENTS, OR WITH WRITTEN CONSENT BY THE LANDSCAPE ARCHITECT AND OWNER.
- NO BURNING OF TRASH IS ALLOWED WITHIN 75' OF EXISTING TREES AND CARE SHALL BE TAKEN TO PREVENT ANY SMOKE DAMAGE TO TREES.

REV #	DATE	DESCRIPTION
1	08.07.23	ROLESVILLE 2ND REVIEW COMMENTS (CAA)
2	10.02.23	ROLESVILLE 3RD REVIEW COMMENTS (BCSC)
3	11.10.23	ROLESVILLE 1ST REVIEW COMMENTS (BCSC)



Bateman Civil Survey Company
Engineers • Surveyors • Planners
2524 Relliance Avenue, Apex, North Carolina 27539
Phone: 919.577.1080 Fax: 919.577.1081
NCBELS FRM No. C-2376



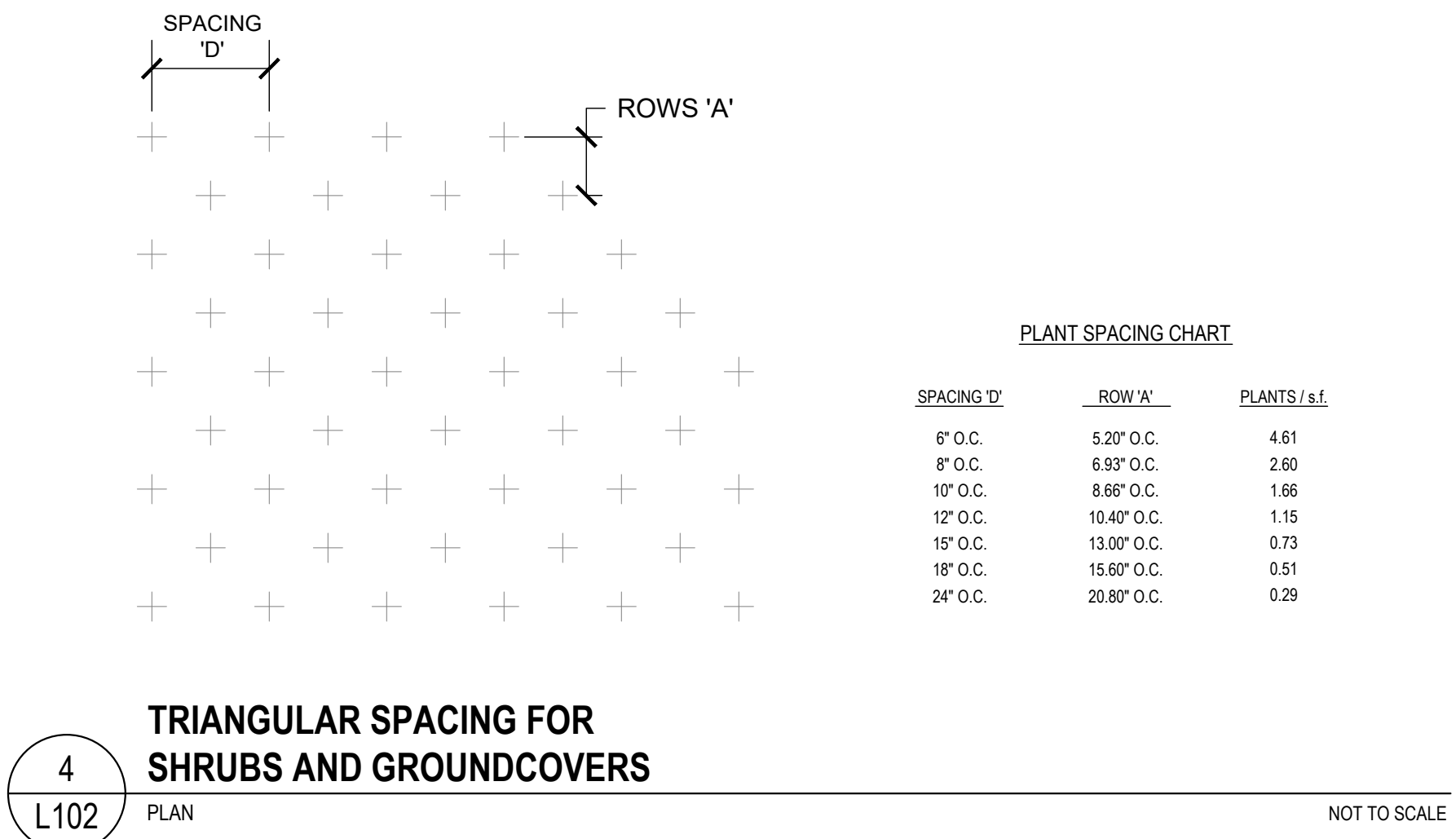
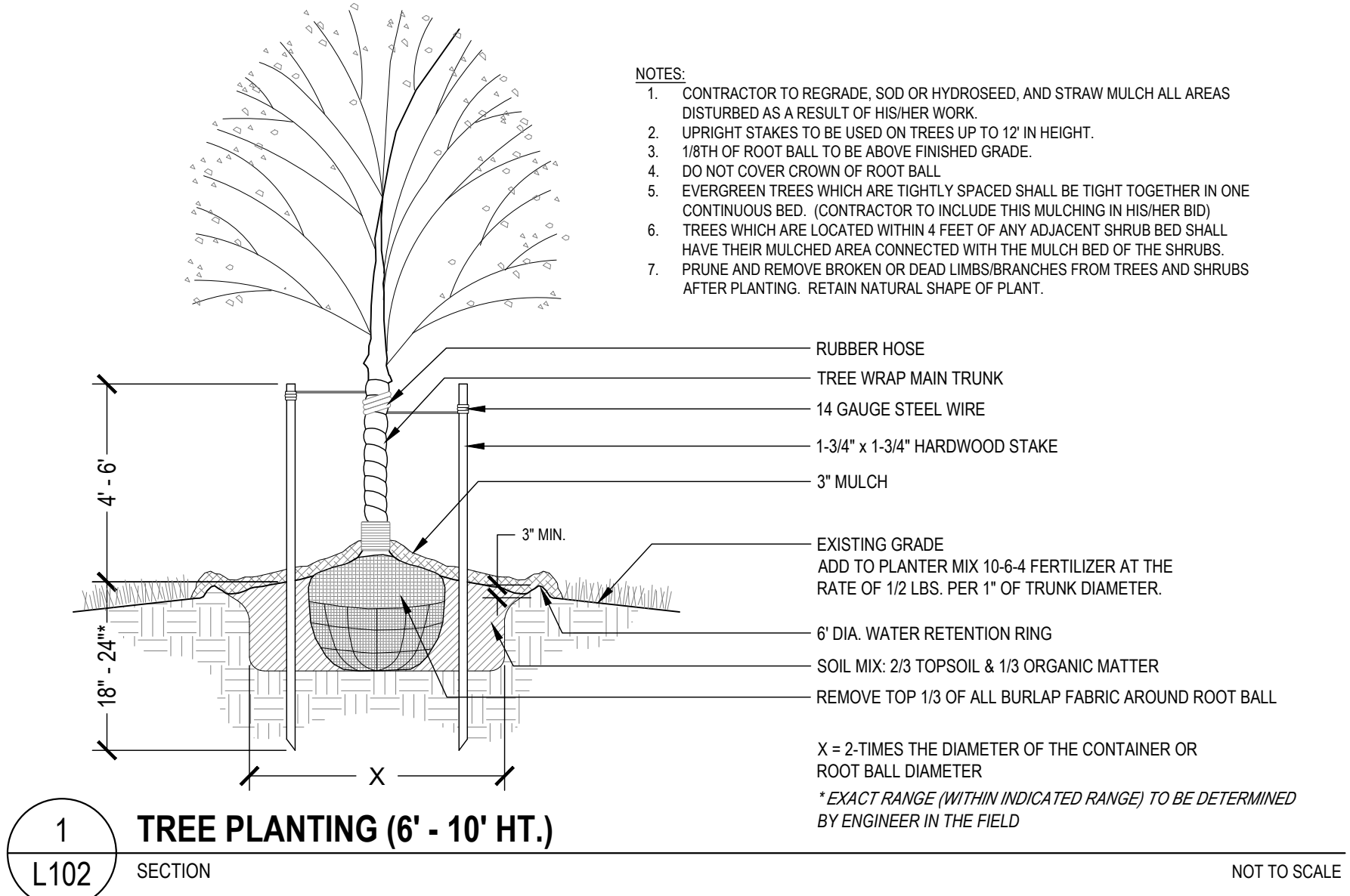
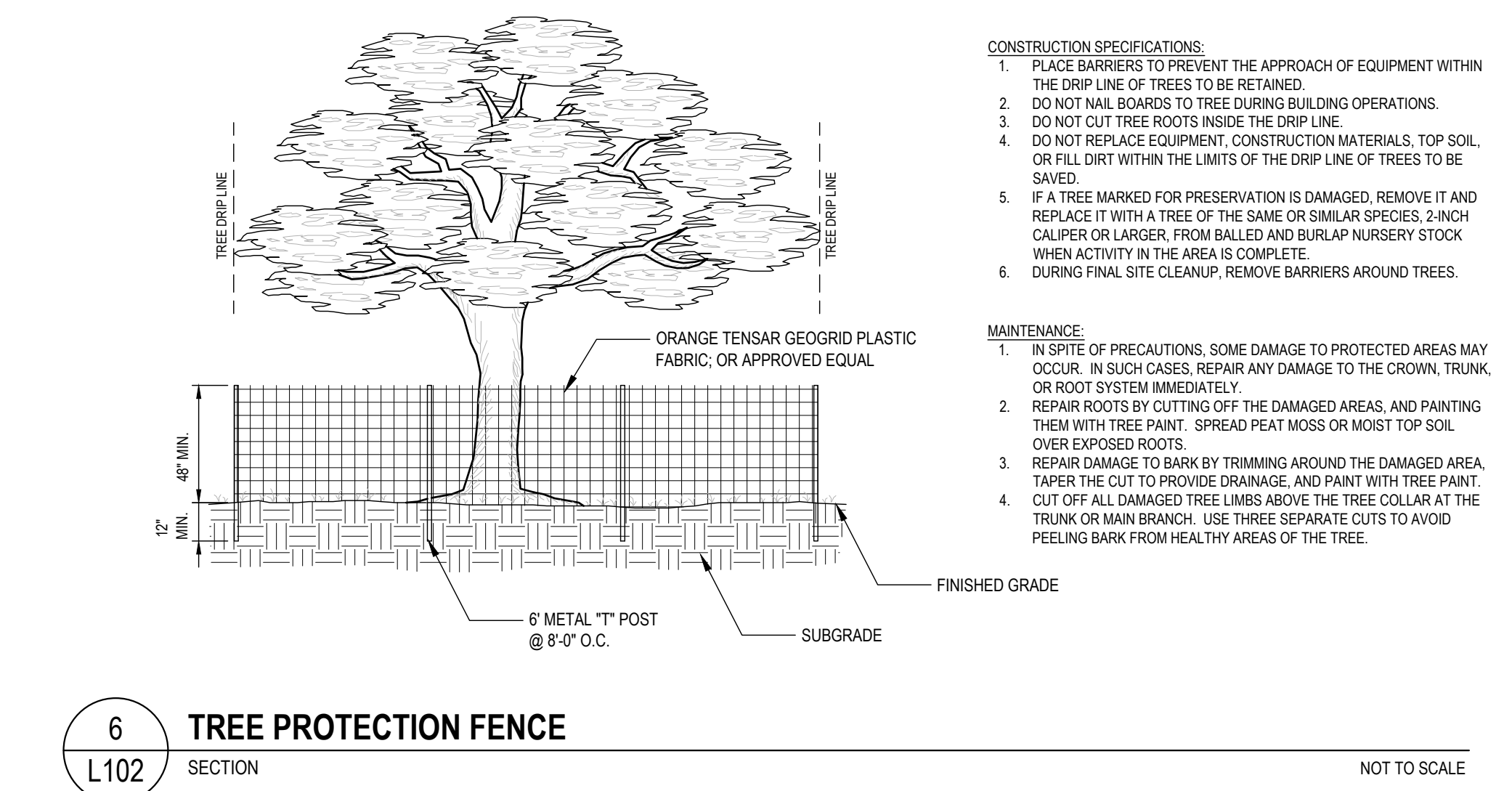
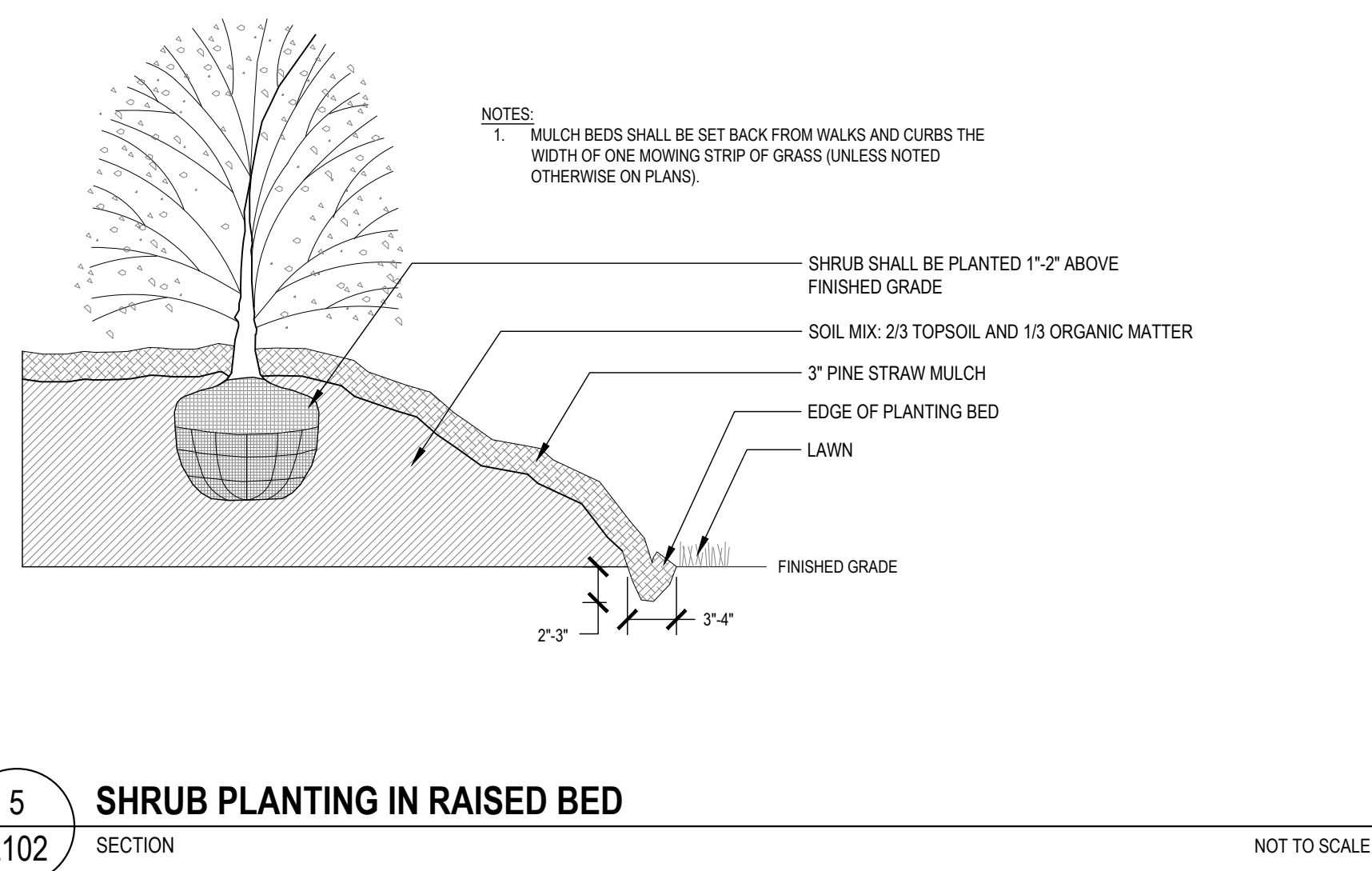
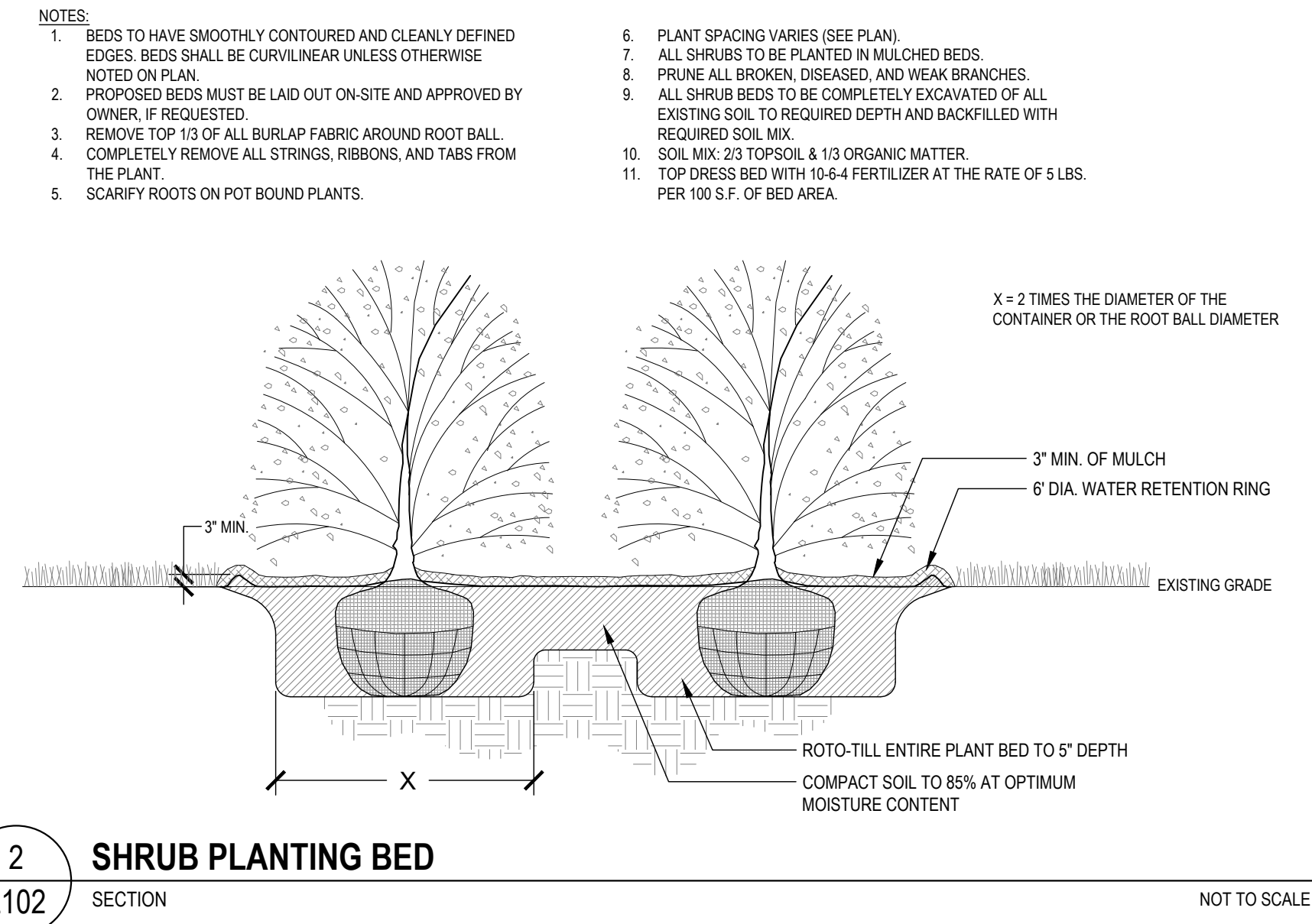
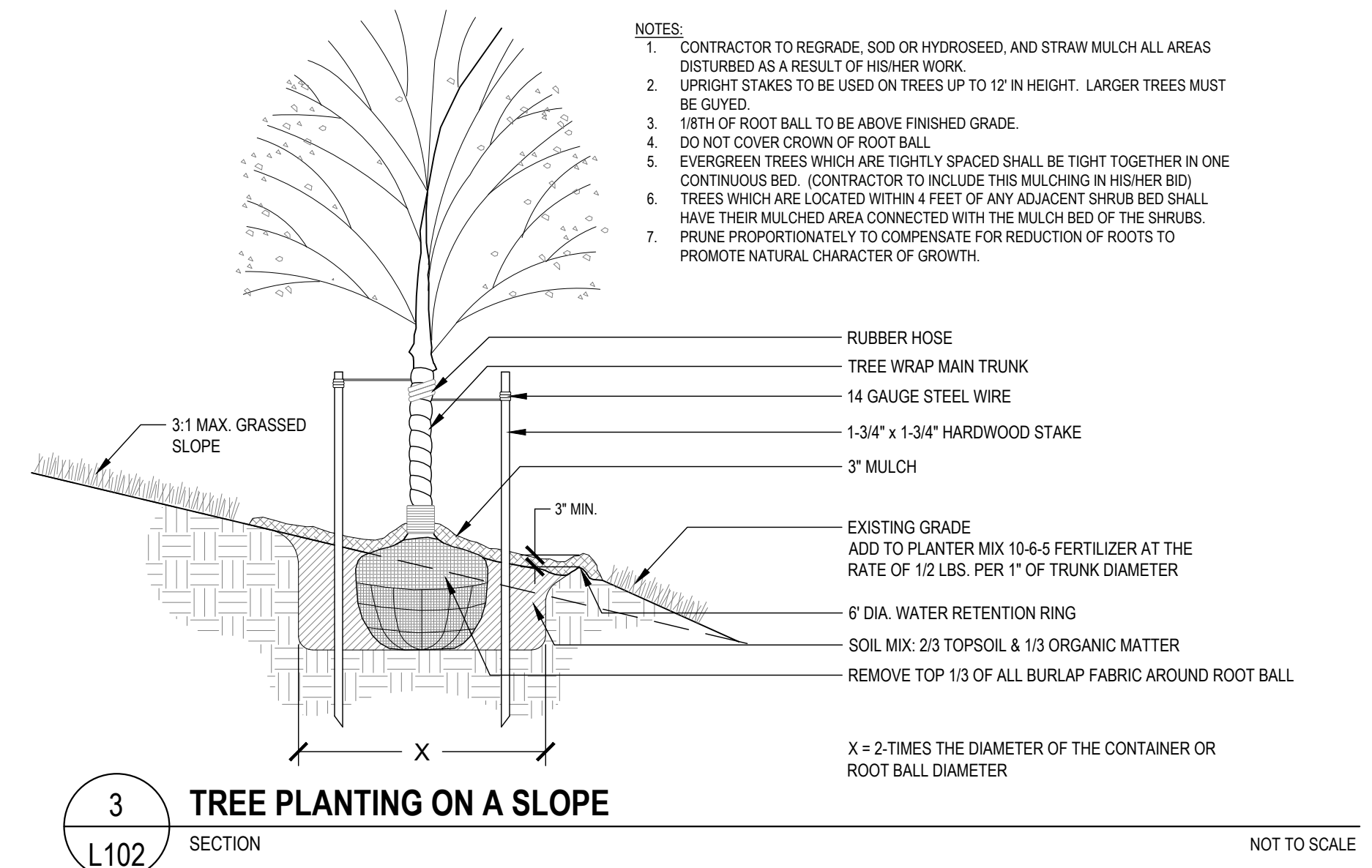
PRESERVE AT JONES DAIRY
AMENITY SITE
ROLESVILLE, NC 27571
WAKE COUNTY

LANDSCAPE DETAILS

Design By: *JMW*
Date: 10.02.23
Project #: P230462

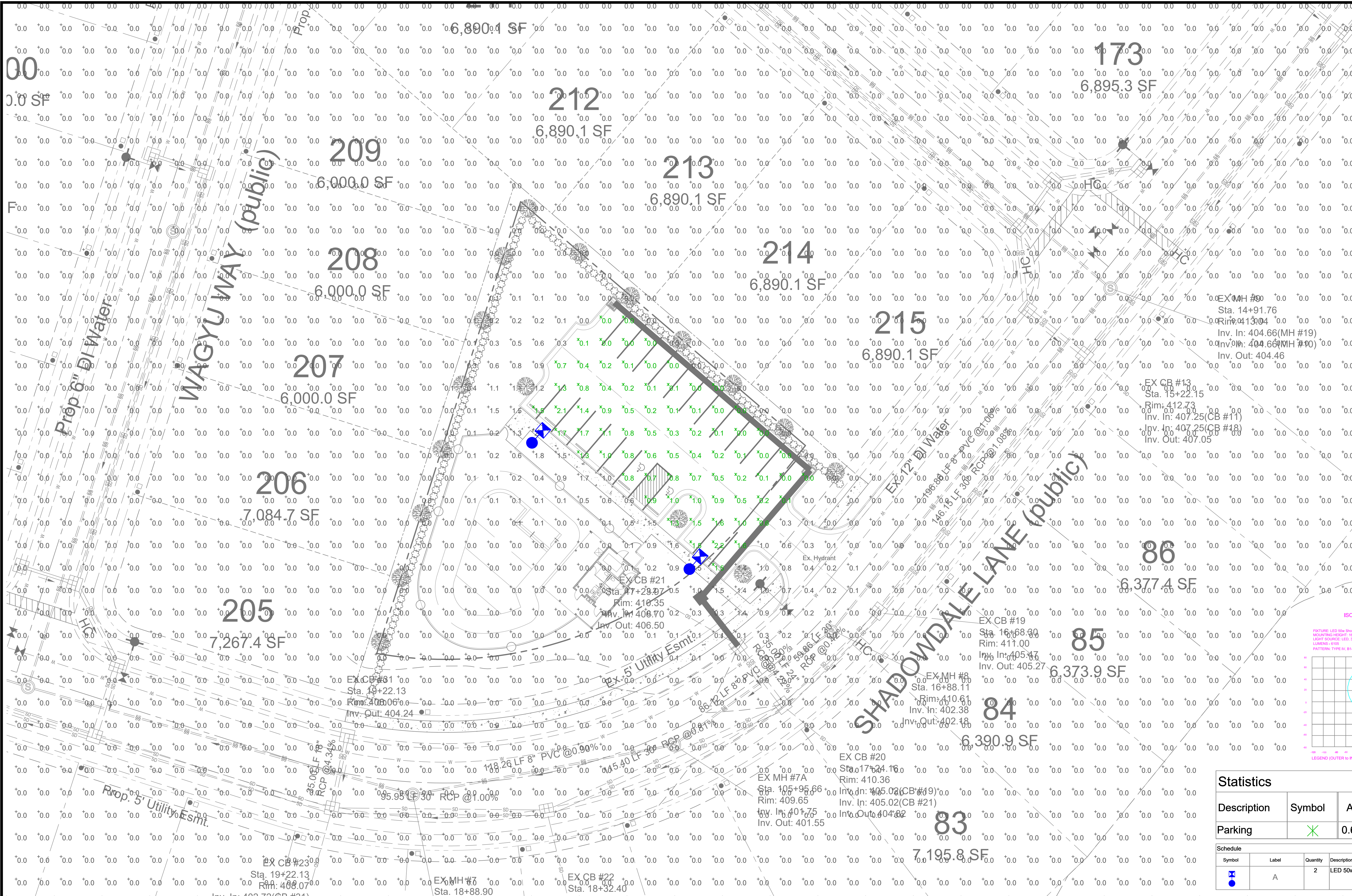
SHEET
L102

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF WILSON MILLS, CLAYTON, JOHNSTON COUNTY AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS



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REV #	DATE	DESCRIPTION
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Outdoor Lighting

PEDESTRIAN SHOEBOX LED
(Meets Dark Sky Criteria)

LED (Light emitting diode)
 Lumens: 6,100 (6,438)
 Light pattern: E3NA Type IV
 IESNA beam classification: Full cutoff
 BLSG rating: Type IV - B1UGS
 Color temperature: 3,000K (4,000K)

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Aluminum	12', 15', 17'	Black
Fiberglass	16'	Black
Fluted Concrete	13'	Black
Decorative Aluminum	12', 16'	Black

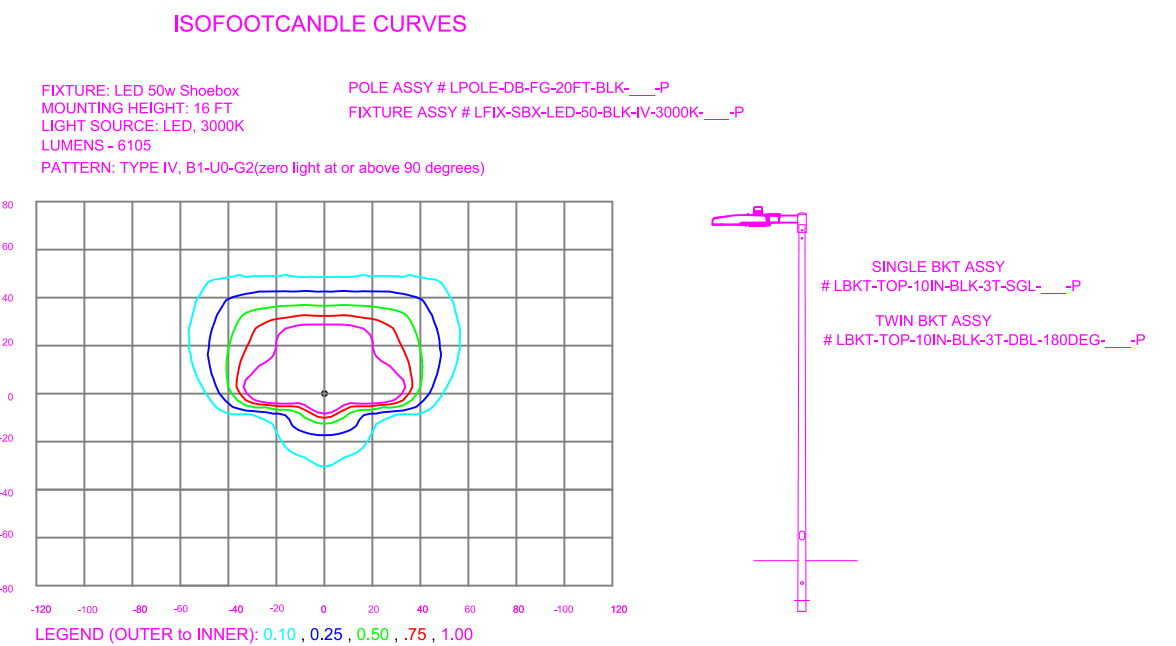
FEATURES

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

BENEFITS

- Provides hassle free installation and service
- Free up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates high and unexpected repair bills
- Convenience and savings for you

For additional information, contact us at 000Central@dukeenergyp.com
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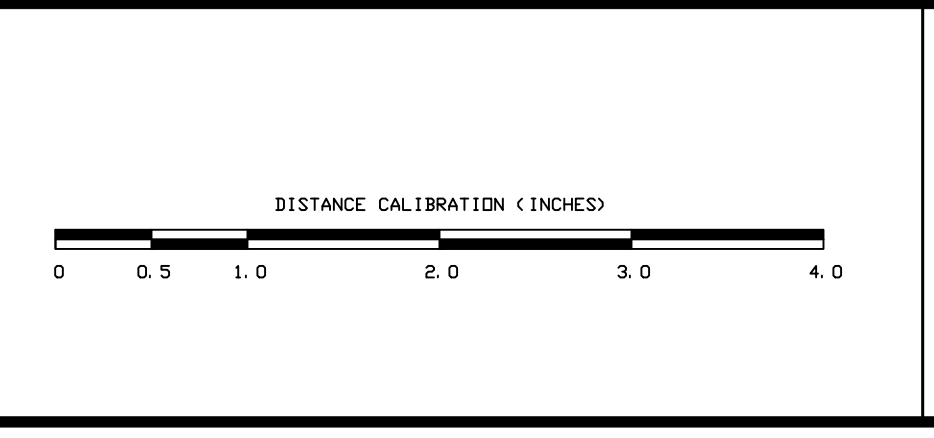
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	0.6 fc	2.2 fc	0.0 fc	N/A	N/A

Schedule

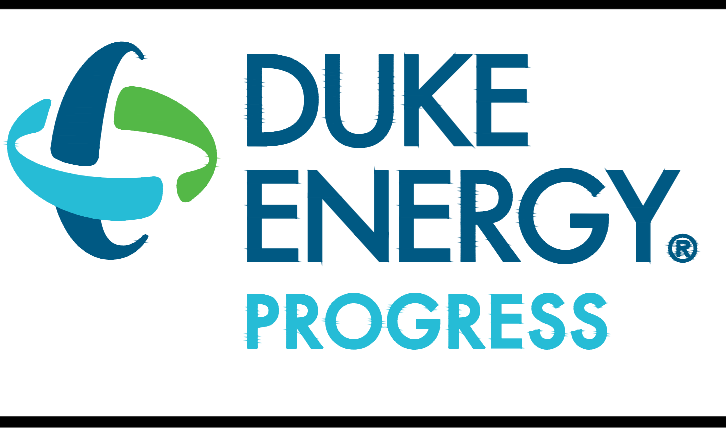
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
ⓘ	A	2	LED 50w Shoebox- Type IV - 3000K	16	382	0.85

NO.	DATE	REVISION	BY



PROPRIETARY & CONFIDENTIAL

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PRESERVE AT JONES DAIRY AMENITY
 Rolesville, NC

SITE LIGHTING ARRANGEMENT
 Designed by **DUKE ENERGY PROGRESS LIGHTING SOLUTIONS**
 Reviewed by N. Johnson Scale 1" = 20'
 Date 09/28/2023 Size Drawing size "D"
 Description LED Pedestrian Shoebox
 Drawing No. 23-0415A Sht. 1 OF 1